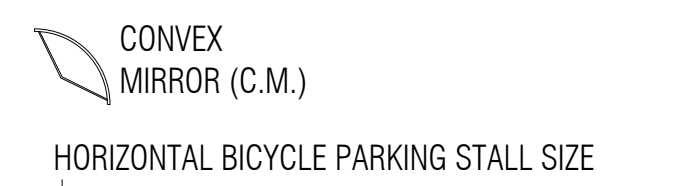
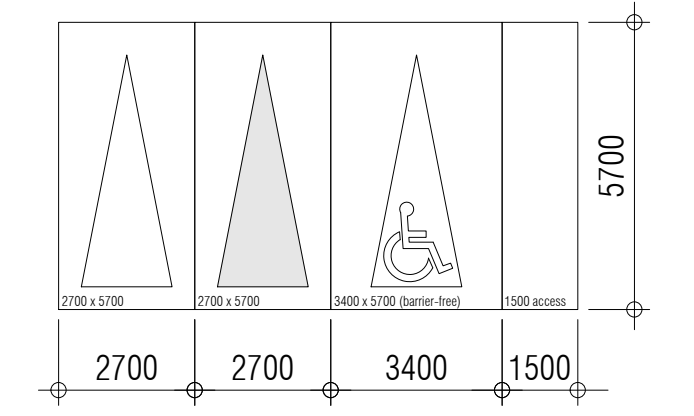


**PARKING LEGEND**

NOTE: PARKING STALL MINIMUM 2M CLEAR HEIGHT

residential visitor barrier free



- Vehicular Circulation
- - - - Pedestrian Circulation
- · - · Bicycle Circulation
- · - · Garbage Circulation

**KEY MAP**



**SURVEY INFORMATION**

TOPOGRAPHIC SURVEY OF PART OF WEST HALF LOT 7 CONCESSION 7 (BEING PART OF LOT 4, SOUTH SIDE OF PINE STREET, PLAN 546) CITY OF VAUGHAN REGIONAL MUNICIPALITY OF YORK

R. AVIS SURVEYING INC. SUITE 203 235 YORKLAND BOULEVARD TORONTO, ONTARIO M2J 4Y8 TEL: (416) 490-8352 FAX: (416) 491-6206 EMAIL: office@avisurveying.com

**LIST OF DRAWINGS**

A101	STATISTICS + SITE PLAN	1:200
A301	GROUND FLOOR LEVEL	1:150
A302	2ND FLOOR PLAN	1:150
A303	3RD-4TH + 5TH FLOOR PLANS	1:150
A304	6TH + 7TH FLOOR PLANS	1:150
A305	MECH PH. + ROOF PLANS	1:150
A400	MATERIALS BOARD	N.T.S.
A401	ELEVATIONS	1:100
A402	ELEVATIONS	1:100
A403	ELEVATIONS	1:100
A404	ELEVATIONS	1:100
A501	SECTION 1	1:100
A502	SECTION 2	1:100
A601	MASSING VIEWS	N.T.S.

**GENERAL NOTES**

- For landscaping, refer to landscape drawings.
- For proposed grading, refer to landscape drawings.
- All perimeter existing information indicated taken from survey.
- All work to be done in conformance with the 2018 Ontario Building Code. [OBC AS AMENDED]

**STATISTICAL INFORMATION**

	REQUIRED	PROVIDED
1. SITE AREAS	2,314 m <sup>2</sup> 0.23 ha. 24,912 ft <sup>2</sup> 0.57 ac.	TOTAL DEVELOPABLE AREA - 2,314 m <sup>2</sup> (100%) MID-RISE BUILDING AREA - 522 m <sup>2</sup> (23%) LANDSCAPED AREA - 1,357 m <sup>2</sup> (58%) DRIVEWAY AREA - 435 m <sup>2</sup> (19%)
2. GFA		RESIDENTIAL: 3,045.6 m <sup>2</sup> / 32,785 ft <sup>2</sup> NON-RESIDENTIAL: 0 m <sup>2</sup> / 0 ft <sup>2</sup> TOTAL GFA: 3,045.6 m <sup>2</sup> / 32,785 ft <sup>2</sup>
3. FSI		1.31 x
4. BUILDING HEIGHT		7 STOREYS + MECH. (24.80 m + MECH) HEIGHT MEASURED FROM ESTABLISHED GRADE DATUM OF 159.88 WHICH IS MEASURED ALONG WOODBRIDGE AVE. (GROUND FLOOR IS AT THE WOODBRIDGE AVE. ELEVATION)
5. UNIT COUNT		1B 11 UNITS 1B+D 7 UNITS 2B 8 UNITS 2B+D 6 UNITS Total 32 u **
6. AMENITY	(8.0M <sup>2</sup> PER UNIT FOR FIRST 8 UNITS 5.0M <sup>2</sup> PER UNIT FOR ADDITIONAL UNITS) =8.0M <sup>2</sup> X 8 UNITS = 64.0M <sup>2</sup> =5.0M <sup>2</sup> X 24 UNITS = 120.0M <sup>2</sup>	INDOOR 73 M <sup>2</sup> OUTDOOR 290 M <sup>2</sup>
7. PARKING	TOTAL REQUIRED 184 m <sup>2</sup>	TOTAL PROVIDED 363 m <sup>2</sup>
RESIDENTS	1.0 x 32 u. = 32 SPACES***	RESIDENTIAL: 32 SPACES (OF WHICH 1 SPACE IS BARRIER FREE)
	0.20 x 32 u. = 6.4 (7) SPACES***	VISITOR: 7 SPACES * *(VISITOR AND RETAIL TO BE SHARED) (OF WHICH 1 SPACE IS BARRIER FREE)
TOTAL REQUIRED	39 SPACES***	TOTAL PROVIDED 39 SPACES***
8. BUILDING SETBACKS		NORTH 3.7 m WEST 9.0 m SOUTH 9.7 m EAST 20 m
9. BICYCLE STORAGE	AS PER VAUGHAN GREEN STANDARD: RESIDENTIAL ZONE = 0.5 SP/UNIT OCCUPANT 0.5 x 32** = 16 16 BICYCLE SPACES VISITOR ZONE = 0.1 SP/UNIT VISITOR 0.1 x 32** = 3.2 3 BICYCLE SPACES	BICYCLE SPACES PROVIDED: RESIDENTIAL ZONE UNDERGROUND = 16 SPACES VISITOR ZONE SURFACE = 03 SPACES
TOTAL REQUIRED	19 SPACES	TOTAL PROVIDED 19 SPACES

\*\* FINAL SUITE MIX AND DWELLING UNIT COUNT SUBJECT TO MARKET CONDITIONS  
\*\*\* FINAL PARKING COUNT MAY VARY DEPENDING ON FINAL DWELLING UNIT COUNT

- LOADING SPACES/STAGING PAD NOTES:**
- Loading pad have a minimum base of 300mm of compacted 20 mm crusher run limestone; shall be finished to ab minimum of 200 mm depth of concrete
  - loading space shall not exceed ± 2% in any direction, and where the loading area is not flat, a mechanism to prevent the containers from rolling off the loading pad is required.
  - loading space to have vertical clearance of 6.5m
  - At least one loading space with minimum length of 13m, width of 4m and with a vertical clearance of at least 6.5m

- ACCESS ROUTES NOTES:**
- The waste collection vehicle does not require to make more than a 3-point turn, or reverse more than 16.5m
  - Access routes, including points of ingress and egress, designed for two-way traffic have a minimum width of 6m and a minimum inside turning radius of 9m
  - Access routes designed for one-way traffic have a minimum width of 4m, a minimum inside turning radius of 15m and a minimum outside turning radius of 14.5m
  - Access routes are to maintain a minimum vertical clearance of 4.4m
  - Access routes are to have a grade of no more than 5% on private property
  - Access route on a driveway ramp to connect with an above or below grade structure shall have a maximum ramp grade of 8%
  - The pavement design of the Access Route shall be minimum as per City's Engineering Design Criteria and Standard Drawings for "Industrial & Heavy Duty Driveways" or a City approved alternative.
  - All supported structures traveled on by waste collection vehicles will be designed to support at least 35,000kg with a point load of at least 6,000kg - a letter from an engineer is required to verify this requirement has been met.
  - The Driveway width shall be minimum of 6.0 metres at the property line and the inside curb radius shall be no less than 9.0 metres.
  - Where appropriate, pavement markings, warning lights, mirrors and signage along Access Route and Loading Area shall be installed.

