

<b>ITEM: 6.4</b>	<b>REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A013/25</b>
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Report Date: March 14, 2025

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Forestry	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input type="checkbox"/>	No Comments Received to Date
TRCA	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions

**PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)**

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
None				

**BACKGROUND (SCHEDULE D, IF REQUIRED)**

\* Background Information contains historical development approvals considered to be related to this file.  
This information should not be considered comprehensive.

Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

**ADJOURNMENT HISTORY**

\* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
N/A	N/A

**SCHEDULES**

<b>Schedule A</b>	Drawings & Plans Submitted with the Application
<b>Schedule B</b>	Comments from Agencies, Building Standards & Development Planning
<b>Schedule C</b> (if required)	Public & Applicant Correspondence
<b>Schedule D</b> (if required)	Background



## MINOR VARIANCE APPLICATION FILE NUMBER A013/25

<b>CITY WARD #:</b>	4
<b>APPLICANT:</b>	Benjamin & Orit Smith
<b>AGENT:</b>	Contempo Studio
<b>PROPERTY:</b>	104 Sir Modesto Court, Maple
<b>ZONING DESIGNATION:</b>	See below.
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Low Rise Residential"
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	N/A
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to permit the construction of a proposed two-storey dwelling, retaining wall, swimming pool, accessory structure (pool mechanical) and uncovered platform.

The following variances have been requested from the City's Zoning By-law:

**The subject lands are zoned R2A Second Density Residential Zone subject to Exception 14.847 and 14.850 under Zoning Bylaw 001-2021.**

#	Zoning By-law 001-2021	Variance requested
1	For a lot with a lot frontage greater than 12 m, a maximum driveway width of 9 m is permitted. [6.7.3, Table 6-11]	To permit a maximum driveway width of 10.26 m for a lot with a lot frontage greater than 12 m.
2	A minimum setback of 1.13 m is required from the westerly lot line to the retaining wall (window well). [4.13]	To permit a retaining wall (2 window well) with a height of 1.13 m to be setback a minimum of 0.62 m from the westerly lot line.
3	A maximum height of 3.0 m is permitted for a residential accessory structure. [4.1.4.1]	To permit a residential accessory structure (pool mechanical) with a height of 4.59 m.
4	An uncovered platform (paverstone terrace), with a floor height greater than 1.2 m as measured above grade and including access stairs, is permitted to encroach to a maximum of 2.4 m into the minimum required rear yard of 7.5 m [4.13] A setback of 5.1 m from the rear lot line is required.	To permit an uncovered platform (paverstone terrace) with a height of 2.0 m to encroach to a maximum of 5.28 m into the minimum required rear yard of 7.5 m. A setback of 2.22 m from the rear lot line is proposed.
5	Where the height of an outdoor swimming pool is greater than 1.5 m, the minimum setback from any lot line shall be 3.0 m. [4.21.6]	To permit an outdoor swimming pool with a height of 2.0 m to be setback 2.04 m from the westerly interior side lot line.
6	A minimum setback of 1.1 m is required from the southwesterly lot line to the retaining wall. [4.13]	To permit a retaining wall with a height of 1.1 m to be setback a minimum of 0.82 m from the southwesterly interior side lot line.

### HEARING INFORMATION

**DATE OF MEETING:** Thursday, March 20, 2025

**TIME:** 6:00 p.m.

**MEETING LOCATION:** Vaughan City Hall, Woodbridge Room (2<sup>nd</sup> Floor), 2141 Major Mackenzie Drive

**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

### PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

## HEARING INFORMATION

If you would like to submit written comments, please quote file number above and submit by mail or email to:

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to [cofa@vaughan.ca](mailto:cofa@vaughan.ca) no later than NOON on the last business day before the meeting.

**THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

## INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

## COMMITTEE OF ADJUSTMENT

<b>Date Public Notice Mailed:</b>	March 6, 2025
<b>Date Applicant Confirmed Posting of Sign:</b>	February 28, 2025
<b>Applicant Justification for Variances:</b> <small>*As provided in Application Form</small>	Does not comply with by-laws.
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b> <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
<b>COMMENTS:</b>	
N/A	
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None

## BUILDING STANDARDS (ZONING)

<b>**See Schedule B for Building Standards (Zoning) Comments</b>	
<b>Building Standards Recommended Conditions of Approval:</b>	None

## DEVELOPMENT PLANNING

<b>**See Schedule B for Development Planning Comments.</b>	
<b>Development Planning Recommended Conditions of Approval:</b>	None

## DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)   [Link to Pool Permit](#)   [Link to Curb Curt Permit](#)   [Link Culvert Installation](#)

Development Engineering has already received a grading permit from the Applicant/Owner. The Owner / Applicant shall apply for a 'Pool Grading Permit' with the Development Engineering (DE) Department. Please visit the grading permits page at City of Vaughan website to learn how to apply for the Pool Permit. If you have any question about Pool Grading Permit, please contact the Development Engineering Department through email at [DEPermits@vaughan.ca](mailto:DEPermits@vaughan.ca). The Owner/Applicant shall apply and obtain the necessary 'Curb Cut/Reinstating Permit' through the Transportation and Fleet Management Services. Please visit the Curb Cut Permits page at the City of Vaughan website to learn

## DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)  
 [Link to Pool Permit](#)  
 [Link to Curb Curt Permit](#)  
 [Link Culvert Installation](#)

how to apply for the Curb Cut/ Reinstating Permit. The proposed work by the Owner/Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer.

<b>Development Engineering Recommended Conditions of Approval:</b>	The Owner/Applicant shall submit an application for a Service Connection and to obtain a Cost Estimate by emailing <a href="mailto:serviceconnections@vaughan.ca">serviceconnections@vaughan.ca</a> . The Final Lot Grading and/or Servicing Plan will be required for the Service Connection Application. All costs associated with the service connection shall be the responsibility of the Owner/Applicant. Please visit the Service Connection page of the City of Vaughan's website: <a href="#">Service Connections   City of Vaughan</a> for more information. The Owner/Applicant is encouraged to initiate the process as early as possible
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## PARKS, FORESTRY & HORTICULTURE (PFH)

The following property falls under TRCA regulated area, therefore Under Ontario Regulation 166/06, any proposed development, interference, or alteration within the regulated area requires a permit from TRCA. If your property falls within TRCA's Regulated Area, you are advised to discuss your proposal with a TRCA Planner prior to submitting a permit application.

<b>PFH Recommended Conditions of Approval:</b>	None
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## DEVELOPMENT FINANCE

No comment no concerns.

<b>Development Finance Recommended Conditions of Approval:</b>	None
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## BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date.

<b>BCLPS Recommended Conditions of Approval:</b>	None
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## BUILDING INSPECTION (SEPTIC)

No comments received to date.

<b>Building Inspection Recommended Conditions of Approval:</b>	None
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## FIRE DEPARTMENT

No comments received to date.

<b>Fire Department Recommended Conditions of Approval:</b>	None
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## RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	TRCA <a href="mailto:Cameron.McDonald@trca.ca">Cameron.McDonald@trca.ca</a>	That the applicant provides the required fee amount of \$660.00 payable to the Toronto and Region Conservation Authority.

*All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.*

## IMPORTANT INFORMATION

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

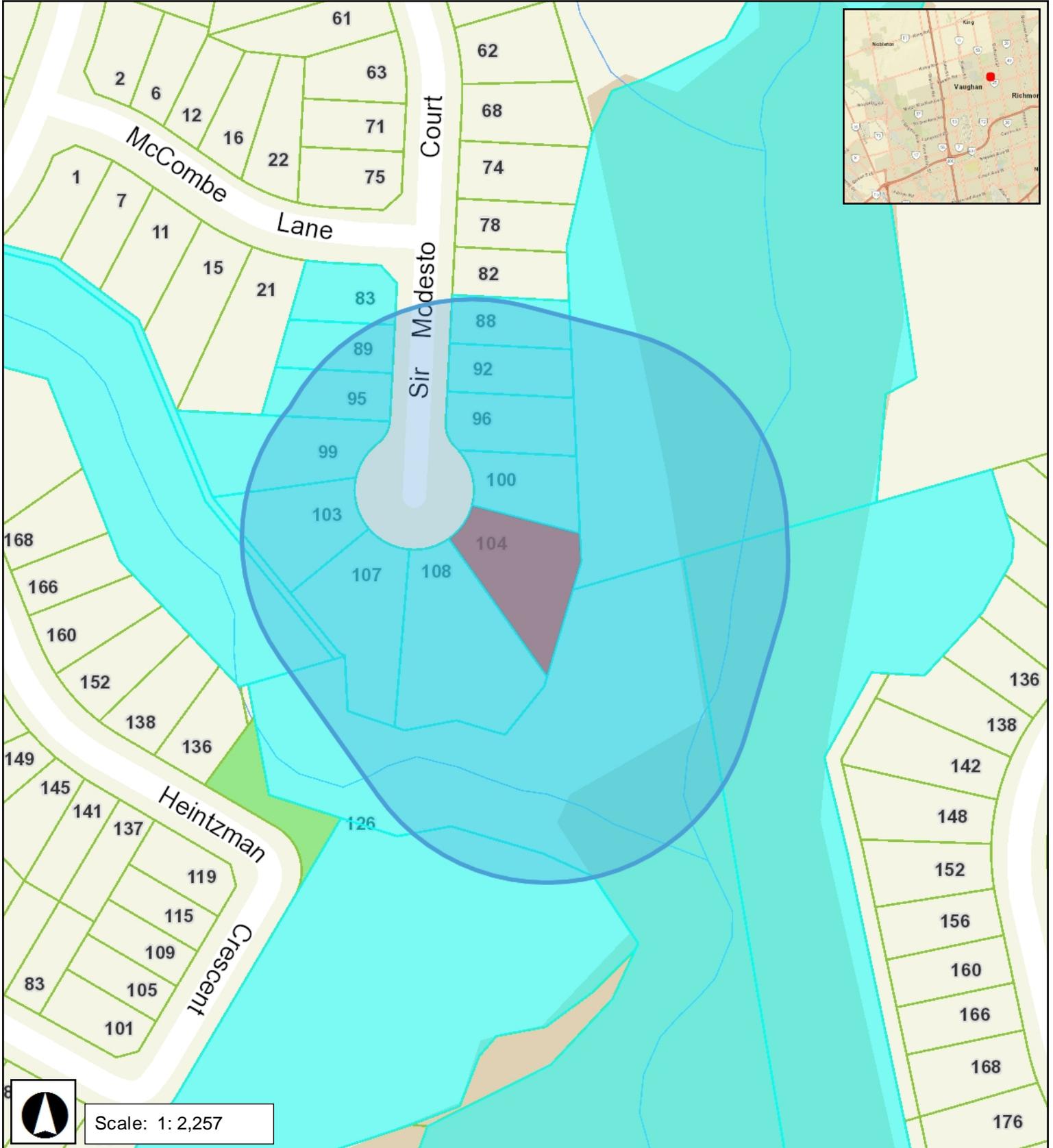
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**SCHEDULE A: DRAWINGS & PLANS**



This drawing, as an instrument of service, is provided by and is the property of Contempo Studio. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Contempo Studio of any variations from the supplied information.

This drawing is not to be scaled.

The designer is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked "for construction" must assume full responsibility and bear costs for any corrections or damages resulting from his work.

The copyright of this drawing is vested in Contempo Studio and it may not be reproduced in whole or part or used for the manufacture of any article without the express written permission.

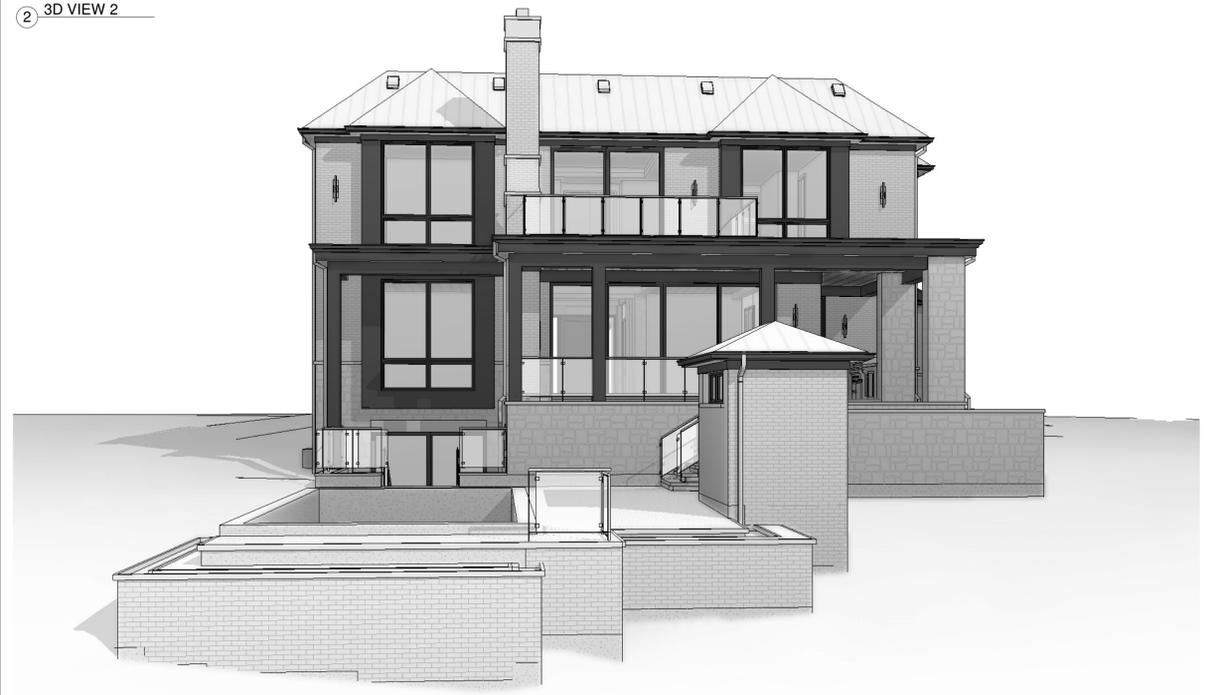
**RECEIVED**  
By russog at 8:47 am, Feb 10, 2025



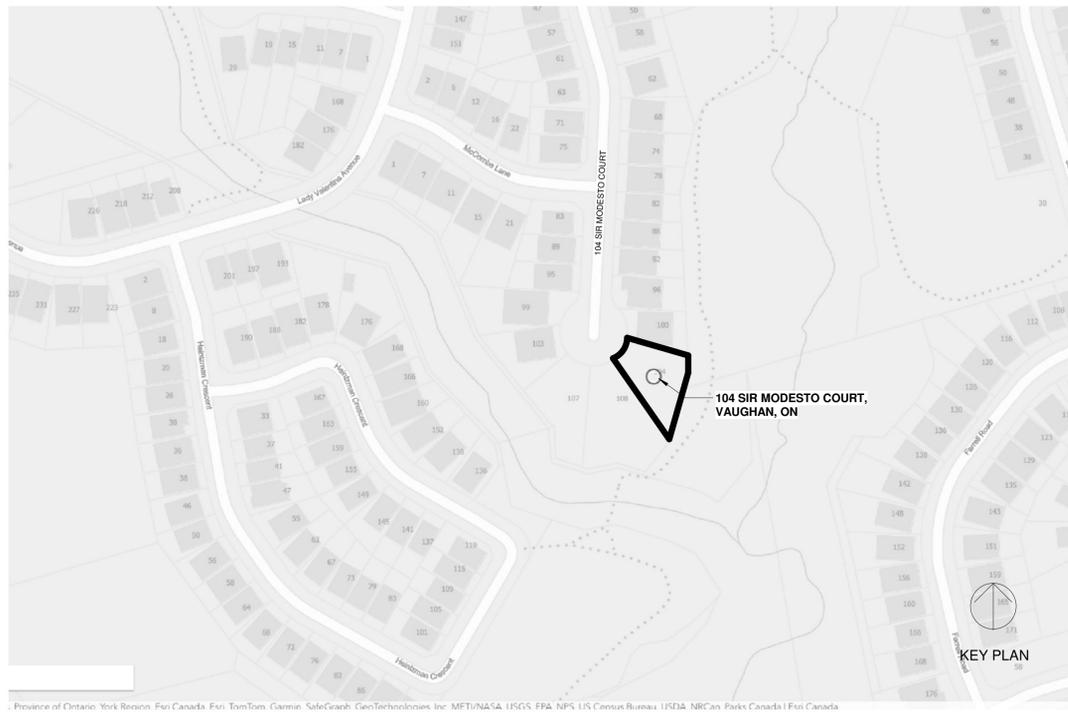
1 3D VIEW 1



2 3D VIEW 2



3 3D VIEW 3



PROJECT:  
**104 SIR MODESTO COURT,  
VAUGHAN, ON**

Project number: 2023-24  
Date: DECEMBER, 2024  
ISSUED FOR: PERMIT SUBMISSION

ARCHITECTURAL DESIGN  
CONTEMPO STUDIO  
1140 THE QUEENSWAY  
Toronto, Ontario M8Z 1P7  
info@contempostudio.ca  
w. contempostudio.ca  
t. 416 770 0071  
f. 416 642 1691

CONTRACTOR

STRUCTURAL ENGINEERS

HVAC CONSULTANT

Sheet List	
Sheet Number	Sheet Name
A0	COVER PAGE
A0.1	3D VIEWS
A0.2	GENERAL NOTES
A0.3	CONSTRUCTION NOTES
A0.4	CONSTRUCTION ASSEMBLIES
A1	SITE PLAN
A1.1	LANDSCAPE DIAGRAM
A1.2	LOT COVERAGE & GFA DIAGRAMS
A2	BASEMENT PLAN
A3	FIRST FLOOR PLAN
A4	SECOND FLOOR PLAN
A5	ROOF PLAN
A6	FRONT (NORTHWEST) ELEVATION
A7	FRONT (WEST) ELEVATION
A8	LEFT (NORTHEAST) ELEVATION
A9	REAR (SOUTHEAST) ELEVATION
A10	RIGHT (SOUTHWEST) ELEVATION
A11	WINDOW & DOOR SCHEDULES
A12	ELEVATION AREAS (FOR HVAC USE ONLY)
A13	SECTION
A14	SECTION
A15	SECTION
A16	SECTION
A17	3D SECTION
A18	3D SECTION
A19	DETAILS
A20	DETAILS
A21	DETAILS
A22	POOL MECH. FOUNDATION PLAN
A24	POOL MECH. FLOOR PLAN
A25	POOL MECH. ROOF PLAN
A26	POOL MECH. FRONT ELEVATION
A27	POOL MECH. LEFT ELEVATION
A28	POOL MECH. REAR ELEVATION
A29	POOL MECH. RIGHT ELEVATION
A30	RETAINING WALL SECTIONS

No.	Issued for:	Date
1.		
2.		

SEAL

**contempostudio**  
1140 The Queensway, Toronto, Ontario M8Z 1P7  
info@contempostudio.ca w. contempostudio.ca  
t. (416) 770-0071 f. (416) 642-1691

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents:

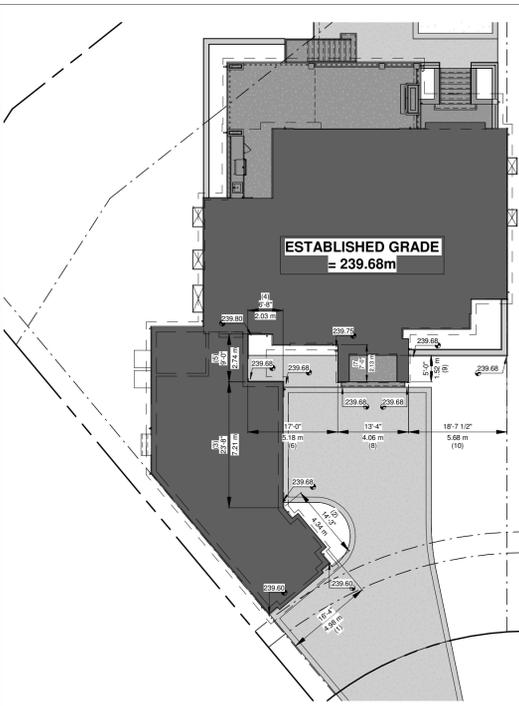
QUALIFICATION INFORMATION  
Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.  
MARIN ZABZUNI 45250  
NAME SIGNATURE BCIN  
REGISTRATION INFORMATION  
Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.  
CONTEMPO STUDIO 46972  
FIRM NAME BCIN

PROPOSED 2-STORY DWELLING  
AT  
**104 SIR MODESTO COURT,  
VAUGHAN, ON**

COVER PAGE

Project number: 2023-24  
Rev. no.:  
Scale:  
Date: JANUARY, 2025  
Drawn by: J.T. + M.R.  
Approved by: M.Z.

