

ITEM: 6.2	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A008/25
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Report Date: March 14, 2025

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):

Additional comments from departments and agencies received after the publication of the report will be made available on the City’s [website](#).

Internal Departments *Comments Received	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments
Forestry	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies *Comments Received	Conditions Required		Nature of Comments *See Schedule B for full comments
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Public	Enzo Toteda	120 Northern Pines Blvd	02/13/2025	Neighbour consent letter

BACKGROUND (SCHEDULE D, IF REQUIRED)	
* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.	
Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
Hearing Date	Reason for Adjournment (to be obtained from NOD_ADJ)
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background

	<b>MINOR VARIANCE APPLICATION</b> <b>FILE NUMBER A008/25</b>
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CITY WARD #:	1
APPLICANT:	Conrad & Wendy Vachon
AGENT:	Bobbi Ann Brooks
PROPERTY:	96 Spicewood Crescent, Kleinburg
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	N/A
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a proposed pool house.

The following variances have been requested from the City’s Zoning By-law:

The subject lands are zoned **R1(EN) – 1<sup>st</sup> Density Residential Zone (Established Neighbourhood)** and subject to the provisions of **Exception 14.953** under **Zoning By-law 001-2021**, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A residential accessory structure with a height greater than 2.8m shall not be located closer than 2.4m to any lot line. [4.1.2.1.b]	To permit a residential accessory structure with a height greater than 2.8m to be located a minimum of 1.22m from the rear lot line.
2	A residential accessory structure with a height greater than 2.8m shall not be located closer than 2.4m to any lot line. [4.1.2.1.b]	To permit a residential accessory structure with a height greater than 2.8m to be located a minimum of 1.77m from the interior side lot line.
3	A maximum building height of 3.0m is permitted for the residential accessory structure. [4.1.4.1]	To permit a maximum height of 4.4m for the residential accessory structure.
4	The maximum permitted encroachment for an eave is 0.50m into the required setback of 2.4m for the residential accessory structure. Sect 4.13	To permit a maximum encroachment of 0.61m into the required 2.4m setback for the residential accessory structure.

HEARING INFORMATION
<b>DATE OF MEETING:</b> Thursday, March 20, 2025 <b>TIME:</b> 6:00 p.m. <b>MEETING LOCATION:</b> Vaughan City Hall, Woodbridge Room (2 <sup>nd</sup> Floor), 2141 Major Mackenzie Drive <b>LIVE STREAM LINK:</b> <a href="https://vaughan.ca/LiveCouncil">Vaughan.ca/LiveCouncil</a>
PUBLIC PARTICIPATION
<p>If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the <a href="#">Request to Speak Form</a> and submit to <a href="mailto:cofa@vaughan.ca">cofa@vaughan.ca</a></p> <p>If you would like to submit written comments, please quote file number above and submit by mail or email to:</p> <p><b>Email:</b> <a href="mailto:cofa@vaughan.ca">cofa@vaughan.ca</a></p> <p><b>Mail:</b> City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1</p>

HEARING INFORMATION
To speak electronically, pre-registration is required by completing the <a href="#">Request to Speak Form</a> on-line and submitting it to <a href="mailto:cofa@vaughan.ca">cofa@vaughan.ca</a> no later than NOON on the last business day before the meeting.
<b>THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS <u>NOON</u> ON THE LAST BUSINESS DAY BEFORE THE MEETING.</b>

INTRODUCTION
Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.
Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:
That the general intent and purpose of the by-law will be maintained.
That the general intent and purpose of the official plan will be maintained.
That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
That the requested variance(s) is/are minor in nature.
Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT	
Date Public Notice Mailed:	March 6, 2025
Date Applicant Confirmed Posting of Sign:	March 4, 2025
Applicant Justification for Variances: <small>*As provided in Application Form</small>	Zoning restrictive to client design wishes and property
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
N/A	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)	
**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING	
**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING	
<a href="#">Link to Grading Permit</a> <a href="#">Link to Pool Permit</a> <a href="#">Link to Curb Curt Permit</a> <a href="#">Link Culvert Installation</a>	
The Owner / Applicant shall ensure that the proposed pool house does not negatively impact neighbours due to surface water runoff. The property should be properly graded, ensuring that surface water from the proposed addition does not flow onto adjacent lots. It's important to note that additions more than 10 m² necessitate a Grading Permit. Once the Grading Permit is obtained, please reach out to the Development Engineering Reviewer to clear the Condition imposed on this application. The Development Engineering Department does not object to the Minor Variance application A008/25, subject to the following condition(s):	
Development Engineering Recommended Conditions of Approval:	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan’s website: <a href="#">Permits   City of Vaughan</a> to apply

DEVELOPMENT ENGINEERING	
<a href="#">Link to Grading Permit</a> <a href="#">Link to Pool Permit</a> <a href="#">Link to Curb Curt Permit</a> <a href="#">Link Culvert Installation</a>	
	for a Grading Permit. For any inquiries regarding the Grading Permit, please email <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a>

PARKS, FORESTRY & HORTICULTURE (PFH)	
Forestry has no comment at this time.	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE	
No comment no concerns	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES	
No comments received to date.	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC)	
No comments received to date.	
Building Inspection Recommended Conditions of Approval:	None

