

ITEM: 6.8	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A001/25
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Report Date: February 21, 2025

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions
Development Engineering	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
By-law & Compliance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Forestry	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
<p>All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.</p>				
Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
Applicant			01/06/2025	Application Cover Letter

BACKGROUND (SCHEDULE D, IF REQUIRED)	
<p>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</p>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

ADJOURNMENT HISTORY	
<p>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</p>	
Hearing Date	Reason for Adjournment (to be obtained from NOD_ADJ)
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A001/25

CITY WARD #:	4
APPLICANT:	York Major Holdings Inc.
AGENT:	Ryan Mino Leahan (KLM Planning Partners Inc.)
PROPERTY:	10000 Dufferin Street, Vaughan
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Private Open Spaces"
RELATED DEVELOPMENT APPLICATIONS:	DA.24.015
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit reduced interior side yard (north) setbacks for the proposed building (turfcare facility) and fuel tank. Relief is also required to facilitate related Site Plan Application DA.24.015.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned OS2, Private Open Space Zone and subject to the provisions of Exception 14.7565 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The interior side yard (North) shall be 15.0 metres. [Table 12-3]	To permit a minimum side yard (North) of 9.4 metres to the building.
2	The interior side yard (North) shall be 15.0 metres. [Table 12-3]	To permit a minimum side yard (North) of 6.95 metres to the fuel tank.

The subject lands are zoned OS2, Open Space Park Zone and subject to the provisions of Exception 9(1097) under Zoning By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
1	The interior side yard (North) shall be 15.0 metres. [Schedule A]	To permit a minimum side yard (North) of 9.4 metres to the building.
2	The interior side yard (North) shall be 15.0 metres. [Schedule A & 6.13]	To permit a minimum side yard (North) of 6.95 metres to the fuel tank.

HEARING INFORMATION

DATE OF MEETING: Thursday, February 27, 2025
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

HEARING INFORMATION

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	February 13, 2025
Date Applicant Confirmed Posting of Sign:	January 28, 2025
Applicant Justification for Variances: <small>*As provided in Application Form</small>	As the purpose of the Zoning By-law is to implement the Official Plan, the proposed decrease in interior side yard setback maintains the previously discussed intent of the Official Plan, which permits private recreational uses including the existing golf course and ancillary uses. The proposed reduction in interior side yard from 15.0 metres to 9.4 metres is adjacent to a landscape berm on lands under lease by YMHI to provide additional buffer and planting opportunities adjacent to the golf course. There will be sufficient landscaping opportunity remaining in the proposed setback and no adverse impacts are anticipated as a result of the reduced setback.
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
None	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	That all comments on Site Development Application File DA.24.015 be addressed to the satisfaction of the Development and Parks Planning Department.
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DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

Application under Review

DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

Development Engineering Recommended Conditions of Approval:	TBD
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PARKS, FORESTRY & HORTICULTURE (PFH)

Vaughan Forestry is working with development planning for this construction project. Forestry has no comments relating to the minor variance, A001/25, at this time.

PFH Recommended Conditions of Approval:	None
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DEVELOPMENT FINANCE

No comment no concerns

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

no objection or comments

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC)

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT

No comments received to date.

Fire Department Recommended Conditions of Approval:	None
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RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Planning Alyssa.pangilinan@vaughan.ca	That all comments on Site Development Application File DA.24.015 be addressed to the satisfaction of the Development and Parks Planning Department.
2	Development Engineering jonal.hall@vaughan.ca	TBD