- WASTE COLLECTION NOTES:**
- Lock out and washing systems for all waste chutes
  - Chute rooms on each floor
  - Each chute room is provided with sufficient space for displaying educational material
  - Termination of three separate chutes in waste room with waste containers under each chute and garbage compactor under one chute
  - Internal vertical clearance of all waste storage rooms as 2.5m
  - House bib and floor drain
  - Waste storage room as being climate controlled
  - Minimum standards pursuant to Ontario Building Code and appropriate odour controls requirements for Waste Storage Facility

issued for revisions

**GRAZIANI + CORAZZA ARCHITECTS INC.**  
JOHNNY CHIMIENTI LICENCE 6299

1320 Sheppard Drive, Suite 100, Mississauga Ontario L4W 1C3  
Phone: 905.795.2814 Fax: 905.795.2844 www.gc-architects.com

**WOODBRIDGE AVENUE**

HARDROCK GROUP OF COMPANIES

VAUGHAN ONTARIO

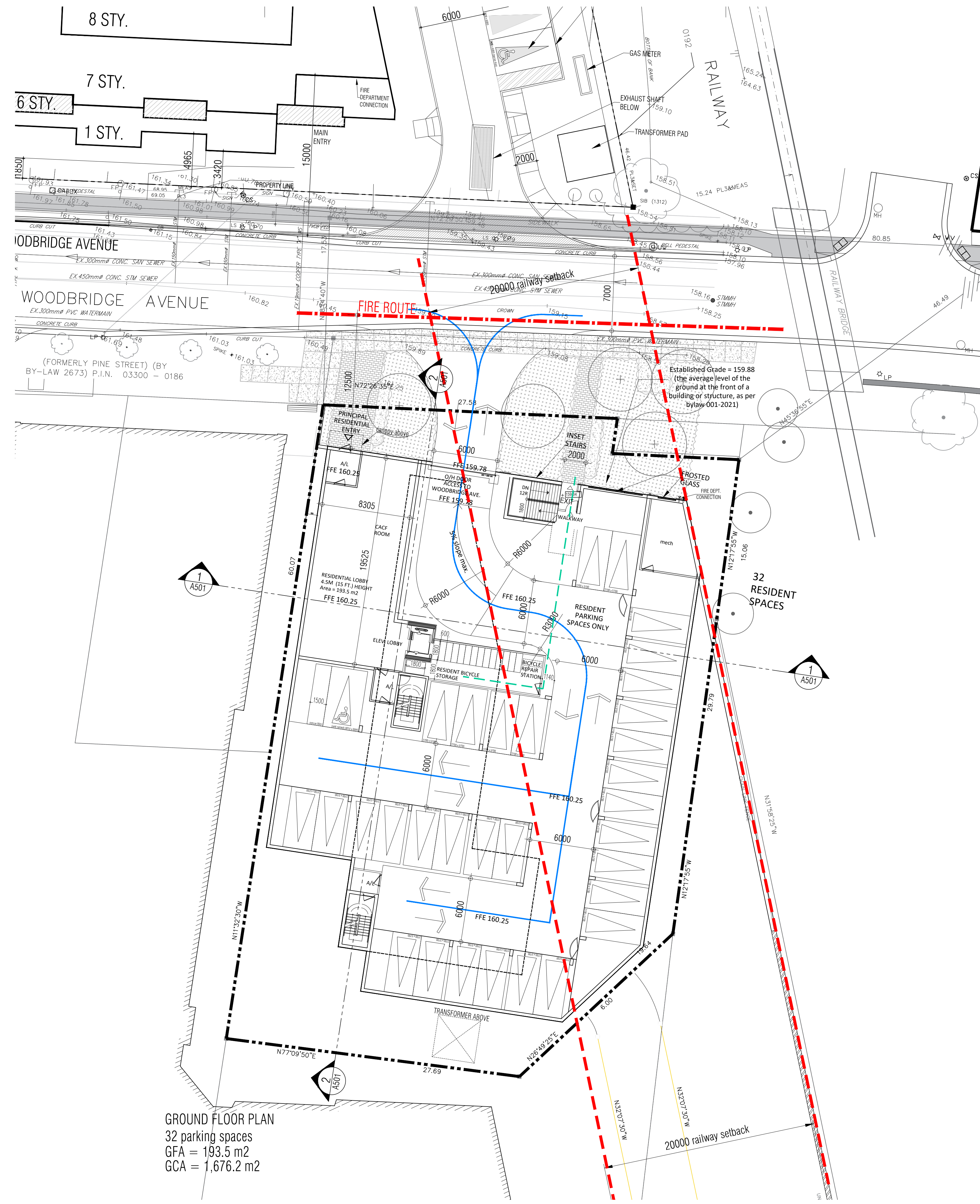
Project Architect: E. Corazza  
Assistant Designer: J. Chimienti  
Drawn By: J. Chimienti  
Checked By: D. Biase  
Plot Date: DEC.04.2024  
Job #: 1206.14

**SITE PLAN & STATISTICS**

1:200 A101

TITLE BLOCK SIZE: 610 x 900



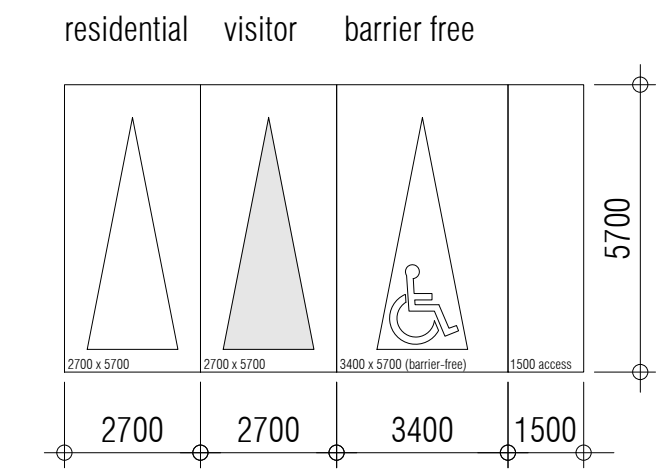


GROUND FLOOR PLAN  
 32 parking spaces  
 GFA = 193.5 m<sup>2</sup>  
 GCA = 1,676.2 m<sup>2</sup>

- Vehicular Circulation
- - - Pedestrian Circulation
- - - Bicycle Circulation
- · - · - Garbage Circulation

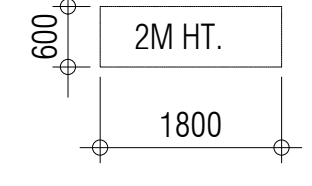
**PARKING LEGEND**

NOTE: PARKING STALL MINIMUM 2M CLEAR HEIGHT



CONVEX MIRROR (C.M.)