Drawing number: **A0**



**ESTABLISHED GRADE CALCULATION**  
1/16" = 1'-0"

Wall Segment	Wall Start Grade	Wall End Grade	Wall Average Grade	Wall Length	Product
1	239.60	239.60	239.60	4.98	1,193.21
2	239.60	239.68	239.64	4.34	1,040.04
3	239.68	239.68	239.68	7.21	1,728.09
4	239.68	239.68	239.68	2.03	486.55
5	239.68	239.80	239.74	2.74	656.89
6	239.80	239.75	239.78	5.18	1,242.03
7	239.75	239.68	239.72	2.13	510.59
8	239.68	239.68	239.68	4.06	973.10
9	239.68	239.68	239.68	1.52	364.31
10	239.68	239.68	239.68	5.68	1,361.38
<b>Total</b>			<b>2,396.87</b>	<b>39.87</b>	<b>9,556.20</b>
<b>Total Product Divided by Total Wall Length</b>					<b>239.68</b>

**Standard Notes**  
Development and Engineering Services  
Required for all Ontario Regulation 166/06 Permit or Voluntary Project Review applications  
Issued September 2020

**Toronto and Region Conservation Authority**

**Section 1: Site Management**

**Standard Notes**

- Erosion and Sediment Control (ESC) measures will be implemented prior to, and maintained during the construction phases, to prevent entry of sediment into the water. All damaged erosion and sediment control measures should be repaired and/or replaced within 48 hours of the inspection.
- Disturbed areas will be minimized to the extent possible, and temporarily or permanently stabilized or restored as the work progresses.
- All in-water and near-water works will be conducted in the dry with appropriate erosion and sediment controls.
- The erosion and sediment control strategies outlined on the plans are not static and may need to be upgraded/amended as site conditions change to minimize sediment loads runoff from leaving the work areas. If the prescribed measures on the plans are not effective in preventing the release of a deleterious substance, including sediment, then alternative measures must be implemented immediately to minimize potential ecological impacts. TRCA Enforcement Officer should be immediately contacted. Additional ESC measures to be kept on site and used, as necessary.
- An Environmental Monitor will attend the site to inspect all new controls immediately after installation. Inspection of ESC measures to be will occur, at minimum:
  - On a weekly basis;
  - Prior to significant rainfall events (minimum predicted 25mm over 24 hours);
  - After every rainfall/precipitation event and 7 Daily during extended rainfall periods.
 Inspections will focus on measures related to erosion and sediment controls, dewatering or unwatering, restoration and in- or near- water works. Should concerns arise on site the Environmental Monitor will contact the TRCA Enforcement Officer as well as the proponent.
- All activities, including maintenance procedures, will be controlled to prevent the entry of petroleum products, debris, rubble, concrete or other deleterious substances into the water. Vehicular refueling and maintenance will be conducted a minimum of 30 metres from the water.
- All grades within the Regulatory Flood Plain will be maintained or matched.
- The proponent/contractor shall monitor the weather several days in advance of the onset of the project to ensure that the works will be conducted during favourable weather conditions. Should an unexpected storm arise, the contractor will remove all unneeded items from the Regional Storm Flood Plan that would have the potential to cause a spill or an obstruction to flow, e.g., fuel tanks, porta-potties, machinery, equipment, construction materials, etc.
- All dewatering/unwatering shall be treated and released to the environment at least 30 metres from a watercourse or wetland and allowed to drain through a well-vegetated area. No dewatering effluent shall be sent directly to any watercourse, wetland or forest, or allowed to drain onto disturbed soils within the work area. These control measures shall be monitored for effectiveness and maintained or revised to meet the objective of preventing the release of sediment laden water.
- All access to the work site shall be from either side of the watercourse. No equipment or vehicles are permitted to cross through the watercourse unless approved by TRCA.

**Section 2: Construction Timing Best Management Practices** (the proponent/contractor should confirm directly with applicable provincial and federal agencies)

Prior to site disturbance the contractor/proponent should ensure that the works are in conformance with the Migratory Birds Convention Act. Please note that the general breeding bird timing window for this area is April 1st to August 31st, however, breeding activities might initiate prior to and continue past this period.

Where impacts to local fish populations may occur during their spawning, nursery and migratory periods, construction timing windows should apply to in-water or near-water activities. The proponent/contractor should confirm applicability and dates with appropriate provincial and federal agencies.

**Section 3: Fish and Wildlife Relocation**

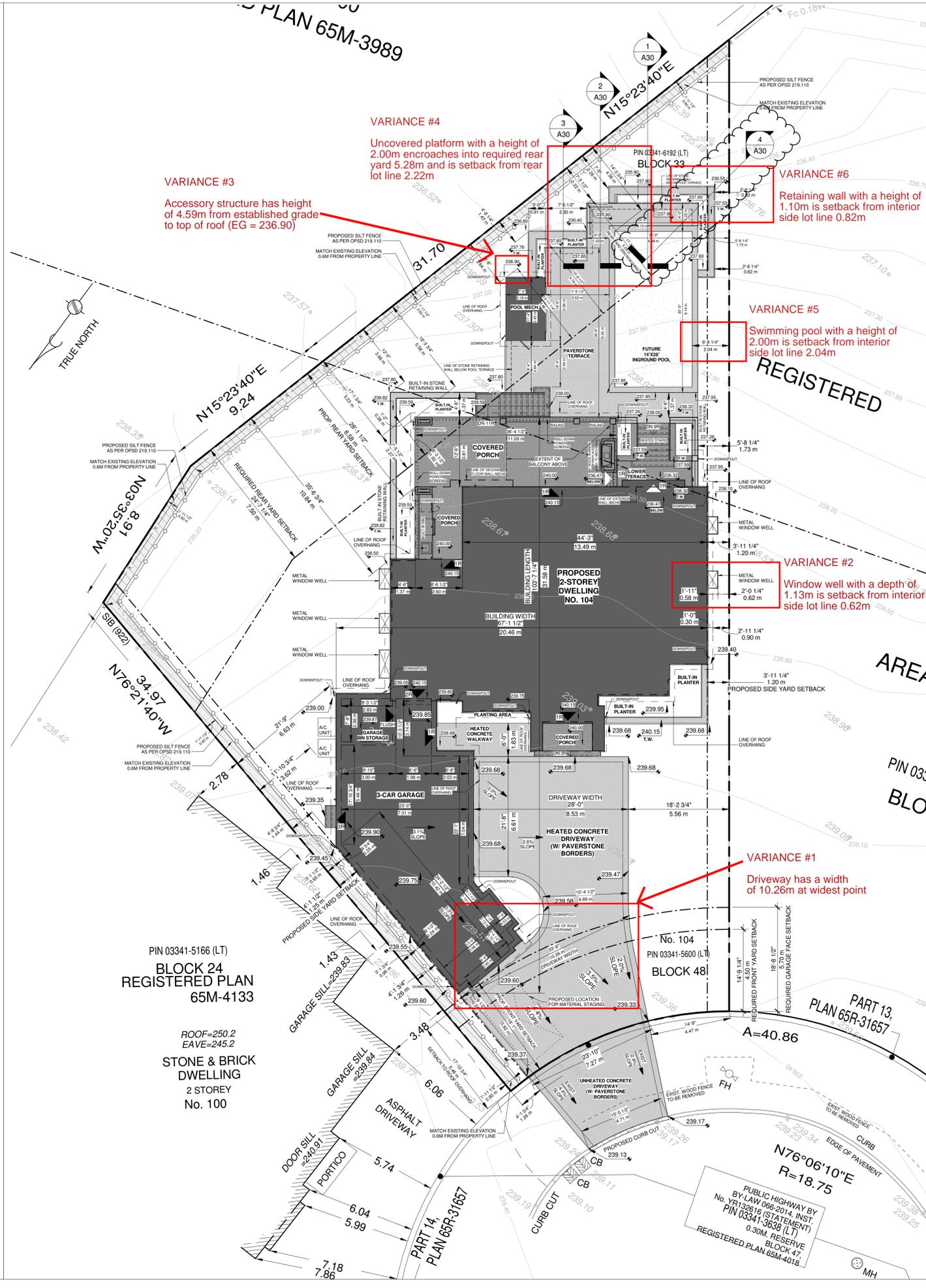
Fish and wildlife stranded within the work area shall be captured and released live in suitable habitat upstream of the work area under the supervision of qualified aquatic technical staff. The proponent/contractor should confirm requirements directly with Ministry of Natural Resources and Forestry.

**Section 4: Environmental Compliance**

Please notify TRCA Enforcement Officer (xxx at 416-661-6600; ext. xxxx, email) and TRCA Project Manager (xxx at 416-661-6600; ext. xxxx, email) 48 hours prior to commencing construction.

An Environmental Monitor will be on site, and provide advice, to ensure that activities that could have a negative impact to the natural environment are effectively mitigated as construction proceeds. The Environmental Monitor will notify the TRCA Enforcement Officer and Project Manager if issues arise.

**1 SITE PLAN**  
1" = 10'-0"



**PROJECT STATISTICS**

Address: 104 Sir Modesto Court, Vaughan, ON  
Municipality: York  
Legal Lot Description: Block 33, Registered Plan 65M-4243  
Date: 12/31/2024

**Zoning Designation:** R2A (B47, 650)  
Lot Area (Total): 12,650.54 sq. ft. 1,175.27 m<sup>2</sup> 0.12 ha  
Lot Frontage: 57.54 ft. 17.54 m  
Lot Depth: 142.92 ft. 43.56 m

**GROSS FLOOR AREA (GFA)**

Level	Permitted	Proposed
Max FSI	N/A	0.38
Max GFA	N/A	629.48 sq. ft. 58.48 m <sup>2</sup>
First Floor	2,064.04 sq. ft. 191.04 m <sup>2</sup>	2,015.02 sq. ft. 187.20 m <sup>2</sup>
Second Floor	2,015.02 sq. ft. 187.20 m <sup>2</sup>	2,015.02 sq. ft. 187.20 m <sup>2</sup>
GFA Subtotal	4,079.06 sq. ft. 378.24 m <sup>2</sup>	4,030.04 sq. ft. 374.40 m <sup>2</sup>
Plus Attached Garage	1,062.40 sq. ft. 98.70 m <sup>2</sup>	1,062.40 sq. ft. 98.70 m <sup>2</sup>
Less Required Parking	331.31 sq. ft. 30.78 m <sup>2</sup>	331.31 sq. ft. 30.78 m <sup>2</sup>
GFA Total	4,810.15 sq. ft. 446.96 m <sup>2</sup>	4,761.13 sq. ft. 442.32 m <sup>2</sup>
Garage Interior (incl. garage bin storage)	938.23 sq. ft. 87.16 m <sup>2</sup>	938.23 sq. ft. 87.16 m <sup>2</sup>
Finished Basement	2,278.45 sq. ft. 211.67 m <sup>2</sup>	2,278.45 sq. ft. 211.67 m <sup>2</sup>

**LOT COVERAGE**

Level	Permitted	Proposed
House Footprint	3,277.51 sq. ft. 304.49 m <sup>2</sup>	3,277.51 sq. ft. 304.49 m <sup>2</sup>
Front Covered Porch	45.00 sq. ft. 4.18 m <sup>2</sup>	45.00 sq. ft. 4.18 m <sup>2</sup>
Rear Covered Porch	440.52 sq. ft. 40.83 m <sup>2</sup>	440.52 sq. ft. 40.83 m <sup>2</sup>
Subtotal	3,763.03 sq. ft. 349.60 m <sup>2</sup>	3,763.03 sq. ft. 349.60 m <sup>2</sup>
Pool Mech.	81.22 sq. ft. 7.55 m <sup>2</sup>	81.22 sq. ft. 7.55 m <sup>2</sup>
Max Accessory Structure	67.00 m <sup>2</sup>	67.00 m <sup>2</sup>
Max Total	3,830.25 m <sup>2</sup>	3,830.25 m <sup>2</sup>

**ESTABLISHED GRADE**

Level	Permitted	Proposed
Max Building Height	11.00 m	31.14 ft. 9.49 m
Max Stories	3.00	2.00

**SETBACKS**

Level	Permitted	Proposed
Min Front (North-West)	4.88 m	19.09 ft. 5.82 m
Min Int. Right Side (South-West)	1.20 m	3.94 ft. 1.20 m
Min Int. Left Side (North-East)	1.20 m	4.10 ft. 1.25 m
Min Rear (South-East)	7.50 m	28.15 ft. 8.68 m
Garage Floor	5.70 m	19.09 ft. 5.82 m
Uncovered Platform - Int. Side (max 1.2m above grade)	0.60 m	N/A
Porch (including stairs)	1.20 m	48.36 ft. 14.74 m
Retractable Canopy - Front & Est. Side	0.60 m	N/A
Retaining Wall (varies, see SP)	VARIABLES	VARIABLES

**ACCESSORY STRUCTURES**

Level	Permitted	Proposed
Max Height	3.00 m	15.06 ft. 4.59 m
Max Coverage	4.700 m <sup>2</sup>	51.23 sq. ft. 7.55 m <sup>2</sup>
Max Floor Area	3.00 m <sup>2</sup>	15.06 m <sup>2</sup> 4.59 m <sup>2</sup>

**OUTDOOR POOL**

Level	Permitted	Proposed
Max Height	2.00 m	2.00 m
Min Int. Side Setback	3.00 m	6.69 ft. 2.04 m
Min Rear Setback	3.00 m	14.31 ft. 4.36 m

**Level Schedule**

Name	Elevation
BASEMENT	236.47
POOL MECH. ESTABLISHED GRADE	236.90
POOL MECH. AVERAGE GRADE	237.65
POOL MECH. FIRST FLOOR	238.11
BASEMENT CEILING	239.47
ESTABLISHED GRADE	239.68
EDGE OF GARAGE	239.68
FIRST FLOOR	240.15
POOL MECH. CEILING	240.70
POOL MECH. TOP OF ROOF	241.49
F.F. CEILING	243.50
SECOND FLOOR	243.91
TOP OF GARAGE	246.22
S.F. CEILING	246.96
TOP OF ROOF	249.22

**LEGEND**

- MAIN FOOTPRINT
- EXISTING TREES TO BE REMOVED
- PROPOSED TREES
- PROPERTY LINE
- SETBACK
- EXISTING ELEMENTS TO BE REMOVED
- EXISTING GRADE MARKER
- PROPOSED GRADE MARKER
- MAIN LEVEL EXT
- LOWER LEVEL EXT

**Level Schedule**

Name	Elevation
BASEMENT	236.47
POOL MECH. ESTABLISHED GRADE	236.90
POOL MECH. AVERAGE GRADE	237.65
POOL MECH. FIRST FLOOR	238.11
BASEMENT CEILING	239.47
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**VARIANCE #1**  
Driveway has a width of 10.26m at widest point

**VARIANCE #2**  
Window well with a depth of 1.13m is setback from interior side lot line 0.62m

**VARIANCE #3**  
Accessory structure has height of 4.59m from established grade to top of roof

**VARIANCE #4**  
Uncovered platform with a height of 2.00m encroaches into required rear yard 5.28m and is setback from rear lot line 2.22m

**VARIANCE #5**  
Swimming pool with a height of 2.00m is setback from interior side lot line 2.04m

**VARIANCE #6**  
Retaining wall with a height of 1.10m is setback from interior side lot line 0.82m

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MARIN ZABZUNI 45250  
NAME SIGNATURE BCIN

**REGISTRATION INFORMATION**  
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CONTEMPO STUDIO 46972  
FIRM NAME BCIN

**PROPOSED 2-STORY DWELLING**  
AT  
104 SIR MODESTO COURT,  
VAUGHAN, ON

**SITE PLAN**

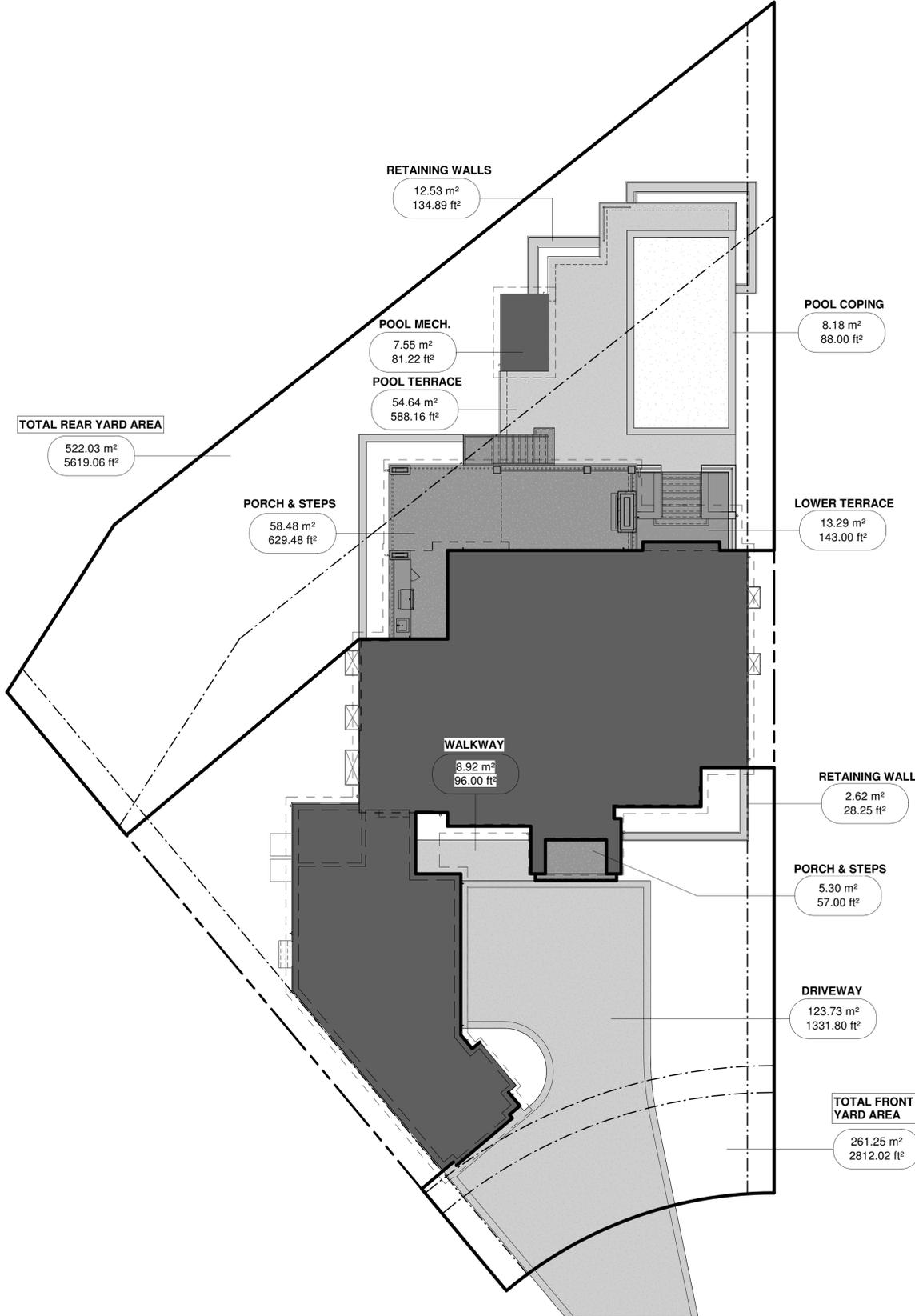
Project number: 2023-24  
Rev. no.: As indicated  
Scale: JANUARY, 2025  
Drawn by: J.T. + M.R.  
Approved by: M.Z.

