

ITEM: 6.10	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER: A208/24
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Report Date: March 14, 2025

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):

Additional comments from departments and agencies received after the publication of the report will be made available on the City’s [website](#).

Internal Departments *Comments Received	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Engineering	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies *Comments Received	Conditions Required		Nature of Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
N/A				

BACKGROUND (SCHEDULE D, IF REQUIRED)	
* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.	
Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
Hearing Date	Reason for Adjournment (to be obtained from NOD_ADJ)
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



## MINOR VARIANCE APPLICATION FILE NUMBER A208/24

<b>CITY WARD #:</b>	1
<b>APPLICANT:</b>	Akiva Ifraimov
<b>AGENT:</b>	MP Design & Associates
<b>PROPERTY:</b>	731 Woodland Acres Crescent, Maple
<b>ZONING DESIGNATION:</b>	See Below
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	VOP 2010: "Low-Rise Residential" and within the "Oak Ridges Moraine Countryside"
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	N/A
<b>PURPOSE OF APPLICATION:</b>	Relief from the zoning by-law is being requested to permit the construction of a proposed dwelling, with balcony and uncovered platform (deck).

The following variances have been requested from the City's Zoning By-law:

**The subject lands are zoned RE(EN) – Estate Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.079 under Zoning By-law 001-2021, as amended.**

#	Zoning By-law 001-2021	Variance requested
1	A maximum building height of 9.5 metres is permitted. [Section 7.2.2, Table 7-3 & 4.5.1]	To permit a maximum height of 10.74 metres.
2	A balcony is permitted to encroach 0.0 metres into a minimum required interior side yard and shall not project greater than 3.0 metres beyond a main wall. [Section 4.13]	To permit a balcony to encroach a maximum of 0.7 metres into the minimum required interior side yard and shall not project greater than 3.81 metres beyond the main wall.
3	An uncovered platform with a floor height greater than 1.2 metres as measured above grade and including access stairs is permitted to encroach 0.0 metres into a minimum required interior side yard. [Section 4.13]	To permit an uncovered platform with a floor height greater than 1.2 metres as measured above grade and including access stairs to encroach a maximum of 1.57 metres into the minimum required interior side yard.

### HEARING INFORMATION

**DATE OF MEETING:** Thursday, March 20, 2025

**TIME:** 6:00 p.m.

**MEETING LOCATION:** Vaughan City Hall, Woodbridge Room (2<sup>nd</sup> Floor), 2141 Major Mackenzie Drive

**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

### PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

If you would like to submit written comments, please quote file number above and submit by mail or email to:

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to [cofa@vaughan.ca](mailto:cofa@vaughan.ca) no later than NOON on the last business day before the meeting.

HEARING INFORMATION
THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS <u>NOON</u> ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION
Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.
Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:
That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.
Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT	
Date Public Notice Mailed:	March 5, 2025
Date Applicant Confirmed Posting of Sign:	February 10, 2025
Applicant Justification for Variances: <small>*As provided in Application Form</small>	Existing lot conditions, as built
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
N/A	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)	
**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING	
**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	TBD

DEVELOPMENT ENGINEERING	
<a href="#">Link to Grading Permit</a> <a href="#">Link to Pool Permit</a> <a href="#">Link to Curb Curt Permit</a> <a href="#">Link Culvert Installation</a>	
Development Engineering Recommended Conditions of Approval:	TBD

PARKS, FORESTRY & HORTICULTURE (PFH)	
No comments received to date	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE	
No comment no concerns	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES	
No comments received to date	
<b>BCLPS Recommended Conditions of Approval:</b>	None

BUILDING INSPECTION (SEPTIC)	
No comments received to date	
<b>Building Inspection Recommended Conditions of Approval:</b>	None