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

IMPORTANT INFORMATION

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

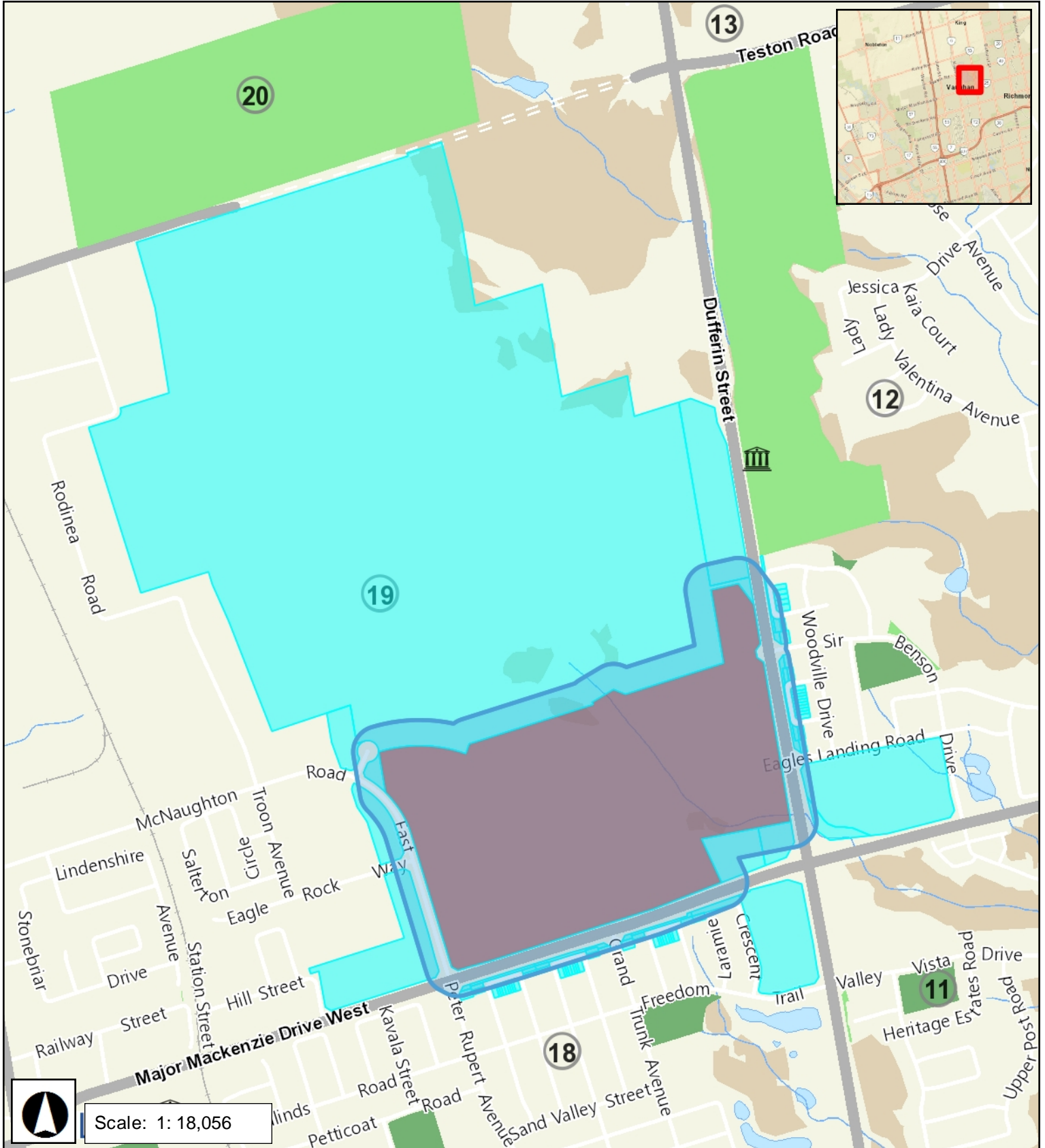
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



Variance Context Plan

LEGEND

 Subject Lands
(3 Eaglet Court/
10,000 Dufferin Street)

