

ITEM: 6.9	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER: A194/24
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Report Date: March 14, 2025

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):

Additional comments from departments and agencies received after the publication of the report will be made available on the City’s [website](#).

Internal Departments *Comments Received	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Forestry	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies *Comments Received	Conditions Required		Nature of Comments *See Schedule B for full comments
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
N/A				

BACKGROUND (SCHEDULE D, IF REQUIRED)	
* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.	
Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
Hearing Date	Reason for Adjournment (to be obtained from NOD_ADJ)
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background

	MINOR VARIANCE APPLICATION FILE NUMBER A194/24
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CITY WARD #:	1
APPLICANT:	Morgan Snook
AGENT:	Fausto Cortese Architects Inc.
PROPERTY:	68 Netherford Road, Maple
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	N/A
PURPOSE OF APPLICATION:	Relief from the zoning by-law is being requested to permit the construction of a proposed dwelling.

The following variances have been requested from the City’s Zoning By-law:

The subject lands are zoned **R1E(EN) – First Density Residential Zone (Established Neighbourhood)** under **Zoning By-law 001-2021**, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A minimum front yard of 9.12m is required. [Table 7-3 & 4.5.3.b]	To permit a minimum front yard of 9.0m.
2	A minimum rear yard of 7.5m is required. [Table 7-3]	To permit a minimum rear yard of 1.98m.
3	A maximum lot coverage of 23% is permitted. [Table 7-3]	To permit a maximum lot coverage of 34.61%.
4	A maximum height of 8.5m is permitted. [Table 7-3 & 4.5.1.b]	To permit a maximum height of 8.7m.

HEARING INFORMATION
DATE OF MEETING: Thursday, March 20, 2025 TIME: 6:00 p.m. MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2 nd Floor), 2141 Major Mackenzie Drive LIVE STREAM LINK: Vaughan.ca/LiveCouncil
PUBLIC PARTICIPATION
<p>If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the Request to Speak Form and submit to cofa@vaughan.ca</p> <p>If you would like to submit written comments, please quote file number above and submit by mail or email to:</p> <p>Email: cofa@vaughan.ca</p> <p>Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1</p> <p>To speak electronically, pre-registration is required by completing the Request to Speak Form on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.</p> <p>THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.</p>

INTRODUCTION	
Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.	
Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:	
That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.	
Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.	

COMMITTEE OF ADJUSTMENT	
Date Public Notice Mailed:	March 5, 2025
Date Applicant Confirmed Posting of Sign:	March 5, 2025
Applicant Justification for Variances: <small>*As provided in Application Form</small>	The existing conditions and design program doesn't allow to meet Zoning Bylaw
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
None	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)	
**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING	
**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
The proposed work by the Owner/Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City’s Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer. As the proposed dwelling and cabana in the subject property are 258.9 m2, the Owner/ Applicant needs to obtain a ‘Lot Grading Permit’ from the Development Inspection and Lot Grading Division of the City’s Development Engineering Department. Please note any in-ground structure over 10 m2 requires a ‘Grading Permit’. Please contact the Development Engineering Reviewer after receiving the Grading Permit to clear the condition. (Condition attached) The Owner/Applicant shall apply and obtain the necessary ‘Curb Cut/Reinstating Permit’ through the Transportation and Fleet Management Services. Please visit the Curb Cut Permits page at the City of Vaughan website to learn how to apply for the Curb Cut/ Reinstating Permit.	
Development Engineering Recommended Conditions of Approval:	1. The Owner/Applicant shall submit an application for a Service Connection and to obtain a Cost Estimate by emailing serviceconnections@vaughan.ca . The Final Lot Grading and/or Servicing Plan will be required for the Service Connection Application. All costs associated with the service connection shall be the responsibility of the Owner/Applicant. Please visit the Service Connection page of the City of

DEVELOPMENT ENGINEERING	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
	<p>Vaughan’s website: Service Connections City of Vaughan for more information. The Owner/Applicant is encouraged to initiate the process as early as possible as the Service Connection Application process typically takes 4-6 weeks.</p> <p>2. The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan’s website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca</p>

PARKS, FORESTRY & HORTICULTURE (PFH)	
No comments, Conditions listed below	
PFH Recommended Conditions of Approval:	<p>1) Applicant/owner shall supply an arborist report to the satisfaction of the forestry division.</p> <p>2) Applicant/owner shall obtain a “Private Property Tree Removal & Protection” permit through the forestry division prior to any construction works on the subject property.</p>

DEVELOPMENT FINANCE	
<p>That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.</p> <p>That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.</p> <p>That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment.</p> <p>That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.</p> <p>Demolition development charge credits valid for a period of 48 months from date of demolition permit issuance. After 48 months, full development charges apply as per by-laws.</p>	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES	
No comments received to date	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC)	
No comments received to date	
Building Inspection Recommended Conditions of Approval:	None

