

ITEM: 6.3	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A012/25
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Report Date: March 14, 2025

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):

Additional comments from departments and agencies received after the publication of the report will be made available on the City’s [website](#).

Internal Departments *Comments Received	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Forestry	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies *Comments Received	Conditions Required		Nature of Comments *See Schedule B for full comments
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
N/A				

BACKGROUND (SCHEDULE D, IF REQUIRED)	
* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.	
Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
Hearing Date	Reason for Adjournment (to be obtained from NOD_ADJ)
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background

	MINOR VARIANCE APPLICATION FILE NUMBER A012/25
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CITY WARD #:	1
APPLICANT:	Patrizia Tucci & John Pasquariello
AGENT:	Michael Persechini (Blue Grove Engineering Group)
PROPERTY:	50 Sierra Court, Maple ON
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	N/A
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a residential accessory structure (pool house) in the rear yard.

The following variances have been requested from the City’s Zoning By-law:

The subject lands are zoned R2A (EN), Second Density Residential, Established Neighbourhoods Zone and subject to the provisions of Exception 14.523 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. [4.1.2]	To permit a residential accessory structure with a height greater than 2.8 m to be located no closer than 2.17 m to a lot line (south).
2	The maximum height of a residential accessory structure shall be 3.0 m. [4.1.4]	To permit a maximum height of 3.1 m. for a residential accessory structure.

HEARING INFORMATION
<p>DATE OF MEETING: Thursday, March 20, 2025</p> <p>TIME: 6:00 p.m.</p> <p>MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive</p> <p>LIVE STREAM LINK: Vaughan.ca/LiveCouncil</p>
<p>PUBLIC PARTICIPATION</p> <p>If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the Request to Speak Form and submit to cofa@vaughan.ca</p> <p>If you would like to submit written comments, please quote file number above and submit by mail or email to:</p> <p>Email: cofa@vaughan.ca</p> <p>Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1</p> <p>To speak electronically, pre-registration is required by completing the Request to Speak Form on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.</p> <p>THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.</p>

INTRODUCTION
<p>Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.</p>

INTRODUCTION	
Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following: That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature. Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.	

COMMITTEE OF ADJUSTMENT	
Date Public Notice Mailed:	March 6, 2025
Date Applicant Confirmed Posting of Sign:	March 2, 2025
Applicant Justification for Variances: <small>*As provided in Application Form</small>	Already built - applying after initial permit wasn't followed
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
N/A	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)	
**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING	
**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	TBD

DEVELOPMENT ENGINEERING	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
Development Engineering has already issued a grading permit.	
Development Engineering Recommended Conditions of Approval:	None

PARKS, FORESTRY & HORTICULTURE (PFH)	
Forestry has no comment at this time.	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE	
No comment no concerns.	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES	
No comments received to date.	
BCLPS Recommended Conditions of Approval:	None

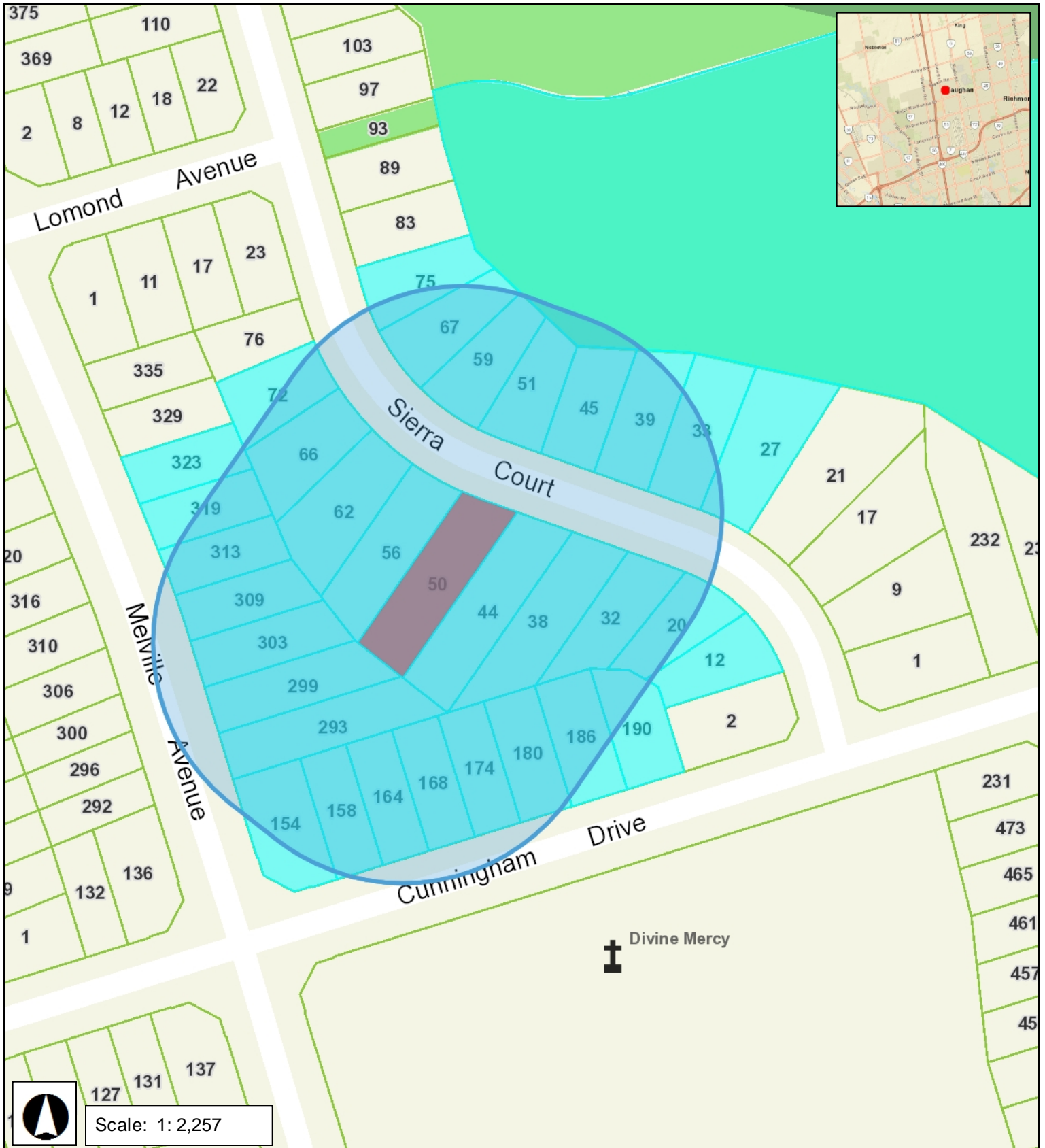
BUILDING INSPECTION (SEPTIC)	
No comments received to date.	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT	
No comments received to date.	
Fire Department Recommended Conditions of Approval:	None