Drawing number: **A1**

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LANDSCAPE AREA			
	Permitted	Proposed	
<b>Total Front Yard Area (Contains Driveway)</b>			
<b>Total Front Yard Area</b>		<b>2,812.02 sq.f</b>	<b>261.25 m2</b>
<b>Excluding</b>			
Porch & Steps		57.00 sq.f	5.30 m2
Driveway/Ramp		1,331.80 sq.f	123.73 m2
<b>Total Front Yard Landscaping Area</b>	<b>130.62 m2</b>	<b>1,423.22 sq.f</b>	<b>132.22 m2</b>
	<b>50.00%</b>		<b>50.61%</b>
<b>Less Hardscaping</b>			
Walkway		96.00 sq.f	8.92 m2
Patios/Terraces		0.00 sq.f	0.00 m2
Retaining Walls		28.25 sq.f	2.62 m2
<b>Total Front Yard Softscaping Area</b>	<b>78.37 m2</b>	<b>1,298.97 sq.f</b>	<b>120.68 m2</b>
	<b>60.00%</b>		<b>92.39%</b>
<b>Total Rear Yard Area (greater than 132.00 m2)</b>			
<b>Total Rear Yard Area</b>		<b>5,619.06 sq.f</b>	<b>522.03 m2</b>
<b>Excluding</b>			
Porch & Steps		629.48 sq.f	58.48 m2
Lower Terrace		134.72 sq.f	12.52 m2
<b>Total Rear Yard Landscaping Area</b>	<b>4,854.86 sq.f</b>	<b>451.03 m2</b>	<b>86.40%</b>
<b>Less Hardscaping</b>			
Walkway		0.00 sq.f	0.00 m2
Pool Terrace		588.16 sq.f	54.64 m2
Pool Mech.		81.22 sq.f	7.55 m2
Retaining Walls		134.89 sq.f	12.53 m2
Pool Coping		88.00 sq.f	8.18 m2
<b>Total Rear Yard Softscaping Area</b>	<b>313.22 m2</b>	<b>3,962.59 sq.f</b>	<b>368.14 m2</b>
	<b>60.00%</b>		<b>70.52%</b>

**NOTES:**  
 In the R1, R1A, R1B, R1C, R1D, R1E, R2, R2A, R3, R4, R5 & RT Zones, any portion of a yard in excess of 135.0 m2 must be min 60% soft landscape.  
 In Residential Zone, except for RM Zones the following requirements shall apply to the yard in which a driveway is located:  
 a. Where lot frontage is between 6.0 m and 11.99 m, the min. landscape shall be 33%, of which 60% shall be soft landscape.  
 b. Where lot frontage is 12.0 m or greater, or where lot contains circular driveway, the min. landscape requirement shall be 50%, of which 60% shall be soft landscaping.  
 Hard landscape = artificial turf, unit pavers, patio stones, concrete, decorative stonework or other arch. elements designed and used to enhance the visual amenity of a property.  
 Soft landscape = open land used for grass, flowers, shrubs, trees, and similar vegetation, and may include granular geological materials.

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 MARIN ZABZUNI 45250  
 NAME SIGNATURE BCIN  
**REGISTRATION INFORMATION**  
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 CONTEMPO STUDIO 46972  
 FIRM NAME BCIN

PROPOSED 2-STOREY DWELLING  
 AT  
 104 SIR MODESTO COURT,  
 VAUGHAN, ON

LANDSCAPE DIAGRAM



Project number: 2023-24  
 Rev. no.:  
 Scale: 1" = 10'-0"  
 Date: JANUARY, 2025  
 Drawn by: J.T. + M.R.  
 Approved by: M.Z.

Drawing number: **A1.1**

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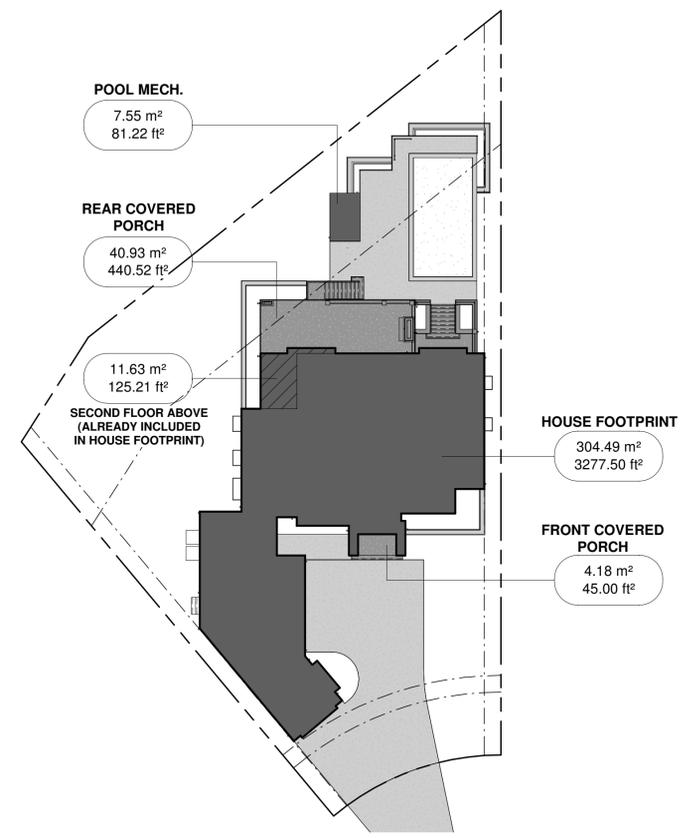
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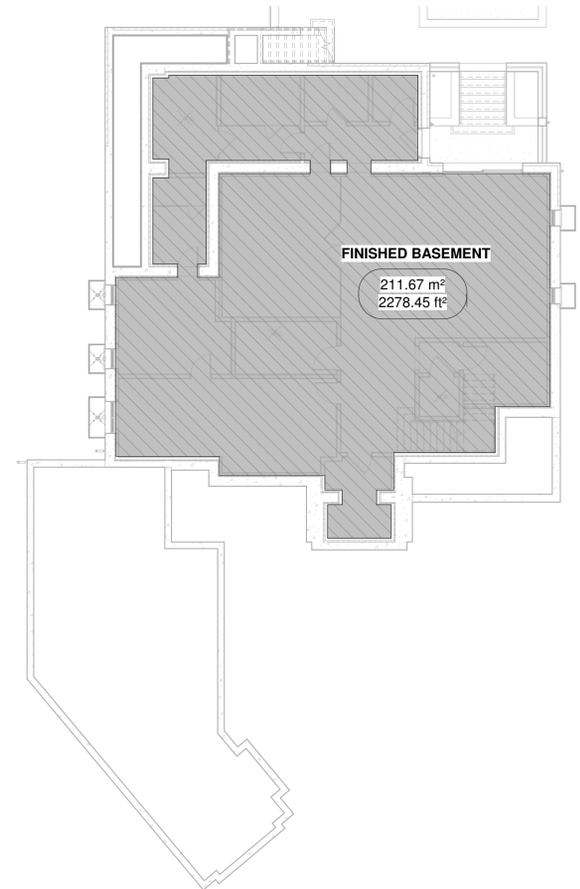
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GROSS FLOOR AREA (FSI)			
	Permitted	Proposed	
<b>Max FSI</b>	N/A	<b>0.38</b>	
<b>Max GFA</b>			
First Floor		2,064.94 sq.f	191.84 m2
<i>(Includes 77.67sf stairs. Excludes 0.00sf OTB, 24.58sf elevator, &amp; 0.00sf mech room)</i>			
Second Floor		2,015.02 sq.f	187.20 m2
<i>(Includes 77.67sf stairs. Excludes 141.84sf OTB, 24.58sf elevator, &amp; 26.75sf mech room)</i>			
<b>GFA Subtotal</b>		<b>4,079.96 sq.f</b>	<b>379.04 m2</b>
Plus Attached Garage		1,062.40 sq.f	98.70 m2
<i>(Attached or detached garage, to exterior face of garage walls)</i>			
Less Required Parking		331.31 sq.f	30.78 m2
<i>(Parking space area = 2.7m x 5.7m = 15.39sm each. Min 2 spaces per dwelling unit required)</i>			
<b>GFA Total</b>	N/A	<b>4,811.05 sq.f</b>	<b>446.96 m2</b>
Garage Interior (incl. garbage bin storage)		938.23 sq.f	87.16 m2
<i>(To interior face of garage walls)</i>			
Finished Basement		2,278.45 sq.f	211.67 m2
<i>(To interior face of basement walls, ONLY finished basement spaces)</i>			
<b>NOTES:</b> Means the aggregate of the floor areas of all storeys of a building measured from the outside of the exterior walls. Excludes any basement, attic, mechanical room, electrical room, elevator shaft, and vehicle and bicycle parking areas.			

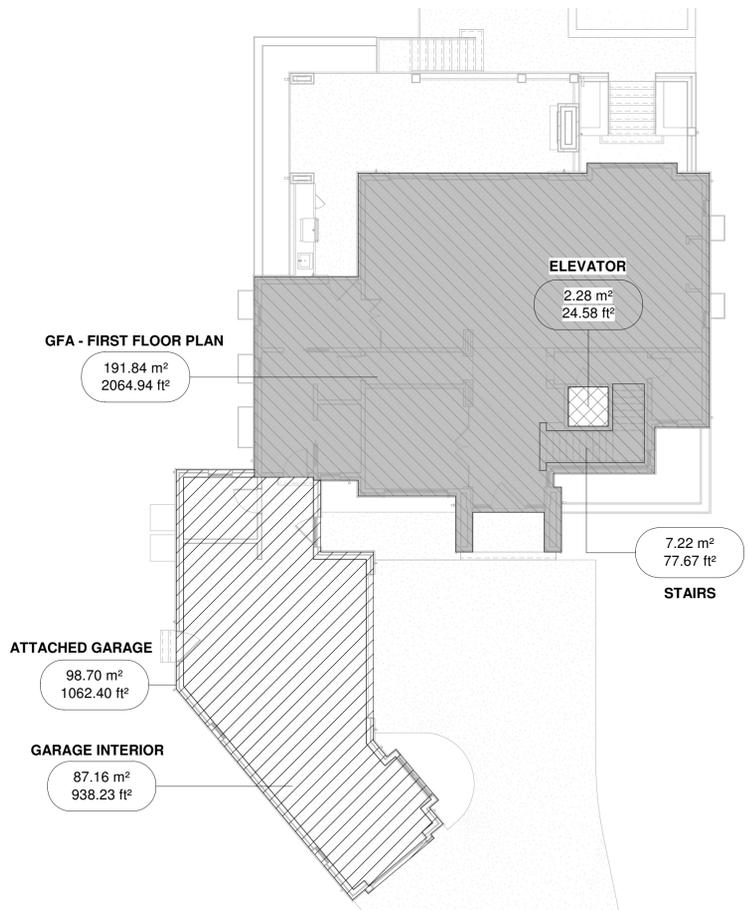
LOT COVERAGE			
	Permitted	Proposed	
House Footprint		3,277.51 sq.f	304.49 m2
			25.91%
Front Covered Porch		45.00 sq.f	4.18 m2
			0.36%
Rear Covered Porch		440.52 sq.f	40.93 m2
			3.48%
<b>Max Main Building/ Structure Subtotal</b>		<b>3,763.03 sq.f</b>	<b>349.60 m2</b>
			29.75%
Pool Mech.		81.22 sq.f	7.55 m2
<b>Max Accessory Structure Subtotal</b>	<b>67.00 m2</b>	<b>81.22 sq.f</b>	<b>7.55 m2</b>
	<b>5.70%</b>		<b>0.64%</b>
<b>Max Total</b>	<b>646.40 m2</b>	<b>3,844.25 sq.f</b>	<b>357.14 m2</b>
	<b>55.00%</b>		<b>30.39%</b>
<b>NOTES:</b> Includes percentage of the lot covered by all buildings / structures located above grade, as measured to the exterior limits of a building, or covered structure, and excludes eaves and gutters. The maximum lot coverage of all accessory buildings / structures, excluding accessory detached garage, shall be 10% or 67.0 m2, whichever is less			



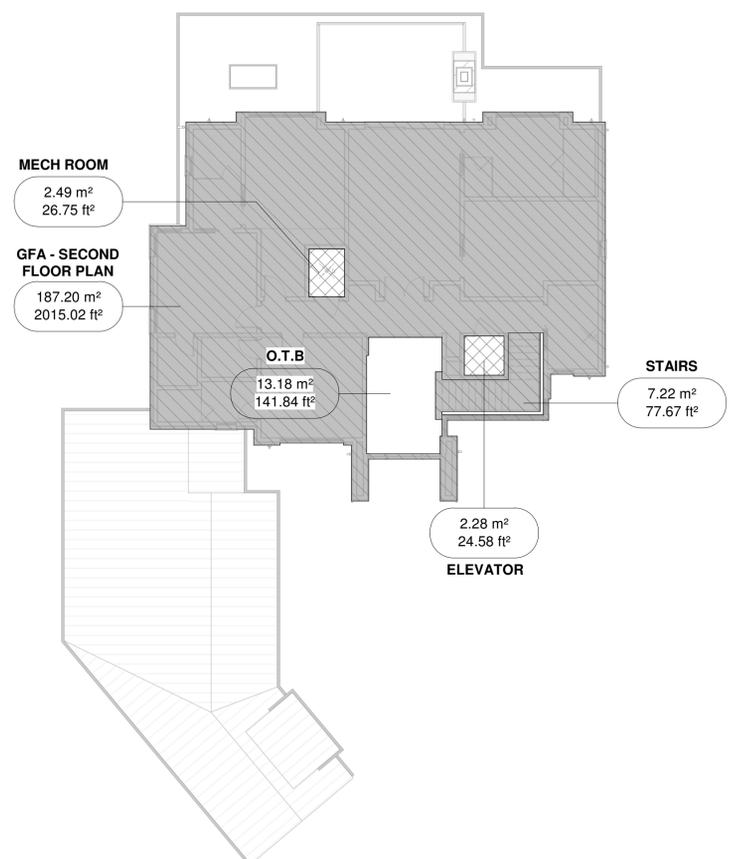
1 LOT COVERAGE DIAGRAM  
1" = 20'-0"



2 GFA - BASEMENT PLAN  
3/32" = 1'-0"



3 GFA - FIRST FLOOR PLAN  
3/32" = 1'-0"



4 GFA - SECOND FLOOR PLAN  
3/32" = 1'-0"

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MARIN ZABZUNI 45250  
NAME SIGNATURE BCIN

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CONTEMPO STUDIO 46972  
FIRM NAME BCIN

PROPOSED 2-STORY DWELLING  
AT  
104 SIR MODESTO COURT,  
VAUGHAN, ON

LOT COVERAGE & GFA DIAGRAMS



Project number: 2023-24  
Rev. no.: As indicated  
Scale: JANUARY, 2025  
Date: J.T. + M.R.  
Drawn by: M.Z.  
Approved by:

Drawing number: **A1.2**

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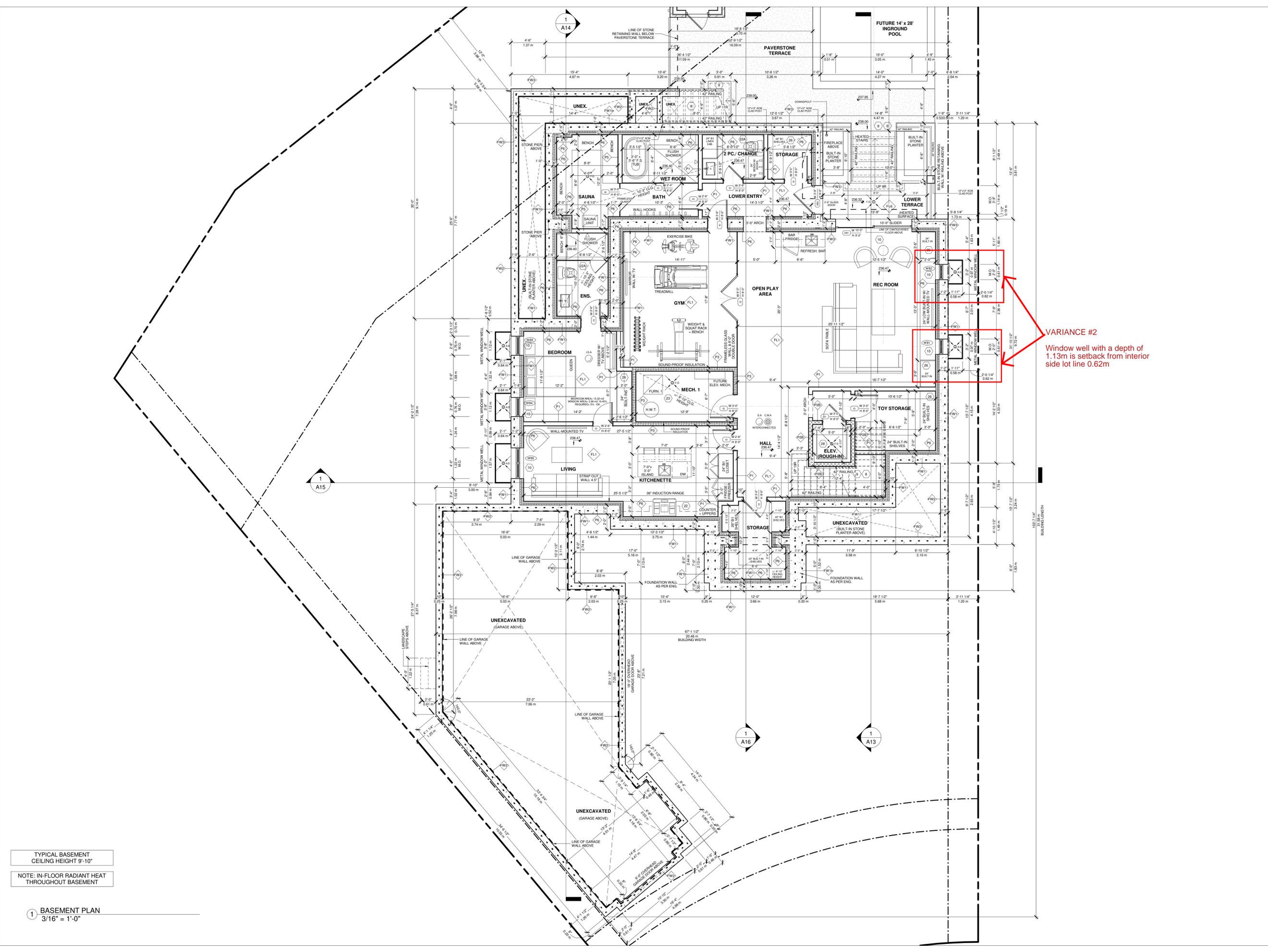
PROPOSED 2-STORY DWELLING  
 AT  
 104 SIR MODESTO COURT,  
 VAUGHAN, ON

BASEMENT PLAN



Project number: 2023-24  
 Rev. no.:  
 Scale: 3/16" = 1'-0"  
 Date: JANUARY, 2025  
 Drawn by: J.T. + M.R.  
 Approved by: M.Z.

