

ITEM: 6.3	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A200/24
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Report Date: February 21, 2025

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Forestry	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
<p>All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.</p>				
Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
N/A				

BACKGROUND (SCHEDULE D, IF REQUIRED)	
<p><small>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</small></p>	
Application No. (City File)	Application Description
A041/20	(i.e. Minor Variance Application; Approved by COA / OLT) Approved by COA

ADJOURNMENT HISTORY	
<small>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</small>	
Hearing Date	Reason for Adjournment (to be obtained from NOD_ADJ)
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A200/24

CITY WARD #:	1
APPLICANT:	Karamjeet Gill
AGENT:	Kruti Shah
PROPERTY:	165 Boone Crescent, Kleinburg
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low Rise Residential", subject to Chapter 12.7, Volume 2 (Block 61 West - Nashville Heights Area Specific Policy)
RELATED DEVELOPMENT APPLICATIONS:	N/A
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit access to a proposed secondary suite.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R4 Fourth Density Residential Zone and subject to the provisions of Exception 14.1006 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A maximum encroachment of 0.3 m is permitted into the required interior side yard for open and unenclosed access stairs.	To permit a maximum encroachment of 0.72 m into the required interior side yard for open and unenclosed access stairs.
2	A minimum parking space dimension of 2.7 m by 5.7 m is required. [Section 6.3.1, Table 6-1]	To permit a minimum parking space dimension of 2.4 m by 4.03 m.

HEARING INFORMATION

DATE OF MEETING: Thursday, February 27, 2025
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

That the general intent and purpose of the by-law will be maintained.

That the general intent and purpose of the official plan will be maintained.

That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.

That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	February 13, 2025
Date Applicant Confirmed Posting of Sign:	February 11, 2025
Applicant Justification for Variances: <small>*As provided in Application Form</small>	We are proposing a below grade entrance in interior side yard. The minimum required an encroachment is 2.88m whereas proposed an encroachment is 2.46m from interior side lot line to the closet point of the basement walk. Secondly, we don't have enough space for third car parking . As per zoning bylaws - -Minimum required parking space is 5.7m x 2.7m whereas proposed is 4.03m x 2.4m
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
None	
Committee of Adjustment Recommended Conditions of Approval:	N/A

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

The Owner / Applicant shall ensure that an unobstructed pathway shall be installed from the street to the entrance of the separate apartment in accordance with the City's Engineering standards. The Owner / Applicant currently has an approved Grading Permit. The Development Engineering Department does not object to the Minor Variance application A200/24.

Development Engineering Recommended Conditions of Approval:	None
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PARKS, FORESTRY & HORTICULTURE (PFH)

Forestry has no comment at this time.

PFH Recommended Conditions of Approval:	None
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DEVELOPMENT FINANCE

No comment no concerns

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received at this time.

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC)

No comments received at this time.

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT

No comments received at this time.

Fire Department Recommended Conditions of Approval:	None
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RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
	None	