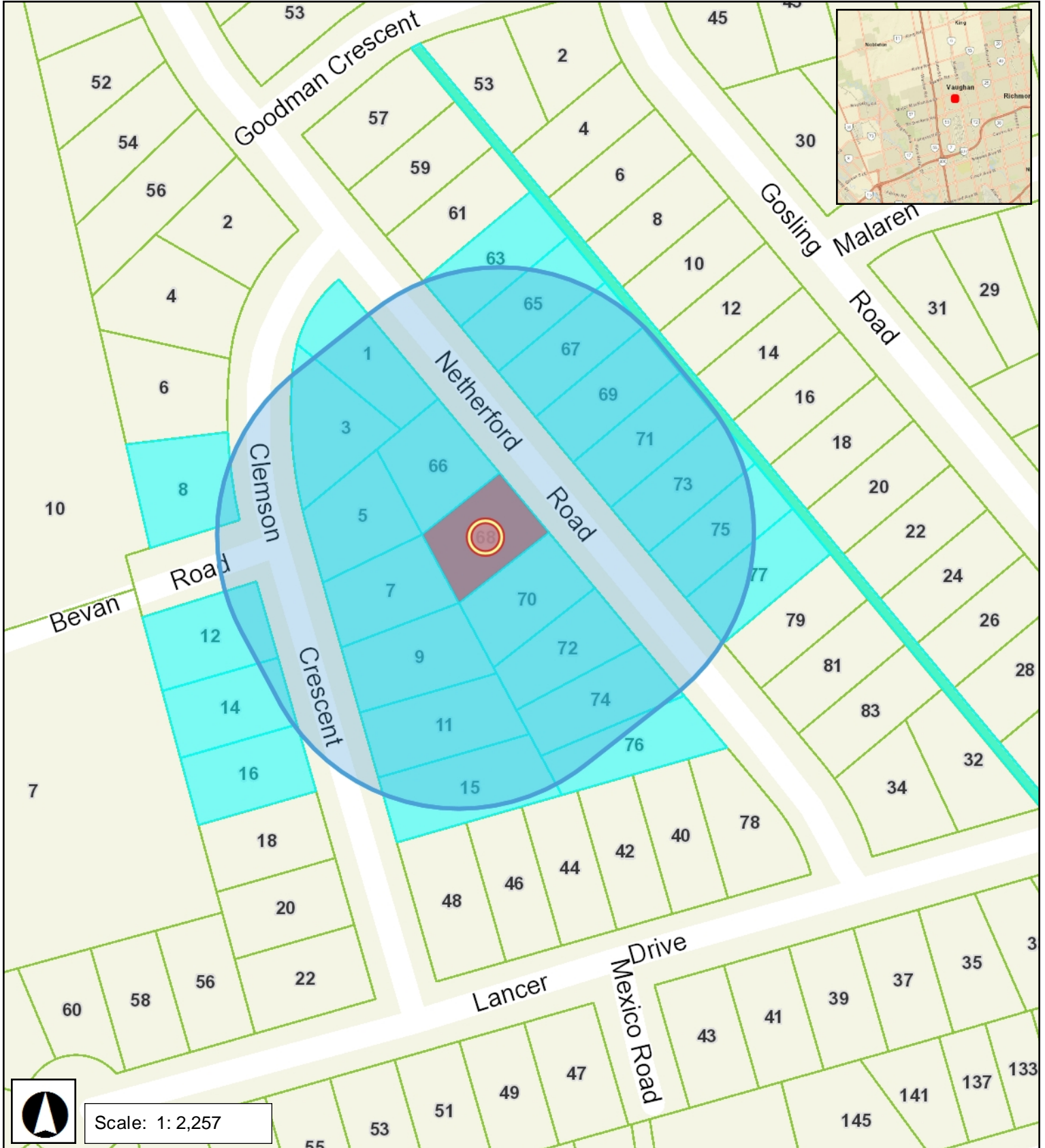
FIRE DEPARTMENT	
No comments received to date	
Fire Department Recommended Conditions of Approval:	None