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY		
Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:		
#	DEPARTMENT / AGENCY	CONDITION
	None	
<i>All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.</i>		

IMPORTANT INFORMATION
CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.
APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision. An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval. A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law. Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application. Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.
DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment. That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment. That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.
NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will not receive notice.

SCHEDULE A: DRAWINGS & PLANS



ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE ENGINEER AND MUST BE RETURNED UPON REQUEST. THE ENGINEER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS. REPRODUCTION OF DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS IN PART OR IN WHOLE IS FORBIDDEN WITHOUT THE ENGINEER'S CONSENT.

THE ENGINEER IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY

REFER TO THE APPROPRIATE DOCUMENTS. ANY CONFLICT OR DISCREPANCY BETWEEN THE DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF ACCURATE DESIGNS WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL DRAWINGS TO BE USED FOR CONSTRUCTION ONLY AFTER BUILDING PERMIT HAS BEEN ISSUED. THE CONTRACTOR IS RESPONSIBLE FOR SHORING FROM THE BASEMENT FLOOR SLAB TO SECOND FLOOR JOISTS.

ALL WORK TO BE DONE IN ACCORDANCE WITH ALL PROVINCIAL AND LOCAL BUILDING CODES, STANDARDS AND AGENCIES HAVING JURISDICTION.
WORK NOT INDICATED BUT INFERRABLE TO COMPLETE WORK IS UNDERSTOOD TO BE INCLUDED.
THIS DRAWING IS NOT TO BE SCALED, AND IS NOT TO BE USED FOR CONSTRUCTION UNLESS ISSUED FOR THE PURPOSE AND SEALED BY THE ENGINEER.

NOTE:

ALL UNDERGROUND SERVICES TO REMAIN. NO PROPOSED SERVICING IS PROPOSED.

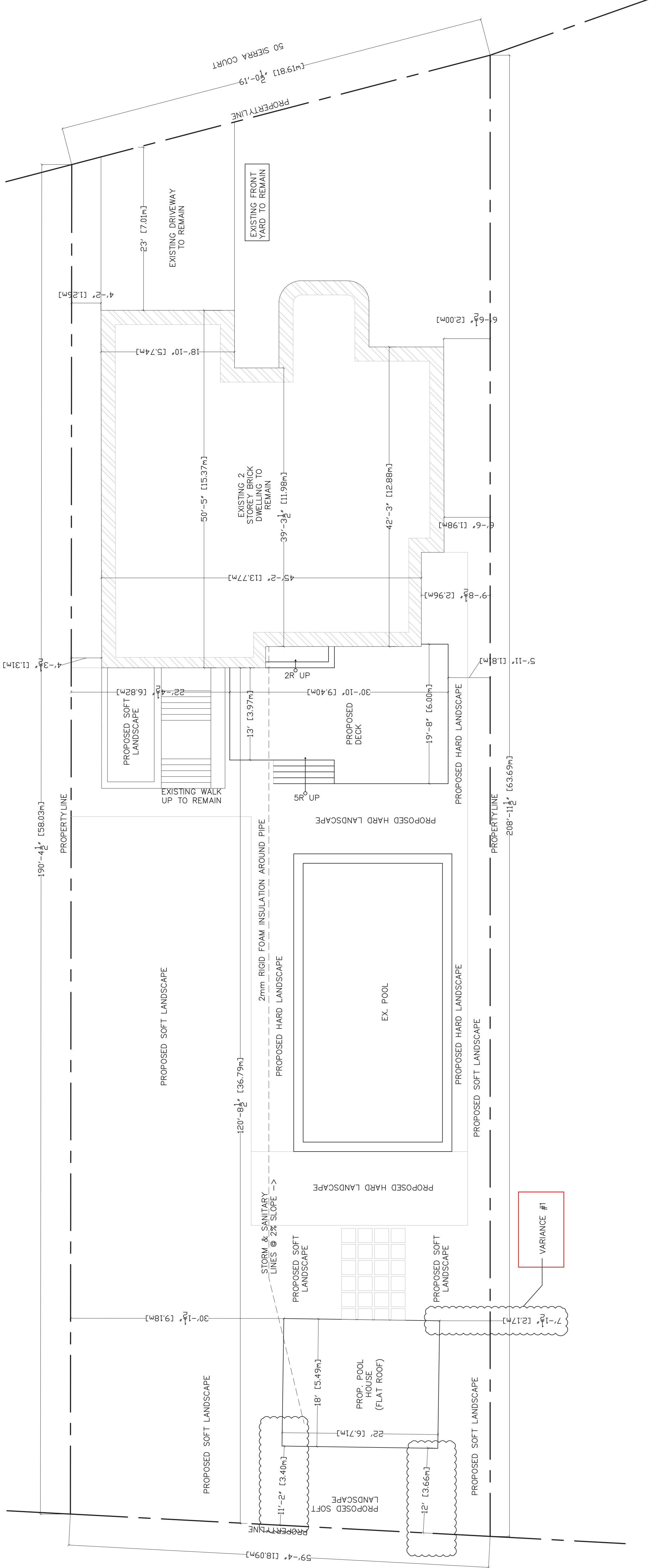
CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO ACCURATE DRAFTING SERVICES BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF ACCURATE DESIGNS WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL DRAWINGS TO BE USED FOR CONSTRUCTION ONLY AFTER BUILDING PERMIT HAS BEEN ISSUED. THE CONTRACTOR IS RESPONSIBLE FOR SHORING FROM THE BASEMENT FLOOR SLAB TO SECOND FLOOR JOISTS.

