

ITEM: 6.1	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A003/25
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Report Date: April 4, 2025

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions
Forestry	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
None				

BACKGROUND (SCHEDULE D, IF REQUIRED)

* Background Information contains historical development approvals considered to be related to this file.
This information should not be considered comprehensive.

Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
None	

SCHEDULES

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A003/25

CITY WARD #:	1
APPLICANT:	Michael & Sarah Prsa
AGENT:	Jesse Sahlani (Sensus Design Studio)
PROPERTY:	106 Westridge Drive, Kleinburg
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low Rise Residential" and "Natural Areas"
RELATED DEVELOPMENT APPLICATIONS:	N/A
PROPOSAL:	Relief from the Zoning By-law is being requested to permit the construction of a proposed addition to the southern side of the existing dwelling. Relief is also being requested to permit an existing pergola and reduced soft landscaping requirements in the rear yard.

The following variances are being requested from the City's Zoning By-law to accommodate the above proposal:

The subject lands are zoned R1B(EN), First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.336 under By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The minimum Exterior Side Yard required is 7.5 metres. [Exception 336, Figure T-52]	To permit a minimum exterior side yard of 4.5 metres.
2	No part of the accessory building shall be nearer to an exterior side lot line than 7.5 metres. [Exception 336, 1. c.]	To permit a residential accessory building (Pergola) to be located a minimum of 3.31 metre from the exterior side lot line.
3	A residential accessory structure with a height greater than 2.8 metres shall not be located closer than 2.4 m to any lot line. [Section 4.1.2 1. b.]	To permit a residential accessory structure (cabana) with a height greater than 2.8 metres to be located 2.1 metres from the interior side lot line.
4	In the R1B Zone, any portion of a yard in excess of 135.0 square metres shall be comprised of a minimum 60% soft landscape. [Section 4.19.1 1.]	To permit a minimum of 40.36% (417.77 m ²) of the required minimum landscaped rear yard to be composed of soft landscaping.

HEARING INFORMATION

DATE OF MEETING: Thursday, April 10, 2025

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive

LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

HEARING INFORMATION

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	March 27, 2025
Date Applicant Confirmed Posting of Sign:	March 27, 2025
Applicant Justification for Variances: <small>*As provided in Application Form</small>	Existing site conditions and owner's design requirements
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
None	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	None
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DEVELOPMENT ENGINEERING

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

The Owner / Applicant shall ensure that the proposed addition to existing residence does not negatively impact neighbours due to surface water runoff. The property should be properly graded, ensuring that surface water from the proposed addition does not flow onto adjacent lots. It's important to note that additions more than 10 m² necessitate a Grading Permit. Once the Grading Permit is obtained, please reach out to the Development Engineering Reviewer to clear the Condition imposed on this application. The proposed work by the Owner / Applicant is increasing the lot coverage on the subject property by 33%. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer. The Development Engineering

DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

Department does not object to the Minor Variance application A003/25, subject to the following condition(s):

Development Engineering Recommended Conditions of Approval:	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
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PARKS, FORESTRY & HORTICULTURE (PFH)

Recommended condition of approval:

PFH Recommended Conditions of Approval:	Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to any construction works on the subject property.
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DEVELOPMENT FINANCE

No comment no concerns.

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date.

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC)

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT

No comments received to date.

Fire Department Recommended Conditions of Approval:	None
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RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Engineering Rex.bondad@vaughan.ca	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
2	Parks, Forestry and Horticulture Operations zachary.quizzetti@vaughan.ca	Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to any construction works on the subject property.

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

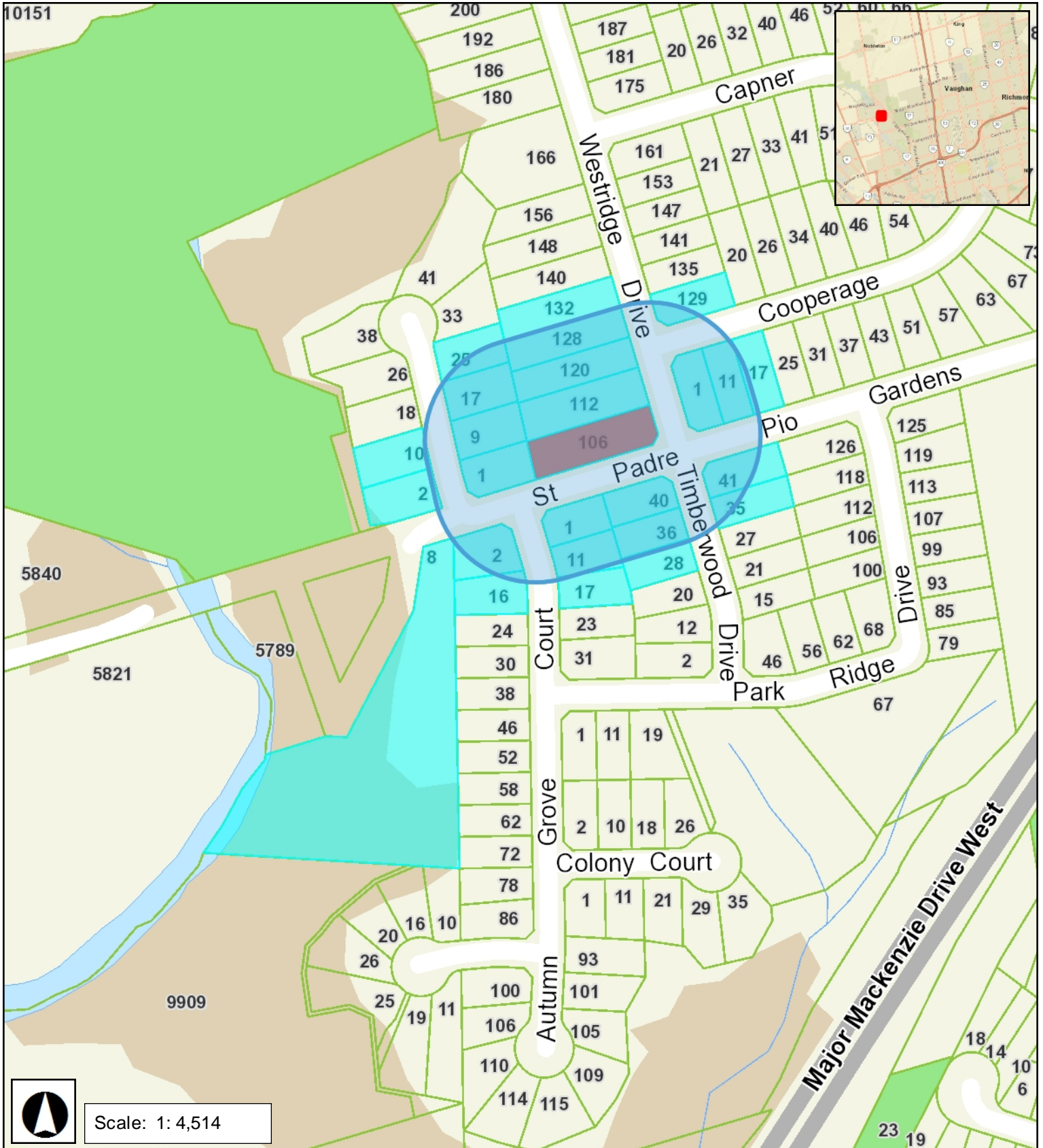
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



PROPOSED RENOVATION TO EXISTING DWELLING UNIT

106 WESTRIDGE DR, KLEINBURG, ON L0J 1C0

NOTES:

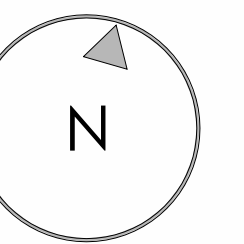
DRAWINGS MUST NOT BE SCALED
DRAWINGS TO BE READ IN CONJUNCTION
WITH THE GENERAL NOTES AND THE O.B.C.