 Eagle Nest Golf Club Boundary

 Limit of Proposed
Development

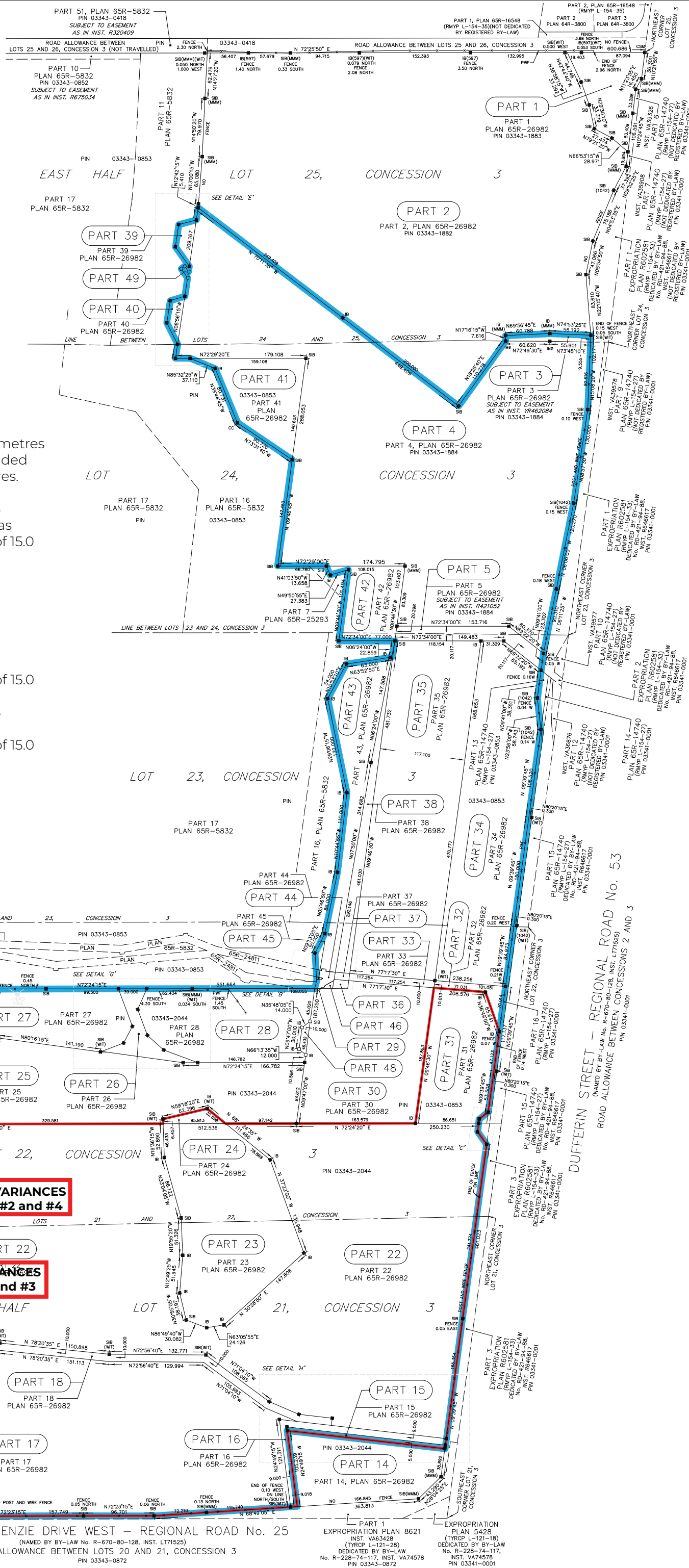
Proposed Variances

By-law 001-2021

1. To permit a minimum interior side yard (north) of 9.4 metres to the building whereas Zoning By-law 001-2021, as amended requires a minimum interior side yard (north) of 15.0 metres. [12.2.2 Table 12 - 3].
2. To permit a minimum interior side yard (north) of 6.95 metres to the fuel tank whereas Zoning By-law 001-2021, as amended requires a minimum interior side yard (north) of 15.0 metres. [12.2.2 Table 12 - 3].

By-law 1-88

3. To permit a minimum interior side yard (north) of 9.4 metres to the building whereas Zoning By-law 1-88, as amended requires a minimum interior side yard (north) of 15.0 metres. [Schedule A].
4. To permit a minimum interior side yard (north) of 6.95 metres to the fuel tank whereas Zoning By-law 1-88, as amended requires a minimum interior side yard (north) of 15.0 metres. [Schedule A].