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

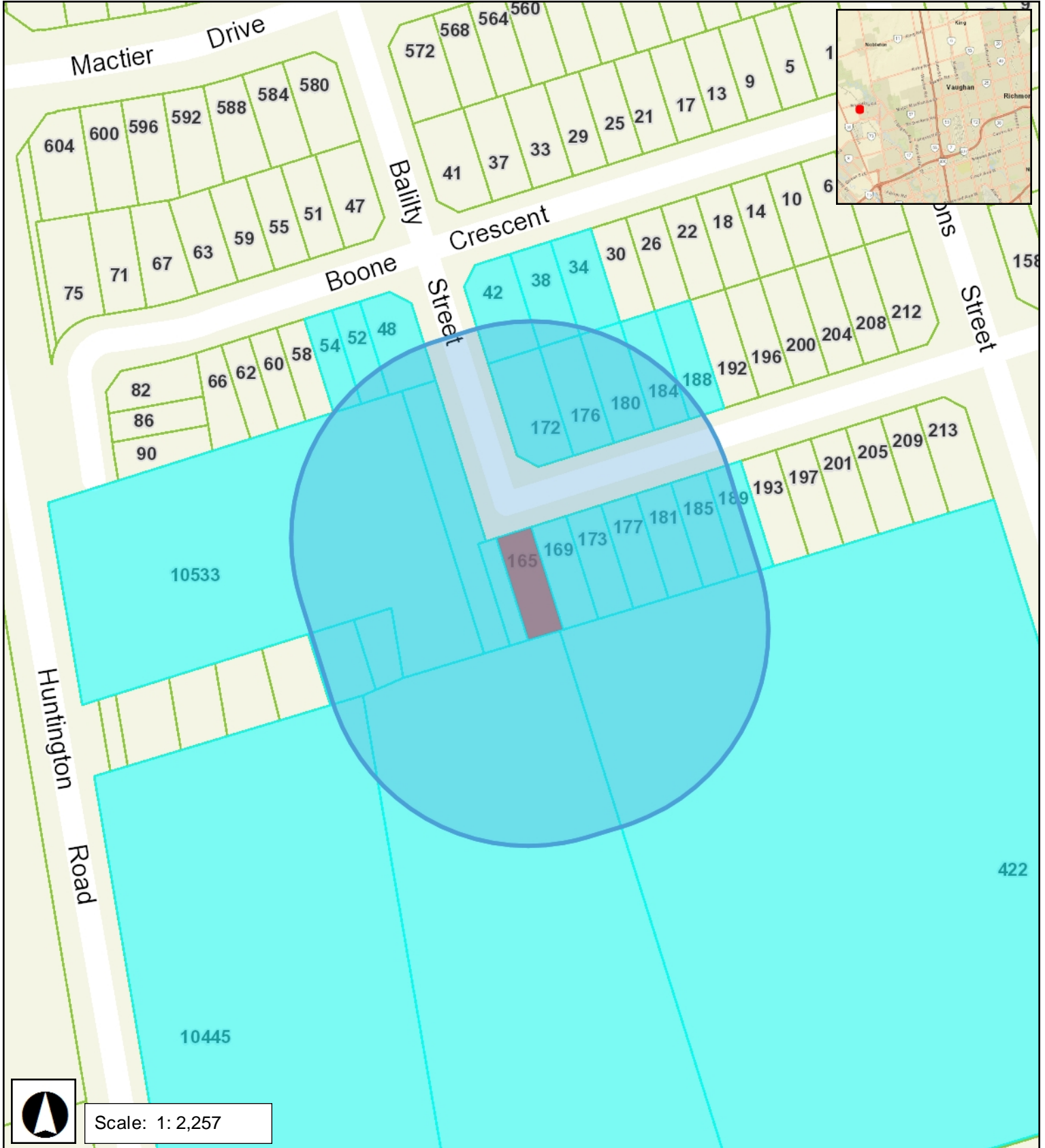
IMPORTANT INFORMATION

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

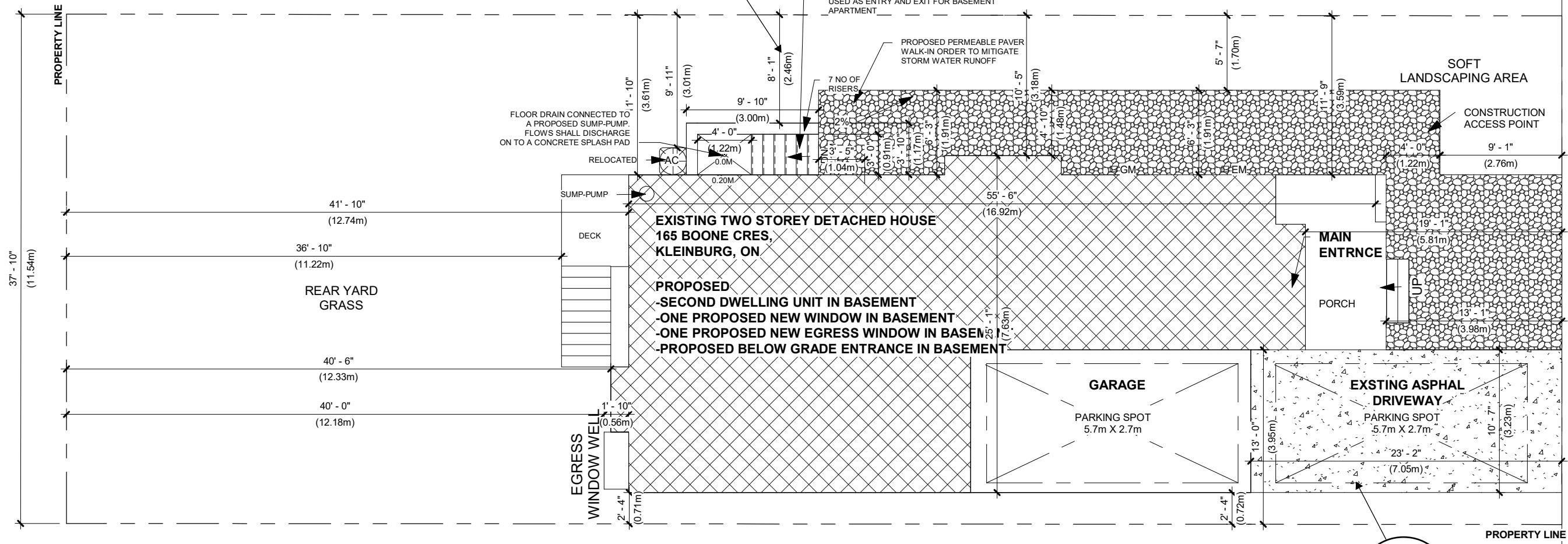
That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