ALL DRAWINGS & INFORMATION SHOWN
ON THESE DRAWINGS MUST BE CHECKED &
VERIFIED ON SITE PRIOR TO CONSTRUCTION
OR FABRICATION OF ITS COMPONENTS.
UNLESS NOTED OTHERWISE, NO PROVISION
HAS BEEN MADE IN THE DESIGN FOR
CONDITIONS OCCURRING DURING
CONSTRUCTION.

IT SHALL BE THE RESPONSIBILITY OF THE
CONTRACTOR TO PROVIDE ALL NECESSARY
BRACING, SHORING, SHEET PILING, OR
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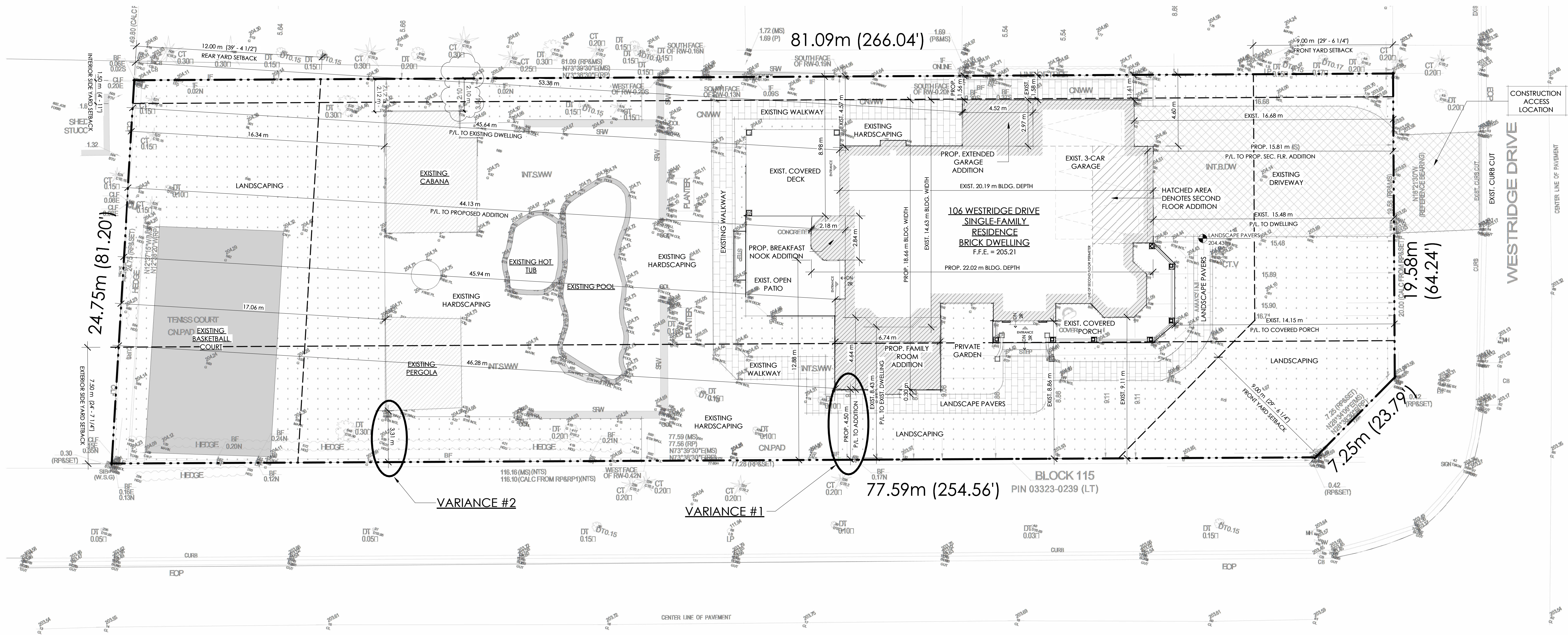
PROFESSIONAL STAMPS:



The undersigned has reviewed and takes
responsibility for this design, and has the
qualifications and meets the requirements
set out in the Ontario Building Code to be a
designer.

Qualification Information
Required unless design is exempt under Div.
C - 3.2.5 of the Building Code

JESSE SAHLANI 44549
NAME B.C.I.N.
SENSUS DESIGN & BUILD INC. 123494
FIRM B.C.I.N.



PROP. SITE PLAN

3/32" = 1'-0"

SITE STATISTICS

MUNICIPAL ADDRESS	106 Westridge Dr, Kleinburg, ON L0J 1C0		
ZONING	R1B (First Density Residential Zone) (EN) (x366)		
LOT AREA	2011.45 m ²	21651.05 ft ²	ESTABLISHED GRADE: 204.4
(AVE. LEVEL OF THE GROUND @ THE FRONT OF THE BLDG)			
ZONING INFORMATION	PERMITTED		PROPOSED
	(metre)	(feet)	(metre) (feet)
FRONTAGE (MIN.)	18	59.04	
FRONT YARD SETBACK	9	29.52	
SIDE YARD SETBACK (NORTH - INTERIOR SIDE)	1.5	4.92	
SIDE YARD SETBACK (SOUTH - EXTERIOR SIDE)	4.5	14.76	
REAR YARD SETBACK	12	39.36	
BUILDING LENGTH (MAX)	N/A	0.00	
BUILDING DEPTH (MAX)	N/A	0.00	
BUILDING HEIGHT	11	36.08	
LOT COVERAGE			
		(m²)	(ft²)
EXISTING MAIN DWELLING	11.59%	233.20	2510.14
EXISTING COVERED PORCH	1.47%	29.55	318.07
PROPOSED ADDITIONS	2.45%	49.21	529.69
COVERED PATIO	1.67%	33.63	361.99
EXISTING STRUCTURE - CABANA	2.15%	43.20	465.00
TOTAL LOT COVERAGE	19.33%	388.79	4184.90
MAX PERMITTED LOT COVERAGE	40.00%	804.58	8660.42

ST. PADRE PIO GARDENS

HATCH PATTERN (SITE PLAN)

- PROPOSED ADDITIONS
- PROPOSED CURB CUT
- GRASS / SOFT LANDSCAPING
- PROPOSED DRIVEWAY
- PROPOSED HARDSCAPING

TOTAL FRONT YARD AREA	369.21 SQ.M.	100%
GRASS / SOFT LANDSCAPING	222.88 SQ.M.	60.37%
EXISTING DRIVEWAY	131.74 SQ.M.	35.68%
PROPOSED HARDSCAPING	14.59 SQ.M.	3.95%

REAR YARD AREA (IN EXCESS OF 135.0 SQ.M.)	1035.22 SQ.M.	100%
GRASS / SOFT LANDSCAPING	417.77 SQ.M.	40.36%
HARD LANDSCAPING AND OTHERS	617.45 SQ.M.	59.64%

PROPOSED ADDITION TO EXISTING SINGLE FAMILY RESIDENCE

106 Westridge Dr, Kleinburg, ON L0J 1C0

NO.	DESCRIPTION	DATE
1	ISSUED FOR ZAP	05-03-2024
2		

SHEET TITLE:

PROPOSED SITE PLAN

VARIANCE #4

NOTES:

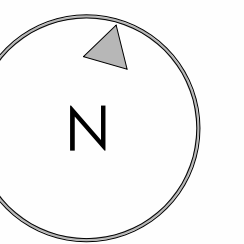
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PROFESSIONAL STAMPS:



The undersigned has reviewed and takes
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designer.