REAR SITE STATS

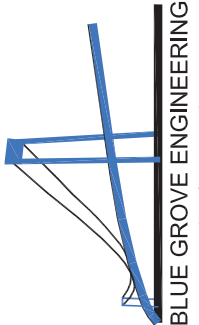
TOTAL REAR LANDSCAPE: 7251.314 SQ.FT 673.6750.M
PROPOSED HARDSCAPE: 3403.283 SQ.FT 316.1750.M 46.93%
PROPOSED SOFTSCAPE: 3848.558 SQ.FT 382.2350.M 56.74%

LOT COVERAGE

MAX LOT COVERAGE - 40%
TOTAL LOT AREA 11,794.575 SQ.FT 1,095.75 SQ.M
PROPOSED LOT COVERAGE - 3,341.357 SQ.FT 310.42 SQ.M
PROPOSED LOT COVER IN % - 28.32%

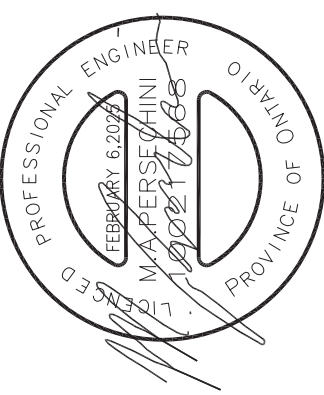


REF.	DATE.	REVISIONS	REF.	DATE.	DESCRIPTION
6.	FEB 6-25	ISSUE FOR C.O.A			
5.	JAN 29-25	ISSUE FOR C.O.A			
4.	JAN 8-25	ISSUE FOR C.O.A			
3.	NOV 26-24	REVISED AS PER CITY COMMENTS			
2.	SEP 11-24	REVISED AS PER CITY COMMENTS			
1.	SEP 5-24	ISSUED FOR CLIENT			



BLUE GROVE ENGINEERING GROUP INC.

1 SHEFFIELD STREET
Toronto, Ontario,
M6M 3E5
Tel: (416) 540-0756
E-Mail: info@bluegroveeng.com
Web Site: www.bluegroveengineering.com



PROJECT TITLE:

50 SIERRA COURT
MAPLE, ON

PREPARED FOR: JOHN PASQUARIELLO

SHEET TITLE:
SITE PLAN

SCALE:
1/8" = 1'-0"

The Contractor shall check all dimensions and other details on the drawings and report any discrepancies to the Architect before proceeding.

SHEET NO.

SP1

PROJECT NO.
24-157

6.	NOV 26-24	REVISED AS PER CITY COMMENTS			
5.	NOV 4-24	REVISED AS PER CITY COMMENTS			
4.	SEP 11-24	REVISED AS PER CITY COMMENTS			
3.	SEP 5-24	REVISED AS PER CITY COMMENTS			
2.	AUG 15-24	REVISED AS PER CITY COMMENTS			
1.	JUL 12-24	ISSUED FOR CLIENT	7.	JAN 29-25	ISSUE FOR C.O.A
REF.	DATE	REVISIONS	REF.	DATE	DESCRIPTION

BLUE GROVE ENGINEERING GROUP INC.

BLUE GROVE ENGINEERING GROUP INC.

1 SHEFFIELD STREET

Toronto, Ontario.

M6M 3E5

Tel: (416) 540-0756

E-Mail: info@bluegroveeng.com

Web Site: www.bluegroveengineering.com

PROJECT TITLE:

50 SIERRA COURT
MAPLE, ON

PREPARED FOR:

JOHN PASQUARIELLO

SHEET TITLE:

FLOOR PLAN

SCALE:

1/2" = 1'-0"

PROJECT NO.

24-157

SHEET NO.

A1

The Contractor shall check all dimensions and other data from the job and report any discrepancies to the architect before proceeding.

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THE ENGINEER IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY

- REFER TO THE APPROPRIATE DOCUMENTS, ANY CONFLICT OR DISCREPANCY WHATSOEVER BETWEEN DRAWINGS, SPECIFICATIONS AND/ OR EXISTING CONDITIONS SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE WORK. CONTRACTOR TO FILED VERIFY ALL EXISTING CONDITIONS, UPON WRITTEN APPLICATION, THE ENGINEER WILL PROVIDE WRITTEN CLARIFICATION OF THE INTENT OF THE CONTRACT DOCUMENTS.
- ALL WORK TO BE DONE IN ACCORDANCE WITH ALL PROVINCIAL AND LOCAL BUILDING CODES, STANDARDS AND AGENCIES HAVING JURISDICTION.
- WORK NOT INDICATED BUT INFERABLE TO COMPLETE WORK IS UNDERSTOOD TO BE INCLUDED.