HORIZONTAL BICYCLE PARKING STALL SIZE



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- Loading pad have a minimum base of 300mm of compacted 20 mm crusher run limestone, shall be finished to an minimum of 200 mm depth of concrete
  - Loading space shall not exceed ± 2% in any direction, and where the loading area is not flat, a mechanism to prevent the containers from rolling off the loading pad is required.
  - Loading space to have vertical clearance of 6.5m
  - At least one loading space with minimum length of 13m, width of 4m and with a vertical clearance of at least 6.5m

- ACCESS ROUTES NOTES:**
- The waste collection vehicle does not require to make more than a 3-point turn, or reverse more than 16.5m
  - Access routes, including points of ingress and egress, designed for two-way traffic have a minimum width of 6m and a minimum inside turning radius of 9m
  - Access routes designed for one-way traffic have a minimum width of 4m, a minimum inside turning radius of 15m and a minimum outside turning radius of 14.5m
  - Access routes are to maintain a minimum vertical clearance of 4.4m
  - Access routes are to have a grade of no more than 3% on private property
  - Access route on a driveway ramp to connect with an above or below grade structure shall have a maximum ramp grade of 8%
  - The pavement design of the Access Route shall be minimum as per City's Engineering Design Criteria and Standard Drawings for "Industrial & Heavy Duty Driveways" or a City approved alternative.
  - All supported structures traveled on by waste collection vehicles will be designed to support at least 35,000kg with a point load of at least 6,000kg - a letter from an engineer is required to verify this requirement has been met.
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- Lock out and washing systems for all waste chutes
  - Chute rooms on each floor
  - Each chute room is provided with sufficient space for displaying educational material
  - Termination of three separate chutes in waste room with waste containers under each chute and a garbage compactor under one chute
  - Internal vertical clearance of all waste storage rooms as 2.5m
  - Hoist bib and floor drain
  - Waste storage room as being climate controlled
  - Minimum standards pursuant to Ontario Building Code and appropriate odour controls requirements for Waste Storage Facility

issued for revisions

**GRAZIANI + CORAZZA ARCHITECTS INC.**  
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 LICENCE 6299

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 Phone: 905.795.2801 Fax: 905.795.2844

PROPOSED RESIDENTIAL DEVELOPMENT

**WOODBRIDGE AVENUE**

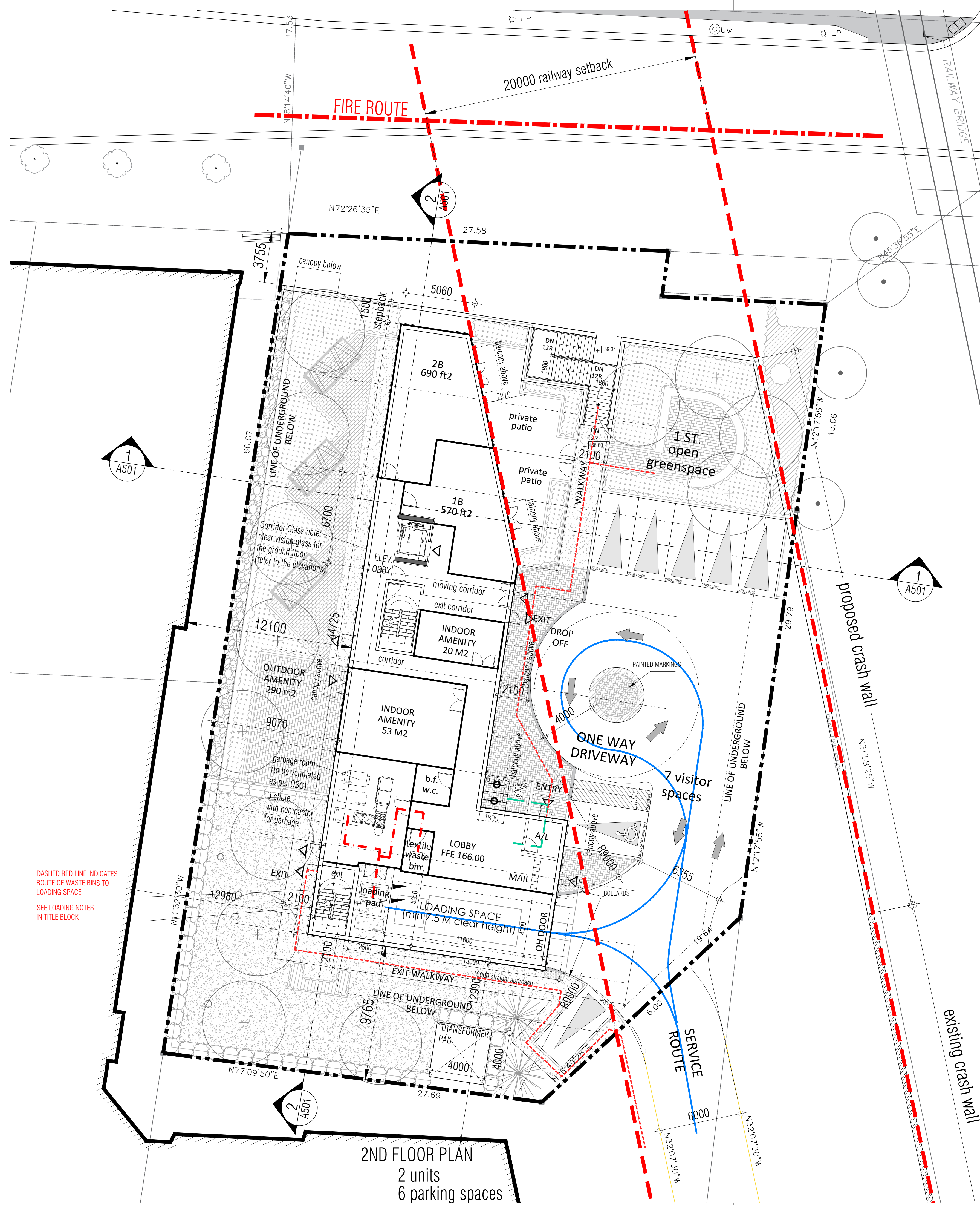
HARDROCK GROUP OF COMPANIES

VAUGHAN ONTARIO

Project Architect: E. Corazza  
 Assistant Designer: J. Chimienti  
 Drawn By: J. Chimienti  
 Checked By: D. Biase  
 Plot Date: DEC. 04, 2024  
 Job #: 1206.14

**GROUND FLOOR PLAN**





- Vehicular Circulation
- - - Pedestrian Circulation
- · - · - Bicycle Circulation
- · - · - Garbage Circulation

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  - Minimum standards pursuant to Ontario Building Code and appropriate odour controls requirements for Waste Storage Facility

issued for revisions

**GRAZIANI + CORAZZA ARCHITECTS INC.**

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ONTARIO ASSOCIATION OF ARCHITECTS

JOHNNY CHIMIENTI  
LICENCE 6299

PROPOSED RESIDENTIAL DEVELOPMENT

**WOODBIDGE AVENUE**

HARDROCK GROUP OF COMPANIES

VAUGHAN ONTARIO

Project Architect: E. Corazza  
Assistant Designer: J. Chimienti  
Drawn By: J. Chimienti  
Checked By: D. Biase  
Plot Date: DEC. 04, 2024  
Job #: 1206.14