Qualification Information
Required unless design is exempt under Div.
C - 3.2.5 of the Building Code

JESSE SAHLANI 44549
NAME B.C.I.N.
SENSUS DESIGN & BUILD INC. 123494
FIRM B.C.I.N.

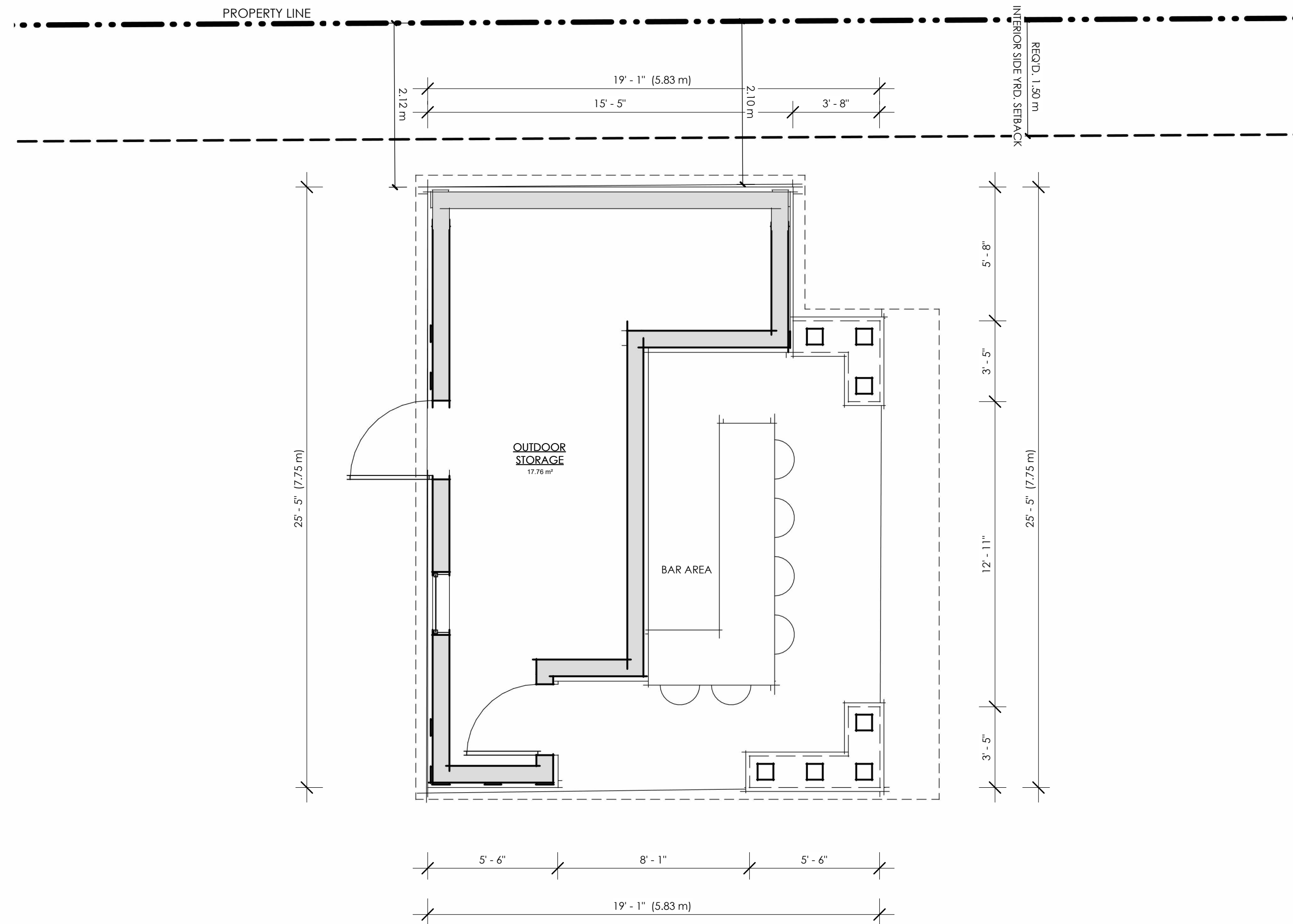
**PROPOSED
ADDITION TO
EXISTING SINGLE
FAMILY
RESIDENCE**

NO.	DESCRIPTION	DATE
1	ISSUED FOR ZAP	05-03-2024
2		

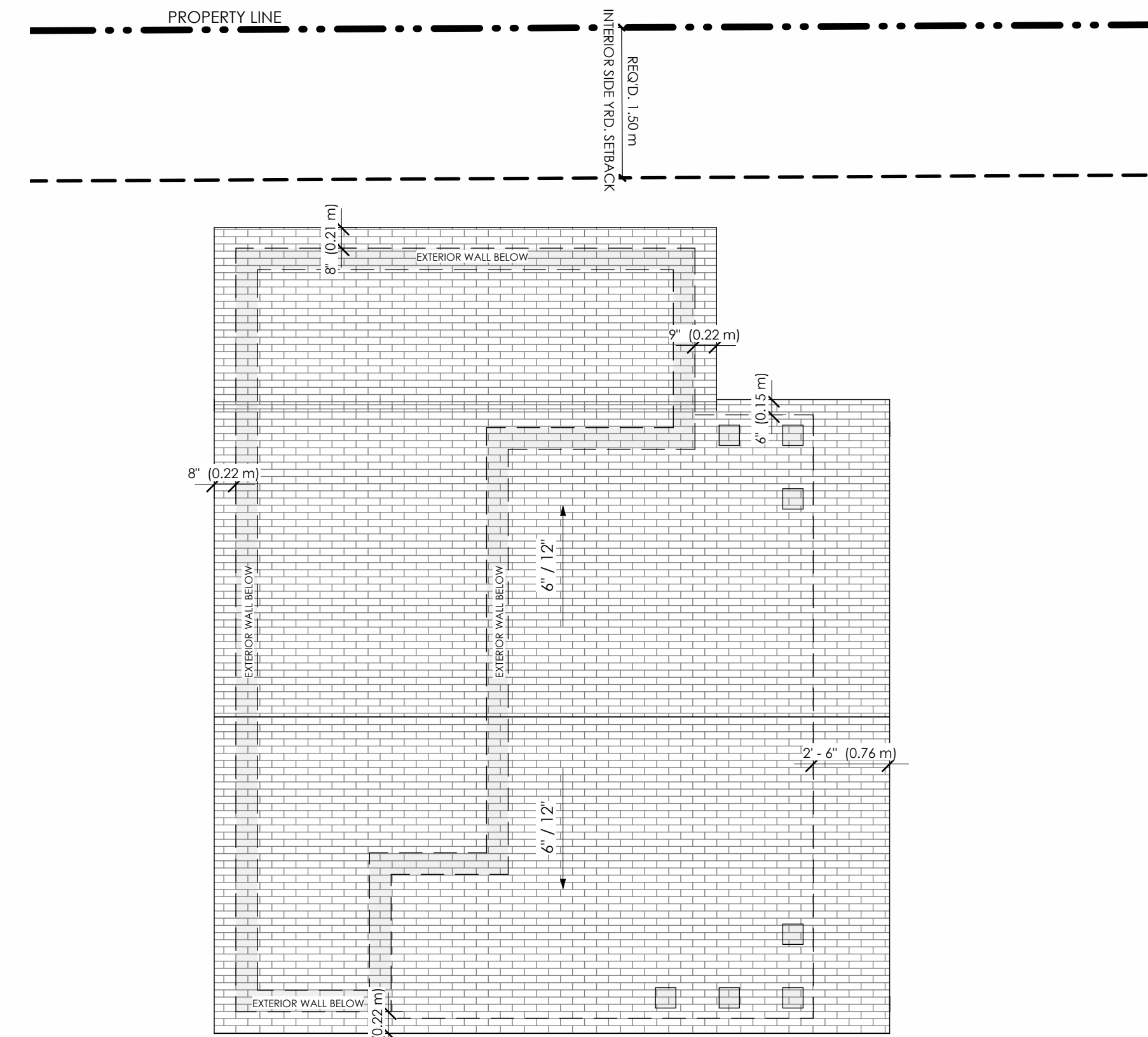
SHEET
TITLE:

**CABANA
DRAWINGS**

DRAWN BY: I.A. SHEET No.
CHECKED BY: J.S.
DATE: 05-10-2024
SCALE: AS SHOWN **A5.0**

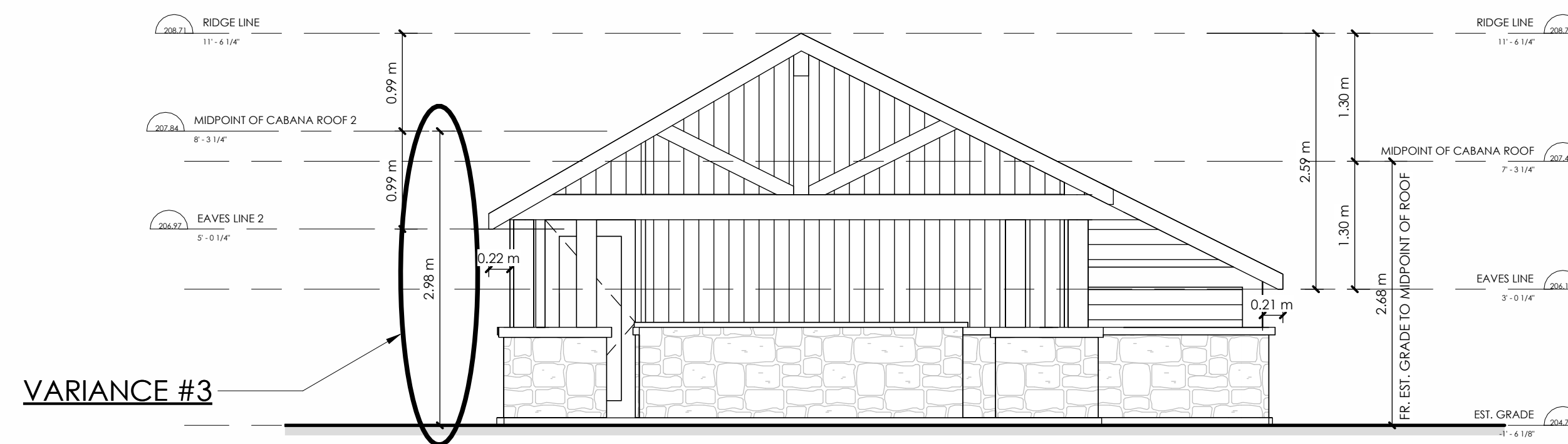


CABANA FLOOR PLAN
1/4" = 1'-0"

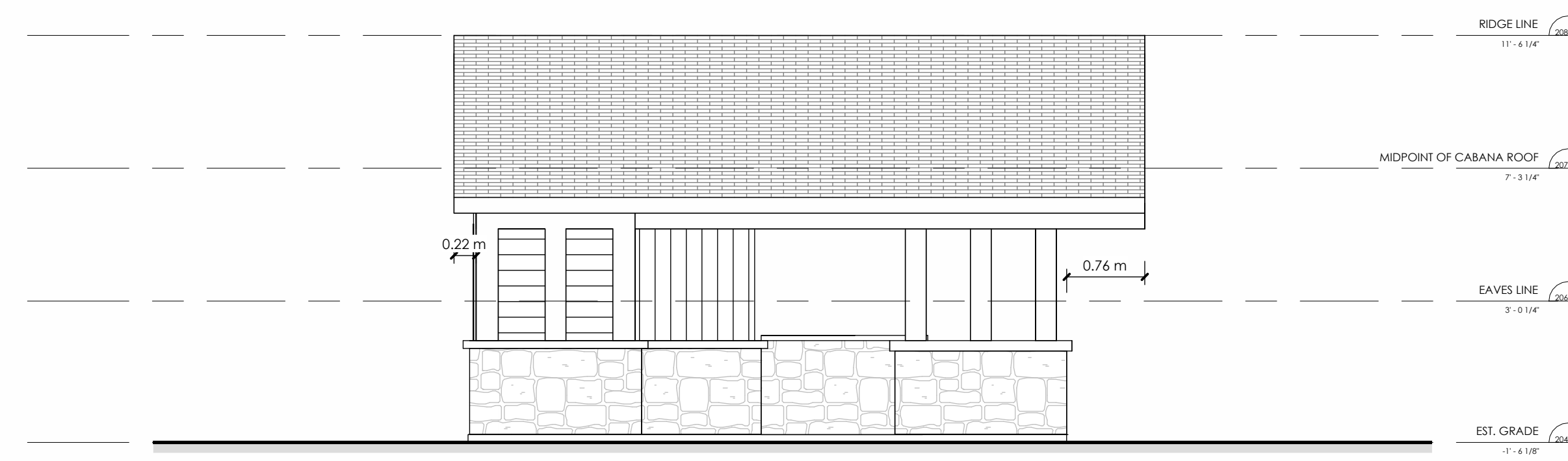


CABANA ROOF PLAN
1/4" = 1'-0"