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CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO ACCURATE DIMENSIONS. CONTRACTOR TO BE RESPONSIBLE FOR THE WORKMANSHIP AND ACCURACY OF THE CONSTRUCTION. CONTRACTOR TO BE RESPONSIBLE FOR THE WORKMANSHIP AND ACCURACY OF THE CONSTRUCTION. CONTRACTOR TO BE RESPONSIBLE FOR THE WORKMANSHIP AND ACCURACY OF THE CONSTRUCTION. CONTRACTOR TO BE RESPONSIBLE FOR THE WORKMANSHIP AND ACCURACY OF THE CONSTRUCTION.

THE CONTRACTOR IS RESPONSIBLE FOR SHORING FROM THE BASEMENT FLOOR SLAB TO SECOND FLOOR JOISTS.

CONTRACTOR MUST CONFIRM SOIL BEARING CAPACITY, ASSUMING 75 KPa SOIL BEARING CAPACITY.

LEGEND

F1 - 20"ø CAISSON 4'-0" DEEP
F2 - 10"ø CAISSON 4'-0" DEEP
B1 - 3-PLY 11½" LVL 2.0E 2500 F.B
B2 - 4-PLY 11½" LVL 2.0E 2500 F.B
B3 - 2-PLY 2"x12"
J1 - 11½" T1J230 @ 16" O.C
C1 - 8"x8" POST

1 FOUNDATION PLAN
A1 SCALE: 1/8" = 1'-0"

2 STRUCTURAL PLAN
A1 SCALE: 1/8" = 1'-0"

3 ROOF PLAN
A1 SCALE: 1/8" = 1'-0"

CONSTRUCTION NOTES

ALL CONSTRUCTION PRACTICES TO COMPLY WITH THE 2012 ONTARIO BUILDING CODE AND ALL AUTHORITIES HAVE JURISDICTION.

1 **STRIP FOOTINGS**
20" X 8" CONCRETE FOOTING W/ CONTINUOUS KEY. MIN. 2200psi (15mpa) CONCRETE AFTER 28 DAYS SHALL REST ON UNDISTURBED SOIL, ROCK OR COMPACTED GRANULAR FILL W/ MIN. 21.76psi (150kpa). PROVIDE 2-15M CONTINUOUS AND TO EXTEND 4'-0" (1200mm) BELOW FINISHED GRADE

2 **STEPPED FOOTINGS**
HORIZONTAL STEP (RUN) TO BE 24" (600mm)
VERTICAL STEP (RISE) TO BE 24" (600mm)

3 **WEEPING TILE**
MATERIALS SHALL CONFORM TO OBC 9.14.3. 4" (100mm) DIA. WEEPING TILE LAID ON UNDISTURBED OR WELL COMPACTED SOIL. TOP OF TILE OR PIPE TO BE BELOW BOTTOM OF FLOOR SLAB AND TO BE COVERED W/ 6" (150mm) OF CRUSHED STONE OR OTHER COURSE GRANULAR MATERIAL. TILE SHALL DRAIN TO A SEWER, DRAINAGE DITCH, OR DRY WELL

4 **FOUNDATION WALL**
10" (250mm) 3600psi (25mpa) POURED CONCRETE FOUNDATION. APPLY PROTECTION LAYER ON CONTINUOUS BITUMINOUS DAMP PROOFING FINISHED BASEMENT SHALL HAVE INTERIOR DAMP PROOFING EXTENDING FROM SLAB TO GRADE LEVEL AND SHALL CONFORM TO OBC 9.13.3 (3). WHERE HYDROSTATIC PRESSURE OCCURS FOUNDATION WALL SHALL BE WATER PROOFED AS PER OBC 9.13.3.3. INSULATE W/ R20 (R3.32) FULL HEIGHT ALONG INSIDE OF WALL AND BACKFILL W/ NON-FROST SUSCEPTIBLE SOIL. WALL SHALL EXTEND A MIN. 6" (150mm) ABOVE FIN. GRADE

5 **SILL PLATE**
2"x4" (38mm x 89mm) SILL PLATE W/ 1/2" DIA. ANCHOR BOLTS 12" LONG MIN. 4" IN CONCRETE @ 7'-10" O.C. SILL PLATE TO BE CAULKED OR PLACED ON A FOAM GASKET 1" (25mm) BEFORE COMPRESSION

6 **BASEMENT SLAB**
3" (75mm) MIN. 3600psi (25mpa) CONCRETE SLAB W/ 6 MIL. POLYETHYLENE ON 5" CRUSHED STONE. SLAB TO BE REINFORCED WITH 6"x6" MESH LOCATED NEAR MID DEPTH OF SLAB. PERIMETER OF SLAB AND ANY PENETRATIONS OF THE SLAB TO BE SEALED AGAINST SOIL GAS LEAKAGE W/ FLEXIBLE SEALANT CONFORMING TO OBC 9.10.13.7. WHERE SLAB IS REQUIRED TO BE WATERPROOFED, IT SHALL BE CONFORM TO OBC 9.13.7

7 **PORCH SLAB**
4" (100mm) 4650psi (32mpa) CONCRETE SLAB W/ 5.8% AIR ENTERTAINMENT. 6"x6" (W2.9 X 2.9) WIRE MESH LOCATED NEAR MID DEPTH OF SLAB. ANY FILL PLACED UNDER SLAB, OTHER THAN COURSE CLEAN GRANULAR MATERIAL SHALL BE COMPACTED

