

**RECEIVED**  
By Matthew Ka at 12:57 pm, Jan 29, 2025



# ST. ANDRE BESSETTE PARISH CHURCH

Roman Catholic Episcopal Corporation for the Diocese of Toronto in Canada  
DA. 18. 099 - SP. 18. V. 0290 - Site Plan Application Documents - November 29, 2019  
LOH ARCHITECTS & Associates Inc / PDA Inc.

# ST. ANDRE BESSETTE PARISH CHURCH

Roman Catholic Episcopal Corporation for the Diocese of Toronto in Canada

**Project Consultants:  
St. Andre Bessette Parish Church**

(1) Architects in Association: LOH ARCHITECTS & Associates Inc.  
Joseph Loh, Principal and Managing Director  
67 Lombard Street  
Toronto, Ontario M5C 1M2  
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(4) Electrical Engineers: H.H. Angus & Associates Inc.  
Kevin O'Neill, principal  
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Toronto, Ontario M3C 2J6  
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kevin.oneill@hhangus.com

(5) Landscape Architects: Terraplan  
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(6) Cost Planning: Marshall Murray Incorporated  
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Acoustics Noise & Vibration  
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(12) Environmental Consultant: Peto MacCallum Ltd.  
Mahabood Alam, director  
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Harry Gharegrat, manager geotechnical  
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Richmond Hill, Ontario L4B 3N6  
Phone: 905-780-0500  
ashwartz@williamsarch.com



Context Map

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|--|---|
| Sheet Number                           | Sheet Name                                    |
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| A-0.0                                  | COVER PAGE                                    |
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ABBREVIATIONS LEGENDS

**REVISIONS:**

| REV. NO. | DESCRIPTION                      | DRAWN | DATE        |
|----------|----------------------------------|-------|-------------|
| 4        | Issued for Site Plan Revisions   | MH    | Nov 29 2019 |
| 3        | Issued for Site Plan Application | MH    | Oct 10 2018 |
| 2        | Priority Class 12 Cost Estimate  | MH    | Feb 29 2018 |
| 1        | Concept Design                   | MH    | Jan 4 2018  |

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TITLE: Context Plan and Drawings List

SCALE: 1 : 250 DRAWN: MH/JM

DATE: 29-Nov-2019 CHECKED: JL

REV. NO. 4

FILE No. DA. 18. 099  
SP. 18. V. 0290



PROJECT: St Andre Bessette Parish Roman Catholic Church  
1061 Major MacKenzie Drive West, Maple Ontario Canada

ARCHITECTS: LOH  
LOH ARCHITECTS & Associates Inc.  
67 Lombard Street  
Toronto Ontario M5C 1M2 CANADA  
T. 416.690.3212  
Loharchitects.ca



Paul Didur Architect Inc.  
222 Islington Avenue, Suite 260  
Toronto, Ontario M8V 3W7  
Phone: 416-928-1041  
pdarchinc.com

OWNER: Roman Catholic Episcopal Corporation for the Diocese of Toronto in Canada  
1155 Yonge Street  
Toronto, Ontario M4T 1W2

DRAWING NO.:

A-1.1

ST. ANDRE BESSETTE PARISH CHURCH



Perspective view of west facade from Major Mackenzie Drive West and Thomas Cook Avenue

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TITLE: Main Facade Perspective

SCALE: DRAWN: Author  
 DATE: 29-Nov-2019 CHECKED: JL  
 REV. NO. 4  
 FILE No. DA. 18. 099  
 SP. 18. V. 0290



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 1061 Major Mackenzie Drive West, Maple Ontario Canada

ARCHITECTS: Loh Architects & Associates Inc.  
 67 Lombard Street Toronto Ontario M5C 1M2 CANADA  
 T. 416.690.3212 Loharchitects.ca



Paul D'Arcy Architect Inc.  
 222 Islington Avenue, Suite 260 Toronto, Ontario M8V 3W7  
 Phone: 416-928-1041 pdarchinc.com

OWNER: Roman Catholic Episcopal Corporation for the Diocese of Toronto in Canada  
 1155 Yonge Street Toronto, Ontario M4T 1W2

DRAWING NO. :

