

ITEM: 6.8	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER: A147/24
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Report Date: March 14, 2025

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Engineering	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Metrolinx	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
Applicant	Patrick D'Uva		03/03/2025	Justification Letter (Parking and Future Development)

BACKGROUND (SCHEDULE D, IF REQUIRED)	
<small>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</small>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

ADJOURNMENT HISTORY	
<small>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</small>	
Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A147/24

CITY WARD #:	3
APPLICANT:	Aluminuk Window Designs Ltd
AGENT:	Tcarchitecture
PROPERTY:	440 Hanlan Road, Woodbridge
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "General Employment"
RELATED DEVELOPMENT APPLICATIONS:	N/A
PURPOSE OF APPLICATION:	Relief from the zoning by-law is being requested to permit a minimum of seventy (70) parking spaces for a manufacturing and processing facility and accessory office use.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned EM2 – General Employment Zone under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The minimum number of parking spaces required for a Manufacturing and processing facility and accessory office use is 109 parking spaces. [Table 6-2]	To permit a minimum of 70 parking spaces for a Manufacturing and processing facility and accessory office use.

HEARING INFORMATION

DATE OF MEETING: Thursday, March 20, 2025
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

INTRODUCTION

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	March 5, 2025
Date Applicant Confirmed Posting of Sign:	February 25, 2025
Applicant Justification for Variances: <small>*As provided in Application Form</small>	Limited amount of space
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
<p>On February 17, 2025, Development Engineering provided:</p> <p>I am following up on a request I made for a parking study/justification for your Minor Variance. A parking study/justification would be required as a significant deficiency in parking is observed. The study should include the survey of existing facilities or two similar types of facilities to be surveyed to justify the proposed parking (at least two busiest days to be surveyed and data should be included in the report).</p> <p>On February 28, 2025, Development Planning provided:</p> <p>While Engineering is reviewing your below request, I'd like to remind you of additional information requested by Planning last week. Please see attached for my previous email.</p> <p>Planning will not be supportive of this application going forward to Committee until such time the information requested in the attached email is provided to and reviewed by staff.</p> <p>On March 3, 2025, Committee of Adjustment provided the applicant with an opportunity to adjourn the application to address Engineering and Planning comments and advised of potential of adjournment fees.</p> <p>On March 11, 2025, the applicant provided the requested Parking Study.</p> <p>If the application is adjourned from the March 20 hearing, a rescheduling fee (Adjournment Fee) is required.</p>	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)

<small>**See Schedule B for Building Standards (Zoning) Comments</small>	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING

<small>**See Schedule B for Development Planning Comments.</small>	
Development Planning Recommended Conditions of Approval:	TBD

DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

Development Engineering Recommended Conditions of Approval:	TBD
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PARKS, FORESTRY & HORTICULTURE (PFH)

No Comments received to date	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE

No comment no concerns	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No Comments received to date	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC)

No Comments received to date	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT

No Comments received to date	
Fire Department Recommended Conditions of Approval:	None

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Planning Harry.zhao@vaughan.ca	TBD
2	Development Engineering jonal.hall@vaughan.ca	TBD