DASHED RED LINE INDICATES ROUTE OF WASTE BINS TO LOADING SPACE

SEE LOADING NOTES IN TITLE BLOCK



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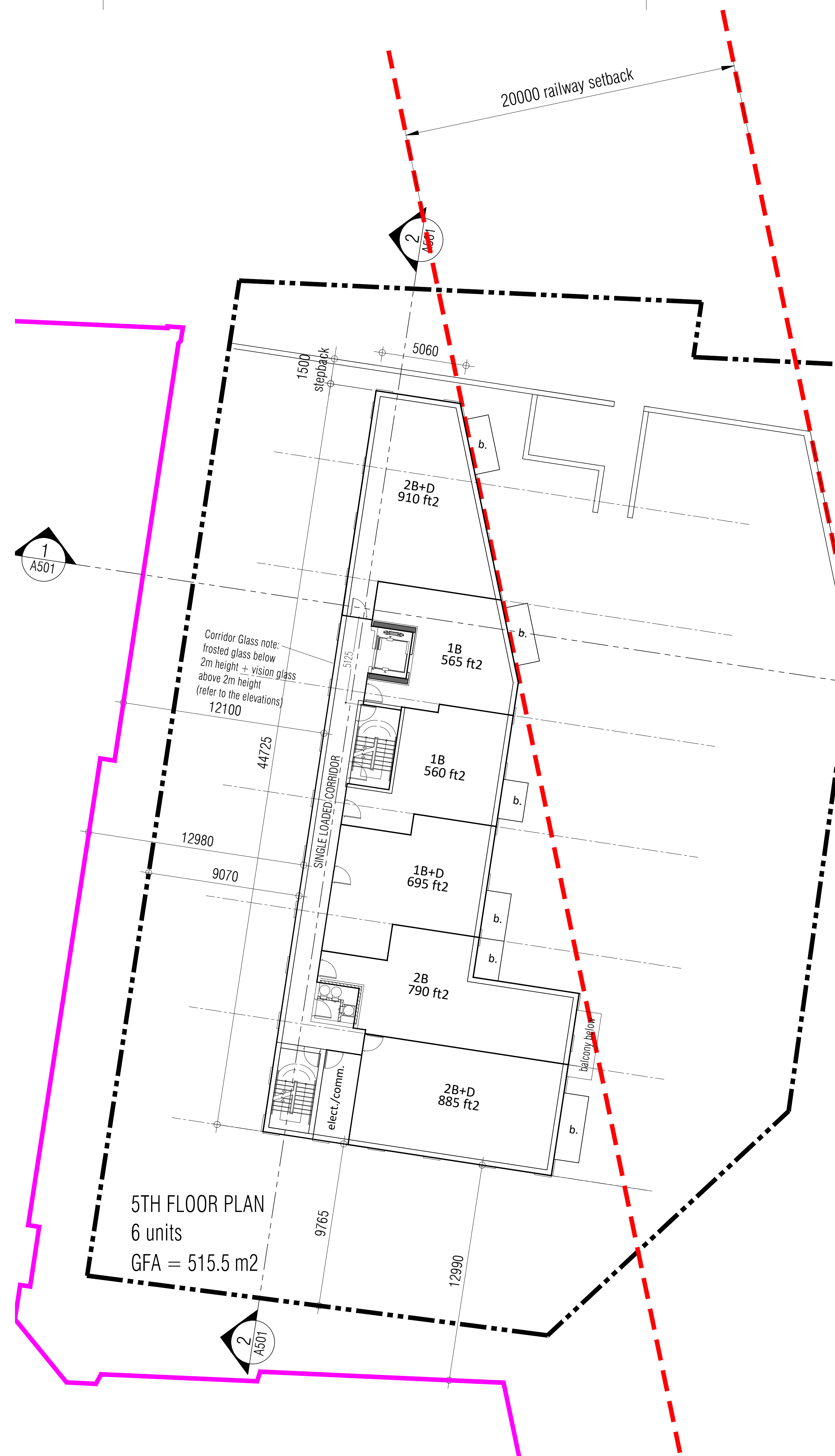
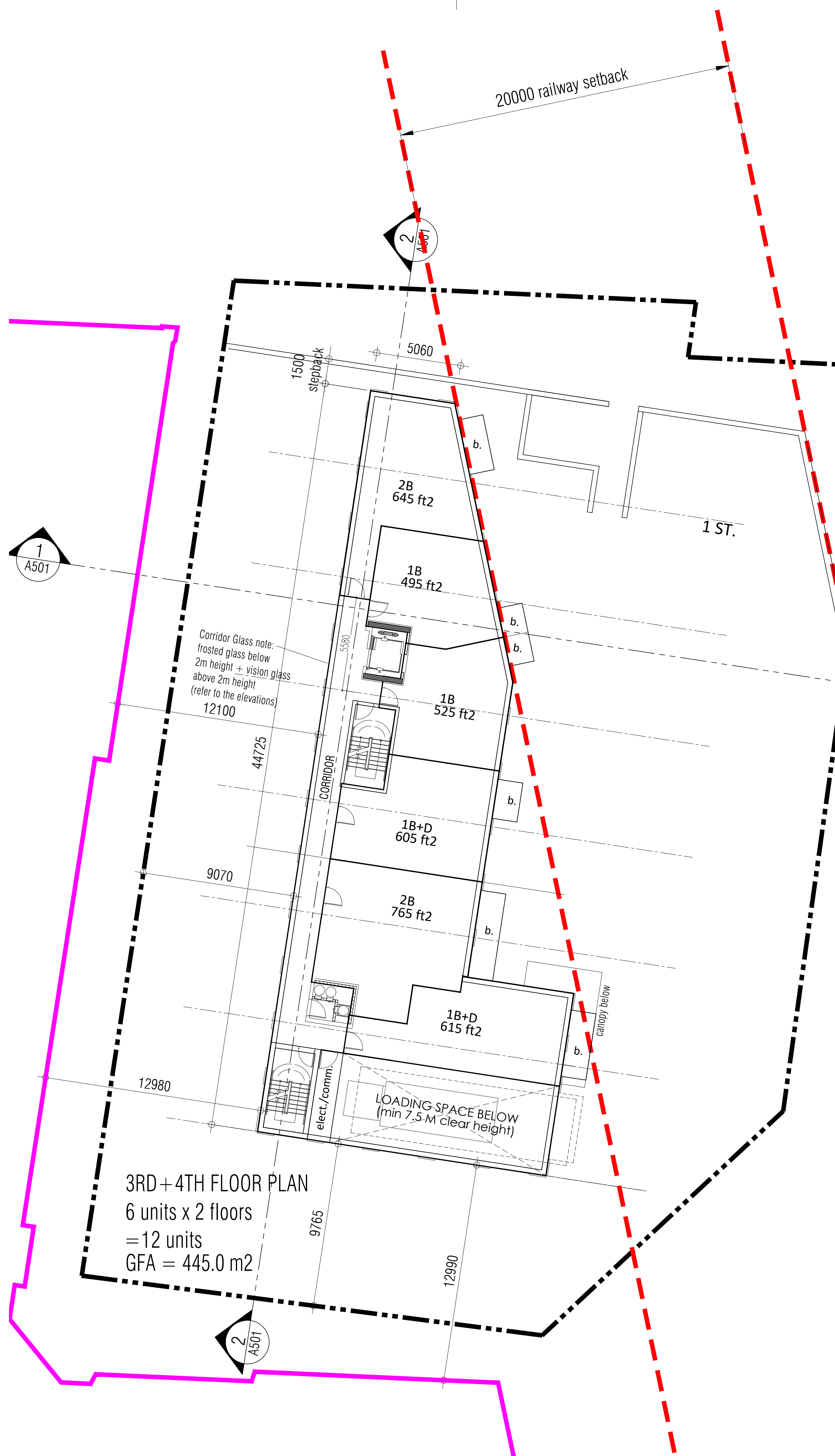
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 VAUGHAN ONTARIO

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 Checked By: D. Biase  
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3RD-4TH + 5TH FLOOR PLANS

1:150 **A303**

TITLEBLOCK SIZE: 610 x 900





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- |    |              |                         |         |
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  5. Internal vertical clearance of all waste storage rooms as 2.5m
  6. Hose bib and floor drain
  7. Waste storage room as being climate controlled
  8. Minimum standards pursuant to Ontario Building Code and appropriate odour controls requirements for Waste Storage Facility

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PROPOSED RESIDENTIAL DEVELOPMENT