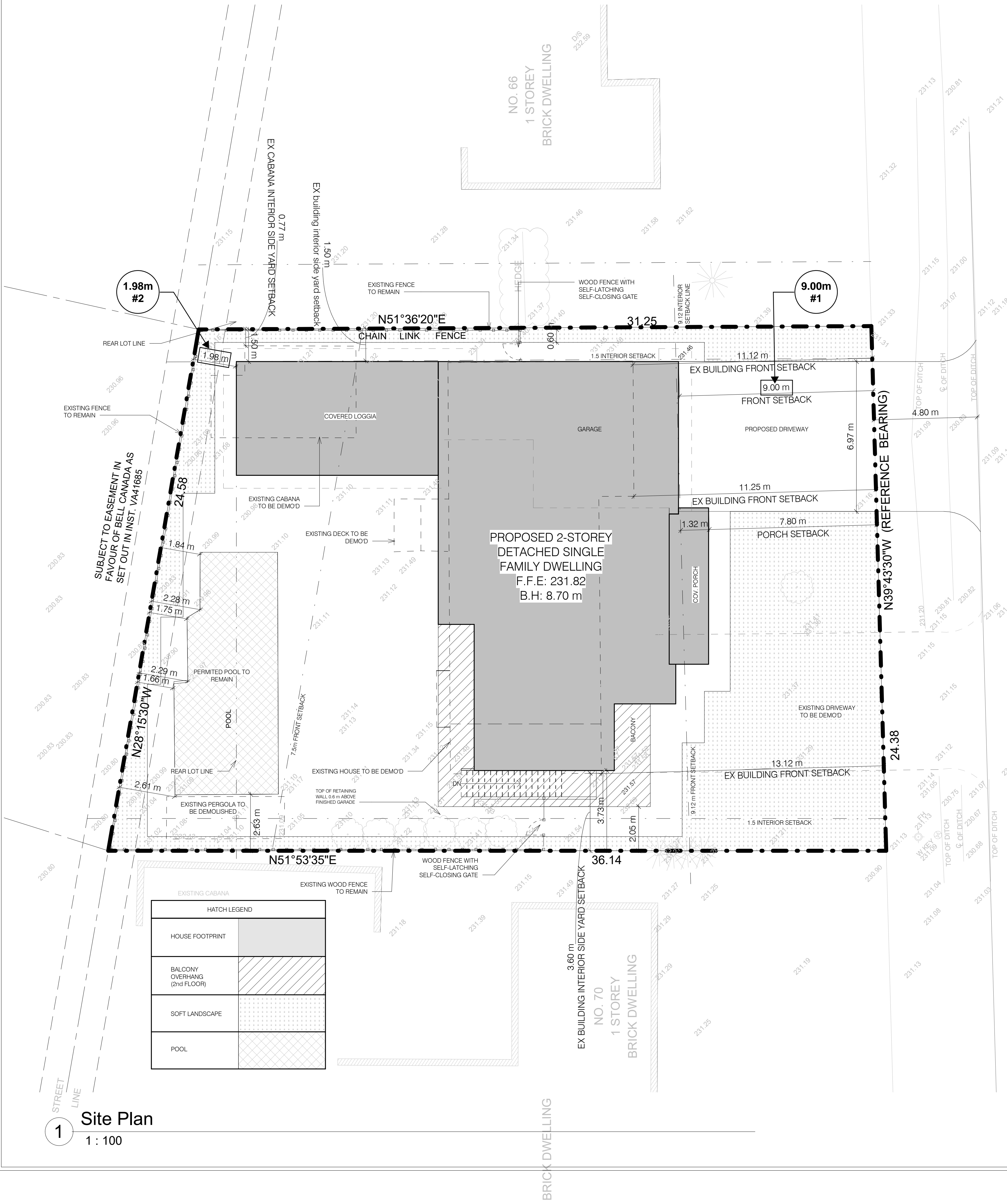
RECOMMENDED CONDITIONS OF APPROVAL SUMMARY		
Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:		
#	DEPARTMENT / AGENCY	CONDITION
1	Development Engineering jonal.hall@vaughan.ca	<ol style="list-style-type: none"> 1. The Owner/Applicant shall submit an application for a Service Connection and to obtain a Cost Estimate by emailing serviceconnections@vaughan.ca. The Final Lot Grading and/or Servicing Plan will be required for the Service Connection Application. All costs associated with the service connection shall be the responsibility of the Owner/Applicant. Please visit the Service Connection page of the City of Vaughan's website: Service Connections City of Vaughan for more information. The Owner/Applicant is encouraged to initiate the process as early as possible as the Service Connection Application process typically takes 4-6 weeks. 2. The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
3	Parks, Forestry and Horticulture Operations zachary.quizzetti@vaughan.ca	<ol style="list-style-type: none"> 1. Applicant/owner shall supply an arborist report to the satisfaction of the forestry division. 2. Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to any construction works on the subject property.
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		

IMPORTANT INFORMATION
CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

IMPORTANT INFORMATION	
<p>APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p>	
<p>DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>	
<p>NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will not receive notice.</p>	

SCHEDULE A: DRAWINGS & PLANS



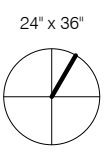
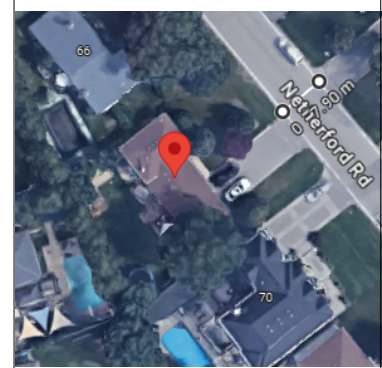


AREA BREAKDOWN		
Name	Area	AREA - SF
1ST FLOOR	126.24 m ²	1359 ft ²
2nd FLOOR	202.89 m ²	2184 ft ²
GARAGE	62.04 m ²	668 ft ²
LOGGIA	49.56 m ²	533 ft ²

GROSS FLOOR AREA		
Name	Area	AREA - SF
1ST FLOOR	126.24 m ²	1359 ft ²
2nd FLOOR	202.89 m ²	2184 ft ²
Grand total	329.12 m ²	3543 ft ²