Drawing number: **A2**



TYPICAL BASEMENT  
 CEILING HEIGHT 9'-10"

NOTE: IN-FLOOR RADIANT HEAT  
 THROUGHOUT BASEMENT

1 BASEMENT PLAN  
 3/16" = 1'-0"

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SIGNATURE	BCIN
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CONTEMPOSTUDIO	46972
FIRM NAME	BCIN

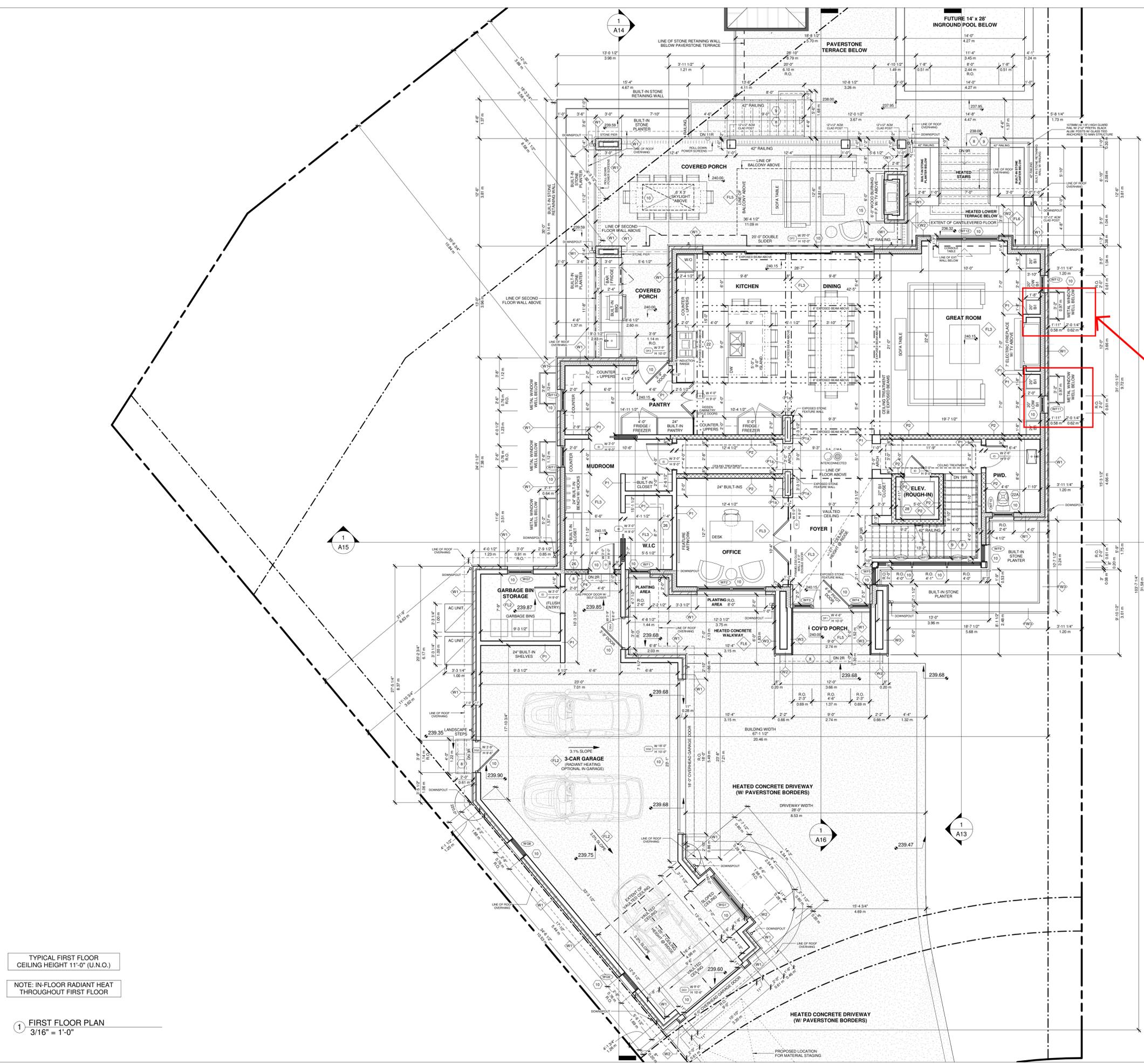
PROPOSED 2-STORY DWELLING  
 AT  
 104 SIR MODESTO COURT,  
 VAUGHAN, ON

FIRST FLOOR PLAN



Project number:	2023-24
Rev. no.:	3/16" = 1'-0"
Scale:	JANUARY, 2025
Date:	J.T. + M.R.
Drawn by:	M.Z.
Approved by:	

Drawing number: **A3**



TYPICAL FIRST FLOOR  
 CEILING HEIGHT 11'-0" (U.N.O.)  
 NOTE: IN-FLOOR RADIANT HEAT  
 THROUGHOUT FIRST FLOOR

1 FIRST FLOOR PLAN  
 3/16" = 1'-0"

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CONTEMPO STUDIO 46972  
 FIRM NAME BCIN

PROPOSED 2-STORY DWELLING  
 AT  
 104 SIR MODESTO COURT,  
 VAUGHAN, ON

SECOND FLOOR PLAN



Project number: 2023-24  
 Rev. no.:  
 Scale: 3/16" = 1'-0"  
 Date: JANUARY, 2025  
 Drawn by: J.T. + M.R.  
 Approved by: M.Z.

Drawing number:

**A4**

TYPICAL SECOND FLOOR  
 CEILING HEIGHT 10'-0" (U.N.O.)

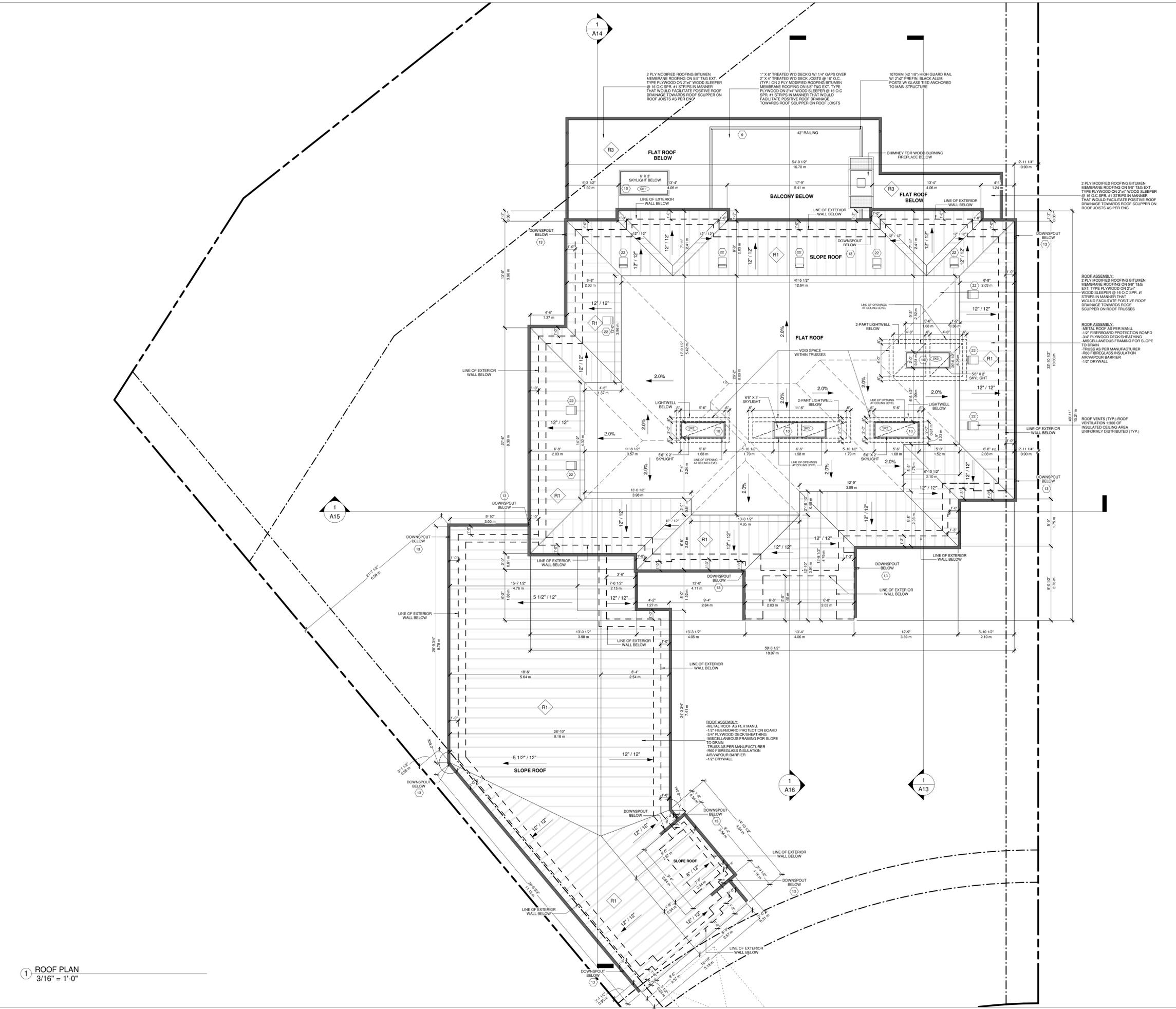
NOTE: IN-FLOOR RADIANT HEAT  
 THROUGHOUT SECOND FLOOR

1 SECOND FLOOR PLAN  
 3/16" = 1'-0"

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WHEN TRUSS LAYOUT IS DIFFERENT FROM WHAT IS SHOWN ON PERMIT PLANS AND SOLID BEARING OF GIRDER TRUSS IS SITTING ON WINDOWS LINTEL, LINTEL SHALL BE DESIGN BY TRUSS MANUFACTURER.



1 ROOF PLAN  
3/16" = 1'-0"

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CONTEMPO STUDIO 46972  
FIRM NAME BCIN

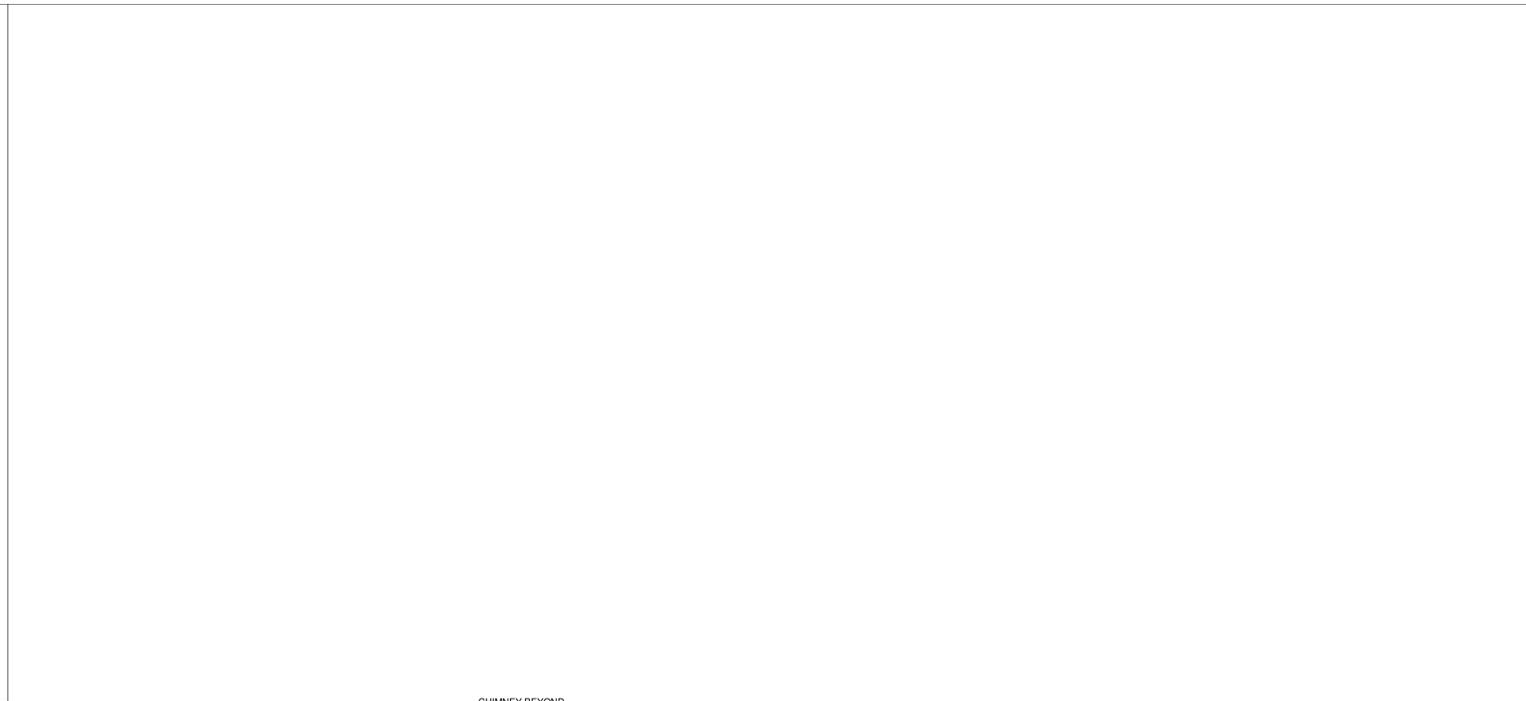
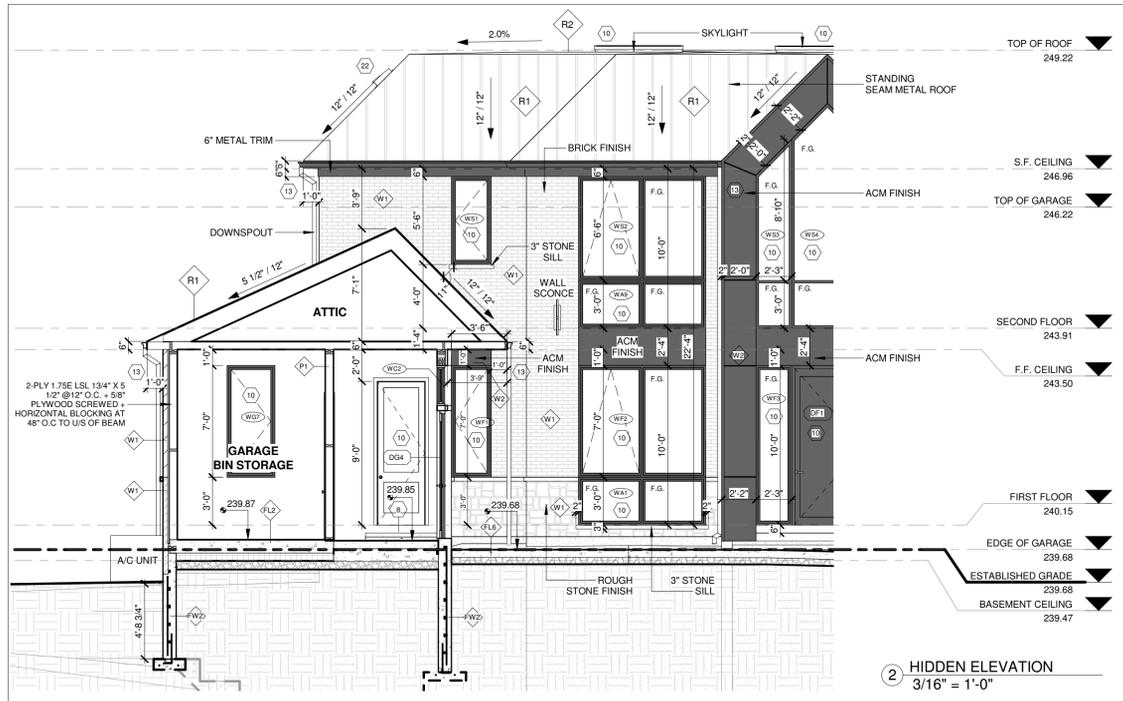
PROPOSED 2-STOREY DWELLING  
AT  
104 SIR MODESTO COURT,  
VAUGHAN, ON

ROOF PLAN



Project number: 2023-24  
Rev. no.:  
Scale: 3/16" = 1'-0"  
Date: JANUARY, 2025  
Drawn by: J.T. + M.R.  
Approved by: M.Z.

Drawing number: **A5**



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 t. (416) 770-0071 f. (416) 642-1691

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents:

QUALIFICATION INFORMATION	
Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.	
MARIN ZABZUNI	45250
NAME	SIGNATURE
	REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.7, Division C of the Ontario Building Code.	
CONTEMPO STUDIO	46972
FIRM NAME	BCIN

PROPOSED 2-STORY DWELLING  
 AT  
 104 SIR MODESTO COURT,  
 VAUGHAN, ON  
 FRONT (NORTHWEST) ELEVATION

Project number:	2023-24
Rev. no.:	As Indicated
Scale:	J.T. + M.R.
Date:	M.Z.
Drawn by:	
Approved by:	

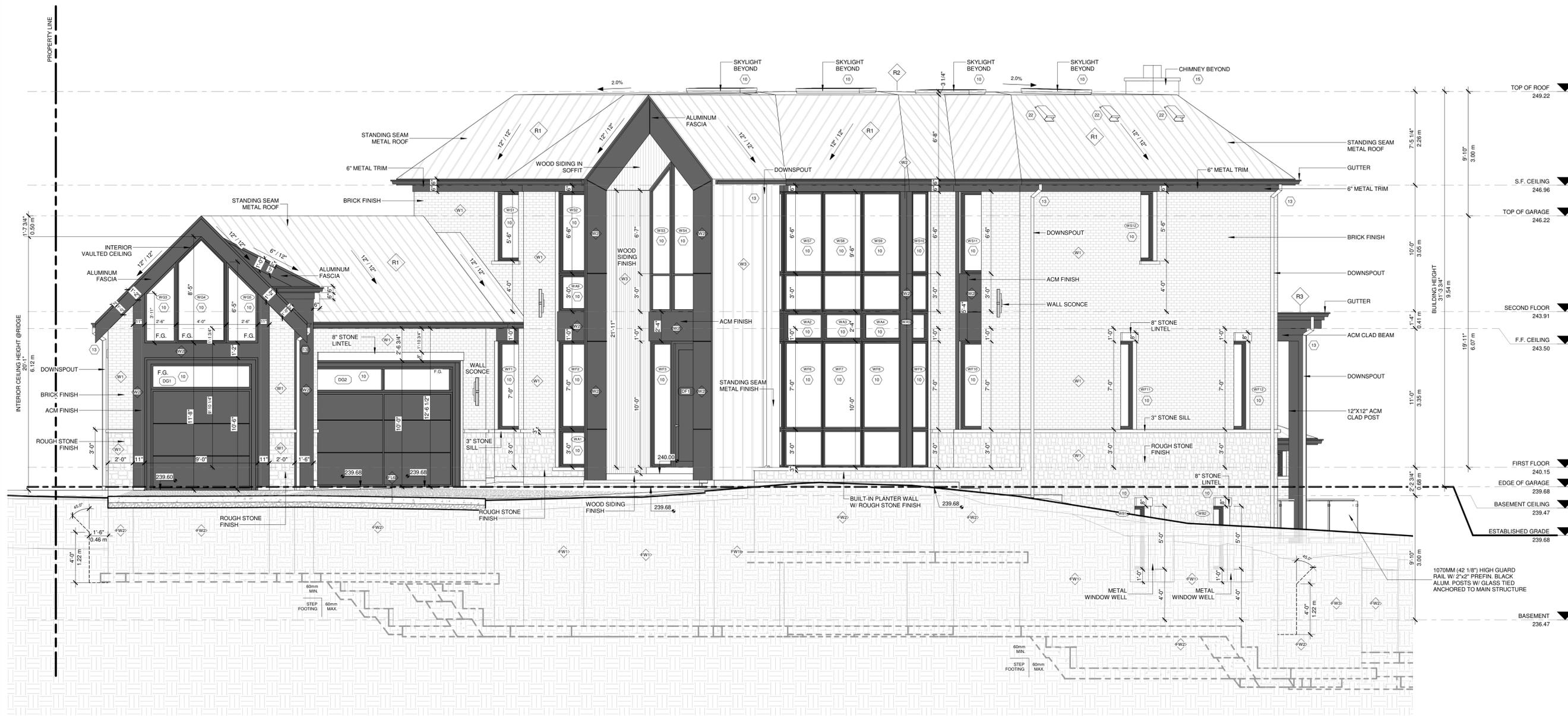
Drawing number: **A6**

1 FRONT (NORTHWEST) ELEVATION  
 1/4" = 1'-0"

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MARIN ZABZUNI	45250
NAME	SIGNATURE
	BCIN
REGISTRATION INFORMATION	
Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.	
CONTEMPO STUDIO	46972
FIRM NAME	BCIN

PROPOSED 2-STORY DWELLING  
 AT  
 104 SIR MODESTO COURT,  
 VAUGHAN, ON

FRONT (WEST) ELEVATION

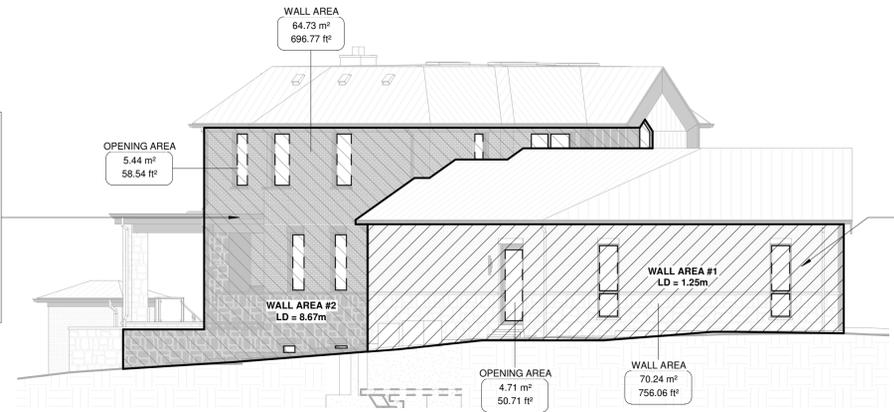
Project number:	2023-24
Rev. no.:	
Scale:	1/4" = 1'-0"
Date:	JANUARY, 2025
Drawn by:	J.T. + M.R.
Approved by:	M.Z.