WOODBRIDGE AVENUE

HARDROCK GROUP OF COMPANIES

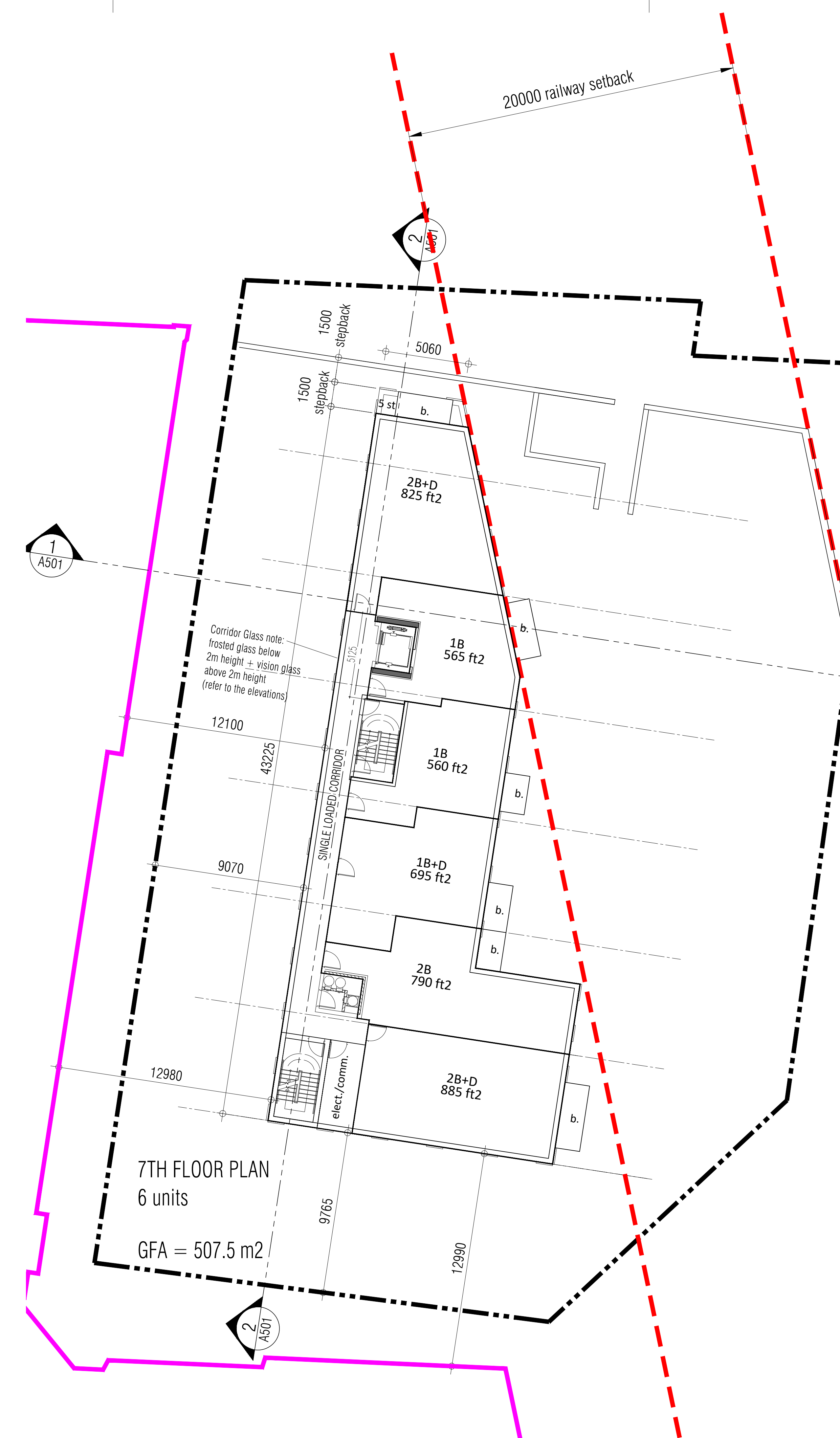
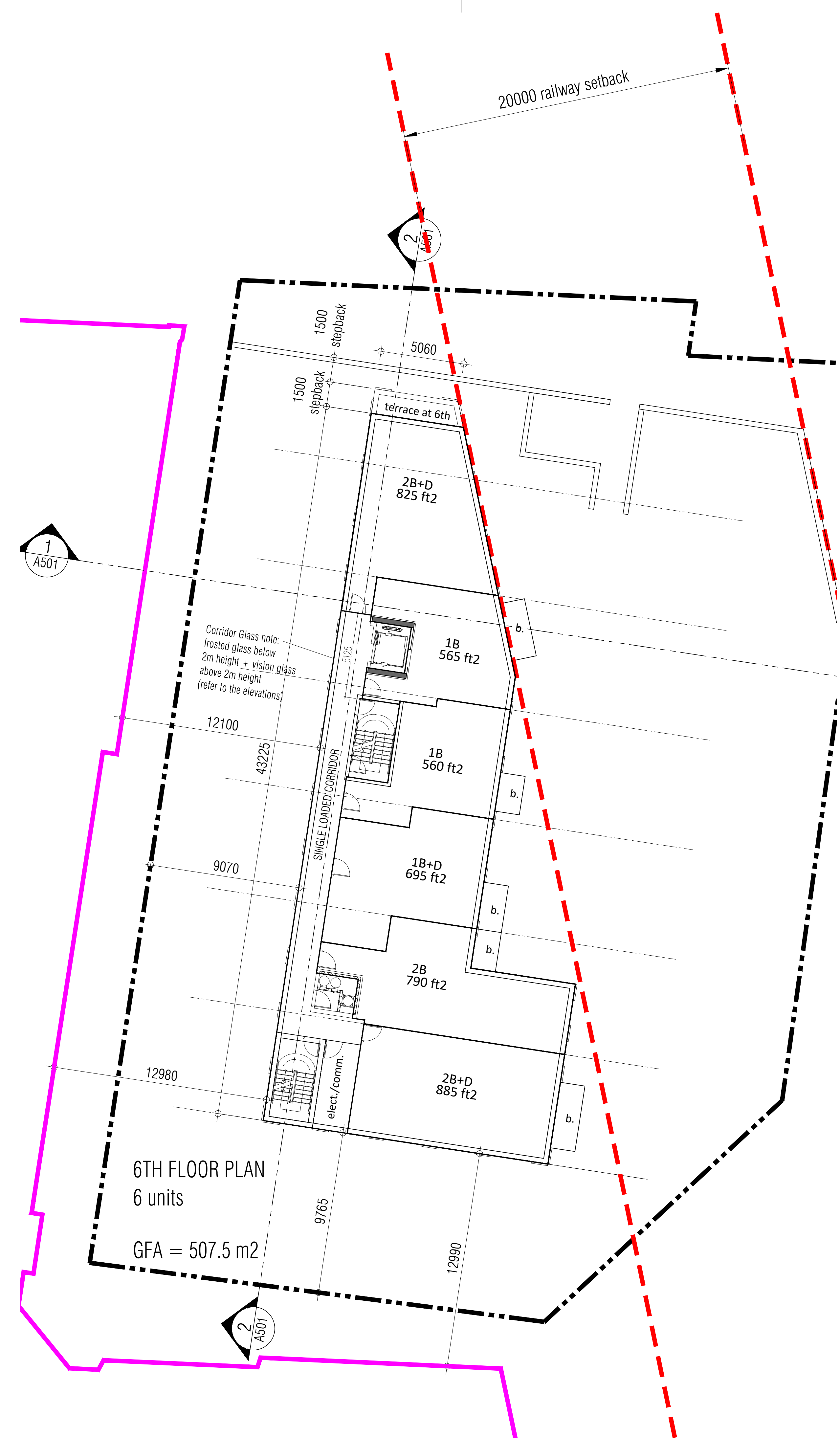
VAUGHAN ONTARIO

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6TH+7TH FLOOR PLANS

1:150 **A304**

TITLEBLOCK SIZE: 610 x 900





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PROPOSED RESIDENTIAL DEVELOPMENT