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

IMPORTANT INFORMATION

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

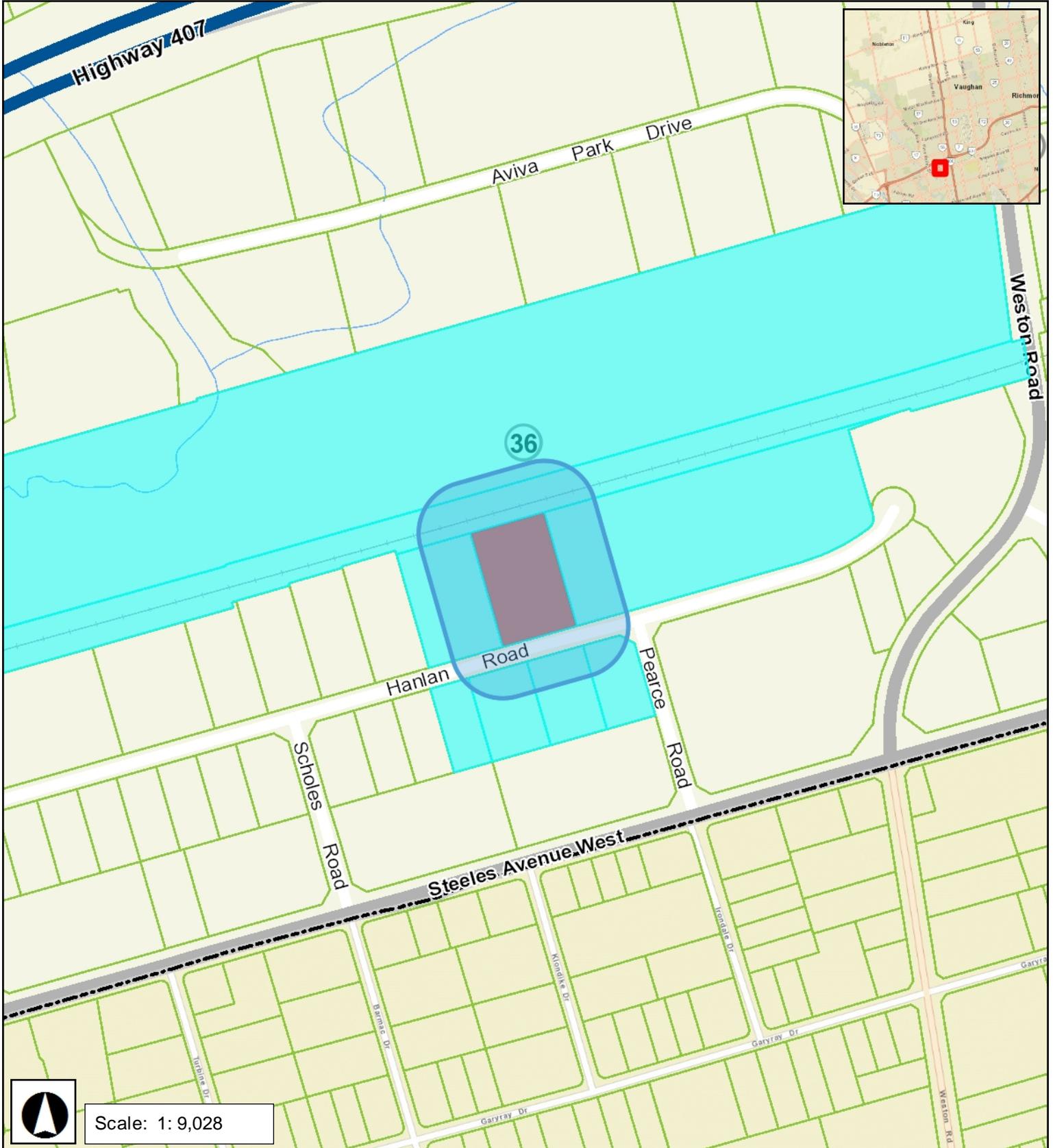
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