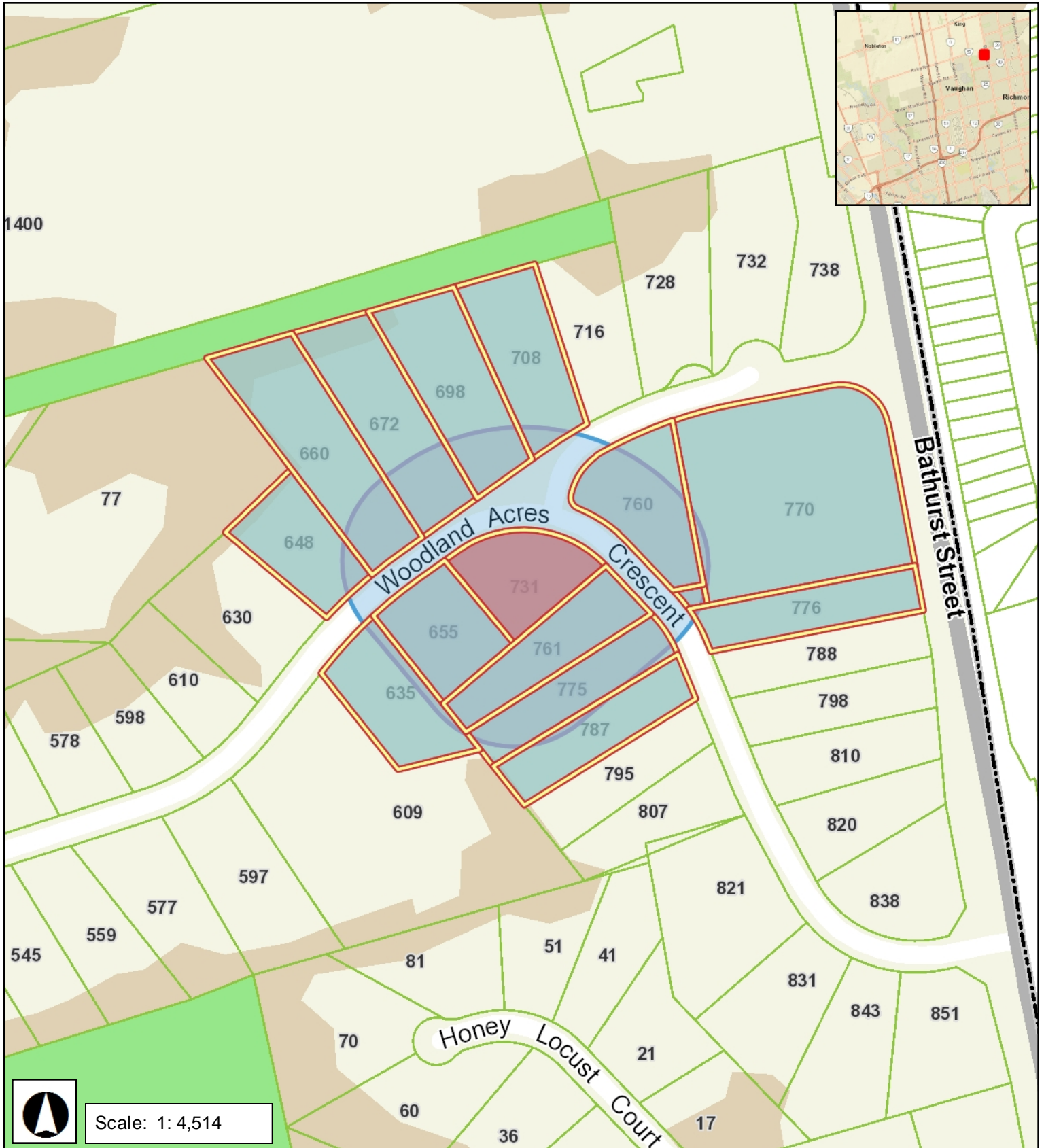
FIRE DEPARTMENT	
No comments received to date	
<b>Fire Department Recommended Conditions of Approval:</b>	None

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY		
Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:		
#	DEPARTMENT / AGENCY	CONDITION
1	Development Planning <a href="mailto:Alyssa.pangilinan@vaughan.ca">Alyssa.pangilinan@vaughan.ca</a>	TBD
2	Development Engineering <a href="mailto:jonal.hall@vaughan.ca">jonal.hall@vaughan.ca</a>	TBD
<i>All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.</i>		