EGRESS OPTION: DIRECT EXCLUSIVE EXIT



variance #1

variance #2

NOTES:
 -ALL GRADES OUTSIDE OF CONSTRUCTION AREA TO REMAIN UNDISTURBED
 -SUMP-PUMP DISCHARGED LOCATION TO BE CONFIRMED BY CONTRACTOR

FLOOR AREA	TOTAL AREA	HARD LANDSCAPED AREA	SOFT LANDSCAPED AREA	DRIVEWAY AREA
FRONT SIDE	493.46 SF(45.84 SQM)	195.1 SF(18.1 SQM)	159.89 SF(14.8 SQM) (45%)	138.47 SF(12.8 SQM)
LEGEND	---			

2.			165 BOONE CRES, KLEINBURG, ON	Date	Scale	
	1.	ISSUED FOR PERMIT		2025-01-07	2025-01-07	1 : 100
	No.	REVISION		DATE	Drawn By	Checked By
					YP	KS
			SITE PLAN	Project Number		
				0001		
			RJ CAD SOLUTIONS	SHEET NUMBER		
				A1		

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: January 20th 2024

Attention: **Christine Vigneault**

RE: Request for Comments

File No.:

Related Files: **A200-24**

Applicant: RJ Cad Solutions Inc.

Location 165 Boone Crescent



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

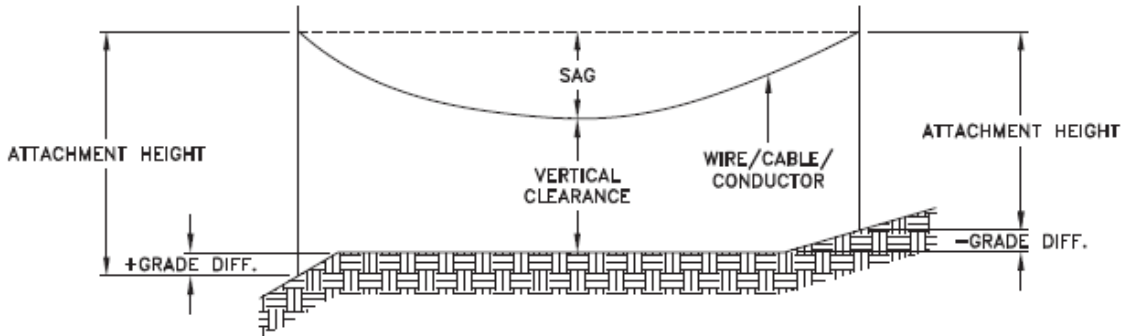
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Gregory Seganfreddo, Building Standards Department
Date: January 15, 2025
Applicant: RJ Cad Solutions Inc.
Location: 165 Boone Crescent
 PLAN 65M4639 Lot 40
File No.(s): A200/24

Zoning Classification:

The subject lands are zoned R4 Fourth Density Residential Zone and subject to the provisions of Exception 14.1006 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A maximum encroachment of 0.3 m is permitted into the required interior side yard for open and unenclosed access stairs.	To permit a maximum encroachment of 0.72 m into the required interior side yard for open and unenclosed access stairs.
2	A minimum of 2 parking spaces for the single detached dwelling and 1 parking space for the secondary suite is required. [Section 6.3.5, Table 6-2]	To permit a minimum of 2 parking spaces, 1 parking space for the single detached dwelling and 1 parking space for the secondary suite.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file.

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m²

Other Comments:

Zoning By-law 001-2021	
1	None.

General Comments	
2	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development and Parks Planning
Date: February 17, 2025
Name of Owner: Karamjeet Gill
Location: 165 Boone Crescent
File No.(s): A200/24

Proposed Variance(s):

1. To permit a maximum encroachment of **0.72 m** into the required interior side yard for open and unenclosed access stairs.
2. To permit a minimum of **2 total parking spaces**, 1 parking space for the single detached dwelling and 1 parking space for the secondary suite.