Drawing number: **A7**

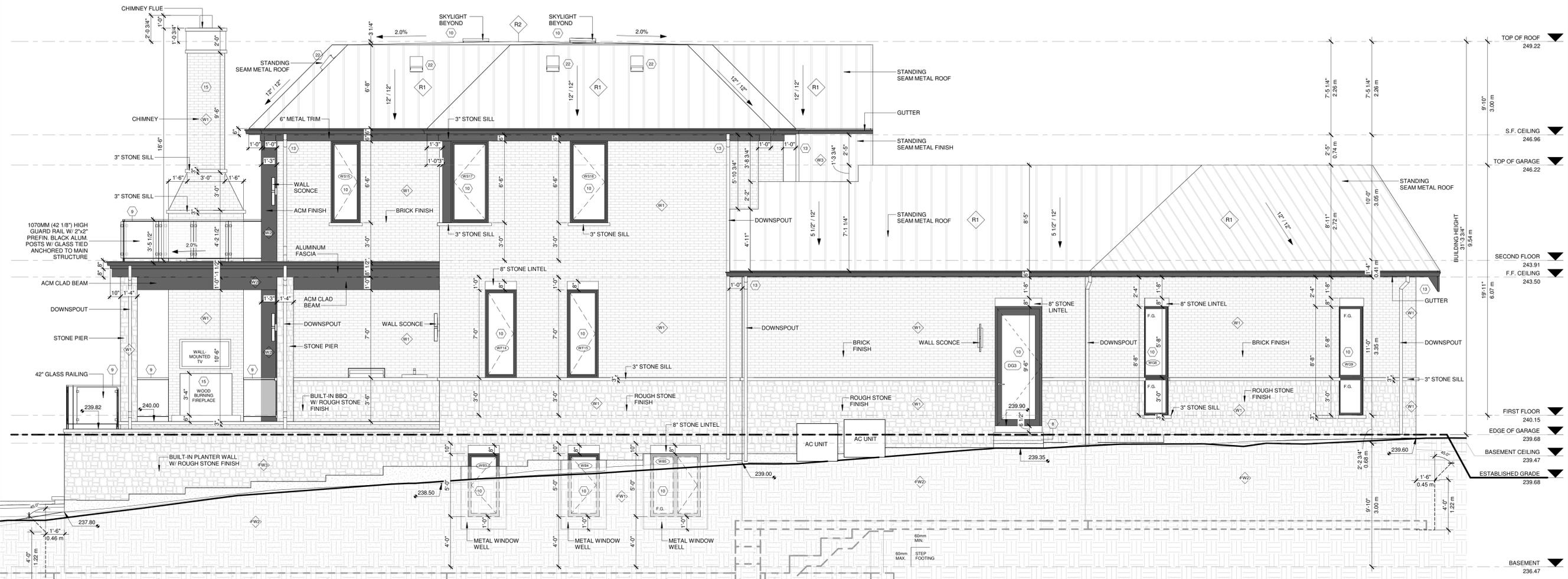
1 FRONT (WEST) ELEVATION  
 1/4" = 1'-0"

**UNPROTECTED OPENING CALCULATION AS PER 9.10.15.4**  
**LEFT ELEVATION - SPLIT FACE CALCULATION METHOD - WALL AREA #2**  
 TOTAL WALL AREA OF EXPOSED BUILDING FACE = 1,452.83 ft<sup>2</sup> (134.97 m<sup>2</sup>)  
 WALL AREA #2 OF EXPOSED BUILDING FACE = 696.77 ft<sup>2</sup> (64.73m<sup>2</sup>)  
 LIMITING DISTANCE = 8.67m  
 TABLE 9.10.15.4 (WITH TOTAL WALL AREA = 1,452.83 ft<sup>2</sup> (134.97 m<sup>2</sup>), LD = 8.67m)  
 EXTRAPOLATED MAX ALLOWED UNPROTECTED OPENING = 32.02%  
 ALLOWABLE UPO AREA = 696.77 ft<sup>2</sup> (64.73m<sup>2</sup>) @ 32.02% = 223.11 ft<sup>2</sup> (20.73m<sup>2</sup>)  
 PROPOSED UPO AREA (WALL AREA #2) = 58.54 ft<sup>2</sup> (5.44m<sup>2</sup>) = 8.40%  
 (GLAZING AREAS ONLY)  
 164.57 ft<sup>2</sup> (15.29m<sup>2</sup>) UNDER THE MAX ALLOWED

**UNPROTECTED OPENING CALCULATION AS PER 9.10.15.4**  
**LEFT ELEVATION - SPLIT FACE CALCULATION METHOD - WALL AREA #1**  
 TOTAL WALL AREA OF EXPOSED BUILDING FACE = 1,452.83 ft<sup>2</sup> (134.97 m<sup>2</sup>)  
 WALL AREA #1 OF EXPOSED BUILDING FACE = 756.06 ft<sup>2</sup> (70.24m<sup>2</sup>)  
 LIMITING DISTANCE = 1.25m  
 TABLE 9.10.15.4 (WITH TOTAL WALL AREA = 1,452.83 ft<sup>2</sup> (134.97 m<sup>2</sup>), LD = 1.25m)  
 EXTRAPOLATED MAX ALLOWED UNPROTECTED OPENING = 7.00%  
 ALLOWABLE UPO AREA = 756.06 ft<sup>2</sup> (70.24m<sup>2</sup>) @ 7.00% = 52.92 ft<sup>2</sup> (4.92m<sup>2</sup>)  
 PROPOSED UPO AREA (WALL AREA #1) = 50.71 ft<sup>2</sup> (4.71m<sup>2</sup>) = 6.71%  
 (GLAZING AREAS ONLY)  
 2.21 ft<sup>2</sup> (0.21m<sup>2</sup>) UNDER THE MAX ALLOWED



② UPO CALCULATION - LEFT ELEVATION  
 1" = 10'-0"



① LEFT (NORTHEAST) ELEVATION  
 1/4" = 1'-0"

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**QUALIFICATION INFORMATION**  
 Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.  
 MARIN ZABZUNI  45250  
 NAME SIGNATURE BCIN  
**REGISTRATION INFORMATION**  
 Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.  
 CONTEMPO STUDIO 46972  
 FIRM NAME BCIN

PROPOSED 2-STORY DWELLING  
 AT  
 104 SIR MODESTO COURT,  
 VAUGHAN, ON

LEFT (NORTHEAST) ELEVATION

Project number: 2023-24  
 Rev. no.: As indicated  
 Scale: JANUARY, 2025  
 Date: J.T. + M.R.  
 Drawn by: M.Z.  
 Approved by:

Drawing number: **A8**

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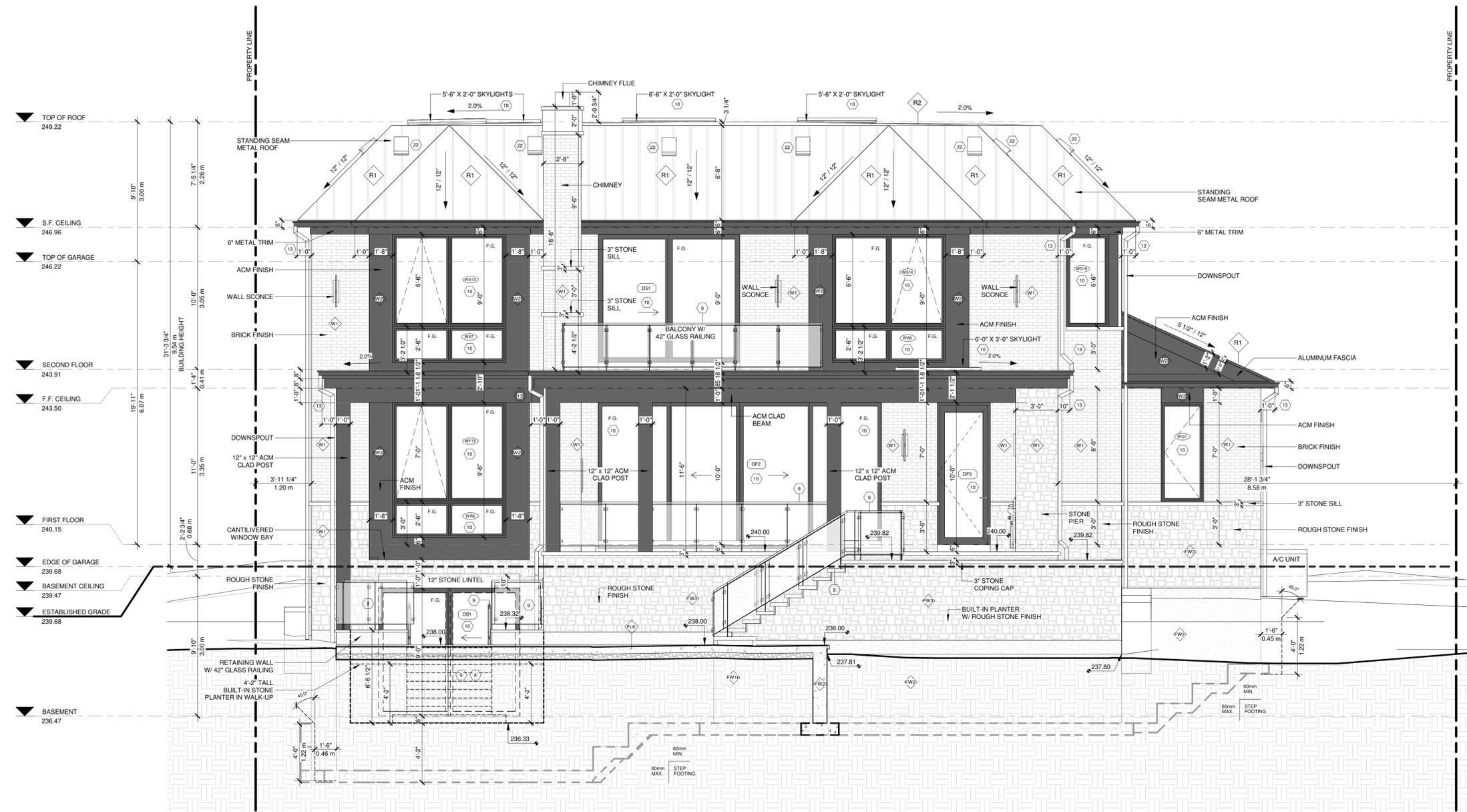
QUALIFICATION INFORMATION	
Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.	
MARIN ZABZUNI	45250
SIGNATURE	BCIN
REGISTRATION INFORMATION	
Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.	
CONTEMPO STUDIO	46972
FIRM NAME	BCIN

PROPOSED 2-STORY DWELLING  
 AT  
 104 SIR MODESTO COURT,  
 VAUGHAN, ON

REAR (SOUTHEAST) ELEVATION

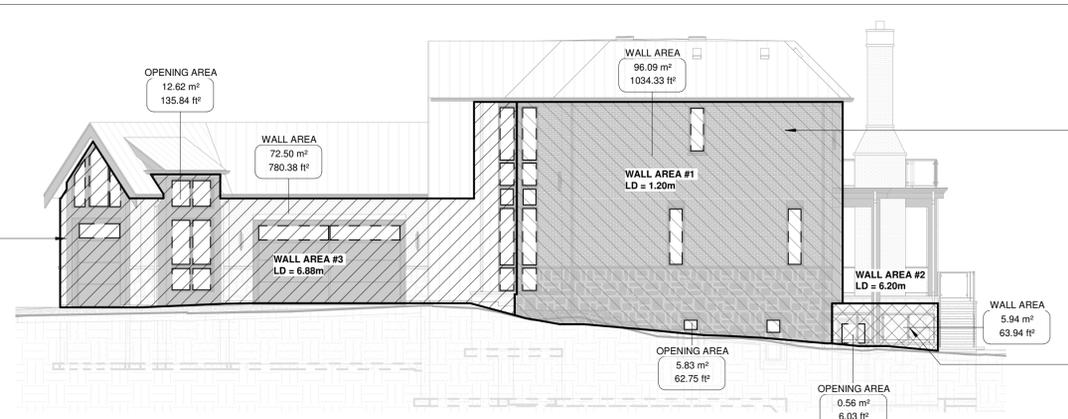
Project number:	2023-24
Rev. no.:	
Scale:	1/4" = 1'-0"
Date:	JANUARY, 2025
Drawn by:	J.T. + M.R.
Approved by:	M.Z.

Drawing number: **A9**



1 REAR (SOUTHEAST) ELEVATION  
 1/4" = 1'-0"

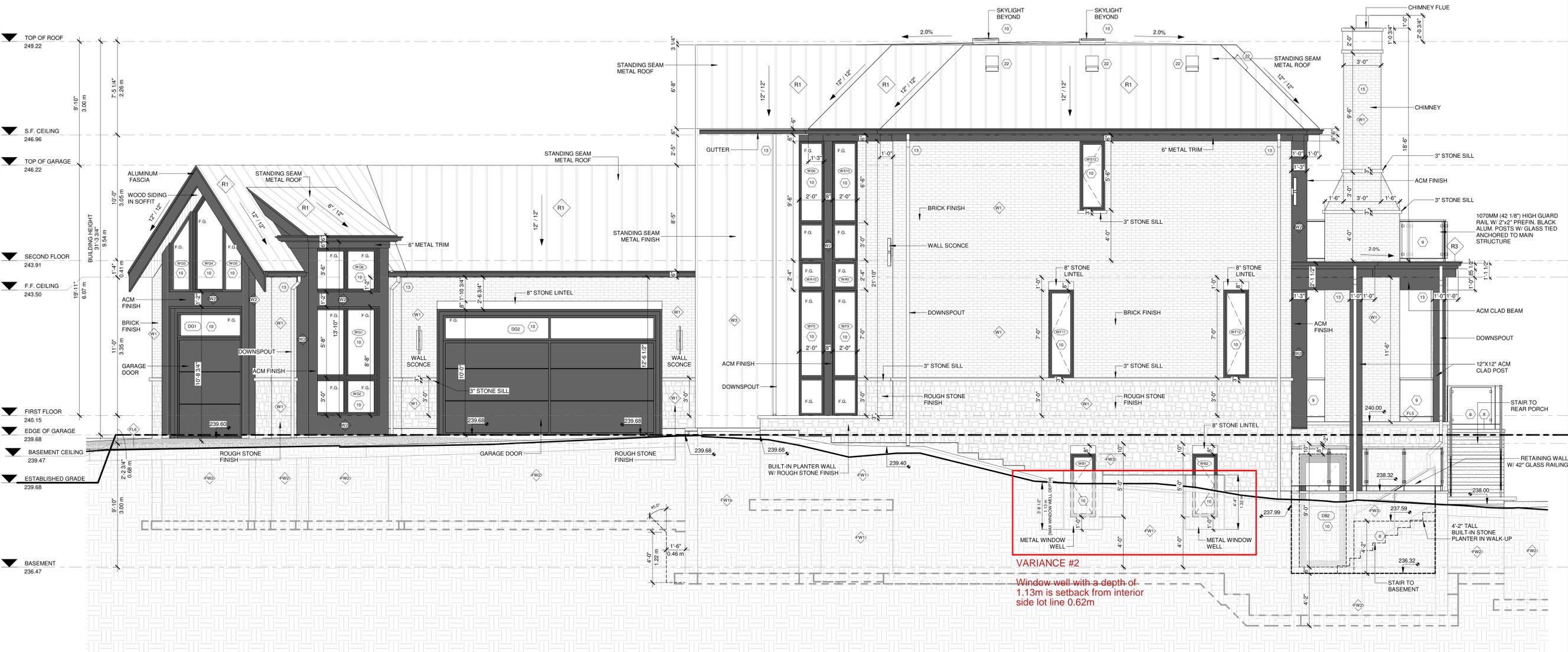
**UNPROTECTED OPENING CALCULATION AS PER 9.10.15.4**  
**RIGHT ELEVATION - SPLIT FACE CALCULATION METHOD - WALL AREA #3**  
 TOTAL WALL AREA OF EXPOSED BUILDING FACE = 1,888.03ft<sup>2</sup> (175.41 m<sup>2</sup>)  
 WALL AREA #3 OF EXPOSED BUILDING FACE = 780.38ft<sup>2</sup> (72.50m<sup>2</sup>)  
 LIMITING DISTANCE = 6.88m  
 TABLE 9.10.15.4 (WITH TOTAL WALL AREA = 1,888.03ft<sup>2</sup> (175.41 m<sup>2</sup>), LD = 6.88m)  
 EXTRAPOLATED MAX ALLOWED UNPROTECTED OPENING = 22.96%  
 ALLOWABLE UPO AREA = 780.38ft<sup>2</sup> (72.50m<sup>2</sup>) @ 22.96% = 179.18ft<sup>2</sup> (16.65m<sup>2</sup>)  
 PROPOSED UPO AREA (WALL AREA #3) = 135.84ft<sup>2</sup> (12.62m<sup>2</sup>) = 17.41%  
 (GLAZING AREAS ONLY)  
 43.34ft<sup>2</sup> (4.03m<sup>2</sup>) UNDER THE MAX ALLOWED



② UPO CALCULATION - RIGHT ELEVATION  
 1" = 10'-0"

**UNPROTECTED OPENING CALCULATION AS PER 9.10.15.4**  
**RIGHT ELEVATION - SPLIT FACE CALCULATION METHOD - WALL AREA #1**  
 TOTAL WALL AREA OF EXPOSED BUILDING FACE = 1,888.03ft<sup>2</sup> (175.41 m<sup>2</sup>)  
 WALL AREA #1 OF EXPOSED BUILDING FACE = 1034.33ft<sup>2</sup> (96.09m<sup>2</sup>)  
 LIMITING DISTANCE = 1.20m  
 TABLE 9.10.15.4 (WITH TOTAL WALL AREA = 1,888.03ft<sup>2</sup> (175.41 m<sup>2</sup>), LD = 1.20m)  
 EXTRAPOLATED MAX ALLOWED UNPROTECTED OPENING = 7.00%  
 ALLOWABLE UPO AREA = 1034.33ft<sup>2</sup> (96.09m<sup>2</sup>) @ 7.00% = 72.40ft<sup>2</sup> (6.73m<sup>2</sup>)  
 PROPOSED UPO AREA (WALL AREA #1) = 62.75ft<sup>2</sup> (5.83m<sup>2</sup>) = 6.07%  
 (GLAZING AREAS ONLY)  
 9.65ft<sup>2</sup> (0.90m<sup>2</sup>) UNDER THE MAX ALLOWED

**UNPROTECTED OPENING CALCULATION AS PER 9.10.15.4**  
**RIGHT ELEVATION - SPLIT FACE CALCULATION METHOD - WALL AREA #2**  
 TOTAL WALL AREA OF EXPOSED BUILDING FACE = 1,888.03ft<sup>2</sup> (175.41 m<sup>2</sup>)  
 WALL AREA #2 OF EXPOSED BUILDING FACE = 63.94ft<sup>2</sup> (5.94m<sup>2</sup>)  
 LIMITING DISTANCE = 6.20m  
 TABLE 9.10.15.4 (WITH TOTAL WALL AREA = 1,888.03ft<sup>2</sup> (175.41 m<sup>2</sup>), LD = 6.20m)  
 EXTRAPOLATED MAX ALLOWED UNPROTECTED OPENING = 19.90%  
 ALLOWABLE UPO AREA = 63.94ft<sup>2</sup> (5.94m<sup>2</sup>) @ 19.90% = 12.72ft<sup>2</sup> (1.18m<sup>2</sup>)  
 PROPOSED UPO AREA (WALL AREA #2) = 6.03ft<sup>2</sup> (0.56m<sup>2</sup>) = 9.43%  
 (GLAZING AREAS ONLY)  
 6.69ft<sup>2</sup> (0.62m<sup>2</sup>) UNDER THE MAX ALLOWED



① RIGHT (SOUTHWEST) ELEVATION  
 1/4" = 1'-0"

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 t. (416) 770-0071 f. (416) 642-1691

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents:  
**QUALIFICATION INFORMATION**  
 Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.  
 MARIN ZABZUNI SIGNATURE 45250  
 NAME BCIN  
**REGISTRATION INFORMATION**  
 Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.  
 CONTEMPOSTUDIO 46972  
 FIRM NAME BCIN

PROPOSED 2-STORY DWELLING  
 AT  
 104 SIR MODESTO COURT,  
 VAUGHAN, ON

RIGHT (SOUTHWEST) ELEVATION

Project number: 2023-24  
 Rev. no.: As indicated  
 Scale: J.T. + M.R.  
 Date: JANUARY, 2025  
 Drawn by: J.T. + M.R.  
 Approved by: M.Z.