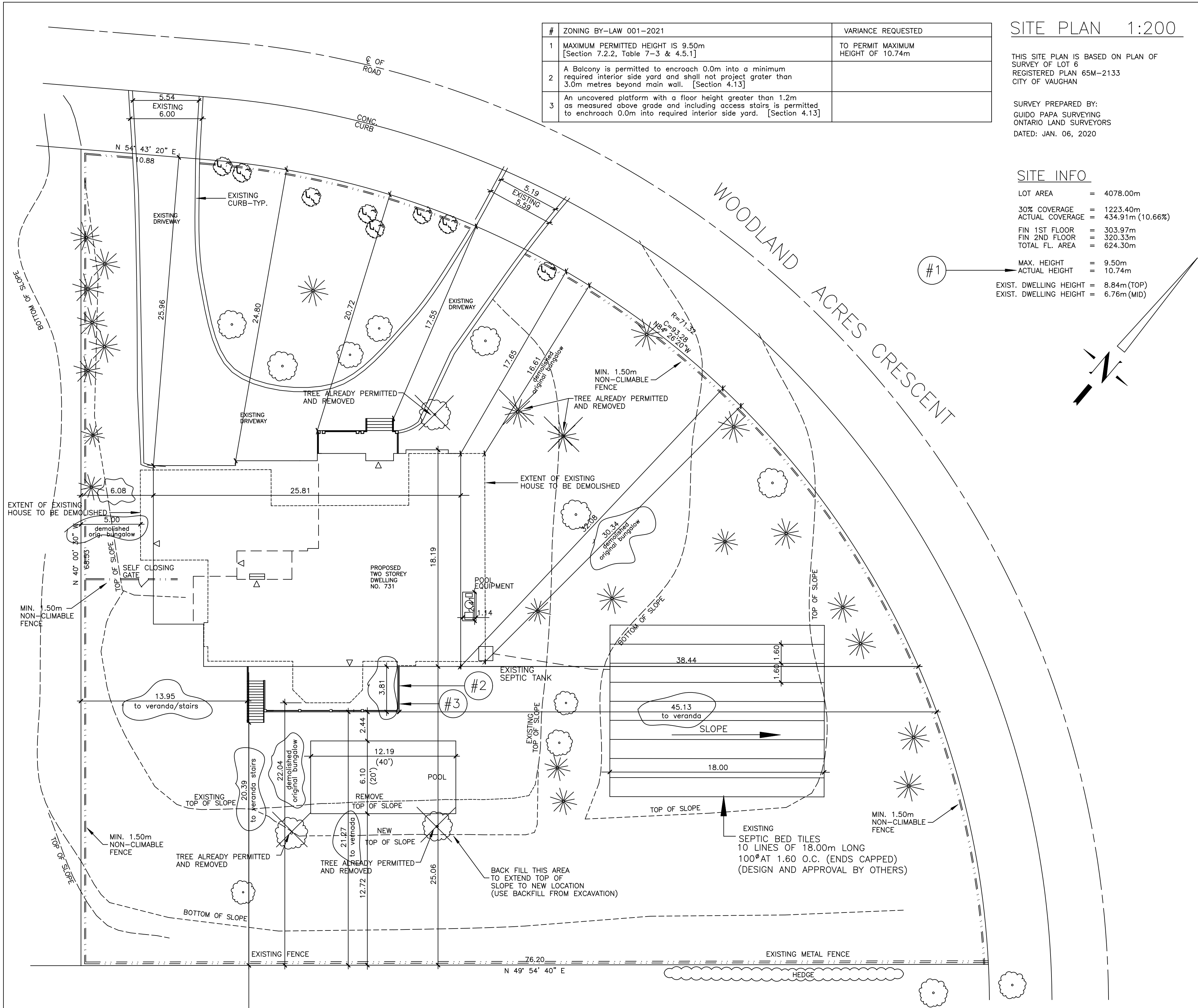
IMPORTANT INFORMATION
<b>CONDITIONS:</b> It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency ( <b>see condition chart above for contact</b> ). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.
<b>APPROVALS:</b> Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.  An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.  A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.  Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.  Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.
<b>DEVELOPMENT CHARGES:</b> That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.  That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.  That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

IMPORTANT INFORMATION	
That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.	
<b>NOTICE OF DECISION:</b> If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will <b>not</b> receive notice.	