By-Law 001-2021 Requirement(s):

1. A maximum encroachment of **0.3 m** is permitted into the required interior side yard for open and unenclosed access stairs.
2. A minimum of 2 parking spaces for the single detached dwelling and 1 parking space (**3 total parking spaces**) for the secondary suite is required.

Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "Low Rise Residential", subject to Chapter 12.7, Volume 2 (Block 61 West - Nashville Heights Area Specific Policy)

Comments:

The Owner is seeking relief to permit a secondary suite with the above noted variances.

The Development and Parks Planning Department has no objections to Variance 1 to increase the encroachment of the proposed unenclosed access stairs into the interior side yard from 0.3 m to 0.72 m. The increased encroachment will allow for a 2.46 m setback from the west interior side lot line, which provides sufficient access between the front and rear yards. The increased encroachment is not anticipated to pose any negative impacts on the City-owned open space west of the subject lands.

The Development and Parks Planning Department has no objections to Variance 2 to reduce the minimum parking requirement from three (3) total parking spaces to two (2) total parking spaces. The property has one (1) parking space within an integrated garage and one (1) parking space within the single-width driveway. The Zoning By-law permits parking on hard landscaped areas abutting a private driveway, referred to as on-lot parking. However, on-lot parking is not included in the calculation of minimum required parking spaces of the lot. The front yard of the property currently has hard landscaping abutting the private driveway and can be used for on-lot parking. Development and Transportation Engineering staff have reviewed the property's front yard and do not have concerns regarding the maneuverability of motor vehicles into and out of the on-lot parking area. Development and Parks Planning staff notes that any motor vehicle utilizing the front yard hard landscaping for on-lot parking must adhere to all provisions of the Parking By-law 064-2019, including staying clear of a pedestrian sidewalk.

Accordingly, the Development and Parks Planning Department supports the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development and Parks Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Harry Zhao, Planner 1

Janany Nagulan, Senior Planner

From: [Cameron McDonald](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A200/24 - 165 BOONE CRESCENT - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Friday, January 24, 2025 8:53:59 AM
Attachments: [image002.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from the TRCA.

Based on the above, we have no comments/requirements.

Regards,

Cameron McDonald

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:(437)880-1925)

E: cameron.mcdonald@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](#) | trca.ca



From: [Hurst, Gabrielle](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A200/24 - 165 BOONE CRESCENT - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Wednesday, January 22, 2025 9:17:50 AM

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good morning,

The Regional Municipality of York has completed its review of the above minor variance and has no comment,

Regards,

Gabrielle

Gabrielle Hurst MCIP, RPP | Associate Planner, Development Planning, Economic and Development Services Branch | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
N/A				

SCHEDULE D: BACKGROUND

Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
A041/20	Approved by COA

NOTICE OF DECISION
Minor Variance Application A041/20
 Section 45 of the Planning Act, R.S.O., 1990, c.P.13

Date of Hearing: Thursday, July 9, 2020
Applicant: Arista Homes
Agent: Hunt Design
Property: **165 Boone Cr Kleinburg**
Zoning: The subject lands are zoned RD4 Residential Detached Zone Four and subject to the provisions of Exception 9(1376) under By-law 1-88 as amended
OP Designation: Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
Related Files: None
Purpose: Relief from the by-law is being requested to permit the construction of a proposed single family dwelling.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
A minimum interior side yard setback of 3.5 metres is required.	To permit a minimum interior side yard setback of 3.18 metres abutting a non-residential use.

Sketch: A sketch illustrating the request has been attached to the decision.

Having regard to the requirements of Section 45 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, including the written and oral submissions related to the application, it is the decision of the Committee:

THAT Application No. A041/20 on behalf of Arista Homes be **APPROVED**, in accordance with the sketch submitted with the application (as required by Ontario Regulation 200/96

For the following reasons:

1. The general intent and purpose of the by-law will be maintained.
2. The general intent and purpose of the official plan will be maintained.
3. The requested variance(s) is/are acceptable for the appropriate development of the subject lands.
4. The requested variance(s) is/are minor in nature.

Please Note:

It is the responsibility of the owner/applicant and/or authorized agent to address any condition(s) of approval noted in this decision to the satisfaction of the commenting department or agency. Once conditions have been satisfied, the Secretary Treasurer will be in a position to issue a clearance letter which is required prior to the issuance of a Building Permit.

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City's Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Written & oral submissions considered in the making of this decision were received from the following:


Public Written Submissions	Public Oral Submissions
* Public Correspondence received and considered by the Committee in making this decision	*Please refer to the approved Minutes of the Thursday , July 09, 2020 meeting for submission details.
N/A	N/A

Late Written Public Submissions: N/A

Public written submissions on an Application shall only be received by the Secretary Treasurer until **noon** on the last business day prior to the day of the scheduled Meeting.