WOODBRIDGE AVENUE

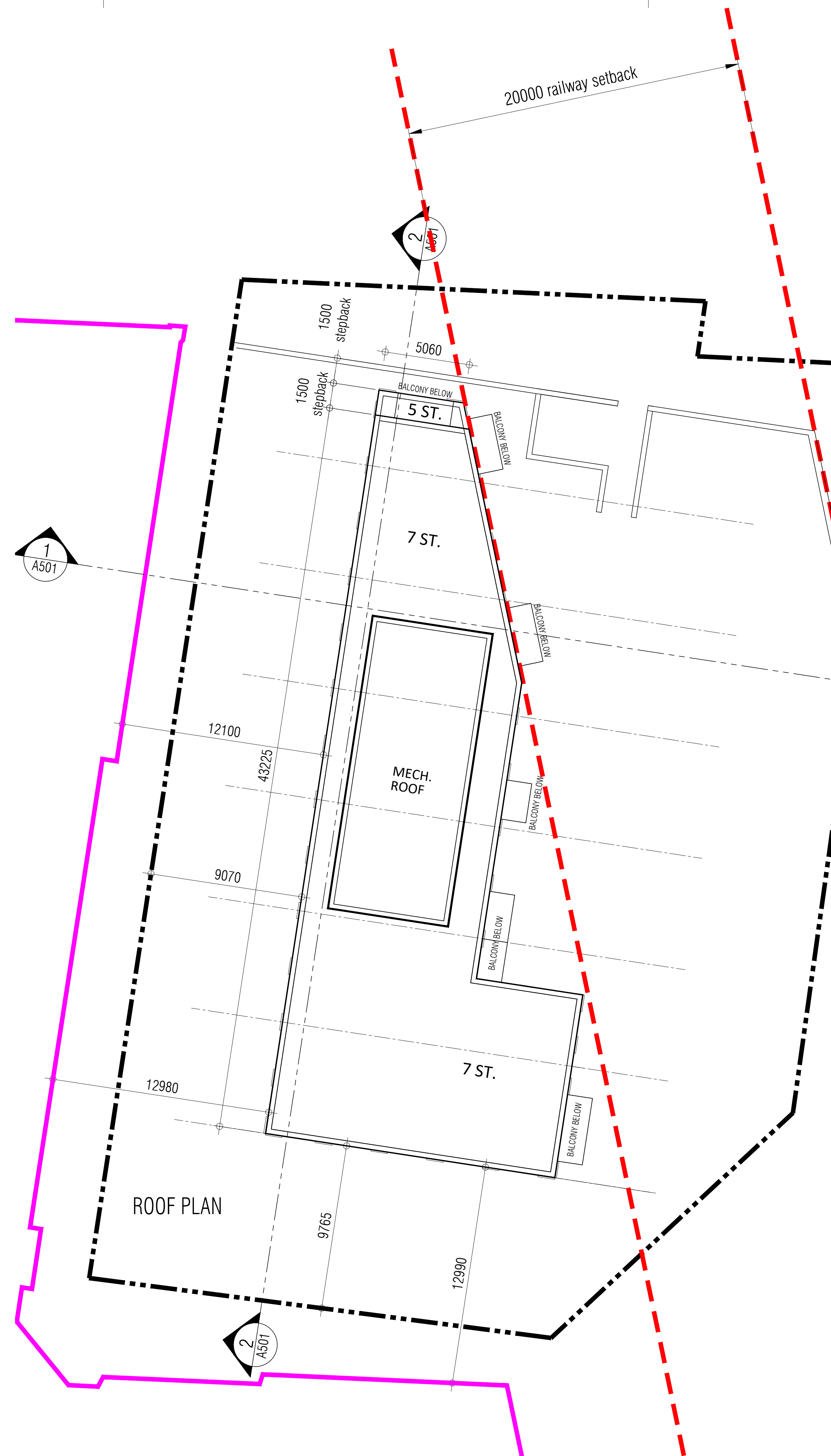
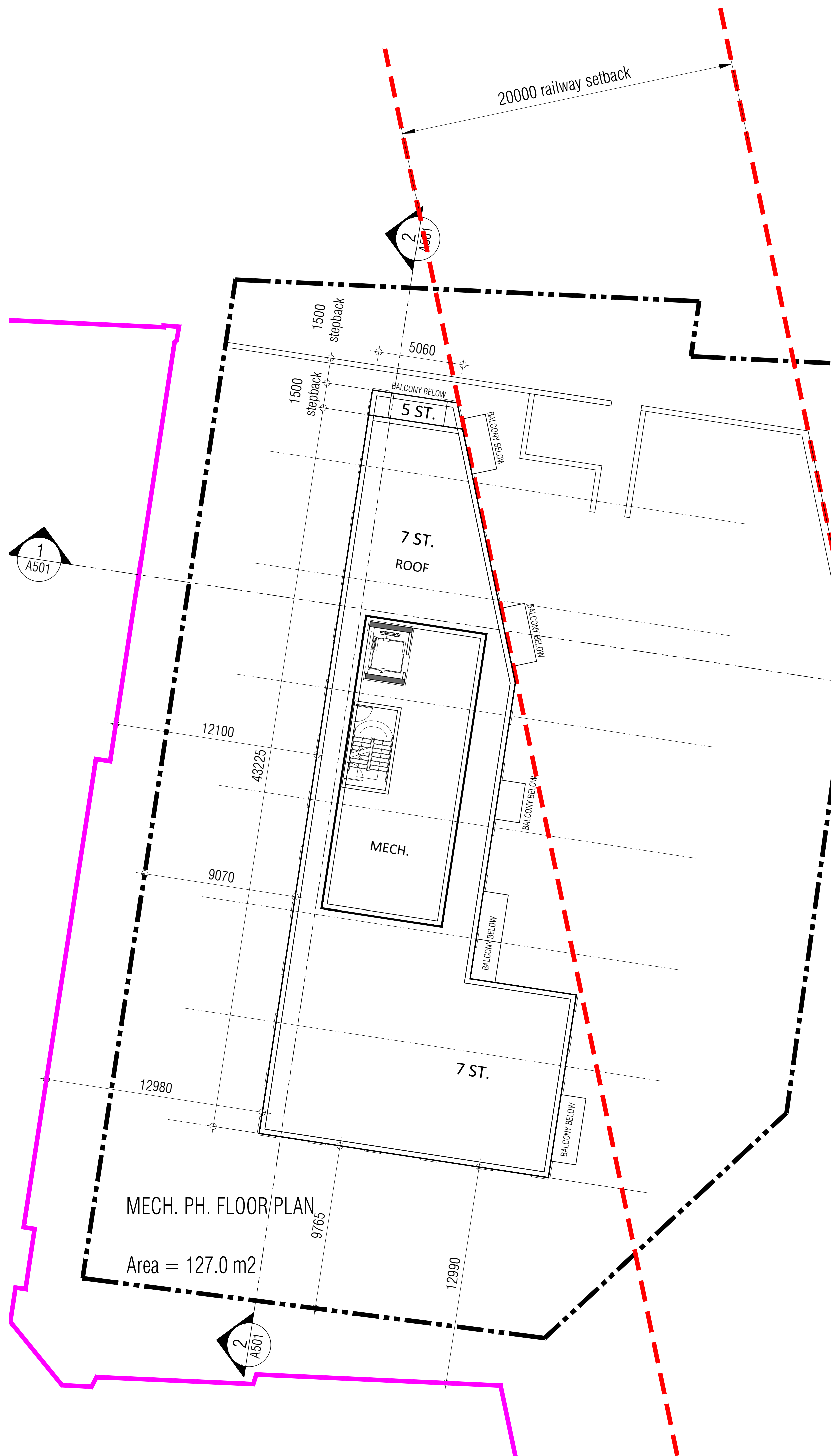
HARDROCK GROUP OF COMPANIES

Project Architect: E. Corazza  
 Assistant Designer: J. Chimienti  
 Drawn By: J. Chimienti  
 Checked By: D. Biase  
 Plot Date: DEC.04.2024  
 Job #: 1206.14

MECH PH. + ROOF PLANS

1:75 **A305**

TITLEBLOCK SIZE: 610 x 900



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4.	DEC.06.2024	ISSUED FOR OPA/REZONING	J. CHL

# MATERIAL LEGEND

**1** CLEAR GLASS  
 MANUFACTURER:  
 DESCRIPTION: CLEAR



**2** FROSTED GLASS  
 MANUFACTURER:  
 DESCRIPTION: OPAQUE




**3** SPANDREL PANEL  
 MANUFACTURER:  
 DESCRIPTION: GREY




**4** LIME STONE  
 MANUFACTURER: STONE LAMINA  
 DESCRIPTION: SANDBLASTED FINISH



**5** BRICK  
 MANUFACTURER:  
 BRAMPTON BRICK - CUSHWWA  
 DESCRIPTION: GEORGIAN



**6** METAL PANEL  
 MANUFACTURER: PPG DURANAR  
 DESCRIPTION: CHARCOAL GRAY



**7** MULLION  
 MANUFACTURER:  
 DESCRIPTION: GREY

**8** RAILING  
 MANUFACTURER:  
 DESCRIPTION: GREY

**NOTE:**  
 Bird friendly glass - 85% of exterior glass within first 16m above grade have markers spacing equal or less than 5cm (vertically) x 10cm (horizontally)

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PROPOSED RESIDENTIAL DEVELOPMENT

WOODBRIDGE AVENUE

HARDROCK GROUP OF COMPANIES

VAUGHAN ONTARIO

Project Architect: E. Corazza  
 Assistant Designer: J. Chimienti  
 Drawn By: J. Chimienti  
 Checked By: D. Biase  
 Plot Date: DEC.04.2024  
 Job #: 1206.14