PART OF LOTS 22, 23, 24 AND
PART OF THE EAST HALF OF
LOTS 21 AND 25
CONCESSION 3
(GEOGRAPHIC TOWNSHIP OF VAUGHAN, COUNTY OF YORK)
CITY OF VAUGHAN
THE REGIONAL MUNICIPALITY OF YORK

SCALE 1:2500
50 0 50 100 150 METRES

Feb 13, 2025



**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: January 21st 2024

Attention: **Christine Vigneault**

RE: Request for Comments

File No.:

Related Files: **A001-25**

Applicant: KLM Planning Partners Inc

Location 10000 Dufferin Street



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

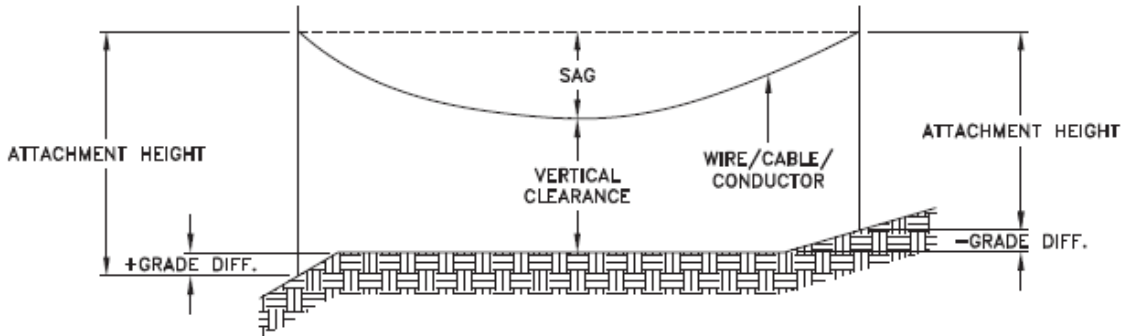
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARNACE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Sean Fitzpatrick, Building Standards Department
Date: January 10, 2025
Applicant: KLM Planning Partners Inc.
Location: 10000 Dufferin Street
 CONC 3 Part of Lot 22
File No.(s): A001/25

Zoning Classification:

The subject lands are zoned OS2, Private Open Space Zone and subject to the provisions of Exception 14.7565 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The interior side yard (North) shall be 15.0 metres. [Table 12-3]	To permit a minimum side yard (North) of 9.4 metres to the building.
2	The interior side yard (North) shall be 15.0 metres. [Table 12-3]	To permit a minimum side yard (North) of 6.95 metres to the fuel tank.

The subject lands are zoned OS2, Open Space Park Zone and subject to the provisions of Exception 9(1097) under Zoning By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
1	The interior side yard (North) shall be 15.0 metres. [Schedule A]	To permit a minimum side yard (North) of 9.4 metres to the building.
2	The interior side yard (North) shall be 15.0 metres. [Schedule A & 6.13]	To permit a minimum side yard (North) of 6.95 metres to the fuel tank.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).
3	The subject lands may be subject to the Oak Ridges Moraine Conservation Act, RSO 2001.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development and Parks Planning

Date: February 19, 2025

Name of Owner: York Major Holdings Inc.

Location: 10000 Dufferin Street, and 191 McNaughton Road E, Maple

File No.(s): B001/25, A001/25, and B002/25

Proposal:

The Owner has submitted a Site Development Application, File DA.24.015, to the City for the proposed relocation of a turf-care maintenance facility for the Eagles Nest Golf Club located at 10000 Dufferin Street. The Site Development Application is currently under review with the Development and Parks Planning Department.

B001/25 - 10000 Dufferin Street and B002/25 - 191 McNaughton Road E

The Owner has submitted Consent Applications, File B001/25, and B002/25 to support the relocation of the turf-care maintenance facility and to facilitate the relocation of underground servicing on the Subject Lands. Reciprocal easements are required over both 10000 Dufferin Street (Part A) and 191 McNaughton Road East (Part B) to support relocated infrastructure.

B001/25 - 10000 Dufferin Street

The proposed easement over 10,000 Dufferin Street (Part A) for water, sanitary and storm water and utility service in favour of 191 McNaughton Road East (Part B) will be generally located southwest of the turf-care maintenance facility. The proposed easement will have a width of 5.0 m at its narrowest points and approximately 17 m at its widest portion.

B002/25 - 191 McNaughton Road E

The proposed easement over 191 McNaughton Road East (Part B) for water, sanitary and storm water and utility service in favour of 10,000 Dufferin Street (Part A) will be located on the southern portion of 191 McNaughton Road East (Part B). The proposed easement will be of a triangular shape with dimensions of 7.57m x 11.58 m x 14.43 m.

A001/25 - 10000 Dufferin Street

A related Minor Variance Application, File A001/25, has concurrently been submitted to permit the proposed location of the turf-care maintenance facility at 10000 Dufferin Street (Part A), with the variances noted below.