**SCHEDULE A: DRAWINGS & PLANS**







#	ZONING BY-LAW 001-2021	VARIANCE REQUESTED
1	MAXIMUM PERMITTED HEIGHT IS 9.50m [Section 7.2.2, Table 7-3 & 4.5.1]	TO PERMIT MAXIMUM HEIGHT OF 10.74m
2	A Balcony is permitted to encroach 0.0m into a minimum required interior side yard and shall not project grater than 3.0m metres beyond main wall. [Section 4.13]	
3	An uncovered platform with a floor height greater than 1.2m as measured above grade and including access stairs is permitted to encroach 0.0m into required interior side yard. [Section 4.13]	

SITE PLAN 1:200

THIS SITE PLAN IS BASED ON PLAN OF SURVEY OF LOT 6 REGISTERED PLAN 65M-2133 CITY OF VAUGHAN

SURVEY PREPARED BY:  
GUIDO PAPA SURVEYING  
ONTARIO LAND SURVEYORS  
DATED: JAN. 06, 2020

SITE INFO

LOT AREA = 4078.00m  
30% COVERAGE = 1223.40m  
ACTUAL COVERAGE = 434.91m (10.66%)  
FIN 1ST FLOOR = 303.97m  
FIN 2ND FLOOR = 320.33m  
TOTAL FL. AREA = 624.30m  
MAX. HEIGHT = 9.50m  
ACTUAL HEIGHT = 10.74m  
EXIST. DWELLING HEIGHT = 8.84m(TOP)  
EXIST. DWELLING HEIGHT = 6.76m(MID)

NO.	REVISIONS	DATE
1	REVISED AS PER ZONING COMMENTS	APRIL 07 2022
2	REVISED AS PER COMM OF ADJUST COMMENTS	DEC. 13 2022
3	ADDED POOL EQUIPMENT AS PER CITY COMMENTS	JAN. 16 2023
4	ADDED COMMITTEE OF ADJUST. BY-LAW NUMBER AND LOCATION	FEB 01 2023
5	REVISED WEST SIDE YARD SETBACK AS BUILT	OCT. 29 2024
6	ADDED INFO AS PER COMM. COMMENTS FOR COMM. APP.	JAN. 10 2025

THE UNDERSIGNED HAS REVIEWED & TAKEN RESPONSIBILITY FOR THE DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION  
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.4.3.1 OF DIV. C OF THE BUILDING CODE

M. PERGER 25117  
NAME SIGNATURE BCIN#

MP DESIGN & ASSOCIATES 31263  
COMPANY BCIN#

PRIOR TO PERMIT APPLICATION OWNER/APPLICANT SHOULD HAVE PPR (PRELIMINARY PROJECT REVIEW) AND BE RESPONSIBLE FOR SAME.

CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND JOB CONDITIONS ON THE SITE, REPORTING ANY DISCREPANCY TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.

ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE DESIGNER AND MAY NOT BE USED OR REPRODUCED WITHOUT HIS WRITTEN PERMISSION.

ONLY FINAL APPROVED DRAWINGS ARE TO BE USED FOR CONSTRUCTION.  
DO NOT SCALE DRAWINGS.