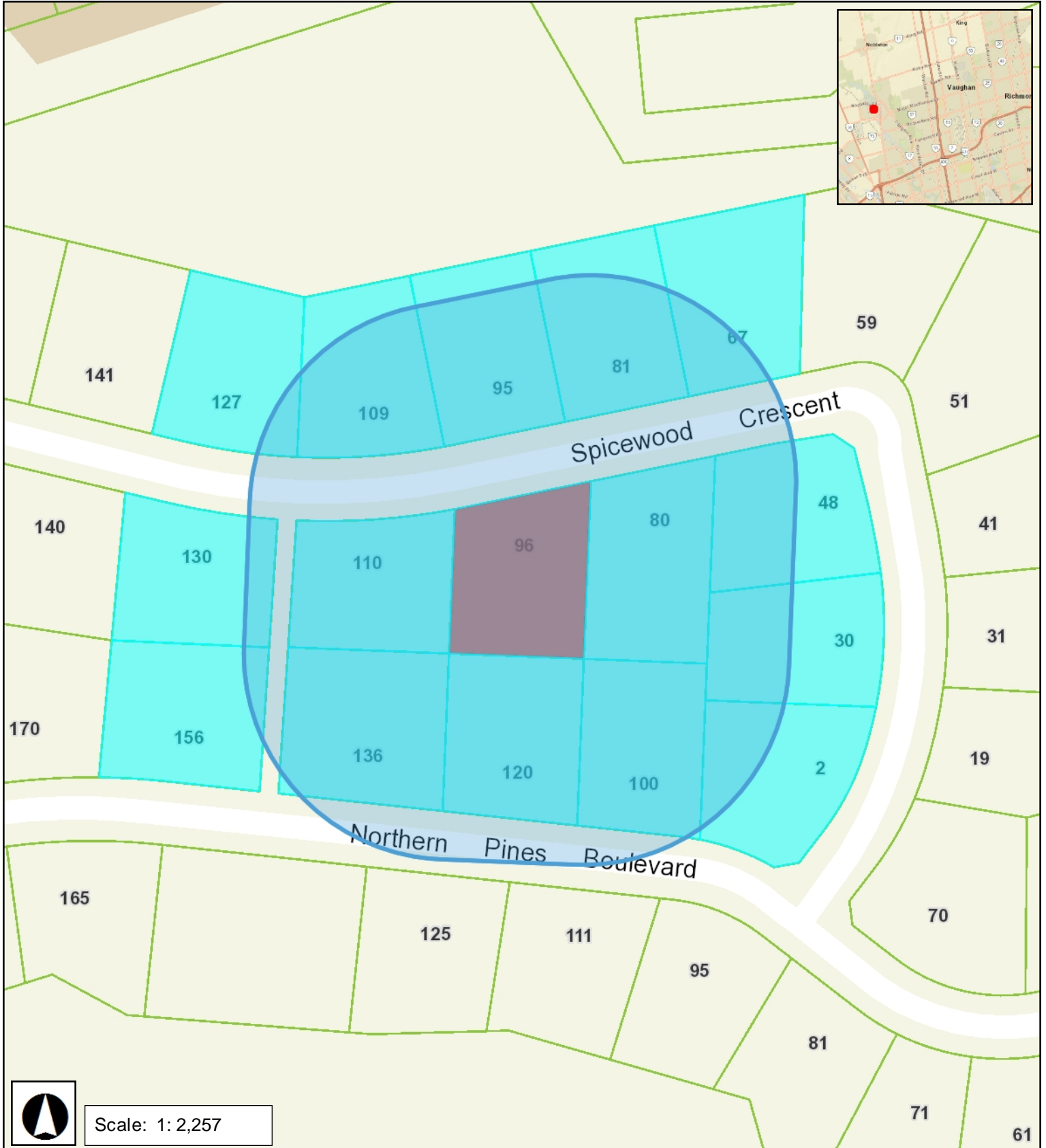
FIRE DEPARTMENT	
No comments received to date.	
Fire Department Recommended Conditions of Approval:	None

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY		
Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:		
#	DEPARTMENT / AGENCY	CONDITION
1	Development Engineering <a href="mailto:Rex.bondad@vaughan.ca">Rex.bondad@vaughan.ca</a>	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: <a href="#">Permits   City of Vaughan</a> to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a>
<i>All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.</i>		

IMPORTANT INFORMATION
<b>CONDITIONS:</b> It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency ( <b>see condition chart above for contact</b> ). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

IMPORTANT INFORMATION	
<p><b>APPROVALS:</b> Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p>	
<p><b>DEVELOPMENT CHARGES:</b> That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>	
<p><b>NOTICE OF DECISION:</b> If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will <b>not</b> receive notice.</p>	