PORCH SLAB ABOVE COLD CELLAR
TO CONFORM WITH OBC 9.14.1.3. 6" (150mm) 4650psi (32mpa) CONCRETE SLAB W/ 5.8% AIR ENTERTAINMENT REINFORCED W/ 15M REBAR 12" O.C. W/ 15M DOWELS SPACED AT NOT MORE THAN 24" (600mm). EXPOSED SLABS SHALL BE SLOPED TO EFFECTIVELY SHED WATER AWAY FROM THE EXTERIOR WALL

8 **GARAGE SLAB**
4" (100mm) 4650psi (32mpa) CONCRETE SLAB ON 4" (100mm) COURSE GRANULAR FILL W/ 5.8% AIR ENTERTAINMENT. 6"x6" (W2.9 X 2.9) WIRE MESH LOCATED NEAR MID DEPTH OF SLAB

9 **STEEL PIPE COLUMNS**
TO CONFORM WITH OBC 9.17.3. 3 1/2" (89mm) DIA. X 0.188 (4.76mm) NON-ADJUSTABLE STEEL COLUMN W/ 6"x6"x 3/8" (150mm x 150mm x 9.5mm) STEEL TOP PLATE AND 4 1/2"x10"x12" (120mm x 250mm x 12.5mm) STEEL BOTTOM PLATE. WELD COLUMN TO BASE PLATES

10 **EXTERIOR GARAGE WALL**
AS PER NOTE 11, 12 OR 13 EXCEPT W/O THERMAL INSULATION, AIR / VAPOUR BARRIER AT EXTERIOR WALLS AND W/ MOISTURE RESISTANT GYPSUM WALL BOARD THROUGHOUT

11 **EXTERIOR SIDING WALL**
SIDING HORIZONTAL VERTICAL. HARDIE BOARD, SHAKE, BOARD & BATTEN OR SCALLOP AS PER ELEVATION. MIN. 6" (150mm) ABOVE GRADE. 6" (150mm) BASE FLASHING UP BEHIND WALL SHEATHING. CONT. AIR BARRIER ON 1/2" EXTERIOR PLYWOOD OR EQUIVALENT. 2"x6" (38mm x 140mm) WOOD STUDS @ 16" O.C. W/ MIN. R24 (4.23RSI) INSULATION. 6 MIL VAPOUR BARRIER. 1/2" (12.7mm) GYPSUM WALL BOARD

12 **EXTERIOR STUCCO WALL**
EIFS (EXTERIOR INSULATION AND FINISH SYSTEMS) CONFORMING TO OBC 9.28 AND MANUFACTURER SPECIFICATIONS. RIGID INSULATION ON 1/2" (12.7mm) EXTERIOR TYPE SHEATHING. 2"x6" (38mm x 140mm) WOOD STUDS @ 16" O.C. W/ MIN. R24 (4.23RSI) INSULATION. 6 MIL VAPOUR BARRIER. 1/2" (12.7mm) GYPSUM WALL BOARD

13 **EXTERIOR BRICK / STONE VENEER WALL**
3 1/2" (90mm) FACE BRICK OR 4" (100mm) STONE W/ 1"x7"x22 ga. CORROSION RESISTANT METAL TIES @ 16" O.C. HORIZONTAL AND 24" VERTICAL W/ 1" AIR SPACE. PROVIDE WEEP HOLES @ 30" O.C. AND PROVIDE BASE FLASHING MIN. 6" (150mm) UP BEHIND BUILDING PAPER. TYVEK HOUSE WRAP ON 1/2" (12.7mm) EXTERIOR TYPE SHEATHING. 2"x6" (38mm x 140mm) WOOD STUDS @ 16" O.C. W/ MIN. R24 (4.23RSI) INSULATION. 6 MIL VAPOUR AIR BARRIER CONTINUOUSLY OVER INSIDE OF EXTERIOR WALL STUDS, UNDER SILL PLATES, OVER TOP PLATES, OVER FACE OR JOIST HEADERS FOR FULL HEIGHT OF EXTERIOR WALLS AND ACROSS UNDERSIDE OF ROOF TIE JOISTS. 1/2" (12.7mm) GYPSUM WALL BOARD

14 **INTERIOR STUD PARTITION**
2"x4" (38mm x 89mm) OR 2"x6" (38mm x 140mm) @ 16" O.C. DOUBLE TOP PLATE & SINGLE BOTTOM PLATE W/ 1/2" GYPSUM WALL BOARD ON EACH SIDE

15 **INTERIOR LOAD BEARING STUD PARTITION**
2"x4" (38mm x 89mm) OR 2"x6" (38mm x 140mm) @ 16" O.C. DOUBLE TOP PLATE & SINGLE BOTTOM PLATE ON DAMP PROOFING MATERIAL W/ 1/2" ANCHOR BOLTS, 8" LONG, EMBEDDED 4" (89mm) @ 8'-0" (2400mm) O.C. PROVIDE MID-BLOCKING IF UNFINISHED. FOOTINGS AS PER CONSTRUCTION NOTE 1 "STRIP FOOTINGS" W/ 4" CONCRETE CURB

16 **INTERIOR GARAGE WALL**
1/2" (12.7mm) GYPSUM BOARD ON BOTH SIDES OF WALL & US OF CEILING BETWEEN HOUSE AND GARAGE. ALL JOINTS TO BE TAPED AND SEALED AND MADE GAS PROOF. 2"x6" (38mm x 140mm) WOOD STUDS @ 16" O.C. WR22 (RSI 3.87) BATT INSULATION, 6 MIL CONTINUOUS VAPOUR BARRIER IN CONFORMANCE W/ OBC 9.25.3 AND 9.24.4 FOR FLOOR ABOVE