MEMBERS PRESENT WHO CONCUR IN THIS DECISION:

<i>Hao Zheng</i>	<i>Assunta Perrella</i>	<i>Robert Buckler</i>
H. Zheng Vice Chair	A. Perrella Chair	R. Buckler Member
<i>Steve Kerwin</i>		<i>Adolfo Antinucci</i>
S. Kerwin Member		A. Antinucci Member

DATE OF HEARING:	July 9, 2020
DATE OF NOTICE:	July 17, 2020
LAST DAY FOR *APPEAL: *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	July 29, 2020 4:30 p.m.
CERTIFICATION: I hereby certify that this is a true copy of the decision of the City of Vaughan’s Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application.  <hr/> Christine Vigneault, AMP, ACST Manager Development Services & Secretary Treasurer to the Committee of Adjustment	

*Electronic signatures have been used to process this decision as approved by the Committee of Adjustment at the May 28, 2020 hearing.

Appealing to The Local Planning Appeal Tribunal
The *Planning Act*, R.S.O. 1990, as amended, Section 45

The applicant, the Minister or any other person or public body who has an interest in the matter may within 20 days *after the giving of notice in accordance with subsection 4(4) of Ontario Regulation 149/20* appeal to the Local Planning Appeal Tribunal (LPAT) against the decision of the Committee by filing with the Secretary-Treasurer of the Committee a notice of appeal (A1 Appeal Form) setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the Secretary-Treasurer of the fee prescribed by the Tribunal under the *Local Planning Appeal Tribunal Act*.

A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

When **no appeal is lodged** within twenty days of the date of the making of the decision, the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time. Please mail or courier appeals and prescribed fees to:

Office of the City Clerk - Committee of Adjustment
2141 Major Mackenzie Drive
Vaughan Ontario, L6A 1T1

If you have questions regarding the appeal process, please email cofa@vaughan.ca

Appeal Fees & Forms

Local Planning Appeal Tribunal: The LPAT appeal fee is \$300 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The LPAT Appeal Fee must be paid by certified cheque or money order payable to the “Minister of Finance”. Appeal forms (A1 Appeal Form – Minor Variance) can be obtained at www.elto.gov.on.ca or by contacting our office at 905-832-8585 Ext. 8332 or cofa@vaughan.ca

City of Vaughan LPAT Processing Fee: \$841.00 per application

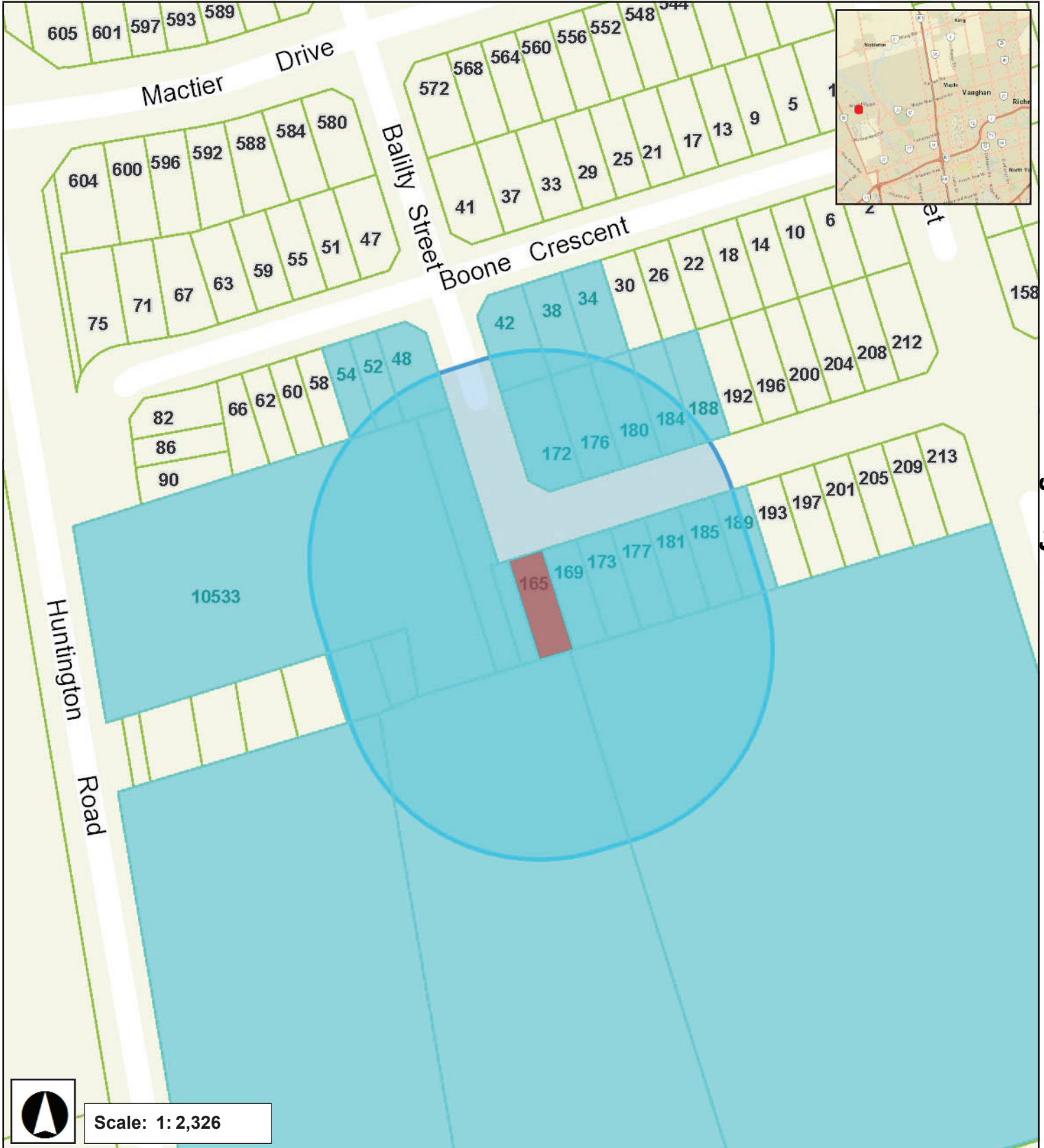
*Please note that all fees are subject to change.