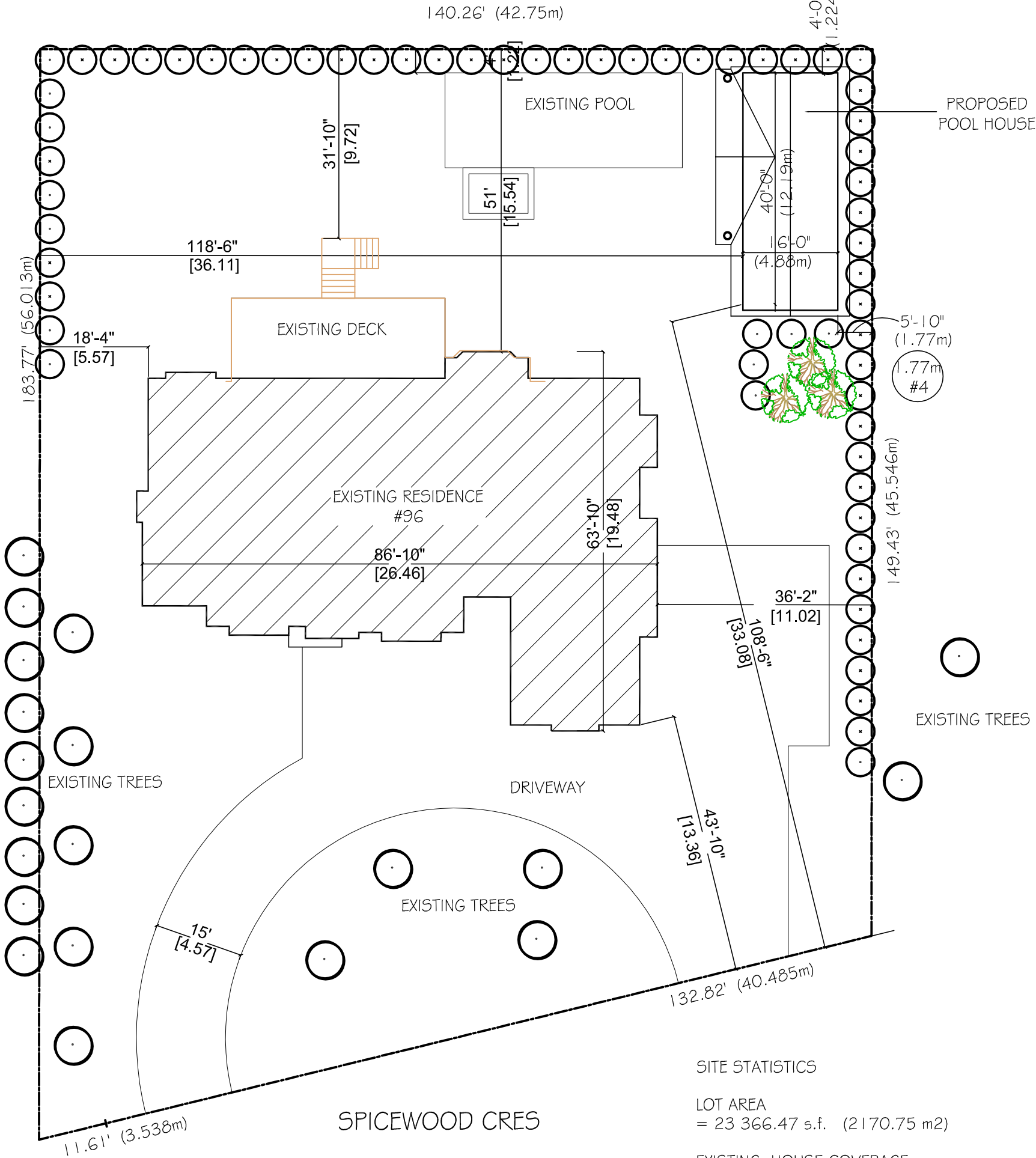
**SCHEDULE A: DRAWINGS & PLANS**





#	ZONING BY LAW 001-2021	VARIANCE REQUESTED
3	THE MINIMUM REAR YARD SETBACK REQUIRED IS 2.4m SECTION 4.1.2	TO PERMIT A MINIMUM REAR YARD SETBACK OF 1.22m
4	THE MINIMUM INTERIOR SIDE YARD SETBACK REQUIRED IS 2.4m SECTION 4.1.2	TO PERMIT A MINIMUM INTERIOR SIDE YARD SETBACK OF 1.77m

SYMBOL	SPECIES	NO.
	BIRCH	3
	COLUMNAR BEECH TREES	67



SITE STATISTICS

LOT AREA  
= 23 366.47 s.f. (2170.75 m2)

EXISTING HOUSE COVERAGE  
(INCLUDES PORCH)  
=4000 s.f. (371.60 m2) = 17.12 %


EXISTING DECK COVERAGE  
=510 s.f. (47.38 m2) = 2.18%

NEW POOL HOUSE COVERAGE  
= 720 s.f (66.89 m2) = 3.08%

TOTAL COVERAGE  
= 5230 s.f. (485.87 m2) = 22.38%

**RECEIVED**

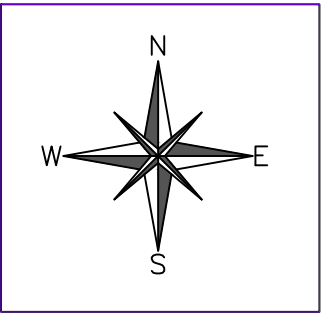
**By russog at 10:52 am, Feb 13, 2025**

Project  PROPOSED POOL HOUSE 96 SPICEWOOD CRES. VAUGHAN, ON	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.  QUALIFICATION INFORMATION  Bobbi Ann Brooks  BCIN #26313 REGISTRATION INFORMATION  TOP FLOOR DESIGN BCIN #33395	top floor design  78 FARNCOMB CRES. BOWMANVILLE, ON LIC 4L8  PHONE: 905-623-0670	Sheet Title SITE PLAN	Project Number b24-28
			Scale 1"=20'	Drawn by BAB
			Date OCT 2024	Checked by BAB

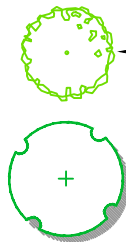


TREE PLANTING PLAN

RECEIVED  
By russog at 10:48 am, Feb 13, 2025



Legend



Columnar beech trees,  
67 to be planted

Birch trees, 3 to  
be planted

96 Spicewood Cres

Rear Yard: 8057sqft 748sqm  
Hardscape: 3228sqft 299sqm 40%  
Softscape: 4829sqft 449sqm 60%

Proposed  
columnar  
beech trees  
(privacy)

Construction access

proposed  
columnar  
beech trees  
(privacy)

General Notes		
-MEASUREMENTS, LOT LINES, EXISTING FEATURES, INDICATIONS OF GRADES ARE APPROXIMATE ONLY, BUT WITH REASONABLE ACCURACY FOR THE CONCEPTUAL PURPOSE INTENDED.		
-CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND/OR OMISSIONS TO THE LANDSCAPE DESIGNER.		
-DO NOT SCALE DRAWINGS.		
-THE DRAWING IS THE EXCLUSIVE PROPERTY OF GIB-SAN POOLS LTD. AND SHALL NOT BE USED WITHOUT STAMPED APPROVAL.		
-DRAWINGS ARE NOT TO BE USED FOR BUILDING OR BIDDING PURPOSES.		
ALL IMAGES ARE FOR ILLUSTRATION PURPOSES ONLY.		
R1	Grades all set to the same scale	02/01/24
NO.	REVISION / ISSUE	DD/MM/YY

**GIB-SAN**  
Pool & Landscape Creations

**Gib-San  
Environmentals**

21 Milvan Drive  
Toronto, ON M9L 1Y8  
Ph. (416) 749-4361  
Fax (416) 749-4348  
www.gibsanpools.com

**PROJECT NAME & ADDRESS**  
VACHON RESIDENCE  
96 SPICEWOOD CRESCENT  
WOODBRIDGE ONTARIO  
POOL AND LANDSCAPE PERMIT PLAN