MP DESIGN & ASSOCIATES

768 MARY STREET N. TEL (416) 675-2997  
OSHAWA, ONT. L1G 5G3 CELL (416) 805-6007  
MIKE.DESIGNASSOCIATES@GMAIL.COM

PROJECT  
PROPOSED  
TWO STOREY DWELLING  
FOR: MR. AKIVA IFRAIMOV  
AT: 731 WOODLAND ACRES  
CITY OF VAUGHAN

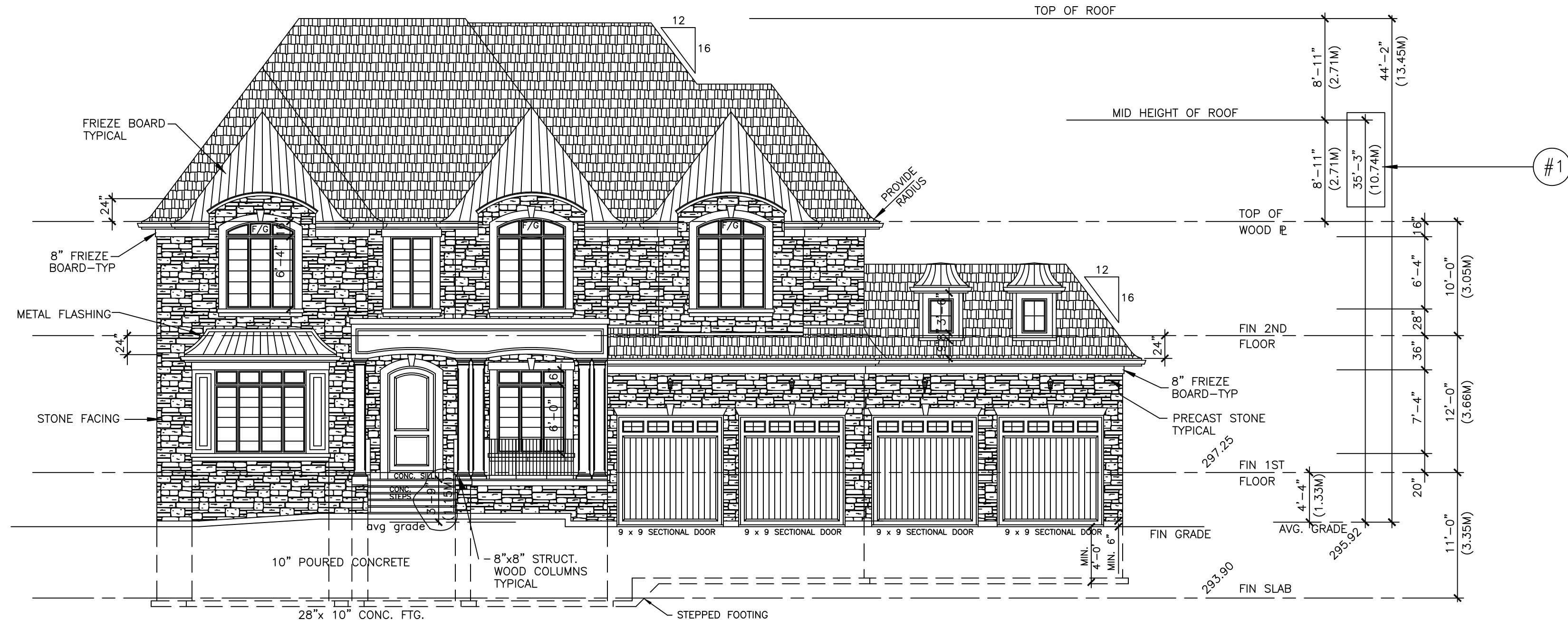
DRAWING  
SITE PLAN

DRAWN MDP DATE JUNE 2020

CHECKED SCALE 1:200

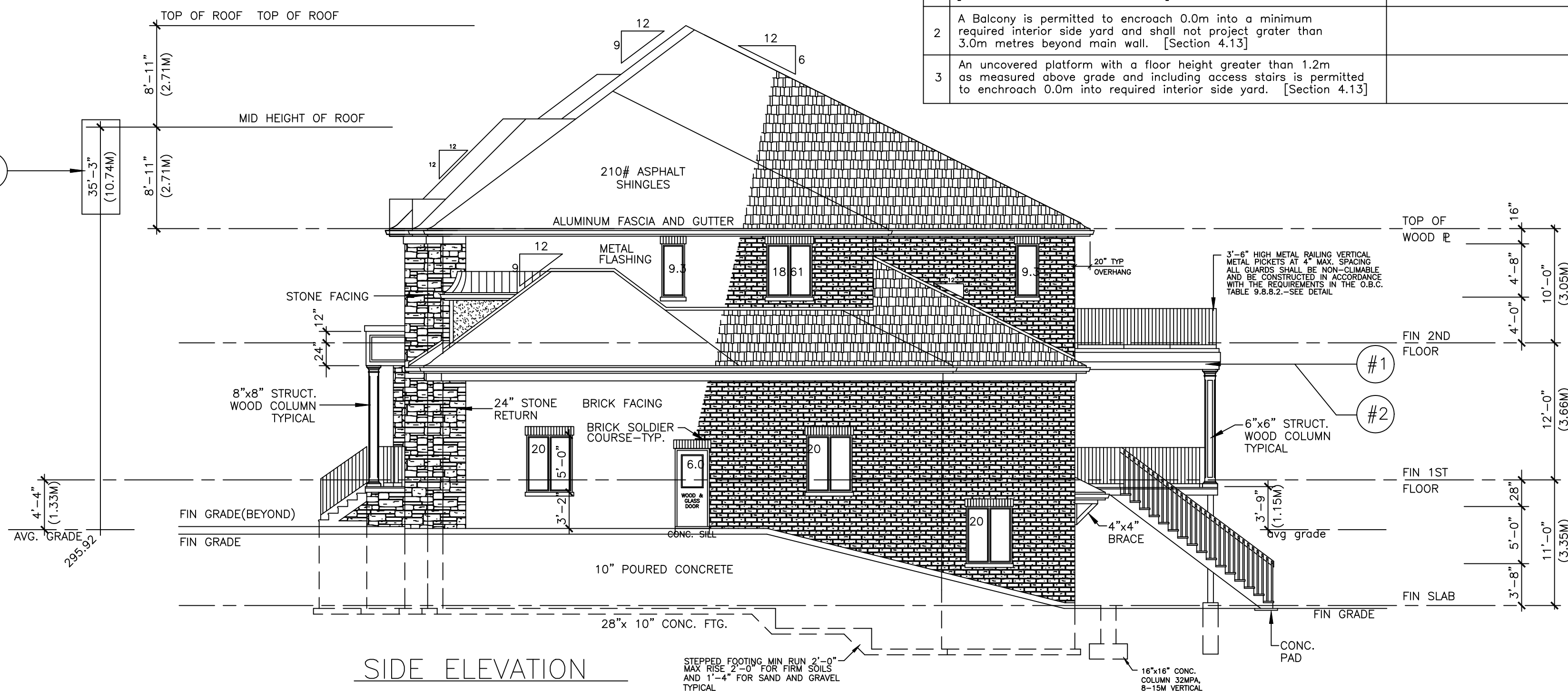
PROJECT NO 20-01  
DRAWING NO SP-1





FRONT ELEVATION

#	ZONING BY-LAW 001-2021	VARIANCE REQUESTED
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SIDE ELEVATION

WALL AREA = 1528.00 SQ. FT. X 7% = 106.96 SQ. FT.  
WALL OPENINGS = 103.20 SQ. FT.

NO.	REVISIONS	DATE
1	REVISED AS PER ZONING COMMENTS	APRIL 07 2022
2	REVISED AS PER COMM OF ADJUST COMMENTS	DEC. 13 2022
3	ADDED COMMITTEE OF ADJUST. BY-LAW NUMBER AND LOCATION	FEB 01 2023

THE UNDERSIGNED HAS REVIEWED & TAKEN RESPONSIBILITY FOR THE DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.3(5) OF DIV. C. OF THE BUILDING CODE