LOCATION MAP - A041/20

165 BOONE CRESCENT, KLEINBURG

Nashville Road



Major Mackenzie Drive

May 11, 2020 1:07 PM

A041/20

EXO | THU APR 23/20 12:14 PM | \HUNT\HUNTDESIGN\LOCAL\DATABASE\PROJECTS\2018\218047.TAC\SITE\218047.SP-01.DWG

GRADING AND DRAINAGE NOTES

- STANDARD DRAWING AND LOT GRADING CRITERIA OF THE CITY OF VAUGHAN AND THE REGIONAL MUNICIPALITY OF YORK CONSTITUTE PART OF THE PROJECT DRAWINGS FOR THE SUBDIVISION.
- MINIMUM GRADIENT OF GRASS SWALES ALONG SIDE AND REAR LOT LINE SHALL BE 2.0%. THE PROPOSED ELEVATION OF THE SIDE LOT SWALE AT THE BUILDING LINE SHALL BE A MINIMUM OF 0.15 METERS BELOW THE PROPOSED ELEVATION OF A BUILDING LINE AT CENTER OF THE LOT.
- TAKE UP REAR YARD GRADE DIFFERENCE USING SLOPES BETWEEN 2.0% AND 5.0% FOR MAXIMUM OF 75% OF THE REAR YARD LENGTH AND SLOPES OF 2% TO THE REAR LOT LINE, USE RETAINING WALLS IF GRADE DIFFERENCE IS MORE THAN 1.80m. CONSTRUCT RETAINING WALLS WITHIN THE REAR LOT LINE.
- ROOF LEADERS SHALL NOT BE CONNECTED TO THE STORM SEWER BUT SHALL DISCHARGE TO THE GROUND ONTO A SPLASH PAD AND SHALL DRAIN TO THE FRONT OF THE HOUSE TO STREET, ENSURE DOWNSPOUT DRAINAGE TO THE FRONT OF THE HOUSE ONLY.
- FOOTINGS CONSTRUCTED NEXT TO A CATCH BASIN LEAD PIPE OR OTHER MUNICIPAL SERVICES SHALL BE INSTALLED BELOW LEAD PIPE EXCAVATION, FOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED SOIL. SOIL CONSULTANTS VERIFICATION REQUIRED.
- EDGE OF DRIVEWAYS ARE TO BE A MINIMUM OF 1.0m FROM THE EDGE OF STREET CATCH BASIN AND STREET FURNITURE. THE BUILDER IS TO VERIFY THE LOCATIONS AND INFORM THE ENGINEER IF THIS DIMENSION CANNOT BE MAINTAINED PRIOR TO EXCAVATION FOR THE FOOTINGS.
- IF THE DISTANCE BETWEEN THE MAIN WALLS OF ADJACENT UNITS IS LESS THAN 1.8m, A SIDE YARD DRAINAGE SWALE SHALL BE CONSTRUCTED AND BE SURFACED WITH .33m LIMESTONE SCREEDING, OVERLAIN BY A PATIO SLAB WALKWAY.
- BRICK LINE SHALL BE 0.15m ABOVE 500 ELEVATION.
- ALL FENCES ADJACENT TO PUBLIC LANDS AND OR EXISTING PROPERTIES SHALL BE CONSTRUCTED COMPLETELY ON PRIVATE LANDS (INCLUDING FOUNDATIONS) AND TOTALLY CLEAR OF ANY 0.30m RESERVES.
- SOIL CONSULTANTS VERIFICATION IS REQUIRED FOR FOOTINGS CONSTRUCTED ON ENGINEERED FILL LOTS.
- IN LOTS WITH REAR LOT CATCHBASINS, THE MINIMUM SIDE YARD WIDTH SHALL BE 1.2m ALONG THE CATCHBASIN LEAD, 12. BUILDER TO STAKE OUT CURB DEPRESSIONS ON ALL LOTS.
- THE BUILDER MUST VERIFY THE EXISTING SANITARY AND STORM LATERAL SEWER INVERTS AND INFORM THE ENGINEER IF THE MINIMUM 2% SLOPE CANNOT BE MAINTAINED PRIOR TO PLACING OF CONCRETE FOOTINGS.