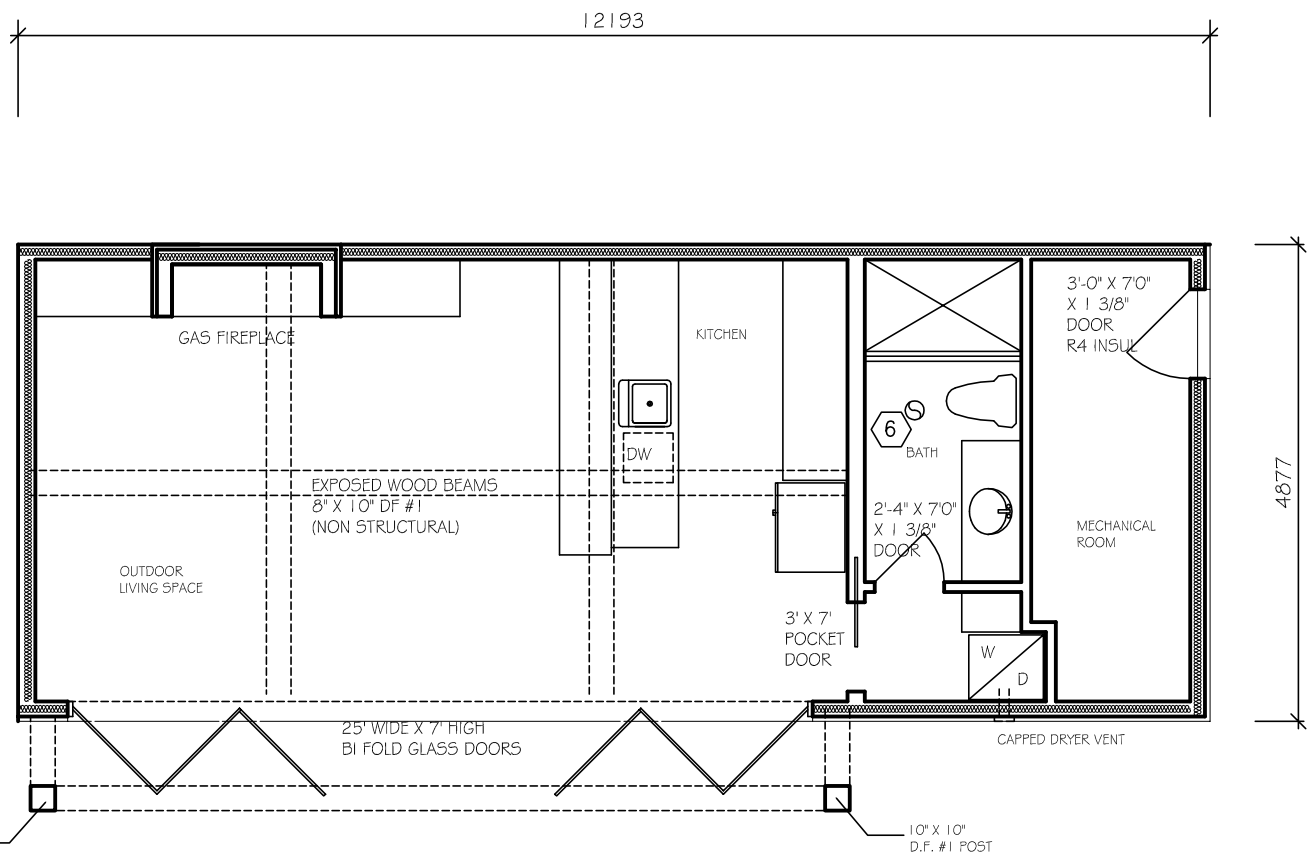
DRAWN BY: BG	CHECKED BY: EB
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PROJECT 24-06-023_P	
DATE 6/6/2024	REV. (R0)
SCALE 1:200	SHEET P-01

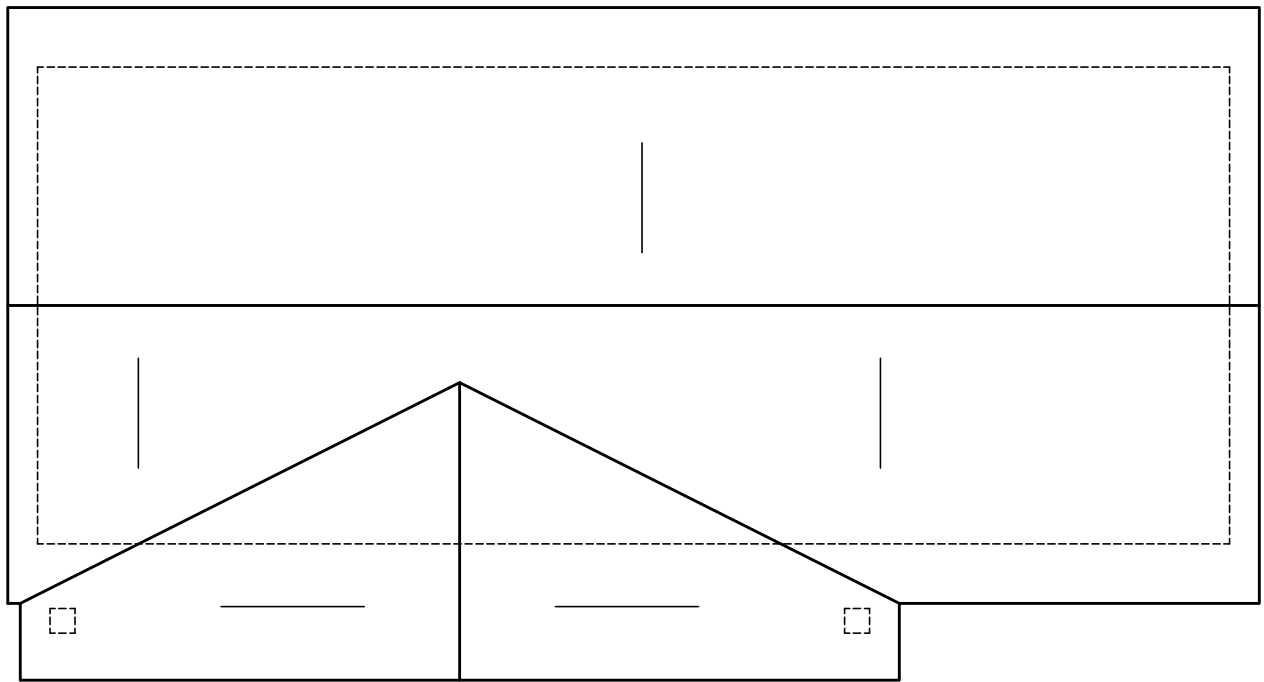
Client Name:

Signature:

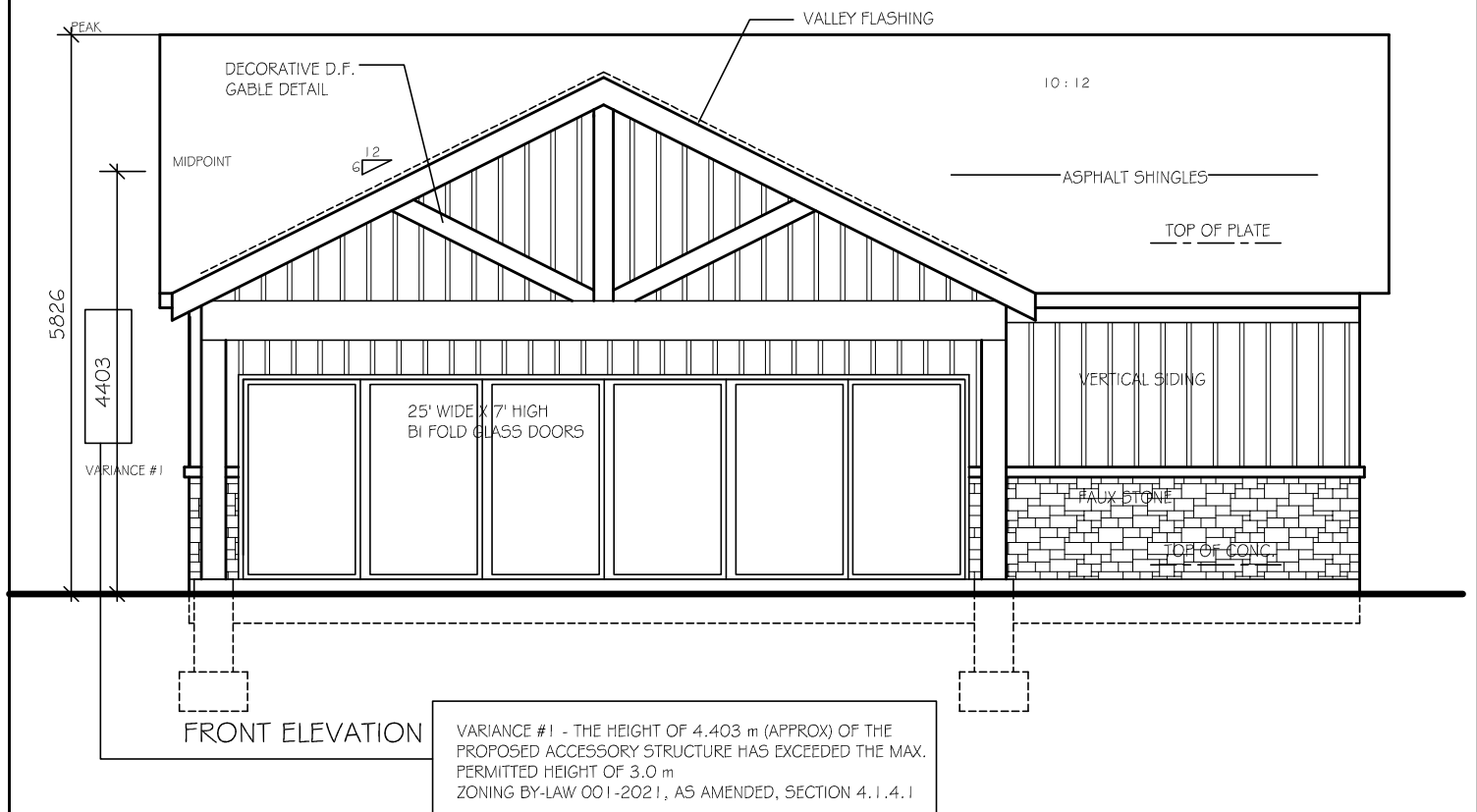
Date:



CABANA PLAN



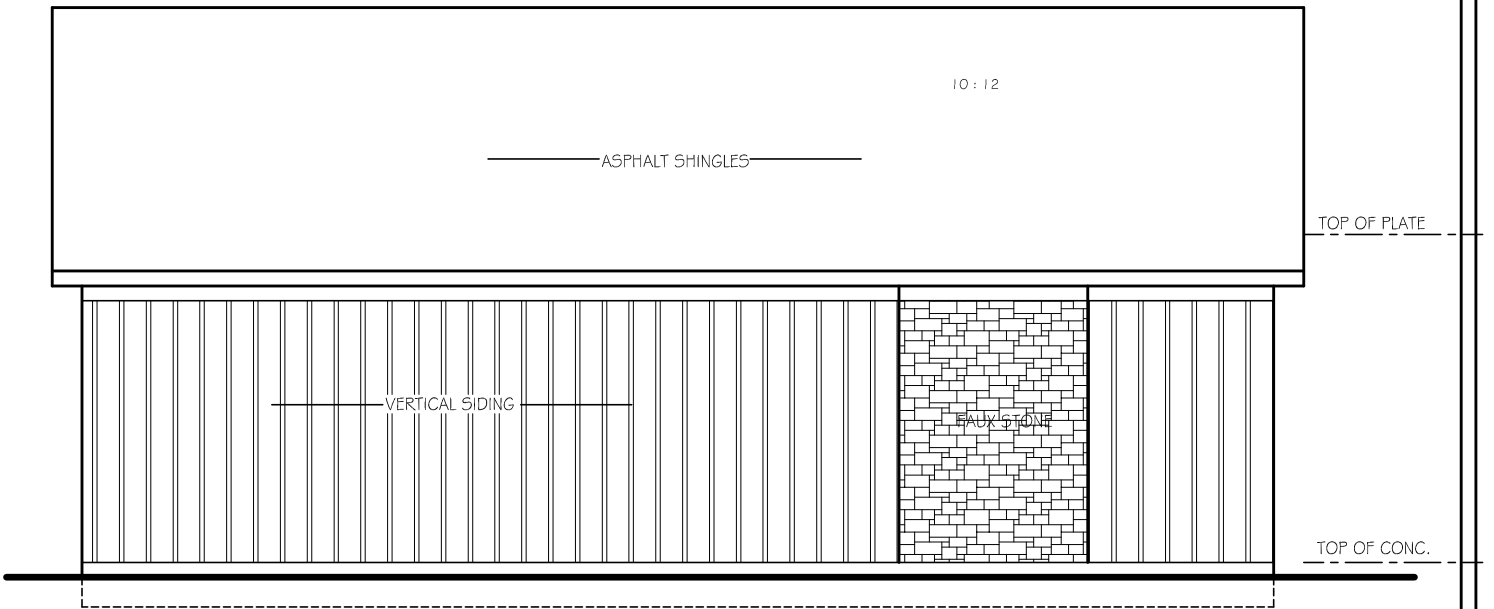
ROOF PLAN



POOL HOUSE  
96 SPICEWOOD CRES.  
VAUGHAN, ON

ROOF PLAN  
FRONT ELEVATION

SCALE 1:75  
PAGE 2 OF 5

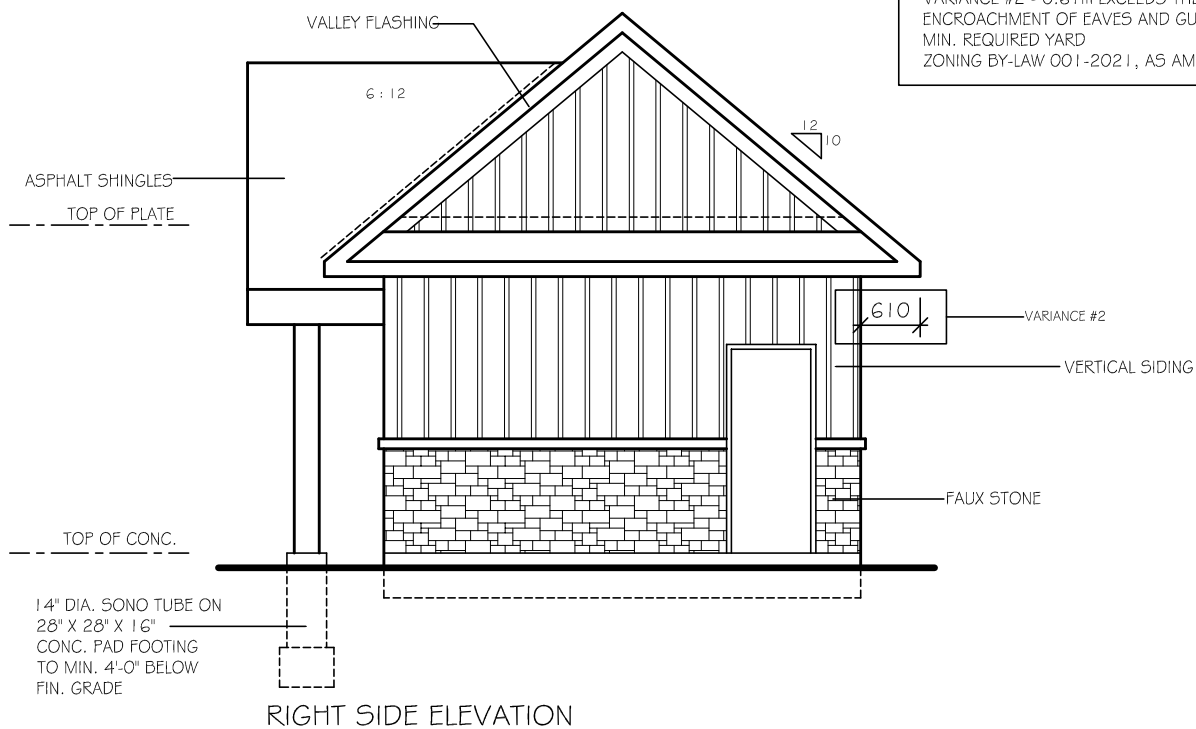


REAR ELEVATION

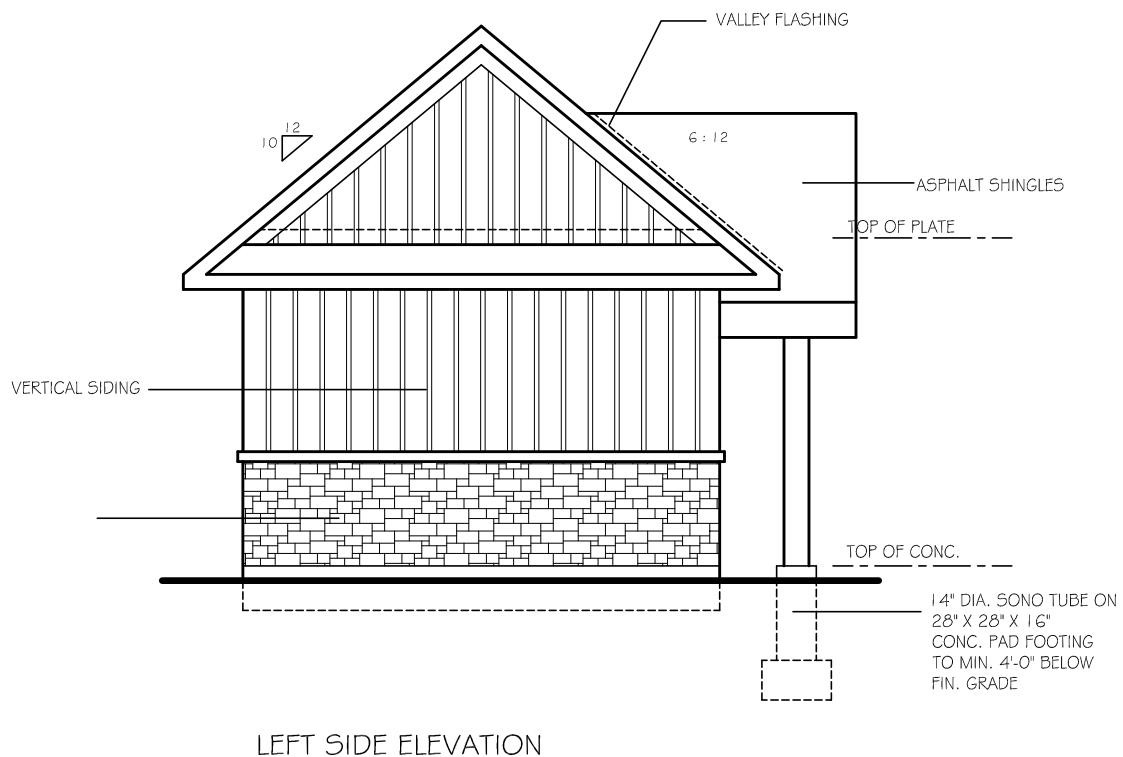
POOL HOUSE  
96 SPICEWOOD CRES.  
VAUGHAN, ON