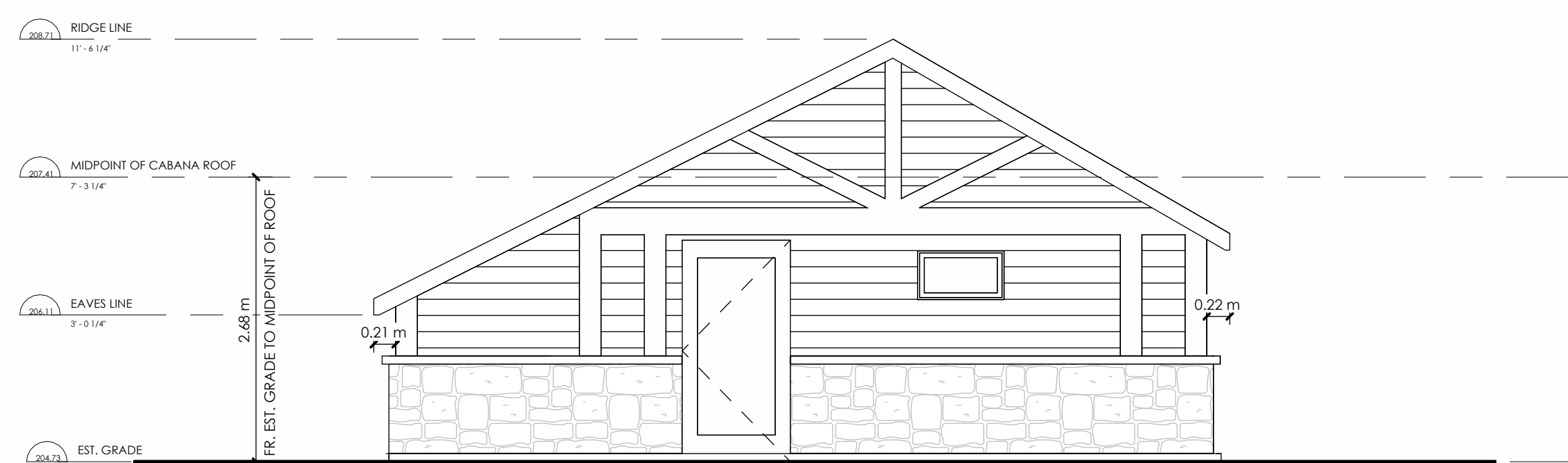
ESTABLISHED GRADE CALCULATION (AVERAGE LEVEL OF THE GROUND AT THE FRONT OF A STRUCTURE):
$204.76 + 204.73 + 204.69 / 3$
$= 204.73$



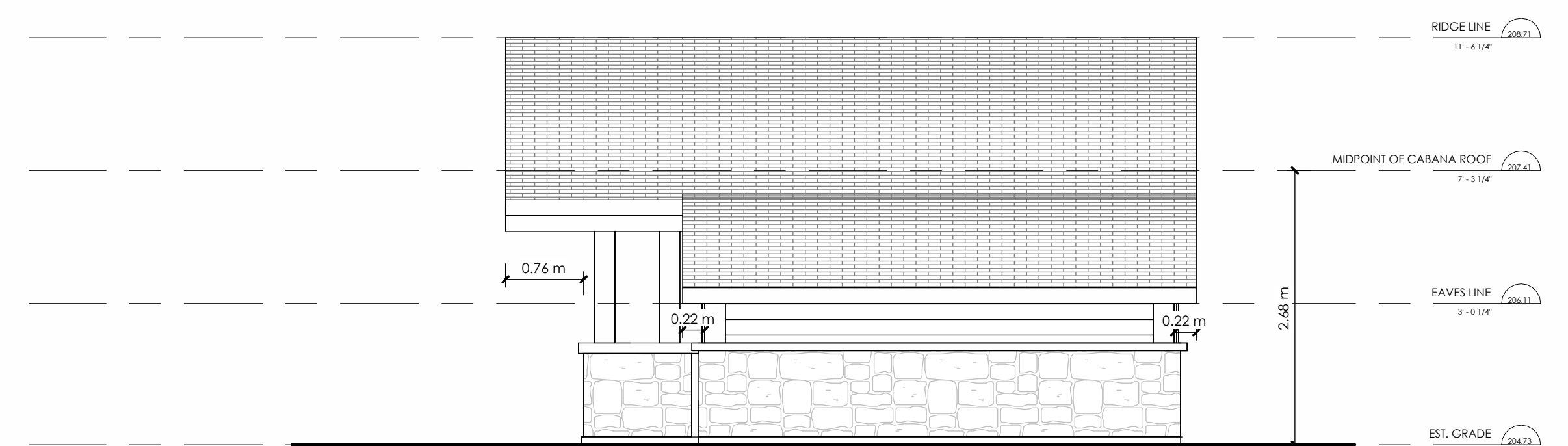
CABANA - FRONT (EAST) ELEVATION
1/4" = 1'-0"



CABANA - LEFT (SOUTH) ELEVATION
1/4" = 1'-0"



CABANA - REAR (WEST) ELEVATION
1/4" = 1'-0"



CABANA - RIGHT (NORTH) ELEVATION
1/4" = 1'-0"

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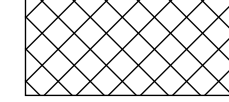

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ADDITION TO
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NO.	DESCRIPTION	DATE
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2		

SHEET
TITLE:



**DEMO FRONT
ELEVATION**

DRAWN BY: I.A. SHEET No.
CHECKED BY: J.S.
DATE: 05-10-2024
SCALE: AS SHOWN **A1.3**

TOTAL DEMOLITION AREA CALCULATIONS		
	OVERALL EXISTING WALL AREA: 3246.48 SQ.FT / 301.61 SQ.M (100%)	100%
	AREA OF OVERALL EXISTING WALLS TO BE DEMOLISHED : 1615.65 SQ.FT / 150.10 SQ.M	49.77%
	OVERALL EXISTING WALLS TO REMAIN : 1630.83 SQ.FT / 151.51 SQ.M	50.23%



EXIST. / DEMO. FRONT (EAST) ELEVATION
1/4" = 1'-0"

EXISTING WALL AREA : FRONT ELEVATION	
	TOTAL EXISTING WALL AREA: 894.13 SQ.FT / 83.07 SQ.M (100%)
	AREA OF EXISTING WALL TO BE DEMOLISHED : 487.47 SQ.FT / 45.29 SQ.M (54.52%)
	EXISTING WALL TO REMAIN : 406.66 SQ.FT / 37.78 SQ.M (45.48%)

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FIRM B.C.I.N.

**PROPOSED
ADDITION TO
EXISTING SINGLE
FAMILY
RESIDENCE**

NO.	DESCRIPTION	DATE
1	ISSUED FOR ZAP	05-03-2024
2		



SHEET
TITLE:

**DEMO REAR
ELEVATION**

DRAWN BY: I.A. SHEET No.
CHECKED BY: J.S.
DATE: 05-10-2024
SCALE: AS SHOWN **A1.4**



EXIST. / DEMO. REAR (WEST) ELEVATION
1/4" = 1'-0"

EXISTING WALL AREA : REAR ELEVATION	
TOTAL EXISTING WALL AREA: 945.13 SQ.FT / 87.81 SQ.M (100 %)	
	AREA OF EXISTING WALL TO BE DEMOLISHED : 428.78 SQ.FT / 39.83 SQ.M (45.36%)
	EXISTING WALL TO REMAIN : 516.35 SQ.FT / 47.97 SQ.M (54.63%)

NOTES:

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DRAWINGS TO BE READ IN CONJUNCTION
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PROFESSIONAL STAMPS:

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designer.

Qualification Information
Required unless design is exempt under Div.
C - 3.2.5 of the Building Code

JESSE SAHLANI -  44549
NAME B.C.I.N.
SENSUS DESIGN & BUILD INC. 123494
FIRM B.C.I.N.