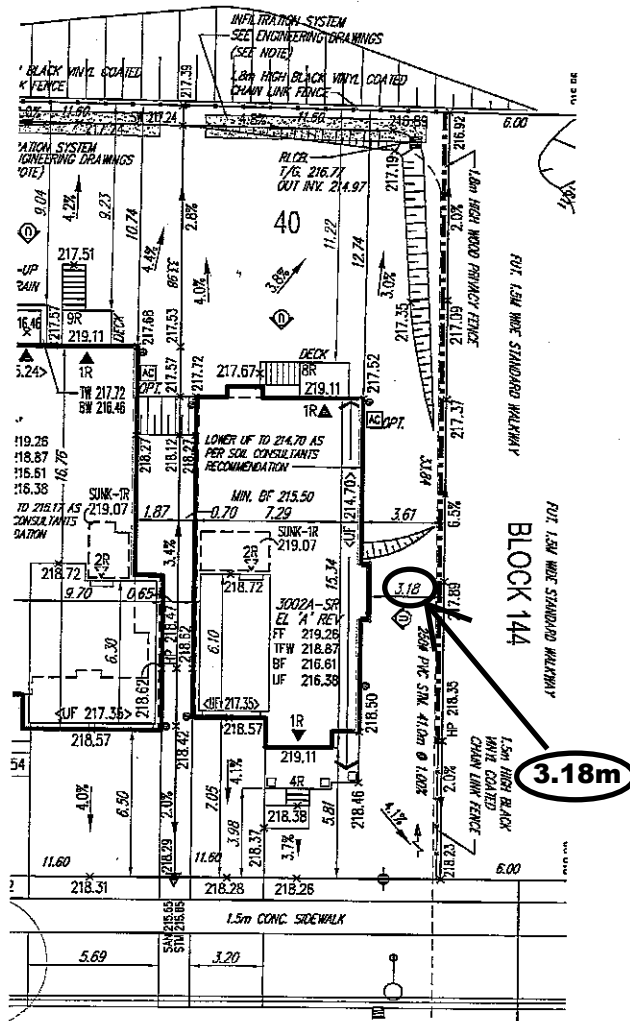
CONSULTANTS CERTIFICATION

I HAVE REVIEWED THE SITE AND GRADING PLAN FOR THE PROPOSED BUILDING TO BE CONSTRUCTED AND HEREBY CERTIFY THAT:

- THE PROPOSED GRADING AND APPROPRIATE DRAINAGE WORKS COMPLY WITH SOUND ENGINEERING PRINCIPLES.
- THE PROPOSED GRADING IS IN CONFORMITY WITH THE GRADING PLAN APPROVED FOR THIS SUBDIVISION AND WILL NOT ADVERSELY AFFECT ADJACENT LANDS.
- THE PROPOSED BUILDING IS COMPATIBLE WITH THE PROPOSED GRADING.
- THE BUILDER IS RESPONSIBLE FOR RELOCATION OF ALL UTILITIES ON THE SITE.
- WATER SERVICE TO BE LOCATED IN THE GRASSED PORTION OF THE YARD.