REAR ELEVATION

SCALE 1:75  
  
PAGE 3 OF 5



VARIANCE #2 - 0.61m EXCEEDS THE MAX. PERMITTED ENCROACHMENT OF EAVES AND GUTTERS OF 0.5m INTO A MIN. REQUIRED YARD  
ZONING BY-LAW 001-2021, AS AMENDED, SECTION 4.1.3



POOL HOUSE  
96 SPICEWOOD CRES.  
VAUGHAN, ON

RIGHT SIDE ELEVATION  
LEFT SIDE ELEVATION

SCALE 1:75

PAGE 4 OF 5

SCHEDULE B:  
COMMENTS FROM AGENCIES, BUILDING STANDARDS &  
DEVELOPMENT PLANNING

Internal Departments *Comments Received	Conditions Required		Nature of Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions

External Agencies *Comments Received	Conditions Required		Nature of Comments *See Schedule B for full comments
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

**Date:** January 31<sup>st</sup> 2025

**Attention:** **Christine Vigneault**

**RE:** Request for Comments

**File No.:**

**Related Files:** **A008-25**

**Applicant:** Top Floor Design

**Location** 96 Spicewood Crescent



**COMMENTS:**

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

**References:**

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

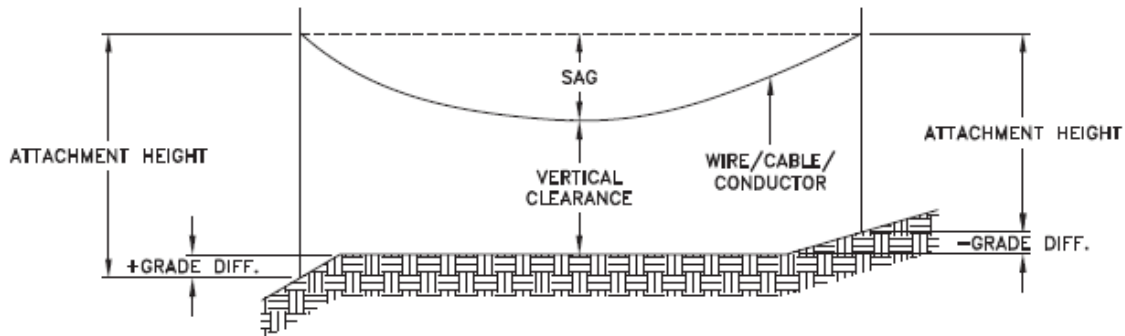
Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG  
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)  
 + GRADE DIFFERENCE  
 + 0.3m (VEHICLE OR RAILWAY LOCATION)  
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

**NOTES:**

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

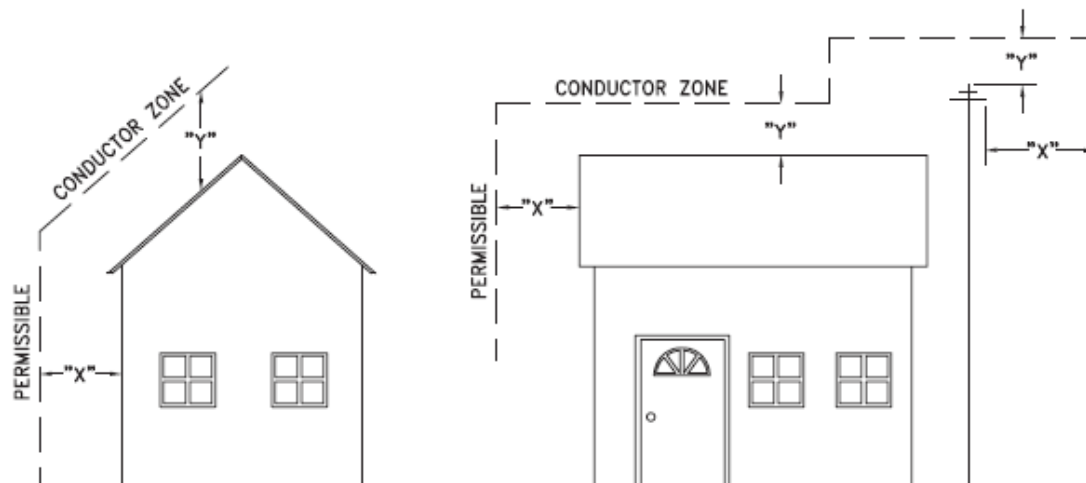
**REFERENCES**

SAGS AND TENSIONS | SECTION 02

**MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS**

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

### NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

### MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:

PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 3\3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 8:22:02 AM, Adobe PDF

**Certificate of Approval**  
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04  
Debbie Dadwani, P.Eng. 2010-MAY-05  
Name Date  
P.Eng. Approval By: D. Dadwani

**To:** Committee of Adjustment  
**From:** Bernd Paessler, Building Standards Department  
**Date:** February 28, 2025  
**Applicant:** Top Floor Design  
**Location:** 96 Spicewood Crescent PLAN 65M4336 Lot 49  
**File No.(s):** A008/25

**Zoning Classification:**

The subject lands are zoned R1(EN) – 1<sup>st</sup> Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.953 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A residential accessory structure with a height greater than 2.8m shall not be located closer than 2.4m to any lot line. [4.1.2.1.b]	To permit a residential accessory structure with a height greater than 2.8m to be located a minimum of 1.22m from the rear lot line.
2	A residential accessory structure with a height greater than 2.8m shall not be located closer than 2.4m to any lot line. [4.1.2.1.b]	To permit a residential accessory structure with a height greater than 2.8m to be located a minimum of 1.77m from the interior side lot line.
3	A maximum building height of 3.0m is permitted for the residential accessory structure. [4.1.4.1]	To permit a maximum height of 4.4m for the residential accessory structure.
4	The maximum permitted encroachment for an eave is 0.50m into the required setback of 2.4m for the residential accessory structure. Sect 4.13	To permit a maximum encroachment of 0.61m into the required 2.4m setback for the residential accessory structure.