Site Development		
ZONE	R1E(EN)- 236 (BY-LAW 01-2021)	PROVIDED
TOTAL LOT AREA	845 m2	818.60 m2
LOT FRONTAGE	30 m	24.38 m
TOTAL COVERAGE	23% (The maximum lot coverage in the R1E Zone shall be 23% provided the maximum height is 9.5 m)	1. HOUSE: 23.00% (188.28m2) 2. COVERED LOGGIA 6.05% (49.56m2) 3. COVERED FRONT PORCH 1.61% (13.16m2) 4. BALCONY (UN-ENCLOSED): 3.95% (32.38m2) 5. TOTAL 34.61% (283.38m2)
MAX. HEIGHT	8.5 m [11m or The existing building height (5.5m) plus 3.0 m, but in no case shall the maximum building height requirement be less than 8.5 m.]	8.7m
FRONT SETBACK	9.12 m [The minimum front yard shall be the existing front yard less 10% or 9.0 m, whichever is greater.] AND EN SUFFIX [The existing front yard less 2.0 m, but in no case shall the required minimum front yard be less than 4.5 m.]	9 m
REAR SETBACK	7.5 m	1.98m
INTERIOR SIDE YARD	1.5 m [greater than 9.5 m in height, the minimum interior side yard shall be the greater (more restrictive) of: a. The requirement of the applicable zone; b. The existing interior side yard; or c. 2.2 m]	NORTH 1.5 m SOUTH 2.05m (TO BALCONY) SOUTH 3.73m (TO MAIN WALL)

LANDSCAPE CHART		
REAR YARD AREA	N/A	93.13 m2
REAR YARD SOFT LANDSCAPE	0 m2 60% OF AREA IN EXCESS OF 135m2	31.82 m2
FRONT YARD AREA	N/A	221.39
DRIVEWAY AREA	N/A	63.41
FRONT YARD LANDSCAPE	110.69m2 50% OF THE FRONT YARD AREA	157.99
FRONT YARD HARD LANDSCAPE	N/A	16.64 m2
FRONT YARD SOFT LANDSCAPE	66.41m2 60% OF REQUIRED FRONT YARD LANDSCAPE AREA	141.35 m2



34.61%
#3

8.7m
#4

1	REVISION FOR PLANING COMMENTS	2024-02-05
2	REVISION FOR PLANING COMMENTS	2024-02-05
3	REVISION FOR PLANING COMMENTS	2024-02-05
4	REVISION FOR PLANING COMMENTS	2024-02-05
5	REVISION FOR PLANING COMMENTS	2024-02-05
6	REVISION FOR PLANING COMMENTS	2024-02-05

ISSUED FOR CONSTRUCTION
ISSUED FOR BUILDING PERMIT
ISSUED FOR SITE PLAN APPROVAL
SUBMITTALS

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND LOCATIONS OF ALL STRUCTURES AND LANDSCAPE ELEMENTS AND SUBMITTALS TO THE PLANNING DEPARTMENT FOR APPROVAL PRIOR TO CONSTRUCTION.

THE PLANNING DEPARTMENT SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION OF THE STRUCTURES AND LANDSCAPE ELEMENTS.

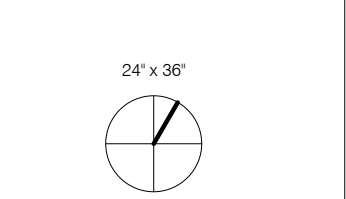
DO NOT SCALE DRAWING.

FCA
FAUSTO CORTESE ARCHITECTS
3090 RUTHERFORD RD. UNIT 7
VAUGHAN, ONTARIO, L4H 3T8
416-886-7000
FCORTESE@FCAARCHITECTS.CA

DRAWING: NEW 2-STOREY DWELLING
68 NETHERFORD RD, VAUGHAN, ON

SITE PLAN

DATE: 07/01/25 PROJECT NO: 2024-27
SCALE: 1:100 DRAWING NO:
DRAWN BY: P.S. REVIEWED BY: F.C. A100



7	REVISED FOR CoA - PLANNING COMMENTS	2025-02-06
6	REVISED FOR CoA - PLANNING COMMENTS	2025-02-11
5	REVISED FOR CoA - PLANNING COMMENTS	2025-02-06
3	REVISED FOR CoA - ZONING COMMENTS	2025-01-07
2	ISSUED FOR CoA	2024-11-22
1	ISSUED FOR CLIENT APPROVAL	2024-11-15
Revision Number	Revision Description	Revision Date

REVISIONS
SUED FOR CONSTRUCTION
SUED FOR BID
SUED FOR BUILDING PERMIT
SUED FOR SITE PLAN APPROVAL
SUBMITTALS

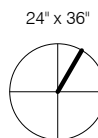
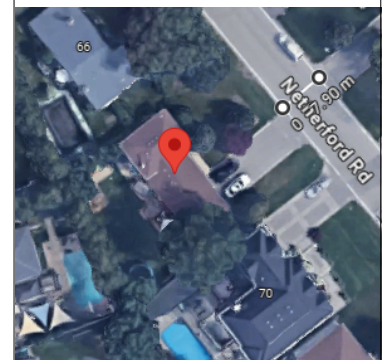
INSTRUCTIONS MUST CHECK AND VERIFY ALL DIMENSIONS
ON CONDITIONS ON THE PROJECT AND MUST REPORT
DISCREPANCIES TO THE DESIGNER BEFORE
PROCEEDING WITH CONSTRUCTION
DRAWINGS MUST NOT BE USED FOR CONSTRUCTION
PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER
NOT SCALE DRAWINGS