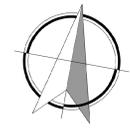
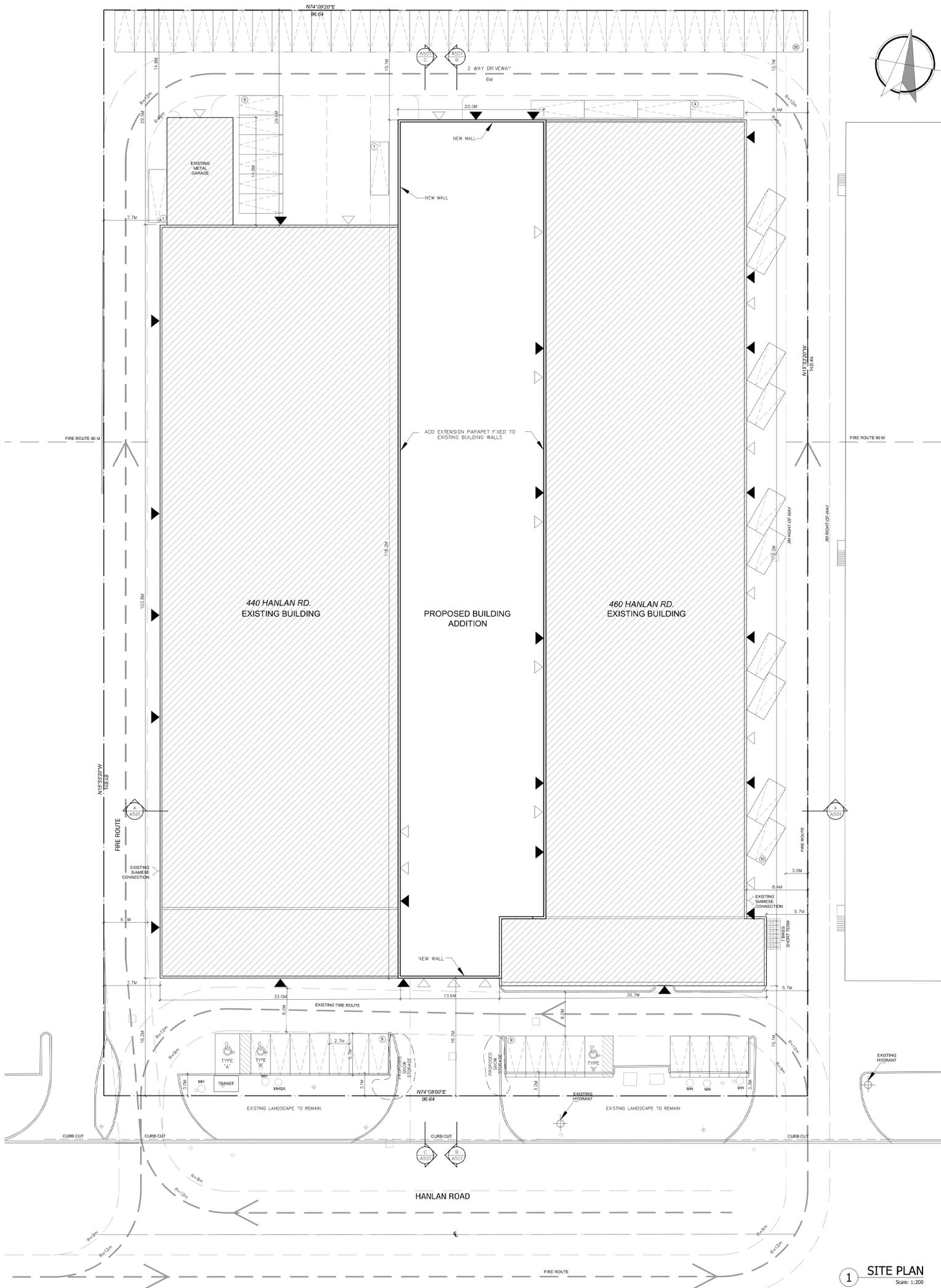
That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



Scale: 1: 9,028



PARKING STANDARDS

EXISTING ZONING BY-LAW 001-2021

PARKING SPACE TYPICAL DIMENSIONS : 2.7M x 5.7M
 DRIVING ISLE (2 DIRECTIONS): 6M

REQUIREMENTS ROUNDED UP TO NEXT WHOLE NUMBER

- OWNERS AND STAFF ACTUAL OCCUPANT LOAD: 50 PEOPLE

ZONING BY-LAW 001-2021

PARKING REQUIRED

INDUSTRIAL / MANUFACTURING	GFA 7841 m ² 1/100m ²	78 PERSONS
OFFICES	GFA 995 m ² 3/100m ²	30 PERSONS
VISITORS		0 PERSONS
REQUIRED ON SITE PARKING EXT.		108 SPACES
VARIANCE - 2013		7 SPACES
NEW VARIANCE REQUIRED - 2024		27 SPACES

ACTUAL OWNERS & STAFF OCCUPANCY (2024)

INDUSTRIAL / MAN.	21 PERSONS
OFFICES	29 PERSONS
VISITORS	8 PERSONS
REQUIRED	58 SPACES

* 1 SPACE / PERSON IS USED

PARKING PROVIDED - SEE SITE PLAN

SOUTH (FRONT YARD)	17
NORTH (REAR YARD)	47
EAST	10
WEST	0

TOTAL 74 SPACES

ACCESSIBILITY PARKING STANDARD

O. REG 413/12 BARRIER FREE PARKING RATE

4% OF 74 SPACES (Between 13-100 parking spaces)