17 **GARAGE CEILING**
R31 (RSI 5.46) BATT INSULATION OR SPRAY FOAM INSULATION, IN GARAGE CEILING W/ FLOOR ABOVE. AND W/ 1/2" (12.7mm) GYPSUM WALL BOARD. ENTIRE ASSEMBLY MUST BE SEALED. TAPED AND GAS TIGHT PROOFED

18 **TYPICAL FLOOR ASSEMBLY**
FLOOR FINISH ON 5/8" TONGUE AND GROOVE PLYWOOD SHEATHING. SUB FLOOR, JOIST AND SCREWED W/ SANDING JOINTS. FLOOR, JOISTS OR ENGINEERING JOISTS AS PER MANUFACTURERS SPECIFICATIONS. 1/2" GYPSUM WALL BOARD (FOR CEILING TYPE) EXCEPT OVER UNFINISHED BASEMENT

CROSS BRIDGING AND STRAPPING
CROSS BRIDGING: 1"x3" (19mm x 64mm) CROSS BRIDGING @ MAX 6'-11" (2100mm) O.C.
STRAPPING: 1"x3" (19mm x 64mm) NAILED TO US OF JOISTS. MAX 6'-11" (2100mm) O.C. FASTED TO SILL OR HEADER ENDS

19 **TYPICAL ROOF CONSTRUCTION**
FOR ROOFS MORE THAN 4 IN 12 SLOPE, NO. 210 SELF SEALED ASPHALT SHINGLES (PROVIDE REVERSE SHINGLES AS STARTING TIP), NO. 15 ASPHALT BUILDING PAPER @ PERIMETER 6" UP FROM EDGE (OVERLAP LAYERS TO SHED WATER) ON 1/2" (12.7mm) PLYWOOD SHEATHING WITH "H" CLIPS ON WOOD RAFTERS @ 16" O.C. OR APPROVED WOOD TRUSSES @ 24". TRUSS BRACING AS PER TRUSS MANUFACTURER. APPROVED EAVES PROTECTION STARTING AT FASCIA AND TO EXTEND MIN. 36" BEYOND INSIDE FACE OF EXTERIOR WALL. R60 LOOSE FILL INSULATION W/ 6 MIL VAPOUR BARRIER AND 1/2" (12.7mm) GYPSUM WALL BOARD (FOR CEILING TYPE). METAL EAVESTROUGH ON ALUMINUM FASCIA AND VENTED SOFFIT ATTIC VENTILATION 1:300 OF THE INSULATED CEILING AREA W/ 50% AT EAVES

CEILING
R60 (RSI 10.56) INSULATION W/ 6 MIL POLY AIR / VAPOUR BARRIER AND 5/8" (15.8mm) OR 1/2" (12.7mm) GYPSUM WALL BOARD

CONVENTIONAL ROOF FRAMING
2"x4" (38mm x 89mm) OR 2"x6" (38mm x 140mm) RAFTERS @ 16" (40mm) O.C. @ 2'x4" (38mm x 89mm) COLLAR TIES AT MID SPANS. CEILING JOISTS TO BE 2"x4" (38mm x 89mm) OR 2"x6" (38mm x 140mm) @ 16" (40mm) O.C. HIP & VALLEY RAFTERS TO BE MIN. 2" (50mm) LARGER THAN COMMON RAFTERS AND MIN. 1 1/2" (38mm) THICK

VAULTED OR CATHEDRAL CEILING
APPROVED SCISSOR TRUSSES OR WOOD RAFTERS @ 16" O.C. W/ R31 (RSI 10.56) INSULATION, 6 MIL POLY AIR / VAPOUR BARRIER AND 1/2" (12.7mm) GYPSUM WALL BOARD

22 **ATTIC ACCESS HATCH**
INSULATED R60 21 1/2" X 23" (550mm x 584mm) ACCESS HATCH COVERED W/ WEATHER STRIPPING

23 **EXHAUST FAN**
EXHAUST FAN TO BE MECHANICALLY VENTED TO EXTERIOR. PROVIDE AT LEAST 2 AIR CHANGES PER HOUR. SEAL W/ ALUMINUM TAPE

24 **CAPPED VENT EXTERIOR**
CAPPED DRYER VENT TO EXTERIOR

25 **LINEN CLOSET**
4 SHELVES MIN. 16" (400mm) DEEP

26 **GAS FIREPLACE**
ZERO CLEARANCE GAS FIREPLACE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS. DIRECT VENT MIN 12" (300mm) ABOVE FIN. GRADE. DIRECT VENT TO MEET OBC AND AUTHORITIES HAVING JURISDICTION

27 **SMOKE ALARM (SA)**
TO CONFORM WITH 9.10.13. PROVIDE 1 PER FLOOR NEAR THE STAIRS FROM CONNECTING FLOOR LEVELS AND 1 IN EACH BEDROOM. ALARMS TO BE CONNECTED IN CIRCUIT AND INTERCONNECTED SO ALL ARMS SOUND WHEN ONE SOUNDS

28 **CARBON MONOXIDE ALARM (CMA)**
TO CONFORM WITH 9.33.4. WHERE THERE IS FUEL BURNING APPLIANCE, A CMA SHALL BE PROVIDED ADJACENT TO EACH SLEEPING AREA. CMA TO BE WIRED SO WHEN ACTIVATED, THE SMOKE ALARM WILL SOUND

29 **GARAGE MAN DOOR**
TO BE GAS PROOFED W/ SELF CLOSER, WEATHER STRIPPING, THRESHOLD AND DEADBOLT

30 **PRECAST CONC. STEP OR WOOD STEP**
2 RISERS MAX. PERMITTED TO BE LAID ON GROUND. WOOD STEP NOT EXPOSED TO WEATHER. MAX RISER: 7 7/8" (200mm), MIN. TREAD: 9 1/4" (235mm)