NEW 2- STORY DWELLING
68 NETHERFORD RD,
VAUGHAN, ON

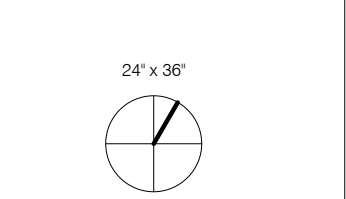
1st FLOOR PLAN

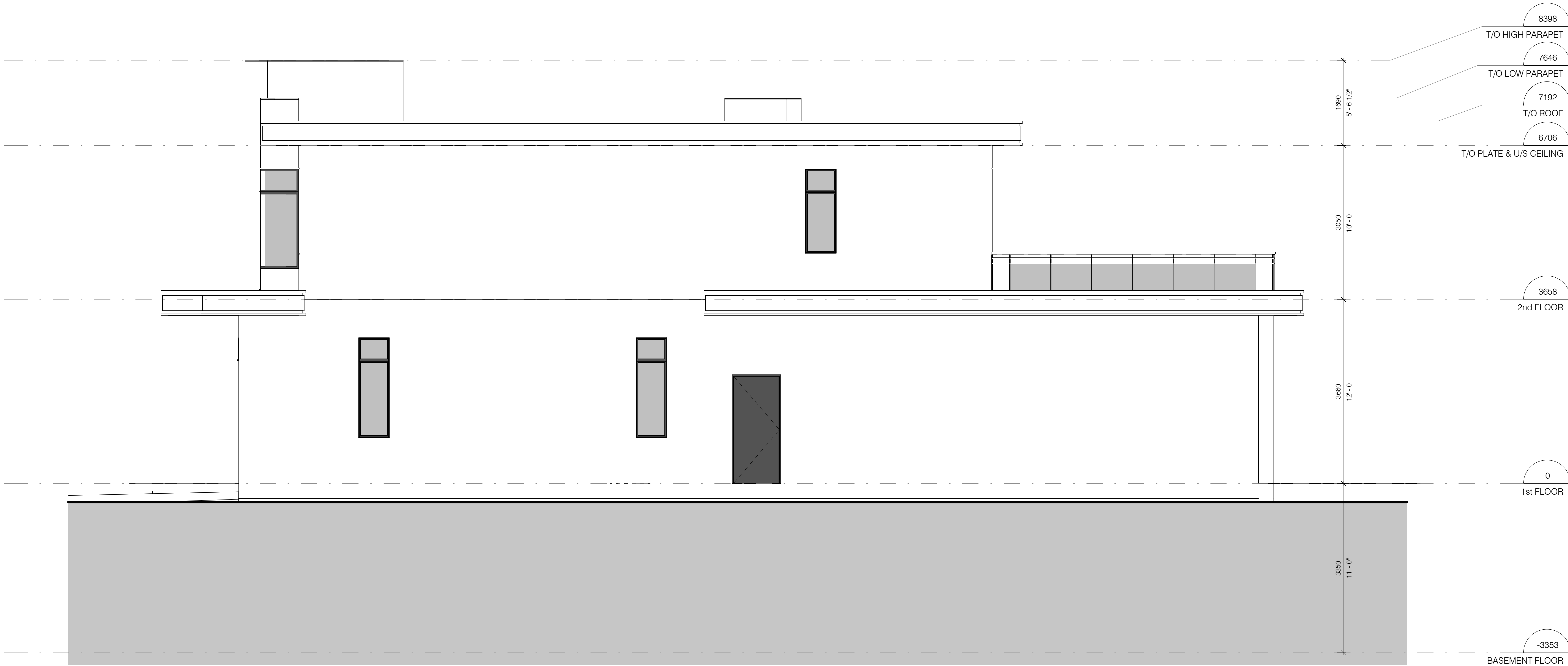
DATE: 07/01/25		PROJECT No: 2024-27
TIME: 1:50		DRAWING No: A201
DESIGNED BY: P.S	REVIEWED BY: F.C	