SCHAFFER'S AND ASSOCIATES

DATE



BOONE CRESCENT

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (footing) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

INFILTRATION SYSTEM NOTE:

- REAR ROOF LEADERS ARE TO BE CONNECTED TO THE REAR YARD INFILTRATION FACILITIES VIA 100mm PVC PIPES AS PER THE DETAILS SHOWN ON ENGINEERING DRAWINGS 0-7

GENERAL NOTES:

- BUILDER TO VERIFY LOCATION OF UTILITIES AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT BUILDER'S EXPENSE.
- BUILDER TO VERIFY ELEVATION OF STLM AND SALL LATERALS IN RELATION TO BASEMENT US OF FOOTING ELEVATIONS FOR COMPLIANCE WITH MUNICIPAL STANDARDS PRIOR TO EXCAVATION.
- APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES MUST BE REVIEWED AND FOLLOWED IN CONJUNCTION WITH THE SITING AND GRADING PLAN. BUILDER TO VERIFY BUILDING ENVELOPE ON SITE PLAN MATCHES APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES PRIOR TO POURING CONCRETE. IF THERE ARE ANY DISCREPANCIES, THEY ARE TO BE BROUGHT TO THE ATTENTION OF HUNT DESIGN ASSOCIATES INC.
- UNLESS NOTED ON BUILDING ENVELOPE OR APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES, ALL TOP OF FOUNDATION WALLS INCLUDING GARAGE WALLS TO BE CONSISTENT WITH THE ELEVATION PROVIDED FOR FTW ON SITING AND GRADING PLAN. THE EXTERIOR OF THE FOUNDATION WALL TO BE PROVIDED WITH A REDUCTION OF THICKNESS FOR MASONRY VENEER AS REQUIRED.

REVISED AS PER MUNICIPAL COMMENTS, REISSUED FINAL	JL	2019.11.29
ISSUED FOR FINAL APPROVAL	JL	2019.11.06
ISSUED FOR PRELIMINARY APPROVAL	JL	2018.07.22

ENGINEERED FILL LOTS	SANITARY MANHOLE	WATER SERVICE	BELL PEDESTAL	HYDRO TRANSFORMER	SANITARY LINE	DOWNSPOUTS	FF FINISHED FLOOR
STREET TREE	STORM MANHOLE	HYDRO SERVICE	CABLE PEDESTAL	PROQUINATED MOTOR	STORM WATER LINE	45 MINUTE FIRE RATED WALL	TFW TOP OF FOUNDATION WALL
RETAINING WALL	VALVE & CHAMBER	SHEET DRAINAGE	HYDRO POLE	EXISTING GRADES	WATERLINE	SIDEYARD DISTANCE IS LESS THAN 1.26 TO LOT LINE (NO WINDOWS PERMITTED)	BF BASEMENT FLOOR
CATCH BASIN	VALVE & BOX	STREET LIGHT PEDESTAL	HYDRO POLE GUY	PROPOSED GRADES	HYDRO LINE	CHAIN LINK FENCE	UF UNDERSIDE OF FOOTING
DOUBLE/SINGLE SIDE & SIDE CONNECTION	HYDRANT	STREET LIGHT	STREET SIGN	2.0% SWALE DIRECTION	GAS LINE	FENCE AND GATE	WOC WALKOUT BASEMENT
		TRAFFIC SIGNAL POWER PEDESTAL	COMMUNITY MAILBOX	EMERGENCY/BERM MAX 3% SLOPE	CABLE LINE	ACoustic FENCE	WOC WALKOUT BASEMENT
					HYDRO, GAS, BELL, CABLE LINE		NOB NOBIFIED REINFORCED NO DOOR
							HIGHLIGHTED GRADE

SITING AND GRADING PLAN

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER, QUALIFICATION INFORMATION
 JERMAINE LAWRENCE 28047
 NAME SIGNATURE BCN
 REGISTRATION INFORMATION
 HUNT DESIGN ASSOCIATES INC. 19895
 DESIGN ASSOCIATES INC.

HUNT DESIGN ASSOCIATES INC.
 www.huntdesign.ca

ARISTA HOMES, DECO HOMES, OPUS HOMES - 218047
 NEW KLEINBURG, VAUGHAN ON
 Plan No. 65M-4639 Lot 40 Street Name BOONE CRESCENT
 Drawn By JL Checked By JL Scale 1:250 File Number 218047.SP01 Lot/ Page Number 40
 8968 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7325

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