**PROPOSED
ADDITION TO
EXISTING SINGLE
FAMILY
RESIDENCE**

NO.	DESCRIPTION	DATE
1	ISSUED FOR ZAP	05-03-2024
2		

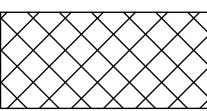

SHEET
TITLE:

**DEMO
LEFT-SIDE
ELEVATION**

DRAWN BY: I.A. SHEET No.
CHECKED BY: J.S.
DATE: 05-10-2024
SCALE: AS SHOWN **A1.5**



EXIST. / DEMO. LEFT (SOUTH) ELEVATION
1/4" = 1'-0"

EXISTING WALL AREA : LEFT-SIDE ELEVATION	
TOTAL EXISTING WALL AREA: 1191.79 SQ.FT / 110.72 SQ.M (100 %)	
	AREA OF EXISTING WALL TO BE DEMOLISHED : 618.06 SQ.FT / 57.42 SQ.M (51.86%)
	EXISTING WALL TO REMAIN : 573.73 SQ.FT / 53.30 SQ.M (48.14%)

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FAMILY
RESIDENCE**

NO.	DESCRIPTION	DATE
1	ISSUED FOR ZAP	05-03-2024
2		

SHEET
TITLE:

**DEMO
RIGHT-SIDE
ELEVATION**

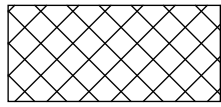

DRAWN BY: I.A.
CHECKED BY: J.S.
DATE: 05-10-2024
SCALE: AS SHOWN

SHEET No.

A1.6



EXIST. / DEMO. RIGHT (NORTH) ELEVATION
1/4" = 1'-0"

EXISTING WALL AREA : RIGHT-SIDE ELEVATION	
TOTAL EXISTING WALL AREA: 1287.43 SQ.FT / 119.61 SQ.M (100 %)	
	AREA OF EXISTING WALL TO BE DEMOLISHED : 81.34 SQ.FT / 7.56 SQ.M (6.32%)
	EXISTING WALL TO REMAIN : 1206.09 SQ.FT / 112.05 SQ.M (93.68%)

NOTES:

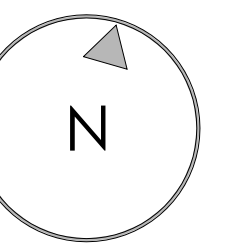
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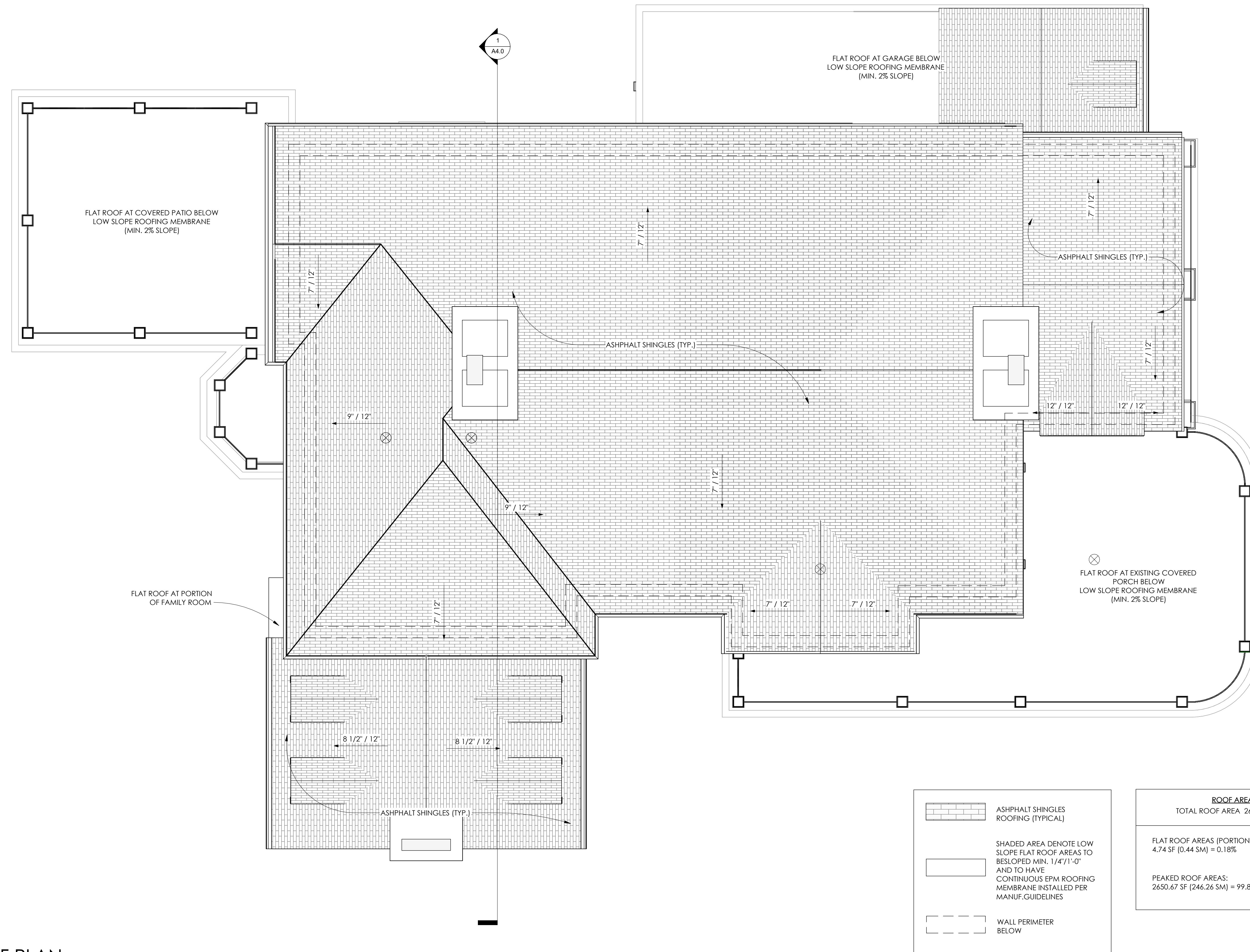
**PROPOSED
ADDITION TO
EXISTING SINGLE
FAMILY
RESIDENCE**

NO.	DESCRIPTION	DATE
1	ISSUED FOR ZAP	05-03-2024
2		

SHEET
TITLE:

**PROPOSED
ROOF PLAN**

DRAWN BY: I.A. SHEET No.
CHECKED BY: J.S.
DATE: 05-10-2024
SCALE: AS SHOWN **A2.3**



PROP. ROOF PLAN
1/4" = 1'-0"

ASHPHALT SHINGLES ROOFING (TYPICAL)

SHADED AREA DENOTE LOW SLOPE FLAT ROOF AREAS TO BESLOPED MIN. 1/4"/1'-0" AND TO HAVE CONTINUOUS EPM ROOFING MEMBRANE INSTALLED PER MANUF.GUIDELINES

WALL PERIMETER BELOW

ROOF AREA CALCULATIONS

TOTAL ROOF AREA 2655.41 SF (246.70 SM) = 100%

FLAT ROOF AREAS (PORTION OF FAMILY ROOM): 4.74 SF (0.44 SM) = 0.18%

PEAKED ROOF AREAS: 2650.67 SF (246.26 SM) = 99.82%

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**PROPOSED
ADDITION TO
EXISTING SINGLE
FAMILY
RESIDENCE**

NO.	DESCRIPTION	DATE
1	ISSUED FOR ZAP	05-03-2024
2		

SHEET
TITLE:

**PROPOSED
FRONT (EAST)
ELEVATION**

DRAWN BY: I.A. SHEET No.
CHECKED BY: J.S.
DATE: 05-10-2024
SCALE: AS SHOWN **A3.0**

NOTES:
1. ALL GRADES SHOWN ARE PRELIMINARY AND ARE SUBJECT TO
CHANGE BASED ON FINAL GRADING PLAN.
2. ALL FOOTINGS TO EXTEND TO UNDISTURBED SOIL (TYPICAL).
3. FINAL EXTERIOR COLOURS TO BE CONFIRMED/COORDINATED
WITH CONTRACTOR, OWNER & DESIGNER.