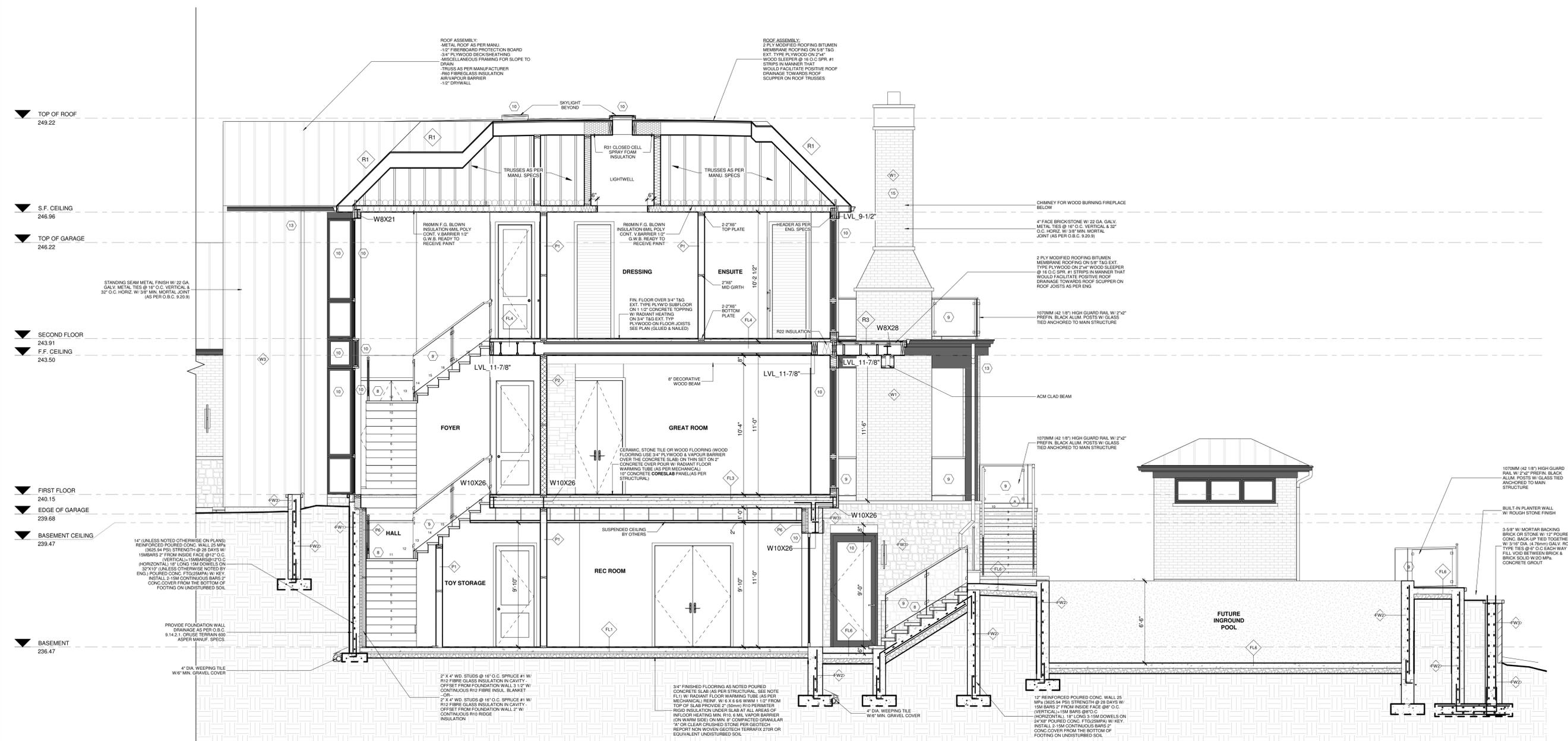
Drawing number: **A10**

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MARIN ZABZUNI	45250
NAME	SIGNATURE
	BCIN
REGISTRATION INFORMATION	
Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.	
CONTEMPO STUDIO	46972
FIRM NAME	BCIN

PROPOSED 2-STORY DWELLING  
 AT  
 104 SIR MODESTO COURT,  
 VAUGHAN, ON

SECTION

SECTION 1  
 1/4" = 1'-0"

Project number:	2023-24
Rev. no.:	1/4" = 1'-0"
Scale:	JANUARY, 2025
Date:	J.T. + M.R.
Drawn by:	M.Z.
Approved by:	

Drawing number: **A13**

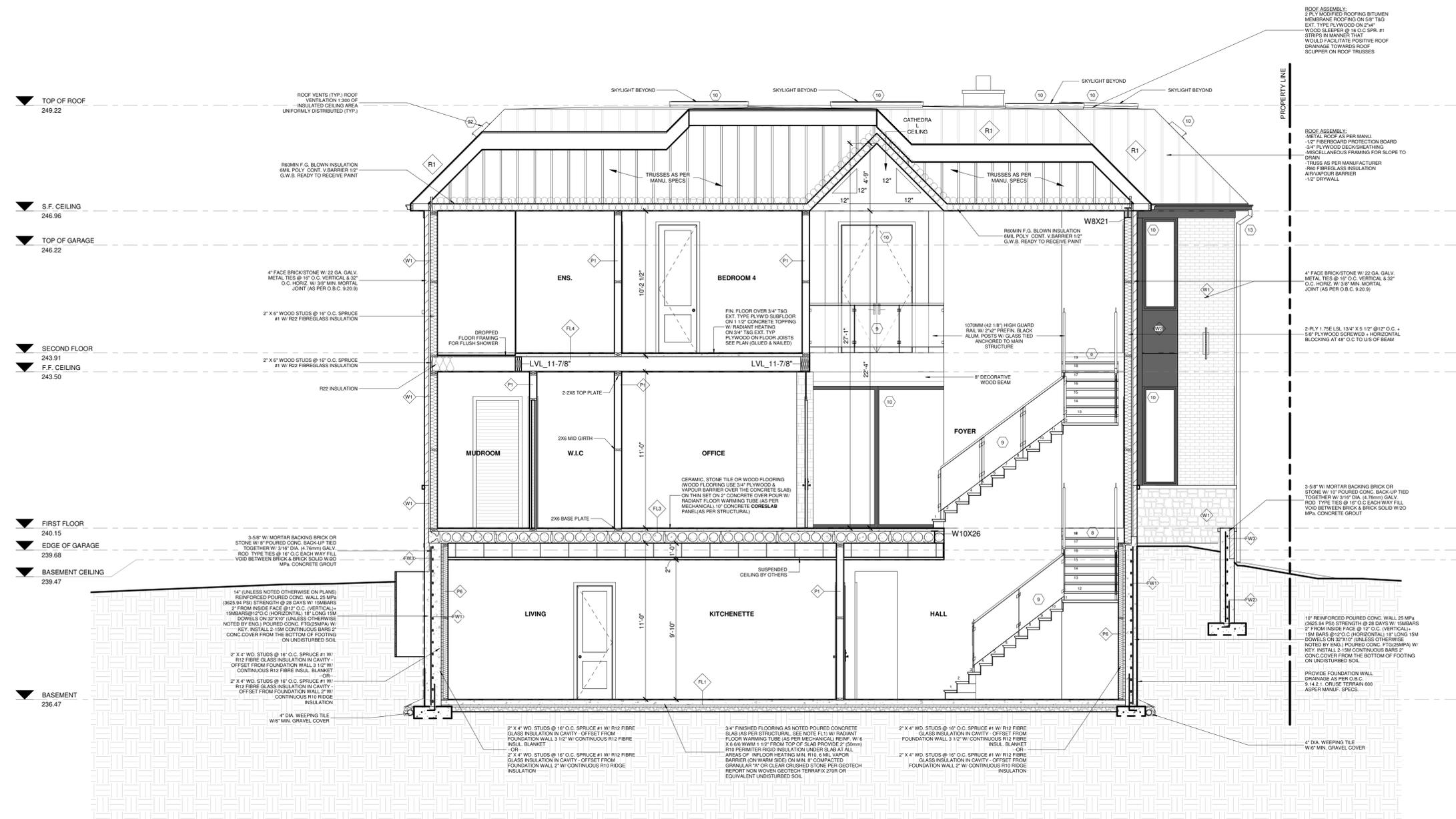


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MARIN ZABZUNI	45250
NAME	SIGNATURE
	BCIN
REGISTRATION INFORMATION	
Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.	
CONTEMPO STUDIO	46972
FIRM NAME	BCIN

PROPOSED 2-STORY DWELLING  
 AT  
 104 SIR MODESTO COURT,  
 VAUGHAN, ON

SECTION

Project number:	2023-24
Rev. no.:	
Scale:	1/4" = 1'-0"
Date:	JANUARY, 2025
Drawn by:	J.T. + M.R.
Approved by:	M.Z.

Drawing number: **A15**

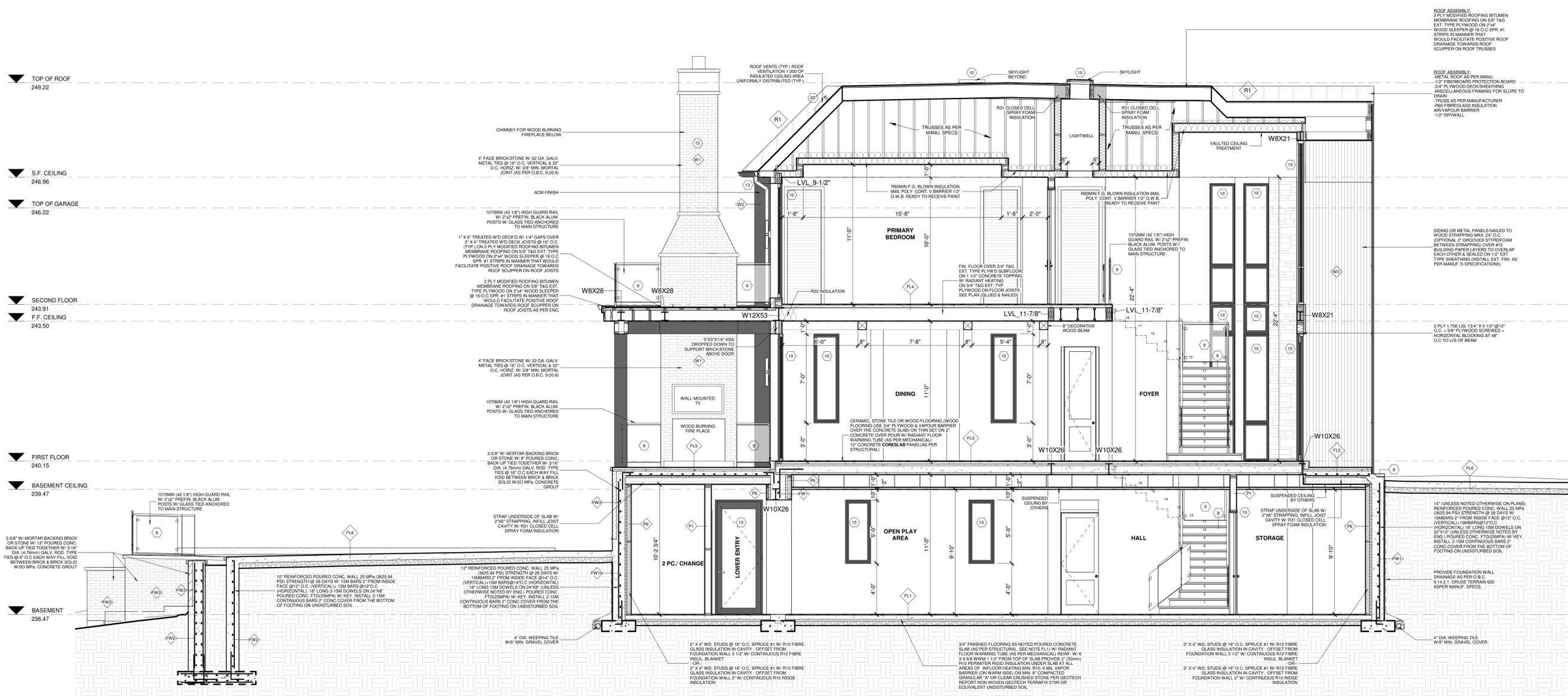
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- ▼ TOP OF ROOF  
249.22
- ▼ S.F. CEILING  
246.96
- ▼ TOP OF GARAGE  
246.22
- ▼ SECOND FLOOR  
243.91
- ▼ F.F. CEILING  
243.50
- ▼ FIRST FLOOR  
240.15
- ▼ BASEMENT CEILING  
239.47
- ▼ BASEMENT  
236.47



**ROOF ASSEMBLY:**  
2 PLY MODIFIED ROOFING BITUMEN MEMBRANE ROOFING ON 5/8" TAG EXT. TYPE PLYWOOD ON 2" x 4" WOOD SLEEPERS @ 16" O.C. SPR. #1 STRIPS IN MANNER THAT WOULD FACILITATE POSITIVE ROOF DRAINAGE TOWARDS ROOF SCUPPER ON ROOF TRUSSES

**ROOF ASSEMBLY:**  
METAL ROOF AS PER MANUF. 1/2" FIBREBOARD PROTECTION BOARD 3/4" PL WOOD DECK SHEATHING MISCELLANEOUS FRAMING FOR SLOPE TO DRAIN TRUSS AS PER MANUFACTURER R66 FIBREGLASS INSULATION AIRVAPOUR BARRIER 1/2" DRYWALL

No.	Issued for:	Date
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MARIN ZABZUNI  45250  
NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.

CONTEMPO STUDIO 46972  
FIRM NAME BCIN

PROPOSED 2-STOREY DWELLING  
AT  
104 SIR MODESTO COURT,  
VAUGHAN, ON

SECTION

Project number: 2023-24  
Rev. no.:  
Scale: 1/4" = 1'-0"  
Date: JANUARY, 2025  
Drawn by: J.T. + M.R.  
Approved by: M.Z.

Drawing number: **A16**

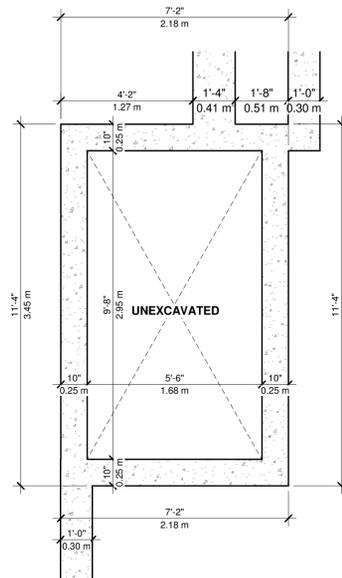
SECTION 4  
1/4" = 1'-0"

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MARIN ZABZUNI 45250  
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
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CONTEMPO STUDIO 46972  
 FIRM NAME BCIN

PROPOSED 2-STOREY DWELLING  
 AT  
 104 SIR MODESTO COURT,  
 VAUGHAN, ON

POOL MECH. FOUNDATION PLAN



Project number: 2023-24  
 Rev. no.:  
 Scale: 3/8" = 1'-0"  
 Date: JANUARY, 2025  
 Drawn by: J.T. + M.R.  
 Approved by: M.Z.

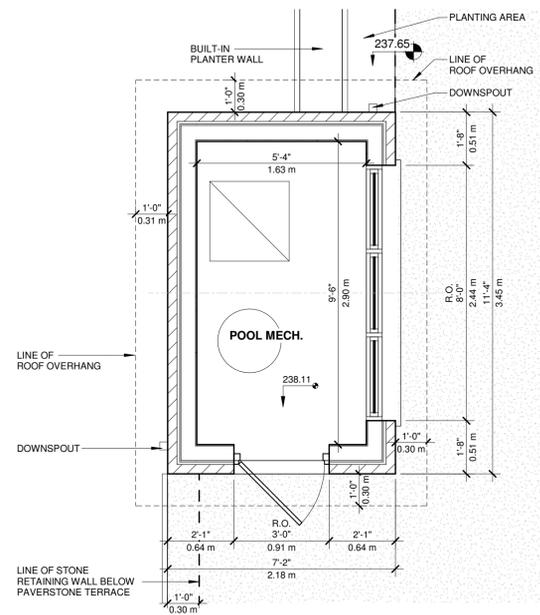
Drawing number: **A22**

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No.	Issued for:	Date
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## contempostudio

1140 The Queensway, Toronto, Ontario M8Z 1P7  
 info@contempostudio.ca w. contempostudio.ca  
 t. (416) 770-0071 f. (416) 642-1691

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents:

QUALIFICATION INFORMATION  
 Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.

MARIN ZABZUNI 45250  
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
 Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.

CONTEMPO STUDIO 46972  
 FIRM NAME BCIN

PROPOSED 2-STOREY DWELLING  
 AT  
 104 SIR MODESTO COURT,  
 VAUGHAN, ON

POOL MECH. FLOOR PLAN



Project number: 2023-24  
 Rev. no.:  
 Scale: 3/8" = 1'-0"  
 Date: JANUARY, 2025  
 Drawn by: J.T. + M.R.  
 Approved by: M.Z.