31 **STAIRS (EXTERIOR & INTERIOR)**
AS PER OBC 9.8:
MAX RISER: 7" (180mm)
MIN. RUN: 10" (253mm)
MIN. TREAD: 11" (285mm)
MAX NOSING: 1" (25mm)
MIN. HEADROOM: 6'-5" (1950mm)
MIN WIDTH: 2'-10" (660mm)

CURVED STAIRS:
MIN. RUN: 5 7/8" (150mm)
MIN. AVG. RUN: 7 7/8" (200mm)

EXTERIOR CONC. STEPS:
RISE: 10" (250mm)
RUN: 8" (200mm)

FOUNDATION WALL REQUIRED FOR 3 OR MORE RISERS. FOOTING TO BE MIN. 4'-0" (1220mm)

32 **RAILINGS / GUARDS**
AS PER OBC 9.8.7 & 9.8.8:
MAX SPACING B/W WOOD PICKETS: 4" (100mm)
INTERIOR LANDING: 2'-11" (900mm)
INTERIOR STAIR: 2'-7" (800mm)

EXTERIOR LANDING: (GREATER THAN 2'-0" (610mm))
ABOVE GRADE 2'-11" (1070mm)

EXTERIOR LANDING: (GREATER THAN 5'-11" (1800mm))
ABOVE GRADE 3'-6" (1070mm)

EXTERIOR STAIR: 2'-11" (900mm)

33 **BEAM POCKETS PILASTERS**
PILASTERS 8"x8" (200mm x 200mm) POURED CONCRETE PIER

BEAM POCKETS 4" (100mm) RECESSED INTO FOUNDATION WALL. WIDTH TO MATCH BEAM SIZE W/ 1/2" (12.7mm) SPACE AROUND WOOD BEAMS

34 **WOOD STRAPPING (STEEL BEAM)**
1"x4" (19mm x 38mm) WOOD STRAPPING ON BOTH SIDES OF STEEL BEAM

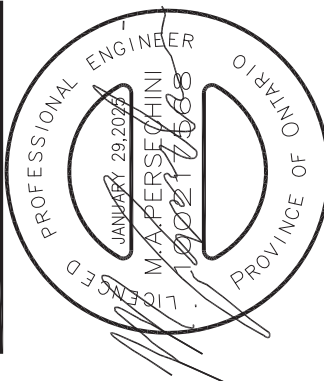
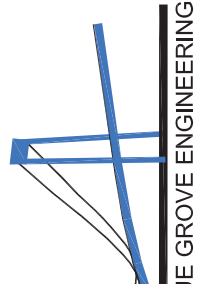
35 **2 STOREY - DOUBLE VOLUME**
FOR A MAXIMUM OF 18'-0" (5490mm) HEIGHT, PROVIDE 2-2"x6" (2-38mm x 140mm) CONTINUOUS STUDS @ 12" (300mm) O.C. FOR MASONRY. 16" (400mm) O.C. FOR SIDING. PROVIDE SOLID WOOD BLOCKING BETWEEN STUDS @ 4'-0" (1220mm) O.C.

6.	NOV 26-24	REVISED AS PER CITY COMMENTS			
5.	NOV 4-24	REVISED AS PER CITY COMMENTS			
4.	SEP 11-24	REVISED AS PER CITY COMMENTS			
3.	SEP 5-24	REVISED AS PER CITY COMMENTS			
2.	AUG 28-24	REVISED AS PER CITY COMMENTS			
1.	AUG 12-24	ISSUED FOR CLIENT			
REF.	DATE	REVISIONS	REF.	DATE	DESCRIPTION

BLUE GROVE ENGINEERING GROUP INC.

1 SHEFFIELD STREET
Toronto, Ontario.
M6M 3E5

Tel: (416) 540-0756
E-Mail: info@bluegroveeng.com
Web Site: www.bluegroveengineering.com



PROJECT TITLE:

50 SIERRA COURT
MAPLE, ON

PREPARED FOR:

JOHN PASQUARIELLO

SHEET TITLE:

GENERAL NOTES

SCALE:

N.T.S

The Contractor shall check all dimensions and other data from the job and report any discrepancies to the architect before proceeding.

SHEET NO.

GN1

PROJECT NO.
24-157

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Internal Departments *Comments Received	Conditions Required		Nature of Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions

External Agencies *Comments Received	Conditions Required		Nature of Comments *See Schedule B for full comments
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: February 14th 2025

Attention: **Christine Vigneault**

RE: Request for Comments

File No.:

Related Files: **A012-25**

Applicant: Blue Grove Engineering Group

Location 50 Sierra Court

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

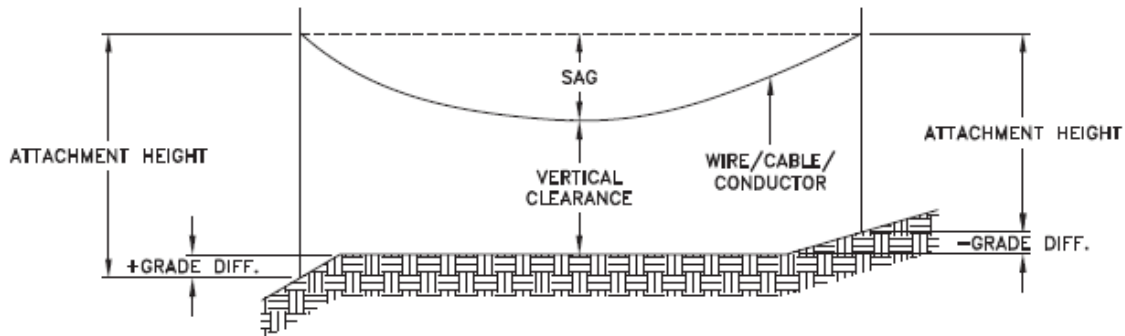
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 + GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