Proposed Variance(s) (By-law 001-2021):

1. To permit a minimum side yard (North) of 9.4 m to the building.
2. To permit a minimum side yard (North) of 6.95 m to the fuel tank.

By-Law Requirement(s) (By-law 001-2021):

1. The interior side yard (North) shall be 15.0 m.
2. The interior side yard (North) shall be 15.0 m.

Proposed Variance(s) (By-law 1-88):

1. To permit a minimum side yard (North) of 9.4 m to the building.
2. To permit a minimum side yard (North) of 6.95 m to the fuel tank.

By-Law Requirement(s) (By-law 1-88):

1. The interior side yard (North) shall be 15.0 m.
2. The interior side yard (North) shall be 15.0 m.

City of Vaughan Official Plan 2010 ('VOP 2010'): "Private Open Spaces" - 10000 Dufferin Street; and "Community Commercial Mixed-Use" - 191 McNaughton Road E

Comments:

The proposed easements are necessary to facilitate the underground servicing of the turf-care maintenance facility. The existing infrastructure is being relocated in accordance with the site plan and servicing plans reviewed through the Site Development Application, File DA.24.015. There are no proposed changes to the existing easements regarding access and parking on the Subject Lands.

The turf-care facility is proposed to be located at the northwest corner of 1000 Dufferin Street, east of Eaglet Court. The Development and Parks Planning has no objection to Variances 1 and 2 to permit a 9.4 m side yard, measured from the north wall of the facility's building to the northern interior lot line and to permit a fuel tank to be located 6.5m from the northern interior lot line. Both the building's north wall and fuel tank will immediately abut a landscape area, which will provide some buffering to the property to the north. The proposed side yard of 9.4 m (building) and 6.95 m (fuel tank) provides sufficient spatial separation distance and access for maintenance. The building is not anticipated to cause adverse massing impacts to the surrounding properties.

Accordingly, the Development and Parks Planning Department has no objection to the requested severance and is of the opinion that the proposal conforms to VOP 2010, and the consent criteria stipulated in Section 51(24) of the Planning Act, R.S.O. 1990, c P.13.

Accordingly, the Development and Parks Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development and Parks Planning Department recommends approval of the application, subject to the following conditions:

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

That all comments on Site Development Application File DA.24.015 be addressed to the satisfaction of the Development and Parks Planning Department.

Comments Prepared by:

Alyssa Pangilinan, Planner 1
Janany Nagulan, Senior Planner

From: [Cameron McDonald](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A001/25 - B001/25 - B002/25 - 10000 DUFFERIN STREET AND 191 MCNAUGHTON ROAD EAST - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Friday, January 24, 2025 9:08:03 AM
Attachments: [image003.png](#)
[image005.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from the TRCA.

Based on the above, we have no comments/requirements.

Regards,

Cameron McDonald

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:4378801925)

E: cameron.mcdonald@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



From: [Hurst, Gabrielle](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A001/25 - B001/25 - B002/25 - 10000 DUFFERIN STREET AND 191 MCNAUGHTON ROAD EAST - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Thursday, January 23, 2025 8:26:43 AM
Attachments: [image001.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good morning,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Regards,

Gabrielle

Gabrielle Hurst MCIP, RPP | Associate Planner, Development Planning, Economic and Development Services Branch | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			01/06/2025	Application Cover Letter



64 JARDIN DRIVE, UNIT 1B
CONCORD, ONTARIO L4K 3P3

T 905.669.4055
KLMPLANNING.COM

File: P-3419

December 24, 2024

City of Vaughan Committee of Adjustment
Office of the City Clerk
2141 Major Mackenzie Drive West
Vaughan, ON
L6A 1T1

**Attention: Christine Vigneault, AMP, ACST
Manager, Development Services & Secretary Treasurer to the Committee of
Adjustment**

**RE: Consent and Minor Variance Applications
Eagles Nest Golf Club – Turfcare Maintenance Facility Relocation
c/o York Major Holdings Inc. and York Circle Holdings Inc.
Related File: DA.24.015 (Site Plan Approval) and B014/23 (Consent)
Part of Lots 21 and 22, Concession 3
10,000 Dufferin Street/3 Eaglet Court (Part A)
& 191 McNaughton Road East (Part B)
City of Vaughan, Region of York**