MATERIAL LEGEND



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MATERIAL LEGEND	
1 CLEAR GLASS MANUFACTURER: DESCRIPTION: CLEAR	5 BRICK MANUFACTURER: BRAMPTON BRICK - CUSHAWA DESCRIPTION: GEORGIAN
2 FROSTED GLASS MANUFACTURER: DESCRIPTION: OPAQUE	6 METAL PANEL MANUFACTURER: PPG DURANAR DESCRIPTION: CHARCOAL GRAY
3 SPANDREL PANEL MANUFACTURER: DESCRIPTION: GREY	7 MULLION MANUFACTURER: DESCRIPTION: GREY
4 LIME STONE MANUFACTURER: STONE LAMINA DESCRIPTION: SANDBLASTED FINISH	8 RAILING MANUFACTURER: DESCRIPTION: GREY

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ONTARIO ASSOCIATION OF ARCHITECTS  
JOHNNY CHIMIENTI  
LICENCE 6299

PROPOSED RESIDENTIAL DEVELOPMENT

**WOODBRIDGE AVENUE**

HARDROCK GROUP OF COMPANIES

VAUGHAN ONTARIO

Project Architect: E. Corazza  
Assistant Designer: J. Chimienti  
Drawn By: J. Chimienti  
Checked By: D. Biase  
Plot Date: DEC. 04, 2024  
Job #: 1206.14

**MID-RISE EAST ELEVATION**

1:100 A401

TITLE BLOCK SIZE: 610 x 900



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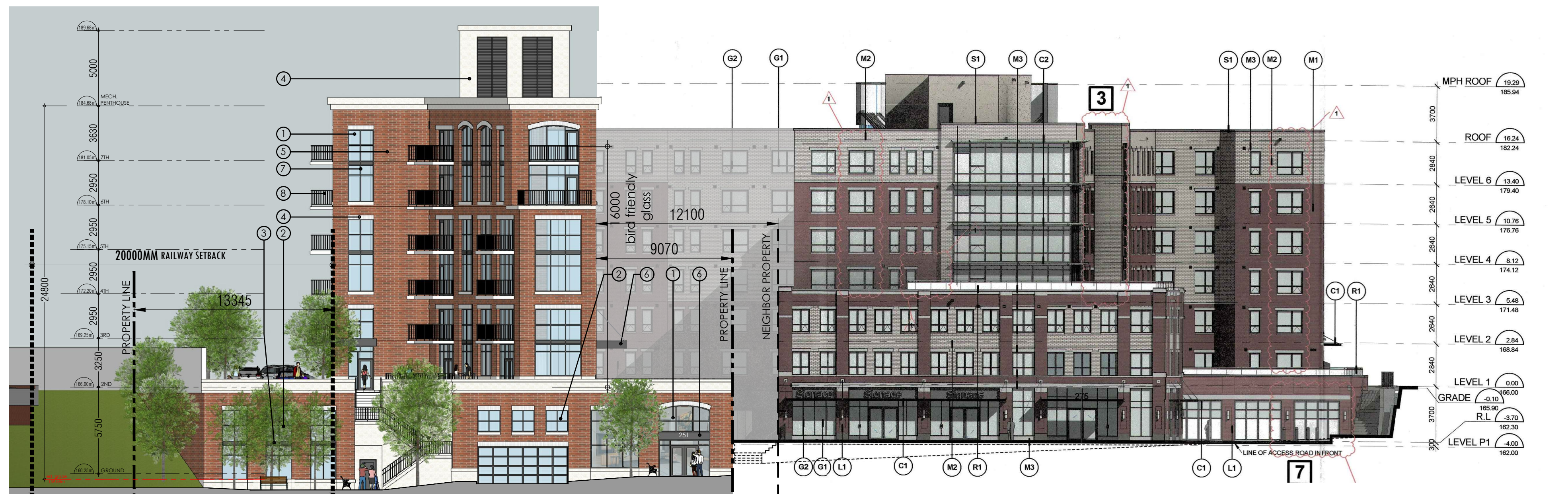
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NEIGHBOURING PROPERTY ALIGNMENT



MATERIAL LEGEND	
1 CLEAR GLASS MANUFACTURER: DESCRIPTION: CLEAR	5 BRICK MANUFACTURER: DESCRIPTION: GEORGIAN
2 FROSTED GLASS MANUFACTURER: DESCRIPTION: OPAQUE	6 METAL PANEL MANUFACTURER: PPG DURANAR DESCRIPTION: CHARCOAL GRAY
3 SPANDREL PANEL MANUFACTURER: DESCRIPTION: GREY	7 MULLION MANUFACTURER: DESCRIPTION: GREY
4 LIME STONE MANUFACTURER: STONE LAMINA DESCRIPTION: SANDBLASTED FINISH	8 RAILING MANUFACTURER: DESCRIPTION: GREY

NOTE:  
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PROPOSED RESIDENTIAL DEVELOPMENT

**WOODBRIDGE AVENUE**

HARDROCK GROUP OF COMPANIES

VAUGHAN ONTARIO

Project Architect: E. Corazza  
Assistant Designer: J. Chimenti  
Drawn By: J. Chimenti  
Checked By: D. Bioso  
Plot Date: DEC.04.2024  
Job #: 1206.14

**MID-RISE NORTH ELEVATION**

1:100 **A402**

TITLEBLOCK SIZE: 610 x 900





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MATERIAL LEGEND	
1 CLEAR GLASS MANUFACTURER: DESCRIPTION: CLEAR	5 BRICK MANUFACTURER: BRAMPTON BRICK - CUSHWHA DESCRIPTION: GEORGIAN
2 FROSTED GLASS MANUFACTURER: DESCRIPTION: OPAQUE	6 METAL PANEL MANUFACTURER: PPG DURANAR DESCRIPTION: CHARCOAL GRAY
3 SPANDREL PANEL MANUFACTURER: DESCRIPTION: GREY	7 MULLION MANUFACTURER: DESCRIPTION: GREY
4 LIME STONE MANUFACTURER: STONE LAMINA DESCRIPTION: SANDBLASTED FINISH	8 RAILING MANUFACTURER: DESCRIPTION: GREY

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JOHNNY CHIMIENTI  
LICENCE 6299

PROPOSED RESIDENTIAL DEVELOPMENT

**WOODBRIDGE AVENUE**

HARDROCK GROUP OF COMPANIES  
VAUGHAN ONTARIO

Project Architect: E. Corazza  
Assistant Designer: J. Chimienti  
Drawn By: J. Chimienti  
Checked By: D. Biase  
Plot Date: DEC. 04, 2024  
Job #: 1206.14

**MID-RISE SOUTH ELEVATION**

1:100 **A403**



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MATERIAL LEGEND	
① CLEAR GLASS MANUFACTURER: [Symbol] DESCRIPTION: CLEAR	⑤ BRICK MANUFACTURER: BRAMPTON BRICK - CUSHWHA DESCRIPTION: GEORGIAN
② FROSTED GLASS MANUFACTURER: [Symbol] DESCRIPTION: OPAQUE	⑥ METAL PANEL MANUFACTURER: PPG DURANAR DESCRIPTION: CHARCOAL GRAY
③ SPANDREL PANEL MANUFACTURER: [Symbol] DESCRIPTION: GREY	⑦ MULLION MANUFACTURER: [Symbol] DESCRIPTION: GREY
④ LIME STONE MANUFACTURER: STONE LAMINA DESCRIPTION: SANDBLASTED FINISH	⑧ RAILING MANUFACTURER: [Symbol] DESCRIPTION: GREY