REQUIRED: 3 SPACES
 ALL NEAR FRONT ENTRANCES

PROVIDED: 3 SPACES
 1 TYPE A (3.4m x 5.7m) +1.5 m AISLE
 2 TYPE B (2.4m x 5.7m) +1.5 m AISLE

BICYCLE PARKING

NOT REQUIRED

GFA ADDITION < 2,000 m²
 1,780m² < 2,000 m²

PROPOSED

7 SHORT TERM - SURFACE

DATE	No.	REVISION
2024/07/25	3	REISSUED FOR PERMIT
2024/05/10	2	REISSUED FOR PERMIT
2022/09/06	1	BUILDING PERMIT

DATE	No.	ISSUE
CONTRACTOR TO VERIFY ALL DIMENSIONS ON THE SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. ALL DIMENSIONS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED AT THE COMPLETION OF WORK.		
THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS COUNTERSIGNED.		

ARCHITECT:
TREGEBOV COGAN ARCHITECTURE
 40 ST. CLAIR AVE. EAST, SUITE 303
 TORONTO, ON M4T 1A9
 PHONE: 647-252-3350

CONSULTANTS:
 PROFESSIONAL ENGINEER
 CIG Group
 2022 Keele Street, Toronto, ON
 M3J 1K5
 T: 416-470-4822

FIRE PROTECTION ENGINEER:
 J.G. Mechanical Contracting Inc.
 8888 Keele Street, Unit #2, Concord, ON
 L4C 2K2
 T: 905-609-5740

OWNER:
ALUMINIUM WINDOW DESIGNS
 Vaughan, ON

PROJECT NAME:
AWD
 440-460 Hanlan Rd., Vaughan, ON

DRAWING TITLE:
SITE PLAN & PARKING STATISTICS FOR MINOR VARIANCE

PRINT DATE: **JULY 25, 2024**

ONTARIO ASSOCIATION OF ARCHITECTS
 REG. NO. 3305
 License

PROJ. No.: **1105** REVISION No.:
 SCALE: **1:200** DWG. No.:
 DRAWN: **PS**
 DATE: **A-201**

2 PARKING STATS
 Scale: 1:200

1 SITE PLAN
 Scale: 1:200

PLAN OF SURVEY SHOWING TOPOGRAPHIC DETAIL OF PART OF LOT 19, REGISTERED PLAN M-2009, CITY OF VAUGHAN REGIONAL MUNICIPALITY OF YORK

SCALE 1:300

C. WAHBA SURVEYING LTD.

DISTANCES AS SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

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ASSOCIATION OF ONTARIO LAND SURVEYORS
PLAN SUBMISSION FORM
2146873

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR
In accordance with Regulation 1026, Section 29(3)

ELEVATION NOTE

ELEVATIONS ARE GEODETIC AND ARE DERIVED BY GPS OBSERVATIONS.

BEARING NOTE

BEARINGS AS SHOWN ARE ASTROMONIC AND ARE REFERRED TO THE NORTH LIMIT OF HANLAN ROAD, AS SHOWN ON REGISTERED PLAN M-2009 HAVING A BEARING OF N74°08'00"E.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 23rd DAY OF SEPTEMBER, 2021