Dear Ms. Vigneault,

KLM Planning Partners Inc. is the land use planner representing York Major Holdings Inc. ("YMHI") and York Circle Holdings Inc. ("YCHI") (the "Owner"), with respect to the minor development on a portion of the Eagles Nest Golf Club ("ENGC") on lands known as 10,000 Dufferin Street/3 Eaglet Court (Part A) and associated lands at 191 McNaughton Road East (Part B), respectively (the "Subject Lands"). The Subject Lands are generally located in the northeast quadrant of the City of Vaughan (the "City") and directly east of the village of Maple. The Subject Lands are more specifically located at the northeast corner of Major Mackenzie Drive West and McNaughton Road East, are known legally as Part of Lots 21 and 22, Concession 3, Regional Municipality of York (the "Region"). The Subject Lands represent the southern portion of the larger Eagle Nest Golf Club ("ENGC") property owned by YMHI. The Limit of the Proposed Development and the applications for Minor Variance and Consent are situated on the western limit of the Subject Lands as identified in the sketch included with this submission. YCHI owns and operates a medical office building at 191 McNaughton Road East which is the subject of existing easement with YMHI for servicing and access. Revised easements are proposed between the owners as part of these applications.

On behalf of the Owner, we are pleased to submit a Minor Variance Application and two (2) Consent Applications to facilitate the relocation of the existing turfcare maintenance facility associated with EGNC, a project which is currently under final review with the Vaughan Development Planning Department through a Site Plan Application ("SPA") DA.24.015. The applications being submitted to the Vaughan Committee of Adjustment are as follows:

1. Minor Variance – 10,000 Dufferin Street/3 Eaglet Court – Part A (YMHI): Reduced interior side yard setback to Zoning By-laws 001-2021 and 1-88;
2. Consent – 10,000 Dufferin Street/3 Eaglet Court – Part A (YMHI): Easement in Favour of 191 McNaughton Road East – Part B (YCHI) for storm water services
3. Consent – 191 McNaughton Road East - Part B (YCHI): Easement in Favour of 10,000 Dufferin Street/3 Eaglet Court – Part A (YMHI) for water, sanitary, storm water and utility services.

Official Plan and Zoning By-law

10,000 Dufferin Street/3 Eaglet Court (Part A)

The 10,000 Dufferin Street/3 Eaglet Court lands are designated Private Open Spaces by Vaughan Official Plan 2010 (“**VOP 2010**”) which permits golf courses, including club houses and driving ranges and uses accessory thereto. These lands are zoned OS2-756 – Open Space Zone by Zoning By-law 001-2021, subject to exception 756, and zoned OS2 9(1097) – Open Space Park Zone by Zoning By-law 1-88, subject to Exception 9(1097). A golf course and associated uses is permitted on the YMHI lands (10,000 Dufferin/3 Eaglet Court).

191 McNaughton Road East (Part B)

The 191 McNaughton Road East lands are designated Community Commercial Mixed Use by VOP 2010 and are subject to amendment No. 29. Office uses including a medical office building are permitted on the property. These lands are zoned GC-756 – General Commercial Zone by Zoning By-law 001-2021, subject to exception 756 and zoned C1 9(1097) – Restricted Commercial Zone by Zoning By-law 1-88, subject to exception 9(1097). The GC General Commercial Zone and C1 Restricted Commercial zone and existing site-specific exceptions permit the existing medical office building on the YCHI lands (191 McNaughton Road East).

Development Proposal and Site Background

Applications for an amendment to the City Official Plan (2010) (“**OPA**”) and Zoning By-law 1-88 (“**ZBLA**”) were originally submitted to the City of Vaughan on April 16, 2021 (City Files: OP.21.010 & Z.21.014) to facilitate the Chelsea Eagle Point Development (“**CEPD**”) along McNaughton Road to the south. The Applications were required to redesignate and rezone the CEPD lands (which include a portion of the existing Turfcare maintenance facility) to facilitate high-rise residential uses in the form of two 28-storey and two 12-storey residential buildings with an accompanying public park and underground parking facilities. An Amendment to Environmental Compliance Approval (A230610) was also approved by the Ministry of Environment, Conservation and Parks (“**MECP**”) on March 29, 2022, which removes the CEPD lands from the Secondary Buffer of the closed Keele Valley Landfill Site. The CEPD development was approved by the Vaughan Committee of the Whole on September 20, 2022, and ratified by Vaughan Council on November 29, 2022. A SPA (City File: DA.22.075) for the CEPD is currently being reviewed by the City of Vaughan.