QUALIFICATION INFORMATION

M. PERGER 25117  
NAME SIGNATURE BCIN#

MP DESIGN & ASSOCIATES 31263  
COMPANY BCIN#

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**MP DESIGN & ASSOCIATES**

768 MARY ST. N. TEL (416) 675-2997  
OSHAWA, ONT. L1G 51G TEL (416) 805-6007  
WWW.MPDDESIGNASSOCIATES.COM

PROJECT

PROPOSED  
TWO STOREY DWELLING

FOR: MR. AKIVA IFRAMOV  
AT: 731 WOODLAND ACRES  
CITY OF VAUGHAN

DRAWING

FRONT ELEVATION, AND  
RIGHT SIDE ELEVATION

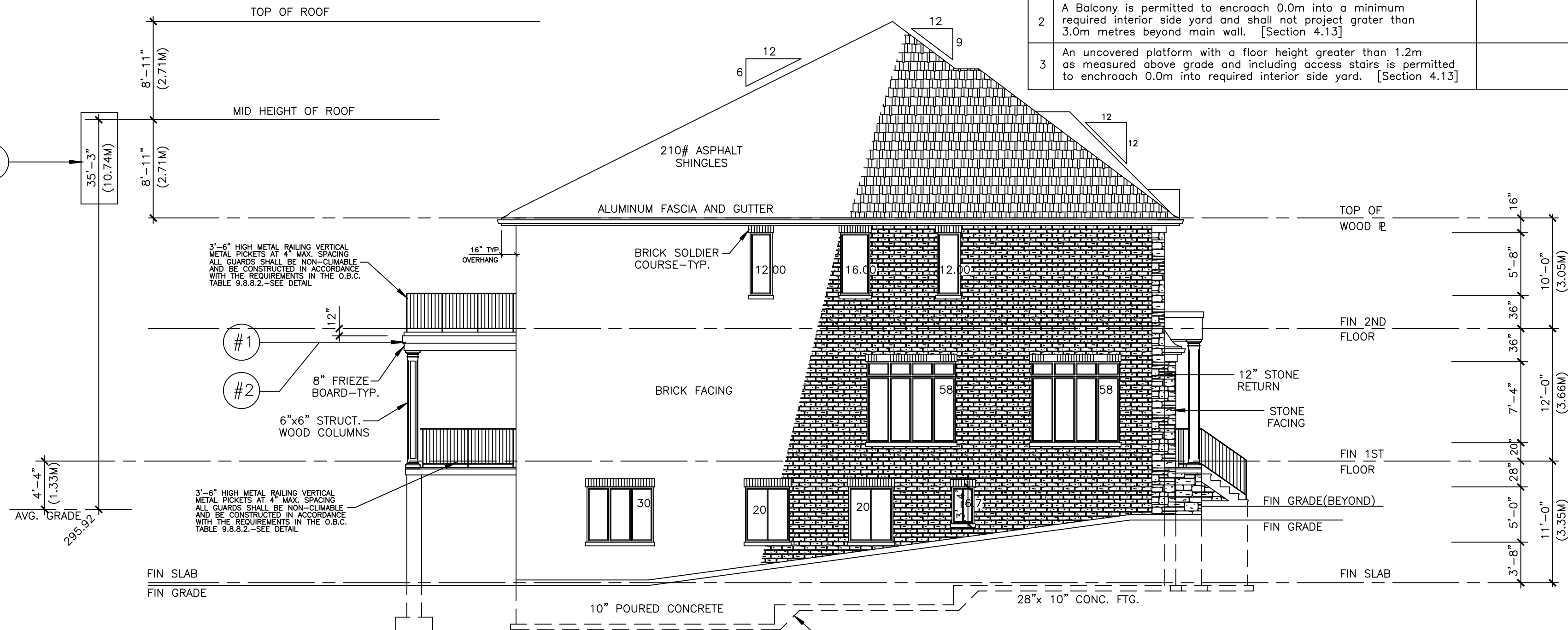
DRAWN MDP DATE MAY 2020

CHECKED SCALE 1/8"=1'-0"

PROJECT NO 20-01  
DRAWING NO A-4



REAR ELEVATION



SIDE ELEVATION

.(STREET FACING)

#	ZONING BY-LAW 001-2021	VARIANCE REQUESTED
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NO.	REVISIONS	DATE
1	REVISED AS PER ZONING COMMENTS	APRIL 07 2022
2	REVISED AS PER COMM OF ADJUST COMMENTS	DEC. 13 2022

THE UNDERSIGNED HAS REVIEWED & TAKEN RESPONSIBILITY FOR THE DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.3(S) OF DIV. 6 OF THE BUILDING CODE

QUALIFICATION INFORMATION

M. PERGER  
NAME  
SIGNATURE  
25117  
BCIN#

MP DESIGN & ASSOCIATES  
COMPANY  
31263  
BCIN#

PRIOR TO PERMIT APPLICATION OWNER/APPLICANT SHOULD HAVE PPR (PRELIMINARY PROJECT REVIEW) AND BE RESPONSIBLE FOR SAME.