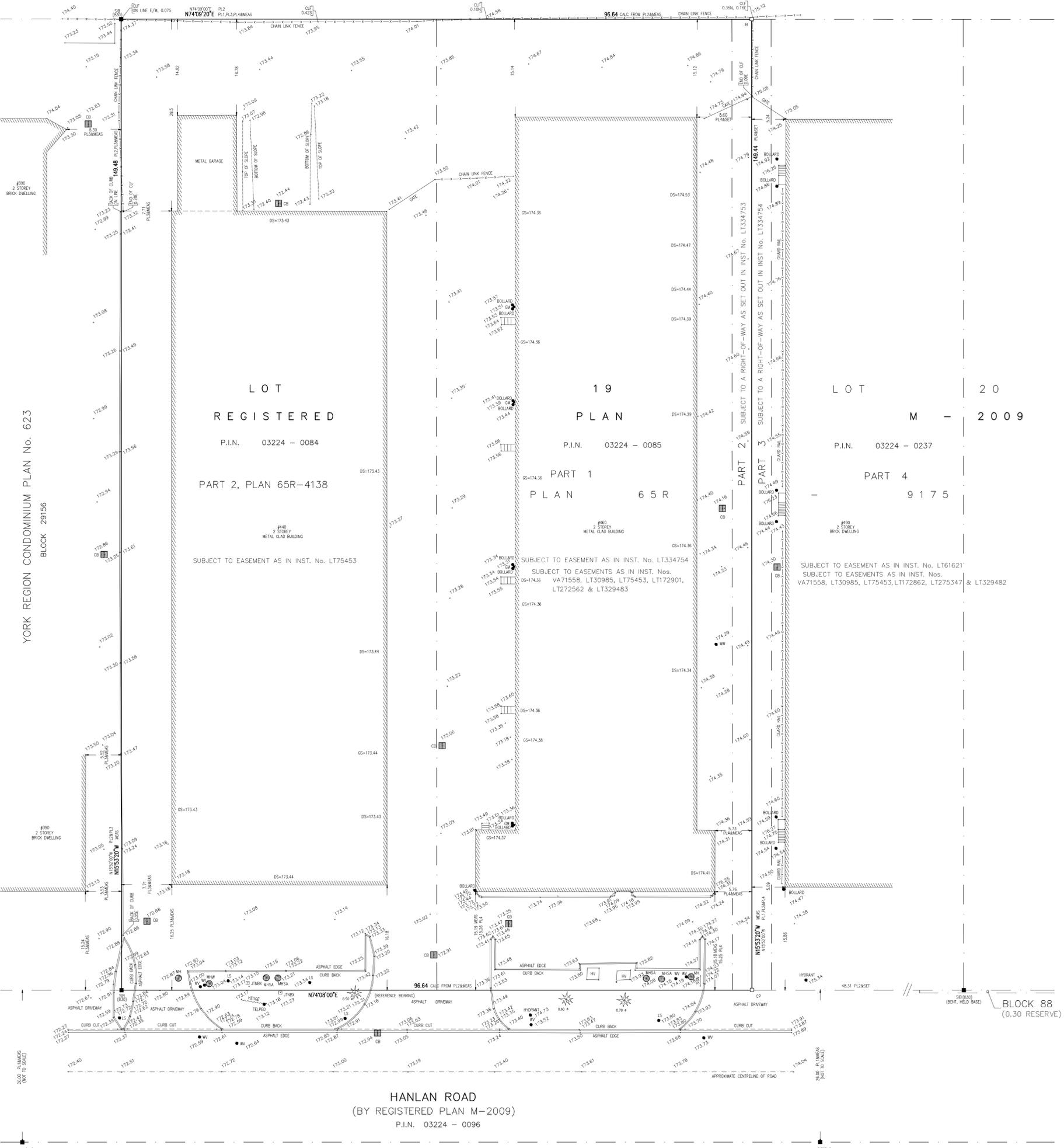
SEPTEMBER 27, 2021
DATE

C. WAHBA
ONTARIO LAND SURVEYOR

LEGEND

- DENOTES MONUMENT SET
- DENOTES MONUMENT FOUND
- ▣ DENOTES IRON BAR
- SB DENOTES STANDARD IRON BAR
- CP DENOTES CONCRETE PIN WITH WASHER
- PL1 DENOTES PROPERTY IDENTIFIER NUMBER
- PL2 DENOTES NORTH, SOUTH, WEST, EAST
- N/S/E MEAS DENOTES MEASURED
- CALC DENOTES CALCULATED
- OU DENOTES ORIGIN UNKNOWN
- 830 DENOTES E.W. FEITZOLD, O.L.S.
- PL1 DENOTES REGISTERED PLAN M-2009
- PL2 DENOTES PLAN 65R-4138
- PL3 DENOTES YORK REGION CONDOMINIUM PLAN No. 623
- PL4 DENOTES PLAN 65R-9175
- JNBX DENOTES JUNCTION BOX
- MHW DENOTES WATER MANHOLE
- MH DENOTES MANHOLE
- GM DENOTES GAS METER
- CLF DENOTES CHAINLINK FENCE
- MW DENOTES MONITORING WELL
- X- DENOTES FENCE LINE
- CB DENOTES CATCHBASIN
- MHSA DENOTES SANITARY MANHOLE
- HV DENOTES HYDRO VAULT
- WF DENOTES WATER VALVE
- GF DENOTES GARAGE FLOOR ELEVATION
- DS DENOTES DOOR SILL ELEVATION
- Ø DENOTES DIAMETER
- DENOTES DECIDUOUS TREE
- DENOTES CONIFEROUS TREE