PROP. FRONT (EAST) ELEVATION
1/4" = 1'-0"

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C - 3.2.5 of the Building Code

JESSE SAHLANI 44549
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SENSUS DESIGN & BUILD INC. 123494
FIRM B.C.I.N.

**PROPOSED
ADDITION TO
EXISTING SINGLE
FAMILY
RESIDENCE**

NO.	DESCRIPTION	DATE
1	ISSUED FOR ZAP	05-03-2024
2		

SHEET
TITLE:

**PROPOSED
REAR (WEST)
ELEVATION**

DRAWN BY: I.A. SHEET No.
CHECKED BY: J.S.
DATE: 05-10-2024
SCALE: AS SHOWN **A3.1**



- NOTES:
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PROP. REAR (WEST) ELEVATION
1/4" = 1'-0"

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SENSUS DESIGN & BUILD INC. 123494
FIRM B.C.I.N.

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ADDITION TO
EXISTING SINGLE
FAMILY
RESIDENCE**

NO.	DESCRIPTION	DATE
1	ISSUED FOR ZAP	05-03-2024
2		

SHEET
TITLE:

**PROPOSED
LEFT (SOUTH)
ELEVATION**

DRAWN BY: I.A. SHEET No.
CHECKED BY: J.S.
DATE: 05-10-2024
SCALE: AS SHOWN

A3.2



NOTES:
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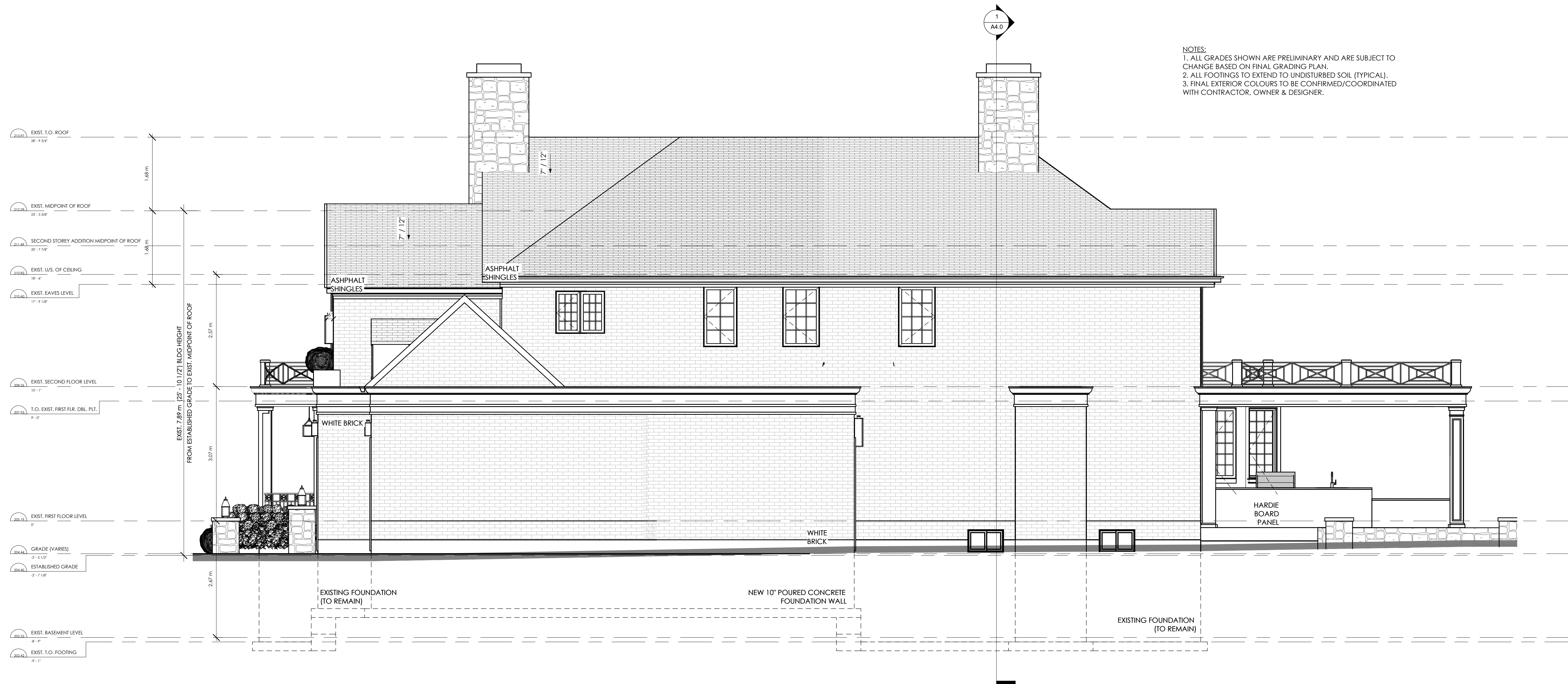
**PROPOSED
ADDITION TO
EXISTING SINGLE
FAMILY
RESIDENCE**

NO.	DESCRIPTION	DATE
1	ISSUED FOR ZAP	05-03-2024
2		

SHEET
TITLE:

**PROPOSED
RIGHT (NORTH)
ELEVATION**

DRAWN BY: I.A. SHEET No.
CHECKED BY: J.S.
DATE: 05-10-2024
SCALE: AS SHOWN **A3.3**



NOTES:
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PROP. RIGHT (NORTH) ELEVATION
1/4" = 1'-0"

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JESSE SAHLANI 44547
NAME B.C.I.N.
SENSUS DESIGN & BUILD INC. 123494
FIRM B.C.I.N.

PROPOSED ADDITION TO EXISTING SINGLE FAMILY RESIDENCE

NO.	DESCRIPTION	DATE
1	ISSUED FOR ZAP	05-03-2024
2		

SHEET
TITLE:

BUILDING SECTION

DRAWN BY: I.A. SHEET No.
CHECKED BY: J.S.
DATE: 05-10-2024
SCALE: AS SHOWN **A4.0**



BUILDING SECTION

1/4" = 1'-0"

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: February 20th 2025

Attention: **Christine Vigneault**

RE: Request for Comments

File No.:

Related Files: **A003-25**

Applicant: Sensus Design & Build Inc.