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MP

DESIGN  
& ASSOCIATES

768 MARY ST. N. TEL (416) 675-2397  
OSHAWA, ONT. L1G 51G TEL (416) 805-6007  
MIXE.DESIGN@ASSOCIATES@GMAIL.COM

PROJECT

PROPOSED  
TWO STOREY DWELLING

FOR: MR. AKIVA IFRIMOV  
AT: 731 WOODLAND ACRES  
CITY OF VAUGHAN

DRAWING

REAR ELEVATION, AND  
LEFT SIDE ELEVATION

DRAWN MDP  
DATE MAY 2020

CHECKED  
SCALE 1/8"=1'-0"

PROJECT NO  
20-01

DRAWING NO  
A-5

SCHEDULE B:  
COMMENTS FROM AGENCIES, BUILDING STANDARDS &  
DEVELOPMENT PLANNING

Department / Agency *Comments Received	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review

External Agencies *Comments Received	Conditions Required		Nature of Comments *See Schedule B for full comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

**To:** Committee of Adjustment

**From:** Sarah Scauzillo, Building Standards Department

**Date:** February 5, 2025

**Applicant:** MP Design & Associates

**Location:** 731 Woodland Acres Crescent  
PLAN 65M2133 Lot 6

**File No.(s):** A208/24

**Zoning Classification:**

The subject lands are zoned RE(EN) – Estate Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.079 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A maximum building height of 9.5 metres is permitted. [Section 7.2.2, Table 7-3 & 4.5.1]	To permit a maximum height of 10.74 metres.
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**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

Order No. 24-136617, Order to Comply for construction is not in accordance with the issued permit drawings not limited to:

- The southeast side setback is approximately 2.02 meters closer to the property line than permitted on the issued permit drawings.
- The southeast side setback as indicated on the as-built survey is approximately 6.08 meters from the property line in lieu of the 8.10 meters noted on the issued permit plans., Issue Date: Oct 30, 2024

**Building Permit(s) Issued:**

Building Permit No. 21-136476 for Single Detached Dwelling - New, Issue Date: Oct 23, 2023  
Building Permit No. 21-136476 for Single Detached Dwelling - Alteration, Issue Date: (Not Yet Issued)

**Other Comments:**

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

**From:** [Cameron McDonald](#)  
**To:** [Committee of Adjustment Mailbox](#)  
**Subject:** [External] RE: A208/24 - REQUEST FOR COMMENTS, CITY OF VAUGHAN  
**Date:** Friday, February 7, 2025 10:59:39 AM  
**Attachments:** [image002.png](#)

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**CAUTION!** This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from the TRCA.

Based on the above, we have no comments/requirements.

Regards,

**Cameron McDonald**

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:(437)880-1925)

E: [cameron.mcdonald@trca.ca](mailto:cameron.mcdonald@trca.ca)

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](#) | [trca.ca](http://trca.ca)



**From:** [Hurst, Gabrielle](#)  
**To:** [Committee of Adjustment Mailbox](#)  
**Subject:** [External] RE: A208/24 - REQUEST FOR COMMENTS, CITY OF VAUGHAN  
**Date:** Thursday, February 6, 2025 2:44:00 PM

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**CAUTION!** This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good afternoon,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Regards,

*Gabrielle*

**Gabrielle Hurst MCIP, RPP** | Associate Planner, Development Planning, Economic and Development Services Branch | The Regional Municipality of York | 1-877 464 9675 ext 71538 | [gabrielle.hurst@york.ca](mailto:gabrielle.hurst@york.ca) | [www.york.ca](http://www.york.ca)



SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
N/A				

SCHEDULE D: BACKGROUND

Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A