LOT 2, CONCESSION RAILWAY
CANADIAN NATIONAL RAILWAY
P.I.N. 03224 - 0226



HANLAN ROAD M
(BY REGISTERED PLAN M-2009)
P.I.N. 03224 - 0096

DRAWN: EM	CHECKED: CW
CAD FILE: 21-100-POS	PROJECT No. 21-100
285 Vaughan Valley Blvd, Woodbridge ON L4H3B5 Tel. 905.851.1300 www.wahbasurveying.com	
WAHBA SURVEYING	

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Metrolinx	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

To: Committee of Adjustment
From: Christian Tinney, Building Standards Department
Date: February 14, 2025
Applicant: Tregobov Cogan Architecture
Location: 440 Hanlan Road
 PLAN M2009 Lot 19
File No.(s): A147/24

Zoning Classification:

The subject lands are zoned EM2 – General Employment Zone under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The minimum number of parking spaces required for a Manufacturing and processing facility and accessory office use is 109 parking spaces. [Table 6-2]	To permit a minimum of 70 parking spaces for a Manufacturing and processing facility and accessory office use.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

Building Permit No. 12-002946 for Single Use (Industrial) - Addition, Issue Date: May 02, 2013
 Building Permit No. 22-113211 for Single Use (Industrial) - Addition, Issue Date: (Not Yet Issued)

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

From: [Development Services](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A147/24 - 440 HANLAN ROAD - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Thursday, October 24, 2024 4:58:35 PM
Attachments: [image001.png](#)
[image003.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

The Regional Municipality of York has completed its review of the minor variance application – A147/24 (440 HANLAN ROAD) and has no comment.

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Planning | Economic and Development Services Branch | Corporate Services Department

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Please consider the environment before printing this email.

From: [Cameron McDonald](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A147/24 - 440 HANLAN ROAD - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Friday, October 11, 2024 2:17:41 PM
Attachments: [image002.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good afternoon,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from the TRCA.

Based on the above, we have no comments/requirements.

Regards,

Cameron McDonald

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:(437)880-1925)

E: cameron.mcdonald@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



From: [development.coordinator](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A147/24 - 440 HANLAN ROAD - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Friday, October 11, 2024 8:54:13 AM
Attachments: [image001.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good morning,

Please be advised that the subject lands (440 Hanlan Rd) fall outside of the designated Metrolinx review zones. Metrolinx therefore has no comments and / or concerns on this Minor Variance application. For future reference, please consult the webpage and mapping portal provided below, in order to determine when Metrolinx should be circulated.

-

Development Projects near Metrolinx Rail Corridors (GO/LRT):

<https://www.metrolinx.com/en/about-us/doing-business-with-metrolinx/development-opportunities/adjacent-development-review>

-

Metrolinx Zone of Influence Mapping Portal:

https://maps.metrolinx.com/Third_Party_Coordination_Permitting/

Metrolinx may also be removed from future circulations of this site.

Thank you,

Farah Faroque (she/her)
Project Analyst, Third Party Projects Review
Real Estate & Development
Metrolinx
10 Bay Street | Toronto | Ontario | M5J 2N8
T: 437.900.2291

 **METROLINX**

Date: October 9th 2024

Attention: **Christine Vigneault**

RE:

File No.: **A147-24**

Related Files:

Applicant Tregebov Cogan Architecture

Location 440 Hanlan Road



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

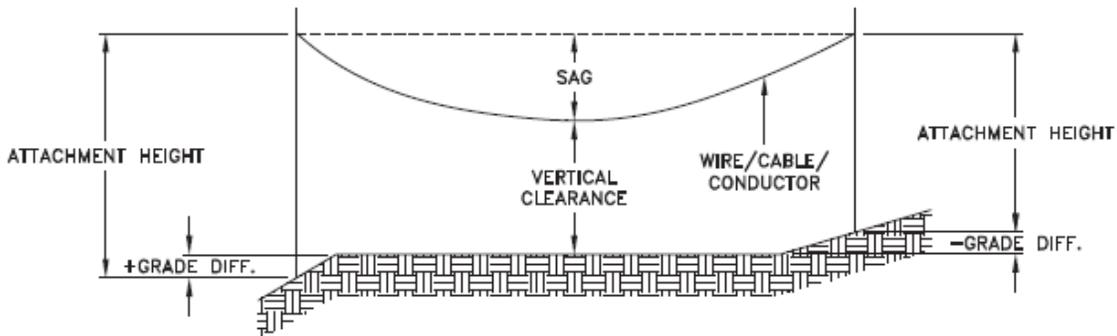
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

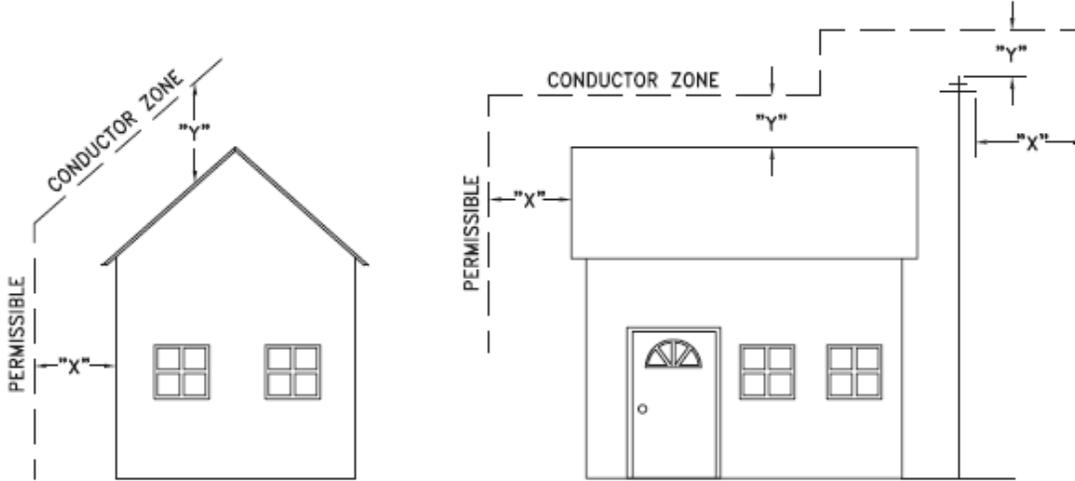
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant	Patrick D'Uva		03/03/2025	Justification Letter (Parking and Future Development)



Aluminum Window Designs Ltd.

windows for life™

440 Hanlan Road, Woodbridge, ON L4L 3P6
t: 905-850-7541 • f: 905-850-6090

To Whom It May Concern,

I am writing to inform you that at our 440- 460 Hanlan Road location, we maintain a consistent workforce of 50 employees on a daily basis, a figure that has remained stable over the past year. Our operational capacity at this site rarely exceeds this count, with the exception of occasional office meetings. However, due to spatial constraints within our office area, such gatherings typically involve no more than 8 individuals. To adapt to evolving circumstances, the majority of our meetings have transitioned to online conference calls. The current exterior parking lot provides 64 spaces which adequately meets our needs even with the event of a meeting of 8 people.

Thank you for your attention to this matter.

Sincerely,

Patrick D'Uva



Aluminum Window Designs Ltd.

windows for life™

440 Hanlan Road, Woodbridge, ON L4L 3P6
t: 905-850-7541 • f: 905-850-6090

October 28, 2024

To Whom It May Concern:

The historical timeline for the connection of the two buildings is as follows:

- Footings were created and concrete was poured for the footings in March 2022.
- Steel frames of the building began to be erected on April 22, 2022.
- Brickwork began on the north end of the addition while the steel framing was completed on May 13, 2022.
- Roofing connecting the two buildings was completed on June 2, 2022.
- Concrete was poured for the floor of the building on June 30, 2022.
- The garage to close out the building was completed on September 30, 2022.

Patrick D'Uva

A handwritten signature in black ink, appearing to read 'Patrick D'Uva', is written over a horizontal line.

SCHEDULE D: BACKGROUND

Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A