Location 106 Westridge Drive



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

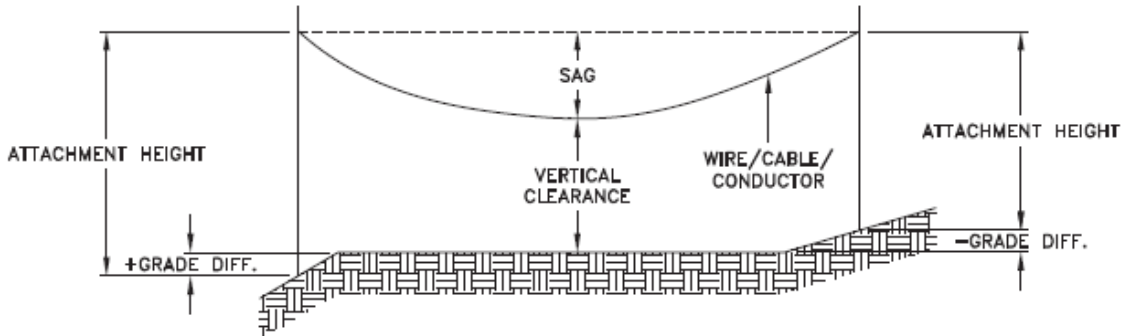
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

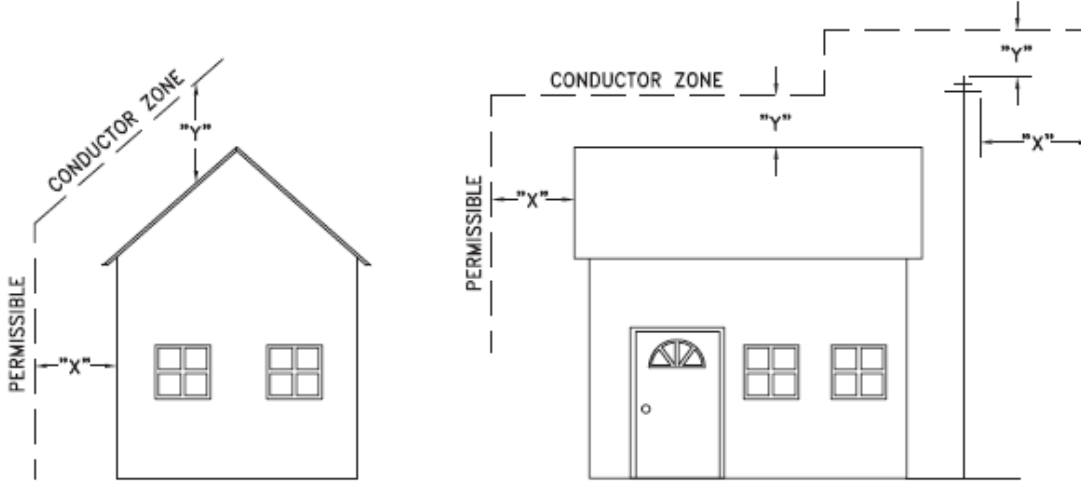
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Christian Tinney, Building Standards Department
Date: March 10, 2025
Applicant: Sensus Design & Build Inc.
Location: 106 Westridge Drive
PLAN 65M2862 Lot 17
File No.(s): A003/25

Zoning Classification:

The subject lands are zoned R1B(EN), First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.336 under By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The minimum Exterior Side Yard required is 7.5 metres. [Exception 336, Figure T-52]	To permit a minimum exterior side yard of 4.5 metres.
2	No part of the accessory building shall be nearer to an exterior side lot line than 7.5 metres. [Exception 336, 1. c.]	To permit a residential accessory building (Pergola) to be located a minimum of 3.31 metre from the exterior side lot line.
3	A residential accessory structure with a height greater than 2.8 metres shall not be located closer than 2.4 m to any lot line. [Section 4.1.2 1. b.]	To permit a residential accessory structure (cabana) with a height greater than 2.8 metres to be located 2.1 metres from the interior side lot line.
4	In the R1B Zone, any portion of a yard in excess of 135.0 square metres shall be comprised of a minimum 60% soft landscape. [Section 4.19.1 1.]	To permit a minimum of 40.36% (417.77 m ²) of the required minimum landscaped rear yard to be composed of soft landscaping.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file.

Building Permit(s) Issued:

Building Permit No. 10-003434 for In-Ground Pool (Sfd/Semi) - New, Issue Date: Jun 25, 2010
Building Permit No. 24-131973 for Single Detached Dwelling - Addition, Issue Date: (Not Yet Issued).

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development and Parks Planning
Date: March 28, 2025
Name of Owner: Michael Prsa, Sarah Prsa
Location: 106 Westridge Drive
File No.(s): A003/25

Proposed Variance(s):

1. To permit a minimum exterior side yard of **4.5 m**.
2. To permit a residential accessory building (Pergola) to be located a minimum of **3.31 m** from the exterior side lot line.
3. To permit a residential accessory building (Cabana) with a height greater than 2.8 m to be located **2.1 m** from the interior side lot line.
4. To permit a minimum of **40.36% (417.77 m²)** of the required minimum landscaped rear yard to be composed of soft landscaping.

By-Law 001-2021 Requirement(s):

1. The minimum Exterior Side Yard required is **7.5 m**.
2. No part of the accessory building shall be nearer to an exterior side lot line than **7.5 m**.
3. A residential accessory structure with a height greater than 2.8 m shall not be located closer than **2.4 m** to any lot line.
4. In the R1B Zone, any portion of a yard in excess of 135.0 m² shall be comprised of a minimum **60%** soft landscape.

Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "Low Rise Residential" and "Natural Areas"

Comments:

The Owner is seeking relief to permit a building addition in the exterior side yard, a pergola in the rear yard, as well as reduced landscaping in the rear yard with the above noted variances.

The Development and Parks Planning Department has no objections to Variance 1 to reduce the minimum exterior side yard setback from 7.5 m to 4.5 m to permit the proposed single-storey building addition. The remaining exterior side yard is sufficient to accommodate access to the rear yard and allows for adequate space for landscaping opportunities. The proposed addition will maintain a similar setback that is consistent with other dwellings along St. Padre Pio Gardens, the street abutting the exterior lot line. The proposed 4.5 m setback is not anticipated to incur any negative impacts on the public realm. The proposed variance is in keeping with the intent of the Zoning By-law and is minor in nature.

The Development and Parks Planning Department has no objections to Variance 2 to reduce the minimum setback of the pergola from the exterior lot line from 7.5 m to 3.31 m. The existing pergola is modest in massing and complies with maximum height and lot coverage provisions. A privacy fence and hedgerow exist between the pergola and the exterior lot line and provide visual screening. The existing pergola is not visible from the public realm and has no anticipated negative impacts.

The Development and Parks Planning Department has no objections to Variance 3 to reduce the minimum setback of the cabana to the north interior lot line from 2.4 m to 2.1 m. The cabana is 2.68 m in height and has a modest mass. The 2.1 m setback is sufficient for access, and maintains the general intent of the setback provision.

The Development and Parks Planning Department has no objections to Variance 4 to reduce the minimum rear yard soft landscaping for portions of the rear yard in excess of 135 m² from 60% to 40.36%. The existing rear yard consists of a variety of soft and hard landscaping features including trees and mature vegetation. Development Engineering

staff have reviewed the proposed reduction and do not have concerns about the stormwater retention functions of the rear yard.

Accordingly, the Development and Parks Planning Department supports the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development and Parks Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None.

Comments Prepared by:

Harry Zhao, Planner 1

Janany Nagulan, Senior Planner

From: [Cameron McDonald](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A003/25 - 106 WESTRIDGE DRIVE - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Thursday, February 20, 2025 3:48:24 PM

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from the TRCA.

Based on the above, we have no comments/requirements.

Regards,

Cameron McDonald

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:(437)880-1925)

E: cameron.mcdonald@trca.ca

A: [5 Shoreham Drive, Toronto, ON, M3N 1S4](#) | trca.ca



From: [Development Services](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A003/25 - 106 WESTRIDGE DRIVE - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Friday, February 21, 2025 8:57:13 AM

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good morning,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Regards.

Gabrielle

Gabrielle Hurst MCIP, RPP | Associate Planner, Development Planning, Economic and Development Services Branch | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None

SCHEDULE D: BACKGROUND

None