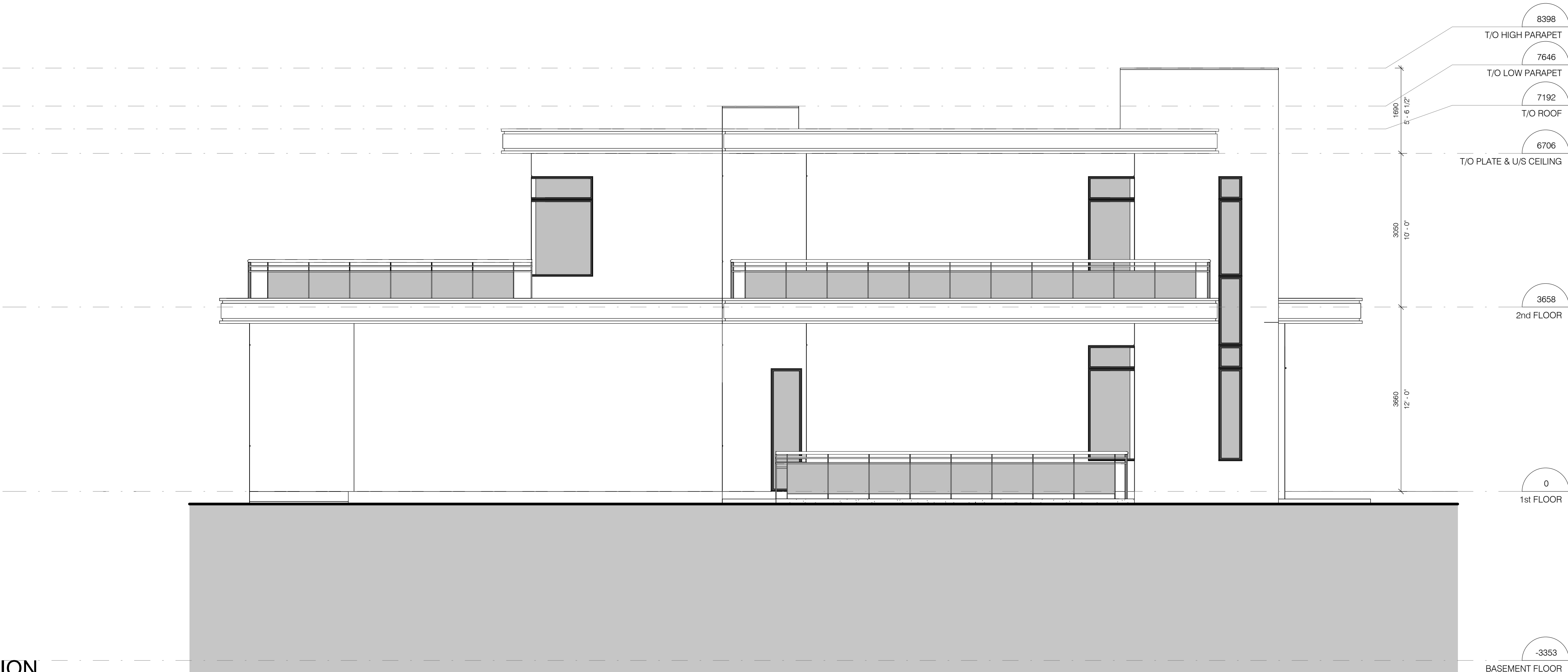
1 2nd FLOOR
1 : 50

1	REQUEST FOR C.A. PLANNING COMMENTS	2024-09-14
4	REVIEW FOR C.A. PLANNING COMMENTS	2024-10-11
3	REVIEW FOR C.A. PLANNING COMMENTS	2024-09-07
2	ISSUED FOR C.A.	2024-11-02
1	ISSUED FOR CLIENT APPROVAL	2024-11-15
REVISIONS		
Number	Revisions	Date
ISSUED FOR CONSTRUCTION		
ISSUED FOR BID		
ISSUED FOR BUILDING PERMIT		
ISSUED FOR SITE PLAN APPROVAL		
SUBMITTALS		
CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE PROJECT AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH CONSTRUCTION. THE DIMENSIONS OF ANY EXISTING CONSTRUCTION PROVIDED ARE FOR INFORMATION ONLY AND SHALL BE VERIFIED BY THE CONTRACTOR. DO NOT SCALE DRAWINGS.		
<div><div>FCA</div><div>FAUSTO CORTESE ARCHITECTS</div><div>3590 RUTHERFORD RD. UNIT 7 VAUGHAN, ONTARIO, L4H 3T8 416-856-7000 FCORTESE@FCAARCHITECTS.CA</div></div>		
DRAWING: NEW 2-STORY DWELLING 68 NETHERFORD RD, VAUGHAN, ON		
DRAWING: 2nd FLOOR PLAN		
DATE:	07/01/25	PROJECT No: 2024-27
SCALE:	1 : 50	DRAWING No:
DRAWN BY:	P.S.	REVIEWED BY: F.C.
		A202

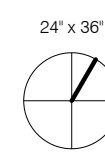
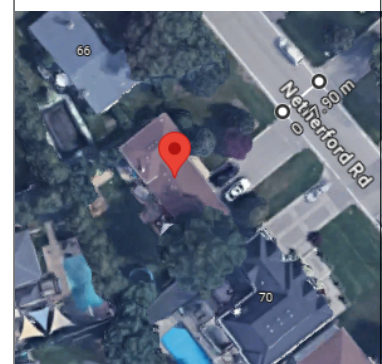
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1 NORTH ELEVATION
1 : 50



2 SOUTH ELEVATION
1 : 50



REV	DESCRIPTION	DATE
1	ISSUED FOR CONSTRUCTION	2024-01-11
2	ISSUED FOR BUILDING PERMIT	2024-01-11
3	ISSUED FOR SITE PLAN APPROVAL	2024-01-11
4	ISSUED FOR CONSTRUCTION	2024-01-11
5	ISSUED FOR CONSTRUCTION	2024-01-11
6	ISSUED FOR CONSTRUCTION	2024-01-11
7	ISSUED FOR CONSTRUCTION	2024-01-11
8	ISSUED FOR CONSTRUCTION	2024-01-11
9	ISSUED FOR CONSTRUCTION	2024-01-11
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3590 RUTHERFORD RD. UNIT 7
VAUGHAN, ONTARIO, L4H 3T8
416-856-7000
FCORTSE@FCAARCHITECTS.CA

NEW 2-STORY DWELLING
68 NETHERFORD RD,
VAUGHAN, ON

NORTH/SOUTH ELEVATIONS

DATE: 07/01/25 PROJECT: 2024-27
SCALE: 1 : 50 DRAWING: A301
DRAWN BY: P.C. REVIEWED BY: F.C.

SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING

Department / Agency *Comments Received	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions

External Agencies *Comments Received	Conditions Required		Nature of Comments *See Schedule B for full comments
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: January 23rd 2024

Attention: **Christine Vigneault**

RE: Request for Comments

File No.:

Related Files: **A194-24**

Applicant: Fausto Cortese Architects Inc.

Location 68 Netherford Road

COMMENTS:

- | | |
|-------------------------------------|--|
| <input type="checkbox"/> | We have reviewed the proposed Variance Application and have no comments or objections to its approval. |
| <input checked="" type="checkbox"/> | We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below). |
| <input type="checkbox"/> | We have reviewed the proposed Variance Application and have the following concerns (attached below). |

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

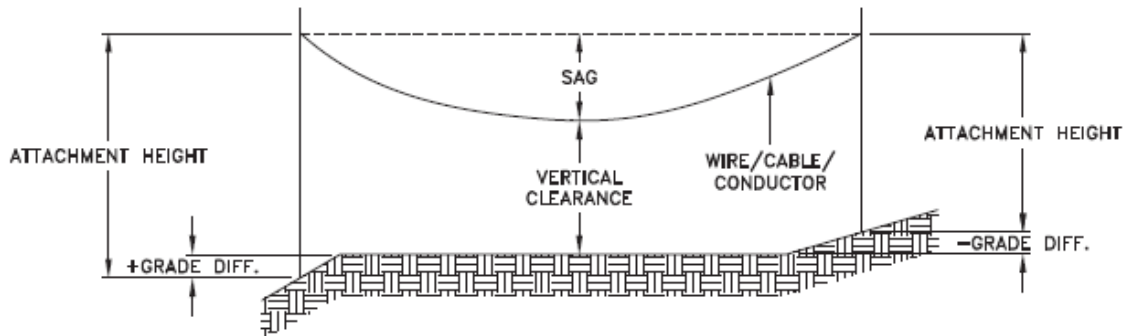
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS</u> AND <u>BICYCLES</u> ONLY	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 + GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

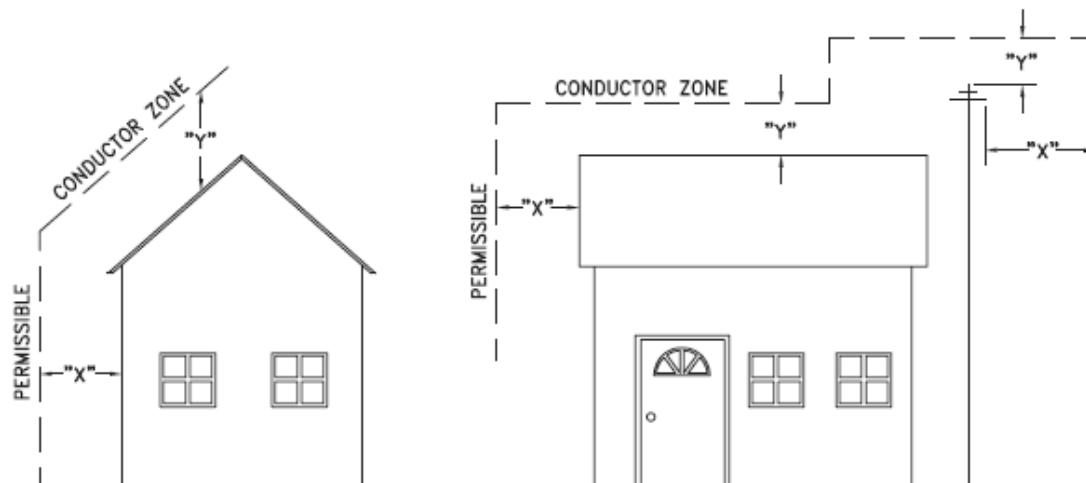
ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval

This construction Standard meets the safety requirements of Section 4 of Regulation 22/04

Joe Crozier, P.Eng. 2012-JAN-09
 Name Date

P.Eng. Approval By: Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARNACE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

- UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
- THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
- THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
- BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
- IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
- DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
- ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:

PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 3\3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 8:22:02 AM, Adobe PDF

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P.Eng. Approval By: D. Dadwani

To: Committee of Adjustment

From: Niloufar Youssefi, Building Standards Department

Date: February 27, 2025

Applicant: Fausto Cortese Architects Inc.