In order to facilitate a separate parcel of land for the CEPD lands, a Consent Application (City File: B014/23) was submitted to the City of Vaughan on July 12, 2023 and approved by the Committee of Adjustment on August 31, 2023. The final certificate was issued by the City on November 28, 2024.

A SPA application in support of the turfcare relocation (City File: DA.24.015) was submitted to the City on March 9, 2024. We have received two sets of comments in response to the circulation of the site plan application to internal departments and external agencies. Through the review of these comments, City of Vaughan Zoning staff have identified a zoning deficiency with respect to the required interior side

yard setback (north) for both Zoning By-laws 001-2021 and 1-88. YMHI has Zoning By-law 001-2021 under appeal, however we are seeking relief from both Zoning By-laws at this time as requested by staff. We intend on making our third and final submission on the site plan application very shortly responding to all final minor comments received.

Consent Applications

In order to support the turfcare SPA (City File: DA.24.015) and the creation of a separate lot for the CEPD (City File: B014/23), the relocation of underground servicing (water, storm, sanitary and utilities) is required. Existing easements are currently in place to support a coordinated approach to servicing between YMHI and YCHI, which were approved through Consent Applications B007/17 and B008/18, which facilitated the construction of a 4-storey medical building by YCHI at 191 McNaughton Road East. The existing infrastructure is being relocated in accordance with the site plan and servicing plans reviewed through site plan DA.24.015 and as illustrated on the attached consent sketch. Reciprocal easements are required over both 10,000 Dufferin Street/3 Eaglet Court (Part A) and 191 McNaughton Road East (Part B) to support relocated infrastructure. Existing easements regarding access and parking are not proposed to be changed and will remain as is.

Minor Variance Application (Part A only)

In order to support the turfcare SPA (City File: DA.24.015), a minor variance for a reduction to the interior side yard (north) is required. The minor variance application seeks relief from existing zoning standards to facilitate the aforementioned development. The following variances are requested from the Zoning By-laws:

1. To permit a minimum interior side yard (north) of 9.4 metres whereas Zoning By-law 001-2021, as amended requires a minimum interior side yard (north) of 15.0 metres. [12.2.2 Table 12 – 3]
2. To permit a minimum interior side yard (north) of 9.4 metres whereas Zoning By-law 1-88, as amended requires a minimum interior side yard (north) of 15.0 metres. [Schedule A].

This application has been prepared with due consideration to the four tests for a minor variance as stipulated in the Planning Act, which are discussed in detail in the following sections.

1. Do the variances maintain the general intent and purpose of the Official Plan?

The proposed variances maintain the general intent and purpose of the Official Plan. The 10,000 Dufferin Street/3 Eaglet Court lands are designated Private Open Spaces by VOP 2010, which permits golf courses, including club houses and driving ranges and uses accessory/ancillary thereto. The minor variances will facilitate a relocated turfcare maintenance building (i.e. an ancillary use) for the existing ENGC which is a permitted use.

In my opinion, for the reasons noted above, the reduction in interior side yard setback maintains and supports the general intent and purpose of the Official Plan.

2. Do the variances maintain the general intent and purpose of the Zoning By-law?

The proposed variances maintain the general intent and purpose of the Zoning By-law. The 10,000 Dufferin Street/3 Eaglet Court lands (Part A) are zoned OS2-756 – Open Space Zone by Zoning By-law

001-2021, subject to exception 756, and zoned OS2 9(1097) – Open Space Park Zone by Zoning By-law 1-88, subject to Exception 9(1097). A golf course and associated/ancillary uses are permitted on the YMHI lands (10,000 Dufferin/3 Eaglet Court).