**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file

**Building Permit(s) Issued:**

Building Permit No. 24-136688 for Shed/Gazebo - New, Issue Date: (Not Yet Issued)

**Other Comments:**

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.

**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer

**From:** Nancy Tuckett, Director of Development and Parks Planning

**Date:** March 7, 2025

**Name of Owner:** Conrad Vachon, Wendy Vachon

**Location:** 96 Spicewood Crescent

**File No.(s):** A008/25

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**Proposed Variance(s):**

1. To permit a residential accessory structure with a height greater than 2.8 m to be located a minimum of **1.22 m** from the rear lot line.
2. To permit a residential accessory structure with a height greater than 2.8 m to be located a minimum of **1.77 m** from the interior side lot line.
3. To permit a maximum height of **4.4 m** for the residential accessory structure.
4. To permit a maximum encroachment of **0.61 m** into the required 2.4 m setback for the residential accessory structure.

**By-Law 001-2021 Requirement(s):**

1. A residential accessory structure with a height greater than 2.8 m shall not be located closer than **2.4 m** to any lot line.
2. A residential accessory structure with a height greater than 2.8 m shall not be located closer than **2.4 m** to any lot line.
3. A maximum building height of **3.0 m** is permitted for the residential accessory structure.
4. The maximum permitted encroachment for an eave is **0.50 m** into the required setback of 2.4 m for the residential accessory structure.

**Official Plan:**

Vaughan Official Plan 2010 ('VOP 2010'): "Low Rise Residential"

**Comments:**

The Owner is seeking relief to permit a cabana in the rear yard with the above noted variances.

The Development and Parks Planning Department has no objections to Variance 1 and Variance 2 to reduce the rear and interior side lot line setbacks to the proposed cabana. The proposed setback reductions provide sufficient separation to accommodate a privacy fence and proposed vegetation. The setback will also allow for access and maintenance around the perimeter of the cabana. The proposed setback reductions are minor in nature and maintains the general intent of the Zoning By-law.

The Development and Parks Planning Department has no objections to Variance 3 to increase the maximum permitted height of the cabana from 3.0 m to 4.4 m. The proposed cabana has a gable roof, and will be appropriately screened by a privacy fence and vegetation. The cabana is not anticipated to cause massing impacts on neighbouring properties.

The Development and Parks Planning Department has no objections to Variance 4 to permit an encroachment of 0.61 m for the eaves of the cabana into the western interior setback. The 0.11 m increase in encroachment is minor and do not pose visual impacts. Development Engineering staff have reviewed the encroachment and do not have any concerns with its impact on stormwater runoff and retention.

Accordingly, the Development and Parks Planning Department supports the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

**Recommendation:**

The Development and Parks Planning Department recommends approval of the application.

**Conditions of Approval:**

If the Committee finds merit in the application, the following conditions of approval are recommended:

None.

**Comments Prepared by:**

Harry Zhao, Planner 1

Janany Nagulan, Senior Planner



**From:** [Cameron McDonald](#)  
**To:** [Committee of Adjustment Mailbox](#)  
**Subject:** [External] RE: A008/25 - 96 SPICEWOOD CRESCENT - CITY OF VAUGHAN - REQUEST FOR COMMENTS - COMMITTEE OF ADJUSTMENT  
**Date:** Monday, February 3, 2025 10:14:33 AM  
**Attachments:** [image002.png](#)

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Hello,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from the TRCA.

Based on the above, we have no comments/requirements.

Regards,

**Cameron McDonald**

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:(437)880-1925)

E: [cameron.mcdonald@trca.ca](mailto:cameron.mcdonald@trca.ca)

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](#) | [trca.ca](http://trca.ca)



**From:** [Hurst, Gabrielle](#)  
**To:** [Committee of Adjustment Mailbox](#)  
**Subject:** [External] RE: A008/25 - 96 SPICEWOOD CRESCENT - CITY OF VAUGHAN - REQUEST FOR COMMENTS - COMMITTEE OF ADJUSTMENT  
**Date:** Monday, February 3, 2025 8:41:13 AM

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Good morning,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Thank you

*Gabrielle*

**Gabrielle Hurst MCIP, RPP** | Associate Planner, Development Planning, Economic and Development Services Branch | The Regional Municipality of York | 1-877 464 9675 ext 71538 | [gabrielle.hurst@york.ca](mailto:gabrielle.hurst@york.ca) | [www.york.ca](http://www.york.ca)

**SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE**

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Public	Enzo Toteda	120 Northern Pines Blvd	02/13/2025	Application Cover Letter

120 Northern Pines Blvd

February 4, 2025

Vaughan, ON

To whom it may concern,

I hope this letter finds you well. I am writing to seek your consent for the installation of an accessory structure in our rear yard. The proposed variances include;

1. Total height of proposed structure to be approximately 4.33m vs 3.0m allowable
2. Side yard setback to be 1.77m vs 2.4m allowable
3. Rear yard setback to be 0.91m vs 2.4m allowable
  - a. Please note that we have changed the rear yard setback from 0.91m to 1.22m as per city recommendation

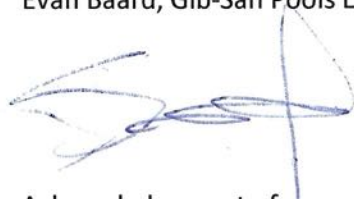
I want to assure you that all necessary approvals and guidelines will be followed, and every effort will be made to minimize and inconvenience to you. If you have any concerns or require further information, I would be happy to discuss this with you.

If you are comfortable with the minor variance, please sign and date the acknowledgement below as a confirmation of your consent.

Thank you for your time and consideration. I appreciate your support

Sincerely,


Evan Baard, Gib-San Pools Ltd.



Acknowledgement of consent

I, owner of 120 Northern Pines Blvd., acknowledge that I have been informed about the proposed adjustment at 96 Spicewood Cres., and give my consent.

Signature



ENZO TOTEDA

SCHEDULE D: BACKGROUND

Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A