Location: 68 Netherford Road
PLAN RP5590 Lot 220

File No.(s): A194/24

Zoning Classification:

The subject lands are zoned R1E(EN) – First Density Residential Zone (Established Neighbourhood) under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A minimum front yard of 9.12m is required. [Table 7-3 & 4.5.3.b]	To permit a minimum front yard of 9.0m .
2	A minimum rear yard of 7.5m is required. [Table 7-3]	To permit a minimum rear yard of 1.98m .
3	A maximum lot coverage of 23% is permitted. [Table 7-3]	To permit a maximum lot coverage of 34.61% .
4	A maximum height of 8.5m is permitted. [Table 7-3 & 4.5.1.b].	To permit a maximum height of 8.7m .

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m².

Other Comments:

Zoning By-law 001-2021	
1	The location of the pool equipment has not be shown. Applicant to be advised that air conditioner (central), heat pump, condenser or similar equipment shall be in compliance with [Table 4-1] requirements.

General Comments	
2	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

From: [Zachary Guizzetti](#)
To: [Committee of Adjustment Mailbox](#)
Subject: A194/24 Vaughan - Forestry - Complete With Conditions (Gianluca Russo)
Date: Wednesday, January 22, 2025 12:41:26 PM

Please note that Vaughan - Forestry process is now complete for a COA folder with the following details:

File No: A194/24

Type: Minor Variance - Major Development

Address: 68 Netherford Rd

Comments:

Conditions: 1) Applicant/owner shall supply an arborist report to the satisfaction of the forestry division.
2) Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to any construction works on the subject property.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development and Parks Planning

Date: March 12, 2025

Name of Owner: Morgan Kenneth Snook

Location: 68 Netherford Road, Maple

File No.(s): A194/24

Proposed Variance(s) (By-law 001-2021):

1. To permit a minimum front yard of 9.0m.
2. To permit a minimum rear yard of 1.98m.
3. To permit a maximum lot coverage of 34.61%.
4. To permit a maximum height of 8.7m.

By-Law Requirement(s) (By-law 001-2021):

1. A minimum front yard of 9.12m is required.
2. A minimum rear yard of 7.5m is required.
3. A maximum lot coverage of 23% is permitted.
4. A maximum height of 8.5m is permitted.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-rise Residential"

Comments:

The Owner is seeking relief to permit the construction of a new two (2)-storey detached dwelling, with the above noted variances.

The Development and Parks Planning Department has no objection to Variance 1 to permit a front yard of 9.0m, whereas the Zoning By-law requires 9.12m. The 0.12 m reduction is minimal in nature. The proposed reduction maintains an appropriate separation distance between the dwelling and the public realm and is not anticipated to impede the overall functionality of the front yard.

The Development and Parks Planning Department has no objection to Variance 2 to permit a minimum rear yard of 1.98 m, whereas the By-law requires 7.5 m. The 1.98 m is measured at the northwest corner of the subject lands from the rear lot line to the proposed unenclosed loggia. The remainder of the dwelling is further setback and does not require relief. The proposed loggia is designed to be unenclosed which helps to significantly reduce massing effects to the surrounding properties. The 1.98 m rear yard setback is sufficient as the loggia is unenclosed and provides space for maintenance access, if required.

The Development and Parks Planning Department has no objection to Variance 3 for the proposed lot coverage of 34.61%. The dwelling accounts for 23% of the total lot coverage. The remaining lot coverage breakdown includes, 6.05% for the covered but unenclosed loggia, 1.61% for the covered front porch, and 3.95% for the unenclosed balcony. In 2004, Vaughan City Council directed Development Planning staff to undertake a comprehensive study and review of the redevelopment occurring in certain established neighbourhoods, including the one the Subject Lands are within. The objective was to establish development criteria that balanced the evolution of neighbourhoods with existing built form and character. As a result of the report, a maximum 23% lot coverage for 2-storey detached dwellings was determined to be appropriate. The 23% lot coverage maximum relates to the enclosed space of the dwelling. Some additional lot coverage above the maximum for accessory structures and covered but unenclosed porches and decks may be considered through site specific analysis. The lot coverage of the proposed two-storey dwelling meets the 23% lot coverage allowance of the study, and the additional lot coverage associated with unenclosed loggia, front porch and balcony are moderate given their position, scale, and design.

The Development and Parks Planning Department has no objection to Variance 4 to permit a maximum height of 8.7 m, whereas the By-law permits 8.5 m. The additional 0.2 m in height for the proposed dwelling is minimal in nature and is not anticipated to cause any adverse massing impacts on the surrounding properties.

Accordingly, the Development and Parks Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development and Parks Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None.

Comments Prepared by:

Alyssa Pangilinan, Planner 1
Janany Nagulan, Senior Planner

From: [Cameron McDonald](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A194/24 - 68 NETHERFORD ROAD - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Friday, January 24, 2025 9:09:11 AM
Attachments: [image002.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from the TRCA.

Based on the above, we have no comments/requirements.

Regards,

Cameron McDonald

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:(437)880-1925)

E: cameron.mcdonald@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](#) | trca.ca



From: [Hurst, Gabrielle](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A194/24 - 68 NETHERFORD ROAD - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Monday, January 27, 2025 10:22:04 AM

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good morning,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Regards,

Gabrielle

Gabrielle Hurst MCIP, RPP | Associate Planner, Development Planning, Economic and Development Services Branch | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
N/A				

SCHEDULE D: BACKGROUND

Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A