As the purpose of the Zoning By-law is to implement the Official Plan, the proposed decrease in interior side yard setback maintains the previously discussed intent of the Official Plan, which permits private recreational uses including the existing golf course and ancillary uses. The proposed reduction in interior side yard from 15.0 metres to 9.4 metres is adjacent to a landscape berm on lands under lease by YMHI to provide additional buffer and planting opportunities adjacent to the golf course. There will be sufficient landscaping opportunity remaining in the proposed setback and no adverse impacts are anticipated as a result of the reduced setback.

In my opinion, for the reasons noted above, the reduction in interior side yard setback maintains and supports the general intent and purpose of the Zoning By-law.

3. Are the variances desirable for the appropriate development or use of the land, building, or structure?

The proposed variance is desirable for the appropriate development of the land. As noted above, the proposed reduction in interior side yard from 15.0 metres to 9.4 metres is adjacent to a landscape berm on lands under lease by YMHI to provide additional buffer and planting opportunities adjacent to the golf course. There will be sufficient landscaping opportunity remaining in the proposed setback and no adverse impacts are anticipated as a result of the reduced setback. The variance will support the relocation of an existing turfcare maintenance facility which is permitted by the Official Plan and Zoning By-law.

In my opinion, the variances support the appropriate development of the lands.

4. Are the variances minor in nature?

The proposed modifications are minor in nature. The reduction in interior side yard setback from 15.0 metres to 9.4 metres will still permit opportunities for sufficient landscaping and buffering along the north property line and will compliment the planting being proposed on the adjacent lands which are under lease and operated/maintained by YMHI. The variances will not result in any adverse or negative impacts and are in my opinion considered to be minor in nature.

In conclusion, the proposed variance meets the four tests outlined in the Planning Act, are consistent with the City of Vaughan’s planning objectives and represent good land use planning.

In accordance with the requirements set out by the City of Vaughan Committee of Adjustment, please find enclosed the following materials:

1. Minor Variance and Consent Covering Letter, including an analysis of the four tests, prepared by KLM Planning Partners Inc., dated December 24, 2024;
2. Committee of Adjustment Minor Variance Application Form, completed by KLM Planning Partners Inc., and submitted digitally through Vaughan’s online portal containing the following:

- a. Variance Chart
 - b. Structure Size Chart
 - c. Structure Setback Chart
 - d. Owner Authorization Form
 - e. Permission to Enter & Acknowledgement of Public Information
 - f. Sworn Declaration Form
 - g. Tree Declaration Form
3. Consent Application Form for 10,000 Dufferin/3 Eaglet Court, prepared by KLM Planning Partners Inc. and submitted digitally through Vaughan's online portal containing the following:
 - a. Owner Authorization Form
 - b. Authorizing Statements
 - c. Sworn Declaration Form
 - d. Tree Declaration Form
 4. Consent Application Form for 10,000 Dufferin/3 Eaglet Court, prepared by KLM Planning Partners Inc. and submitted digitally through Vaughan's online portal containing the following
 - a. Owner Authorization Form
 - b. Authorizing Statements
 - c. Sworn Declaration Form
 - d. Tree Declaration Form
 5. Severance Sketch, prepared by KLM Planning Partners Inc. dated Dec 23, 2024;
 6. Context Plan Sketch, prepared by KLM Planning Partners Inc. dated Dec 23, 2024;
 7. Minor Variance Sketch for 3 Eaglet Court and 10,000 Dufferin Street, prepared by KLM Planning Partners Inc., dated Dec 23, 2024;
 8. A fee in the amount of \$1,742.50 for the Minor Variance Application for 10,000 Dufferin Street/3 Eaglet Court;
 9. A fee in the amount of \$4,444.30 for the Consent Application Fee for 10,000 Dufferin Street/3 Eaglet Court; and,
 10. A fee in the amount of \$4,444.30 for the Consent Application Fee for 191 McNaughton Road East.

Thank you for your consideration. Should you require additional information or have any inquiries, please do not hesitate to contact the undersigned.

Yours truly,

KLM PLANNING PARTNERS INC.



Ryan Mino-Leahan, MCIP, RPP
Partner

Cc: Duane E. Aubie, York Major Holdings Inc./York Circle Holdings Inc.

SCHEDULE D: BACKGROUND

BACKGROUND (SCHEDULE D, IF REQUIRED)

* Background Information contains historical development approvals considered to be related to this file.
This information should not be considered comprehensive.

Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A