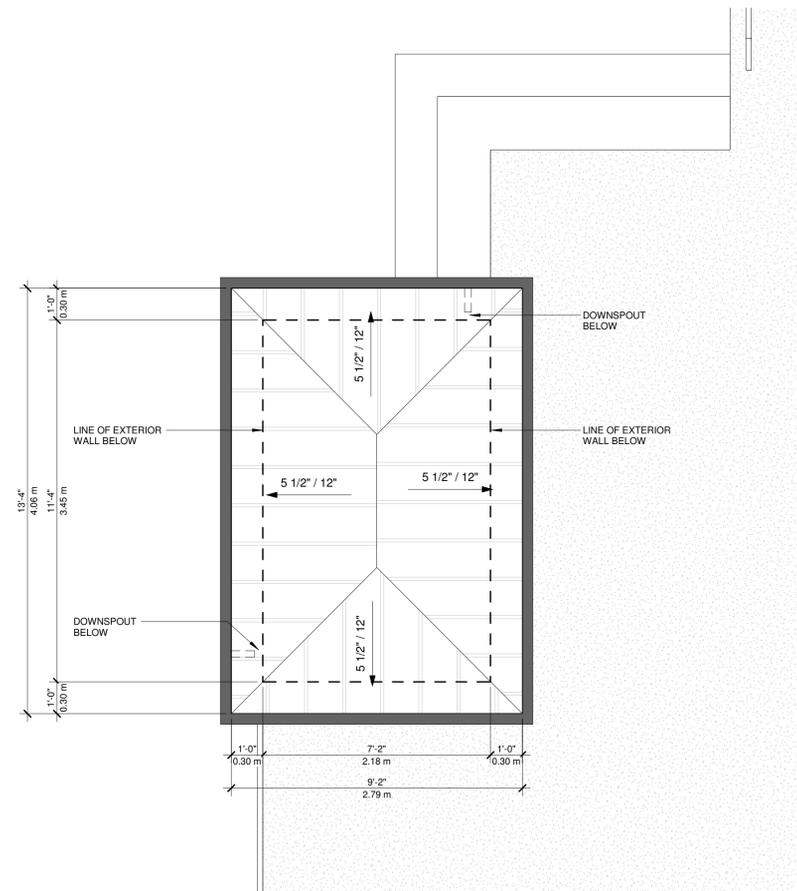
Drawing number: **A24**

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 NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
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CONTEMPO STUDIO 46972  
 FIRM NAME BCIN

PROPOSED 2-STOREY DWELLING  
 AT  
 104 SIR MODESTO COURT,  
 VAUGHAN, ON

POOL MECH. ROOF PLAN



Project number: 2023-24  
 Rev. no.:  
 Scale: 3/8" = 1'-0"  
 Date: JANUARY, 2025  
 Drawn by: J.T. + M.R.  
 Approved by: M.Z.

Drawing number: **A25**

1 POOL MECH. TOP OF ROOF  
 3/8" = 1'-0"

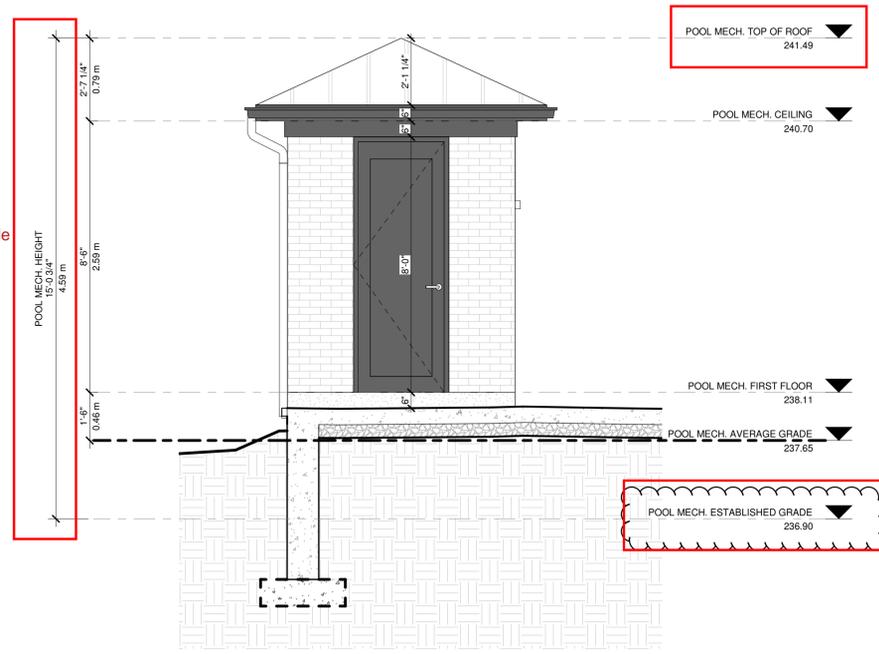
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VARIANCE #3  
 Accessory structure has height of 4.59m from established grade to top of roof



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MARIN ZABZUNI 45250  
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION

Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.  
 CONTEMPO STUDIO 46972  
 FIRM NAME BCIN

PROPOSED 2-STORY DWELLING  
 AT  
 104 SIR MODESTO COURT,  
 VAUGHAN, ON

POOL MECH. FRONT ELEVATION

Project number: 2023-24  
 Rev. no.:  
 Scale: 3/8" = 1'-0"  
 Date: JANUARY, 2025  
 Drawn by: J.T. + M.R.  
 Approved by: M.Z.

Drawing number: **A26**

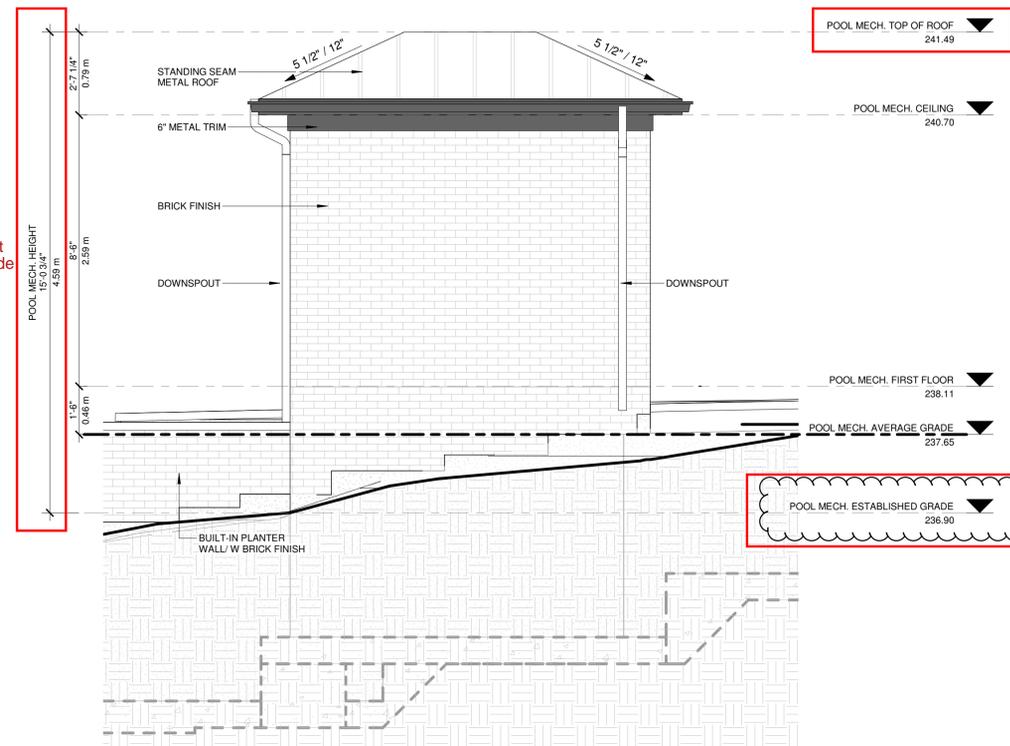
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VARIANCE #3  
 Accessory structure has height of 4.59m from established grade to top of roof



1 POOL MECH. LEFT ELEVATION  
 3/8" = 1'-0"

No.	Issued for:	Date
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2.		

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MARIN ZABZUNI 45250  
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
 Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.

CONTEMPO STUDIO 46972  
 FIRM NAME BCIN

PROPOSED 2-STORY DWELLING  
 AT  
 104 SIR MODESTO COURT,  
 VAUGHAN, ON

POOL MECH. LEFT ELEVATION

Project number: 2023-24  
 Rev. no.:  
 Scale: 3/8" = 1'-0"  
 Date: JANUARY, 2025  
 Drawn by: J.T. + M.R.  
 Approved by: M.Z.

Drawing number: **A27**

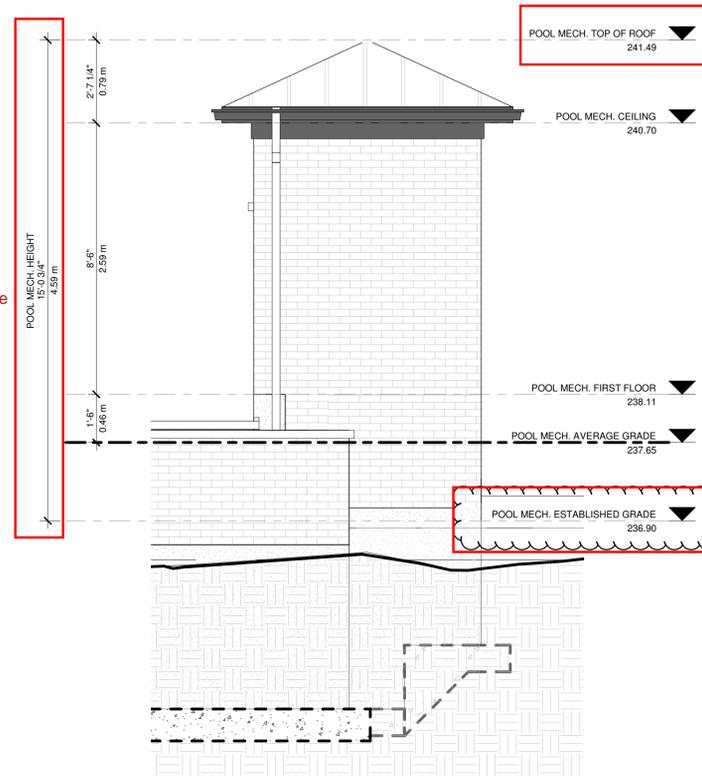
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**VARIANCE #3**  
 Accessory structure has height of 4.59m from established grade to top of roof



1 POOL MECH. REAR ELEVATION  
 3/8" = 1'-0"

No.	Issued for:	Date
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MARIN ZABZUNI 45250  
 NAME SIGNATURE BCIN

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CONTEMPO STUDIO 46972  
 FIRM NAME BCIN

PROPOSED 2-STORY DWELLING  
 AT  
 104 SIR MODESTO COURT,  
 VAUGHAN, ON

POOL MECH. REAR ELEVATION

Project number: 2023-24  
 Rev. no.:  
 Scale: 3/8" = 1'-0"  
 Date: JANUARY, 2025  
 Drawn by: J.T. + M.R.  
 Approved by: M.Z.

Drawing number: **A28**

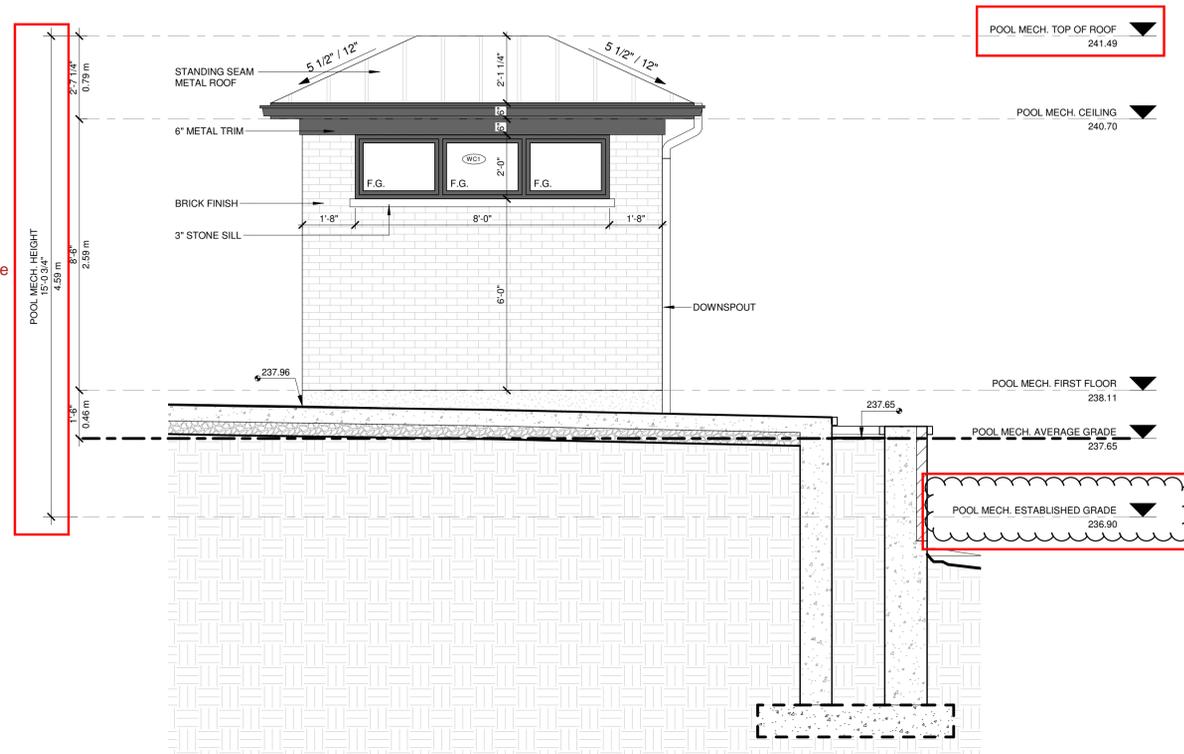
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**VARIANCE #3**  
 Accessory structure has height of 4.59m from established grade to top of roof



1 POOL MECH. RIGHT ELEVATION  
 3/8" = 1'-0"

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MARIN ZABZUNI 45250  
 NAME SIGNATURE BCIN

**REGISTRATION INFORMATION**  
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CONTEMPO STUDIO 46972  
 FIRM NAME BCIN

PROPOSED 2-STORY DWELLING  
 AT  
 104 SIR MODESTO COURT,  
 VAUGHAN, ON

POOL MECH. RIGHT ELEVATION

Project number: 2023-24  
 Rev. no.:  
 Scale: 3/8" = 1'-0"  
 Date: JANUARY, 2025  
 Drawn by: J.T. + M.R.  
 Approved by: M.Z.

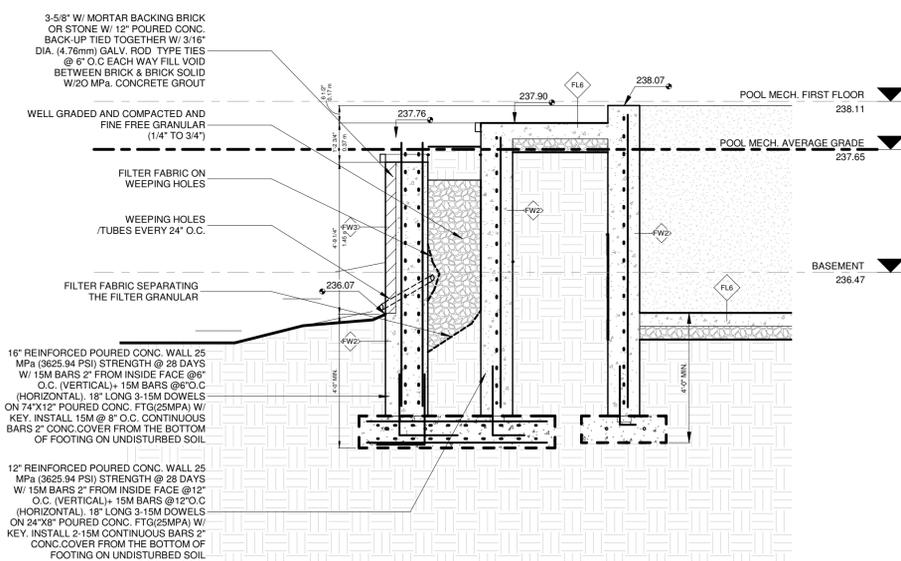
Drawing number: **A29**

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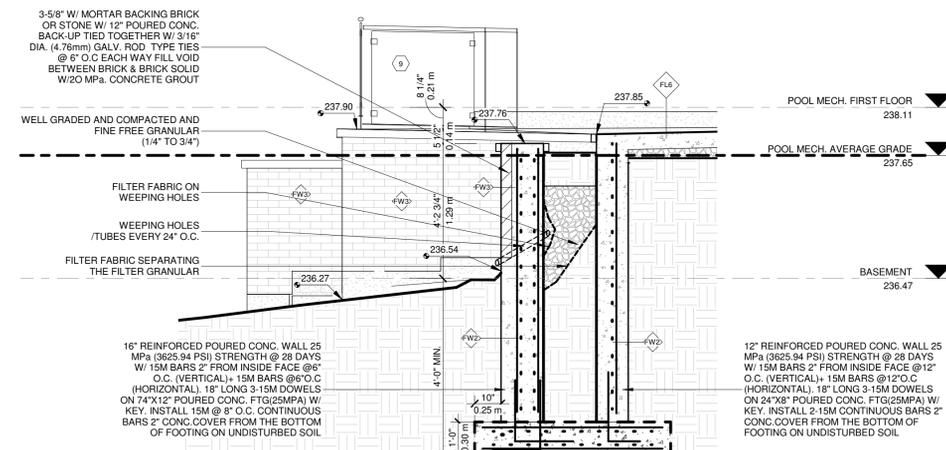
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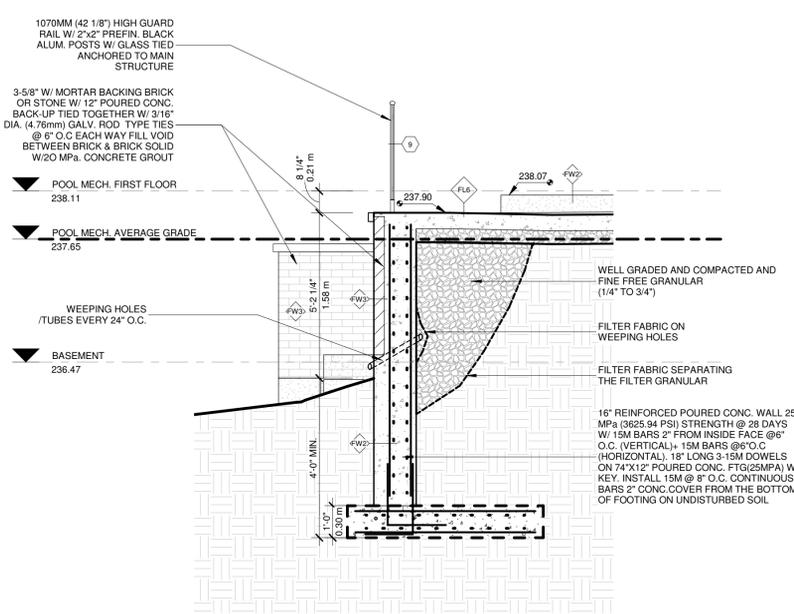
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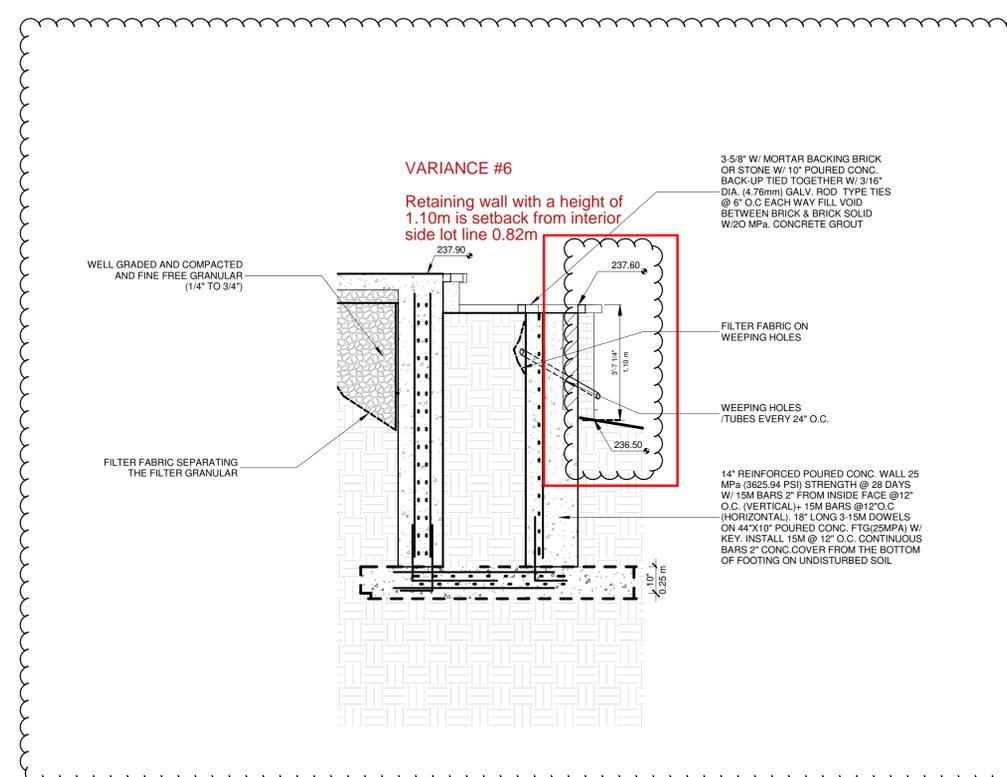
1 RETAINING WALL SECTION 1  
3/8" = 1'-0"