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LICENCE 6299

PROPOSED RESIDENTIAL DEVELOPMENT

**WOODBRIDGE AVENUE**

HARDROCK GROUP OF COMPANIES

VAUGHAN ONTARIO

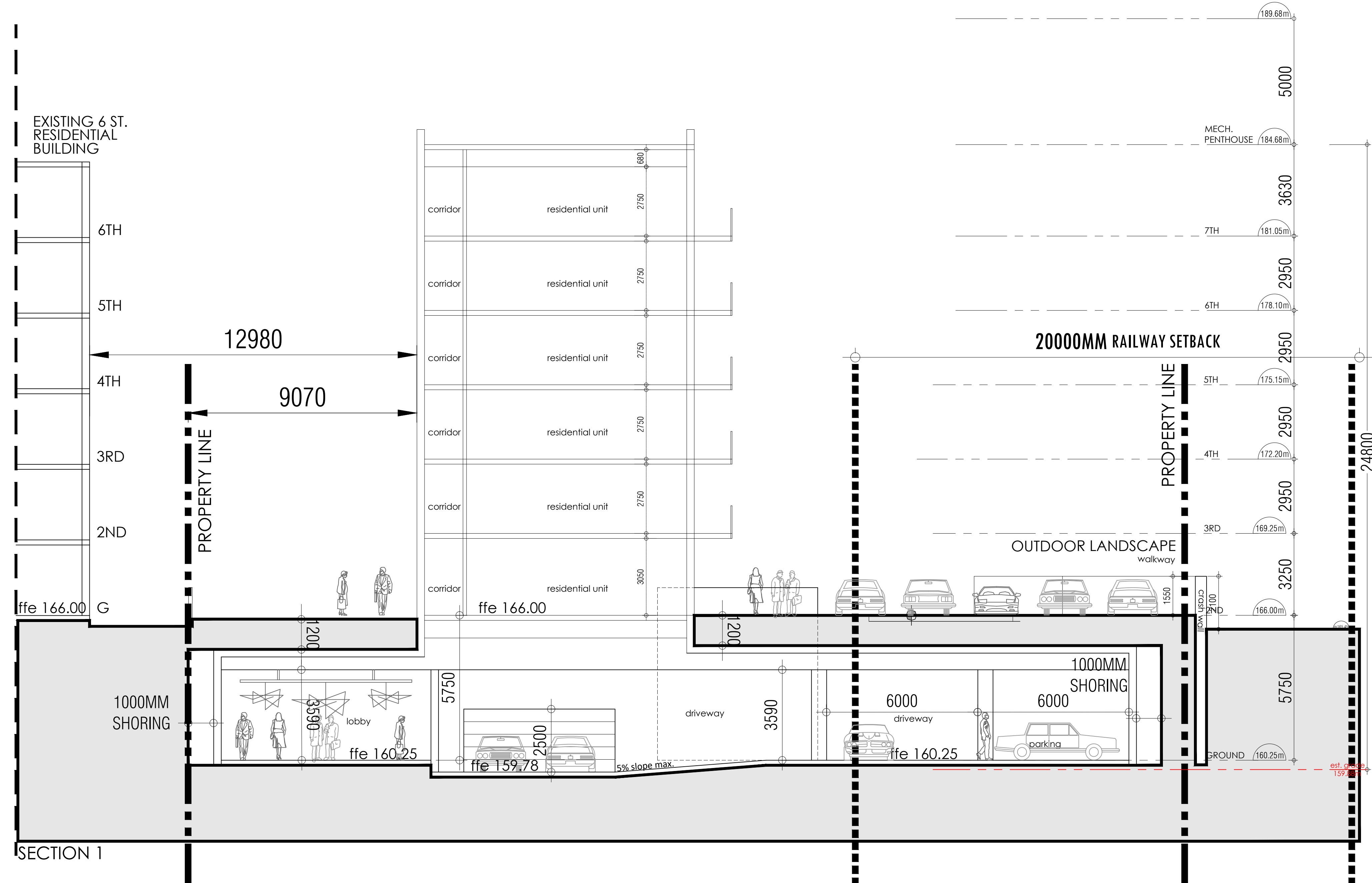
Project Architect: E. Corazza  
Assistant Designer: J. Chimienti  
Drawn By: J. Chimienti  
Checked By: D. Biase  
Plot Date: DEC. 04, 2024  
Job #: 1206.14

**MID-RISE WEST ELEVATION**

1:100 **A404**

TITLE BLOCK SIZE: 610 x 900





SECTION 1

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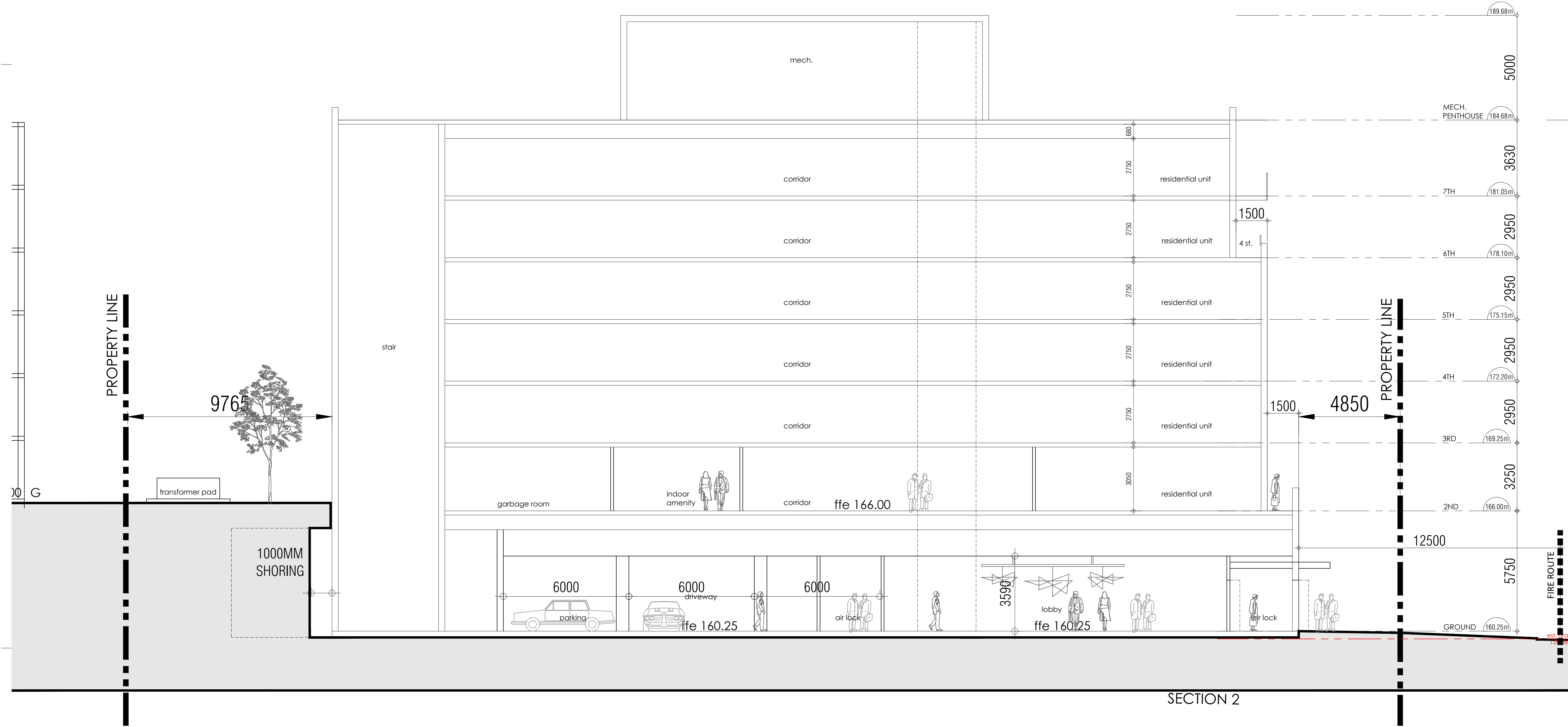
**WOODBIDGE AVENUE**

HARDROCK GROUP OF COMPANIES

VAUGHAN ONTARIO

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SECTION 2

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PROPOSED RESIDENTIAL DEVELOPMENT

**WOODBRIDGE AVENUE**

HARDROCK GROUP OF COMPANIES

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SECTION 2

1:100 A502





VIEW LOOKING SOUTH WEST



VIEW LOOKING SOUTH EAST

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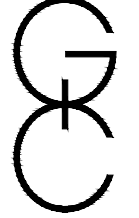
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PROPOSED RESIDENTIAL DEVELOPMENT

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**MASSING VIEWS**

N.T.S. **A601**

TITLEBLOCK SIZE: 610 x 900