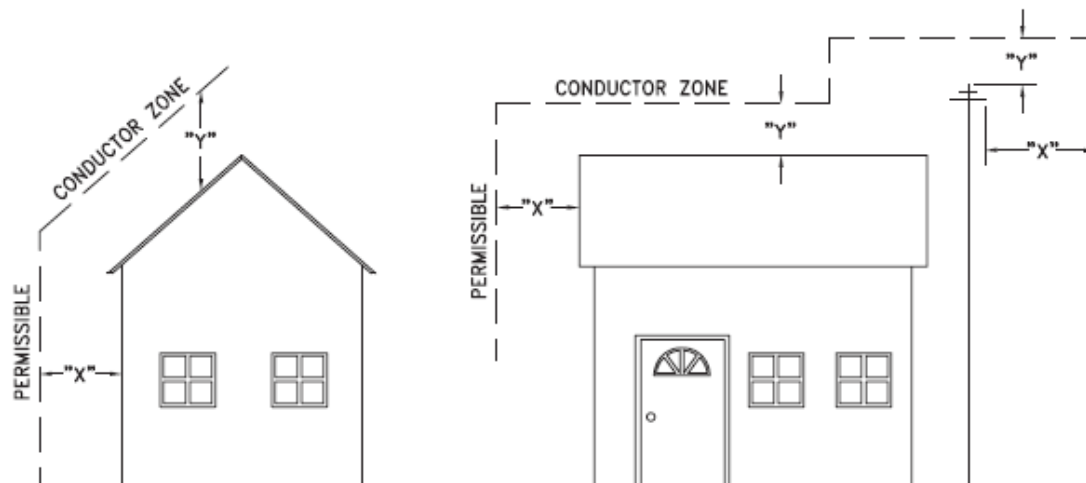
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

- UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
- THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
- THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
- BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
- IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
- DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
- ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:

PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 3\3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 8:22:02 AM, Adobe PDF

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P.Eng. Approval By: D. Dadwani

To: Committee of Adjustment

From: Sean Fitzpatrick, Building Standards Department

Date: February 14, 2025

Applicant: Blue Grove Engineering Group

Location: 50 Sierra Court
PLAN 65M3106 Lot 49

File No.(s): A012/25

Zoning Classification:

The subject lands are zoned R2A (EN), Second Density Residential, Established Neighbourhoods Zone and subject to the provisions of Exception 14.523 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. [4.1.2]	To permit a residential accessory structure with a height greater than 2.8 m to be located no closer than 2.17 m to a lot line (south).
2	The maximum height of a residential accessory structure shall be 3.0 m. [4.1.4]	To permit a maximum height of 3.1 m. for a residential accessory structure.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

Building Permit No. 24-133776 for Single Detached Dwelling - Deck, Issue Date: Oct 24, 2024

Building Permit No. 24-123293 for Shed/Gazebo - New, Issue Date: Oct 01, 2024

Building Permit No. 24-123293 for Shed/Gazebo - Alteration, Issue Date: (Not Yet Issued)

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	The submitted elevation drawings provide established grade as defined in section 3.0 of zoning by-law 001 – 2021 as amended. The applicant shall confirm that the height is based on the existing grades.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development and Parks Planning

Date: March 12, 2025

Name of Owner: Patrizia Tucci

Location: 50 Sierra Court, Maple

File No.(s): A012/25

Proposed Variance(s) (By-law 001-2021):

1. To permit a residential accessory structure with a height greater than 2.8 m to be located no closer than 2.17 m to a lot line (south).
2. To permit a maximum height of 3.1 m. for a residential accessory structure.

By-Law Requirement(s) (By-law 001-2021):

1. A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line.
2. The maximum height of a residential accessory structure shall be 3.0 m.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owner is seeking relief to permit the construction of a pool house, with the above noted variances.

The Development and Parks Planning Department has no objection to Variance 1 to permit the pool house to be located 2.17 m to the south lot line, whereas the Zoning By-law permits 2.4 m. The pool house maintains a sufficient separation distance to the abutting property to the south and provides adequate access for maintenance, if required. The Development Engineering Department has also reviewed this proposal and have no objections.

The Development and Parks Planning Department has no objection to Variance 2 to permit the pool house to be 3.1 m in height, whereas the Zoning By-law permits 3.0 m. The proposed 0.1 m increase to the height of the pool house is minimal in nature and is not anticipated to cause any adverse massing impacts to the adjacent properties.

Accordingly, the Development and Parks Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development and Parks Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None.

Comments Prepared by:

Alyssa Pangilinan, Planner 1
Janany Nagulan, Senior Planner

From: [Cameron McDonald](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A012/25 - 50 SIERRA COURT - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Tuesday, February 18, 2025 2:49:29 PM

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from the TRCA.

Based on the above, we have no comments/requirements.

Regards,

Cameron McDonald

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:(437)880-1925)

E: cameron.mcdonald@trca.ca

A: [5 Shoreham Drive, Toronto, ON, M3N 1S4](#) | trca.ca



From: [Hurst, Gabrielle](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A012/25 - 50 SIERRA COURT - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Tuesday, February 18, 2025 8:39:52 AM

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good morning,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Regards,

Gabrielle

Gabrielle Hurst MCIP, RPP | Associate Planner, Development Planning, Economic and Development Services Branch | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
N/A				

SCHEDULE D: BACKGROUND

Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A