3 RETAINING WALL SECTION 3  
3/8" = 1'-0"



2 RETAINING WALL SECTION 2  
3/8" = 1'-0"



4 RETAINING WALL SECTION 4  
3/8" = 1'-0"

No.	Issued for:	Date
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MARIN ZABZUNI	45250
NAME	SIGNATURE
REGISTRATION INFORMATION	
Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.	
CONTEMPO STUDIO	46972
FIRM NAME	BCIN

PROPOSED 2-STORY DWELLING  
AT  
104 SIR MODESTO COURT,  
VAUGHAN, ON

RETAINING WALL SECTIONS

Project number:	2023-24
Rev. no.:	3/8" = 1'-0"
Scale:	JANUARY, 2025
Date:	J.T. + M.R.
Drawn by:	M.Z.
Approved by:	

Drawing number: **A30**

**SCHEDULE B:  
COMMENTS FROM AGENCIES, BUILDING STANDARDS &  
DEVELOPMENT PLANNING**

<b>Internal Departments</b> <small>*Comments Received</small>	<b>Conditions Required</b>		<b>Nature of Comments</b>
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions

<b>External Agencies</b> <small>*Comments Received</small>	<b>Conditions Required</b>		<b>Nature of Comments</b> <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input type="checkbox"/>	No Comments Received to Date
TRCA	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions

**Date:** February 12<sup>th</sup> 2025

**Attention:** **Christine Vigneault**

**RE:** Request for Comments

**File No.:** **A013-25**

**Related Files:**

**Applicant** Ori Smith

**Location** 104 Sir Modesto Court

**COMMENTS:**

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

**References:**

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream(Construction Standard 03-1, 03-4, 03-9), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Stephen Cranley, C.E.T

Mitchell Penner

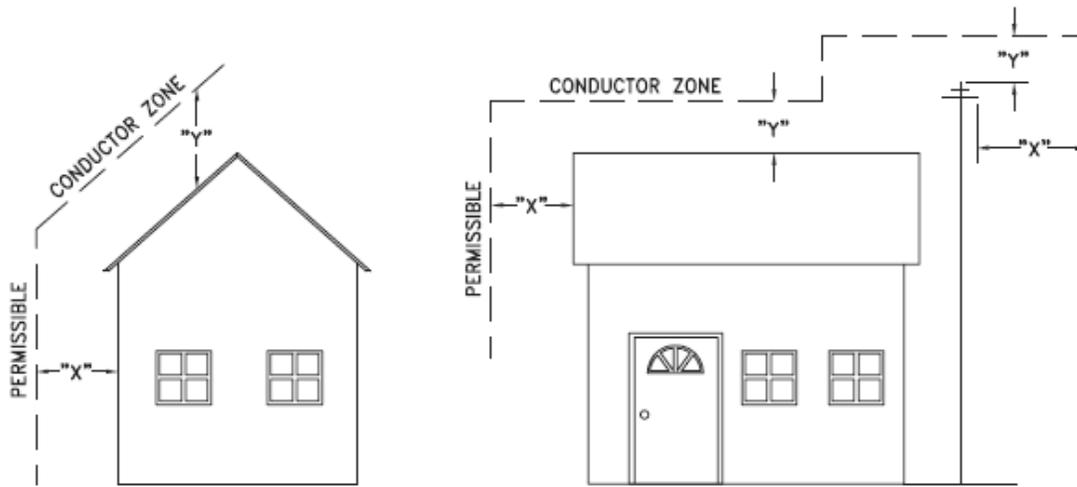
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**E-mail:** [stephen.cranley@alecrautilities.com](mailto:stephen.cranley@alecrautilities.com)

**Email:** [Mitchell.Penner@alecrautilities.com](mailto:Mitchell.Penner@alecrautilities.com)





VOLTAGE	MINIMUM HORIZONTAL CLEARNACE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

**NOTES**

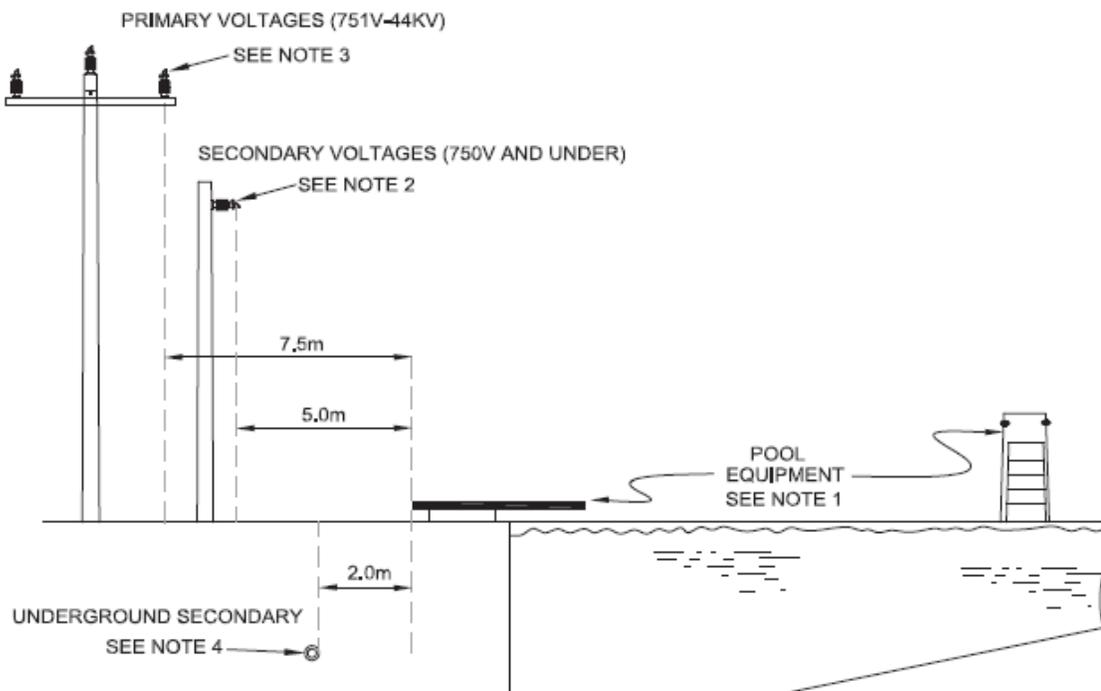
1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

**MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)**

**Certificate of Approval**  
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04  
Debbie Dadwani, P.Eng. 2010-MAY-05  
Name Date  
P.Eng. Approval By: D. Dadwani

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:  
PS\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 23-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 9:22:02 AM, Adobe PDF



**NOTES:**

1. ANY STRUCTURE WITHIN 5.0 METRES OF POOL EDGE SHALL BE CONSIDERED PART OF THE POOL.
2. THERE SHALL NOT BE ANY OVERHEAD SECONDARY OR COMMUNICATION WIRING (750V OR LESS) ABOVE THE POOL, AND ABOVE OTHER ELEVATED SURFACES ASSOCIATED WITH THE POOL, INCLUDING BUT NOT RESTRICTED TO A DIVING STRUCTURE, SLIDE, SWINGS, OBSERVATION STAND, TOWER OR PLATFORM, OR ABOVE THE ADJACENT AREA EXTENDING 5.0M HORIZONTALLY FROM THE POOL EDGE.
3. THERE SHALL NOT BE ANY OVERHEAD PRIMARY WIRING (751V - 44KV) ABOVE THE POOL AND OTHER ELEVATED SURFACES ASSOCIATED WITH THE POOL, OR ABOVE THE ADJACENT AREA EXTENDING 7.5M HORIZONTALLY FROM THE POOL EDGE.
4. ANY UNDERGROUND CONDUCTORS SHALL BE 2.0M AWAY FROM POOL EDGE IN DUCT WITH NON-CONDUCTING JACKET. FOR DEPTH AND DUCT DETAILS REFER TO FIGURE 3 IN 25-100 FOR 200A SERVICE AND 25-101 FOR 400A SERVICE RESPECTIVELY, AS PER POWERSTREAM SERVICE DESIGN SPECIFICATIONS.
5. THESE DIMENSIONS APPLY TO ALL SIDES OF THE POOL.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX.)
7.5m	24'-6"
5.0m	16'-3"
2.0m	6'-6"

**REFERENCES**

FIGURE 3, 25-100	SECTION 25
FIGURE 3, 25-101	SECTION 25

**Certificate of Approval**

This construction Standard meets the safety requirements of Section 4 of Regulation 22/04

Joe Crozier, P.Eng.	2013-JUN-12
Name	Date
P.Eng. Approval By:	Joe Crozier

**MINIMUM CLEARANCES FOR CONDUCTORS ADJACENT TO SWIMMING POOLS**

ORIGINAL ISSUE DATE: 2013-JUNE-12 REVISION NO: R0 REVISION DATE:

**To:** Committee of Adjustment  
**From:** Catherine Saluri, Building Standards Department  
**Date:** February 10, 2025  
**Applicant:** Ori Smith  
**Location:** 104 Sir Modesto Court  
 PLAN 65M4184 Block 48  
**File No.(s):** A013/25

**Zoning Classification:**

The subject lands are zoned R2A Second Density Residential Zone subject to Exception 14.847 and 14.850 under Zoning Bylaw 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	For a lot with a lot frontage greater than 12 m, a maximum driveway width of 9 m is permitted. [6.7.3, Table 6-11]	To permit a maximum driveway width of 10.26 m for a lot with a lot frontage greater than 12 m.
2	A minimum setback of 1.13 m is required from the southeasterly lot line to the retaining wall (window well). [4.13]	To permit a retaining wall (2 window well) with a height of 1.13 m to be setback a minimum of 0.62 m from the southeasterly lot line.
3	A maximum height of 3.0 m is permitted for a residential accessory structure. [4.1.4.1]	To permit a residential accessory structure (pool mechanical) with a height of 4.59 m.
4	An uncovered platform (paverstone terrace), with a floor height greater than 1.2 m as measured above grade and including access stairs, is permitted to encroach to a maximum of 2.4 m into the minimum required rear yard of 7.5 m [4.13] A setback of 5.1 m from the rear lot line is required.	To permit an uncovered platform (paverstone terrace) with a height of 2.0 m to encroach to a maximum of 5.28 m into the minimum required rear yard of 7.5 m. A setback of 2.22 m from the rear lot line is proposed.
5	Where the height of an outdoor swimming pool is greater than 1.5 m, the minimum setback from any lot line shall be 3.0 m. [4.21.6]	To permit an outdoor swimming pool with a height of 2.0 m to be setback 2.04 m from the easterly interior side lot line.
6	A minimum setback of 1.1 m is required from the northeasterly lot line to the retaining wall. [4.13]	To permit a retaining wall with a height of 1.1 m to be setback a minimum of 0.82 m from the northeasterly interior side lot line.

**Staff Comments:**

**Other Comments:**

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit.
2	The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).
3	The subject lands may be located within the Oak Ridges Moraine.
4	The Applicant should consult with the Fire Prevention Department, City of Vaughan, about the wood burning fireplace for bylaw requirements.

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

None

\* Comments are based on the review of documentation supplied with this application.

**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer  
**From:** Nancy Tuckett, Director of Development and Parks Planning  
**Date:** March 11, 2025  
**Name of Owners:** Benjamin Smith, Ori Smith  
**Location:** 104 Sir Modesto Court  
**File No.(s):** A013/25

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**Proposed Variance(s):**

1. To permit a maximum driveway width of **10.26 m** for a lot with a lot frontage greater than 12 m.
2. To permit a retaining wall (2 window wells) with a height of 1.13 m to be setback a minimum of **0.62 m** from the westerly lot line.
3. To permit a residential accessory structure (pool mechanical shed) with a height of **4.59 m**.
4. To permit an uncovered platform (raised terrace) with a height of **2.0 m** to encroach to a maximum of **5.28 m** into the minimum required rear yard of 7.5 m. A setback of **2.22 m** from the rear lot line is proposed.
5. To permit an outdoor swimming pool with a height of **2.0 m** to be setback **2.04 m** from the westerly interior side lot line.
6. To permit a retaining wall with a height of 1.1 m to be setback a minimum of **0.82 m** from the southwesterly interior side lot line.

**By-Law 001-2021 Requirement(s):**

1. For a lot with a lot frontage greater than 12 m, a maximum driveway width of **9 m** is permitted.
2. A minimum setback of **1.13 m** is required from the westerly lot line to the retaining wall (window well).
3. A maximum height of **3.0 m** is permitted for a residential accessory structure.
4. An uncovered platform (raised terrace), with a floor height greater than **1.2 m** as measured above grade and including access stairs, is permitted to encroach to a maximum of **2.4 m** into the minimum required rear yard of 7.5 m [4.13] A setback of **5.1 m** from the rear lot line is required.
5. Where the height of an outdoor swimming pool is greater than 1.5 m, the minimum setback from any lot line shall be **3.0 m**.
6. A minimum setback of **1.1 m** is required from the southwesterly lot line to the retaining wall.

**Official Plan:**

Vaughan Official Plan 2010 ('VOP 2010'): "Low Rise Residential"

**Comments:**

The Owner is seeking relief to permit a new single detached dwelling, as well as a swimming pool, pool equipment shed and raised terrace in the rear yard with the above noted variances.

The Development and Parks Planning Department has no objections to Variance 1 to increase the maximum permitted driveway width from 9 m to 10.26 m. The configuration of the proposed driveway is designed to serve a three (3)-car garage with multiple entry points. The proposed driveway is 10.26 m at its widest point to facilitate vehicular access. The driveway width is approximately 7.27 m when measured at the front lot line, which is smaller than the maximum permitted driveway width. The remainder of the front yard has adequate space for landscaping opportunities, and the proposed driveway width is not anticipated to impact the streetscape.

The Development and Parks Planning Department has no objections to Variance 2 to permit two window wells located within the west interior side yard with 0.62 m setbacks to the west lot line. The proposed window wells are located along the west wall of the proposed dwelling. The window wells are mostly located below grade, and will not create

any visual impacts on the neighbouring property. The proposed window wells comply with side yard encroachment provisions and are minor in nature.

The Development and Parks Planning Department has no objections to Variance 3 to permit a 4.59 m tall pool equipment shed in the rear yard. The shed abuts the raised terrace and the height is measured from established grade. The shed has a floor area of less than 10 m<sup>2</sup>, complies with setback provisions, and is not anticipated to incur massing concerns on the neighbouring residential properties.

The Development and Parks Planning Department has no objections to Variances 4, 5, and 6 to permit various setbacks to the raised terrace and the integrated swimming pool in the rear yard. The raised terrace is proposed to be located 2 m above the established grade. The raised terrace is surrounded by two (2) raised planters toward the rear lot line, which creates a step-down effect to mitigate massing impacts on the public open space abutting the rear of the property. The proposed setbacks of 2.22 m to the rear yard and 0.82 m to the west interior side yard are sufficient for access. The proposed swimming pool is in line with the raised terrace and is sufficiently setback from the west interior side lot line to accommodate access and maintenance.

Development Engineering staff have reviewed the proposed dwelling and rear yard and do not object to the raised terrace and associated retaining walls. Environmental Planning staff and TRCA staff have reviewed the application and are satisfied that the proposed structures and raised terrace are adequately setback from a nearby Provincially Significant Wetland and other core environmental features.

Accordingly, the Development and Parks Planning Department supports the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

**Recommendation:**

The Development and Parks Planning Department recommends approval of the application.

**Conditions of Approval:**

If the Committee finds merit in the application, the following conditions of approval are recommended:

None.

**Comments Prepared by:**

Harry Zhao, Planner 1

Janany Nagulan, Senior Planner

February 18, 2025

PAR-DPP-2025-00572

**SENT BY E-MAIL: Christine.Vigneault@vaughan.ca**

Christine Vigneault  
Secretary Treasurer  
Committee of Adjustment  
City of Vaughan  
2141 Major Mackenzie Drive  
Vaughan, Ontario L6A 1T1

Dear Christine:

**Re: Minor Variance Application A013/25  
Block 48, Plan 65M4184  
104 Sir Modesto Court  
City of Vaughan, Regional Municipality of York  
Applicant: Ori Smith**

This letter acknowledges receipt of the above-noted application circulated by the City of Vaughan. The materials were received by Toronto and Region Conservation Authority (TRCA) on February 10, 2025. TRCA staff have reviewed the application and offer the following comments for the consideration of the Committee of Adjustment.

### **Purpose of the Application**

It is our understanding that the purpose of the above noted application is to request the following variances under By-Law 001-2021:

- To permit a maximum driveway width of 10.26 metres for a lot with a lot frontage greater than 12.0 metres;
- To permit a retaining wall (2 window well) with a height of 1.13 metres to be setback a minimum of 0.62 metres from the southeasterly lot line;
- To permit a residential accessory structure (pool mechanical) with a height of 4.59 metres;
- To permit an uncovered platform (paverstone terrace) with a height of 2.0 metres to encroach to a maximum of 5.28 metres into the minimum required rear yard of 7.5 metres. A setback of 2.22 m from the rear lot line is proposed;
- To permit an outdoor swimming pool with a height of 2.0 metres to be setback 2.04 metres from the easterly interior side lot line; and,
- To permit a retaining wall with a height of 1.1 metres to be setback a minimum of 0.82 metres from the northeasterly interior side lot line.

### **Ontario Regulation 41/24**

The subject property is located within TRCA's Regulated Area due to a valley corridor and Regional Storm flood plain associated with a tributary of the Don River Watershed. In accordance with Ontario Regulation 41/24, development, interference or alteration may be permitted in the Regulated Area where it can be demonstrated to TRCA's satisfaction that the control of flooding, erosion, dynamic beaches, unstable soils, or bedrock will not be affected.

### **Application-Specific Comments**

TRCA staff have reviewed and issued a permit for the proposed in-ground pool, retaining wall, hard landscaping, and associated grading (TRCA Permit No. PER-DPP-2024-00012, issued September 12, 2024). The plans submitted with this application are consistent with the plans that were approved as part of TRCA's permit.

Based on the above, TRCA staff have no concerns with the proposed variance.

### **Fees**

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$660.00 (Minor Variance – Residential - Minor) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

### **Recommendations**

Based on the comments noted above, TRCA has **no objection** to the approval of Minor Variance Application A013/25 subject to the following conditions:

1. That the applicant provides the required fee amount of \$660.00 payable to the Toronto and Region Conservation Authority.

We trust these comments are of assistance. Should you have any questions, please contact me at 437-880-1925 or at [cameron.mcdonald@trca.ca](mailto:cameron.mcdonald@trca.ca).

Sincerely,

*Cameron McDonald*

Cameron McDonald  
Planner I  
Development Planning and Permits | Development and Engineering Services  
[cameron.mcdonald@trca.ca](mailto:cameron.mcdonald@trca.ca), 437-880-1925

**SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE**

<b>Correspondence Type</b>	<b>Name</b>	<b>Address</b>	<b>Date Received (mm/dd/yyyy)</b>	<b>Summary</b>
None				

## SCHEDULE D: BACKGROUND

Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A