A-1.2

ST. ANDRE BESSETTE PARISH CHURCH

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**TITLE:** Building Massing  
 Axonometrics  
**SCALE:** DRAWN: MH/JM  
**DATE:** 29-Nov-2019 **CHECKED:** JL  
**REV. NO.:** 4  
**FILE No.:** DA. 18. 099  
 SP. 18. V. 0290



**PROJECT:** St Andre Bessette  
 Parish Roman Catholic  
 Church  
 1061 Major Mackenzie Drive West, Maple  
 Ontario Canada

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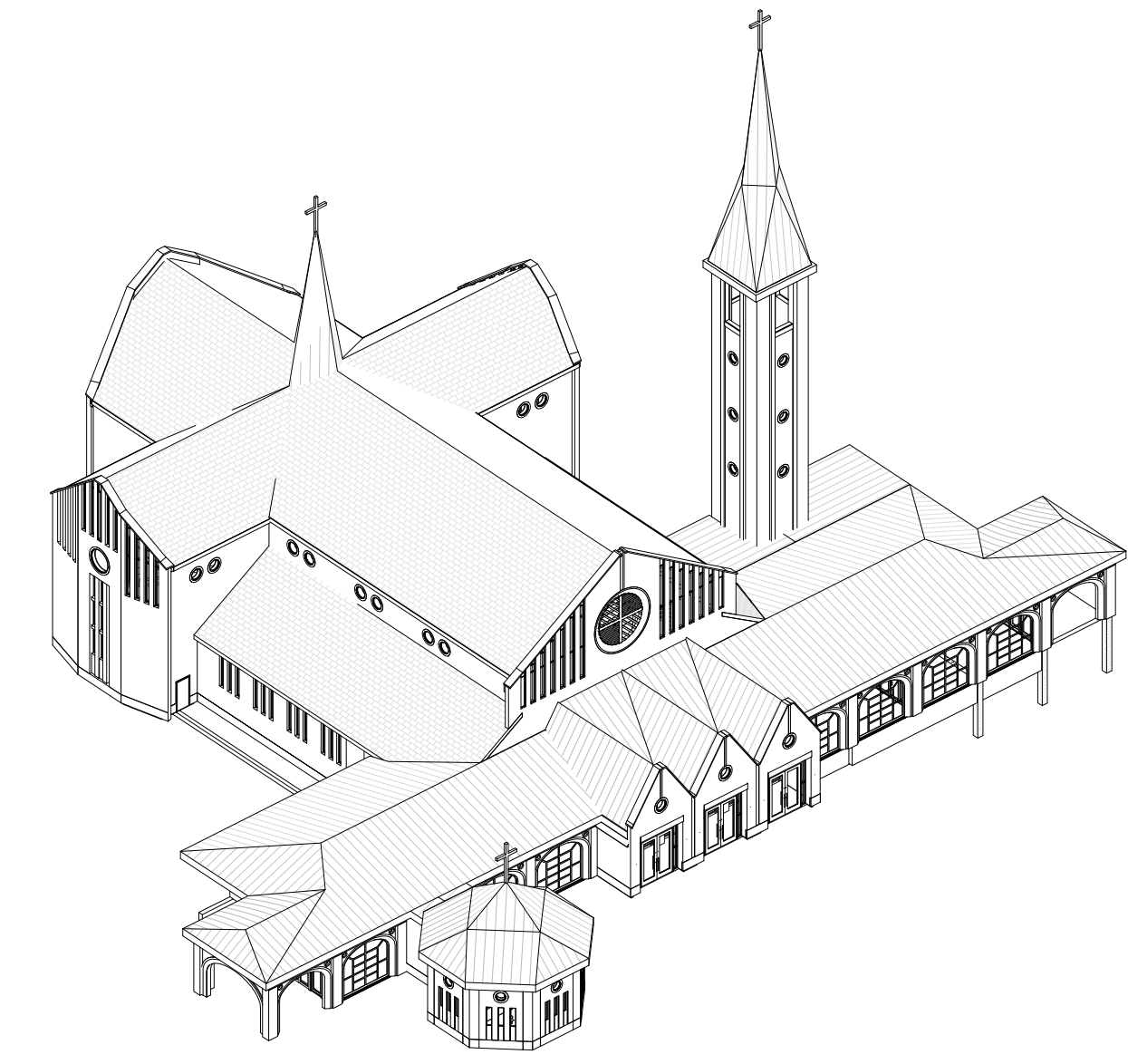
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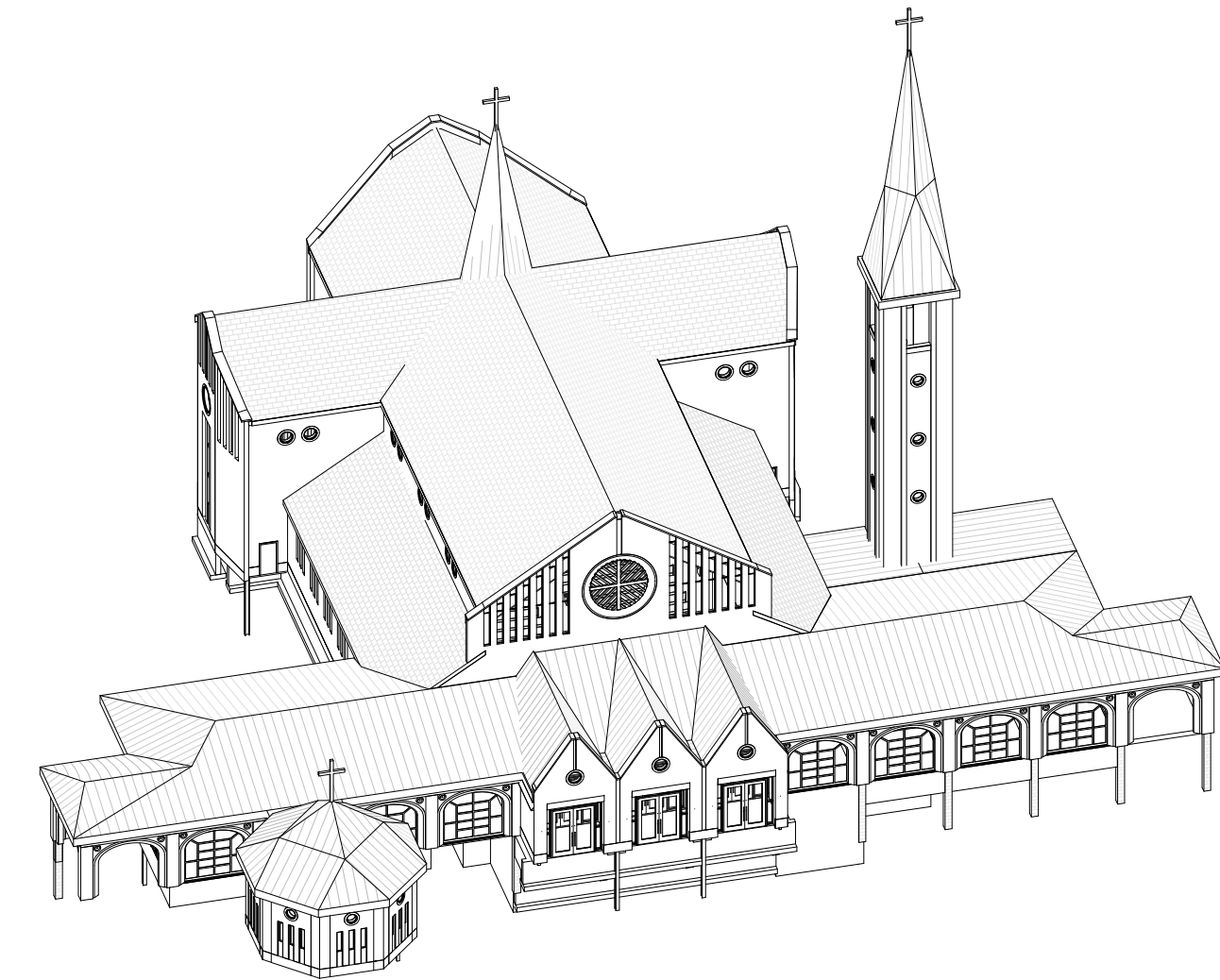
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**A-1.3a**

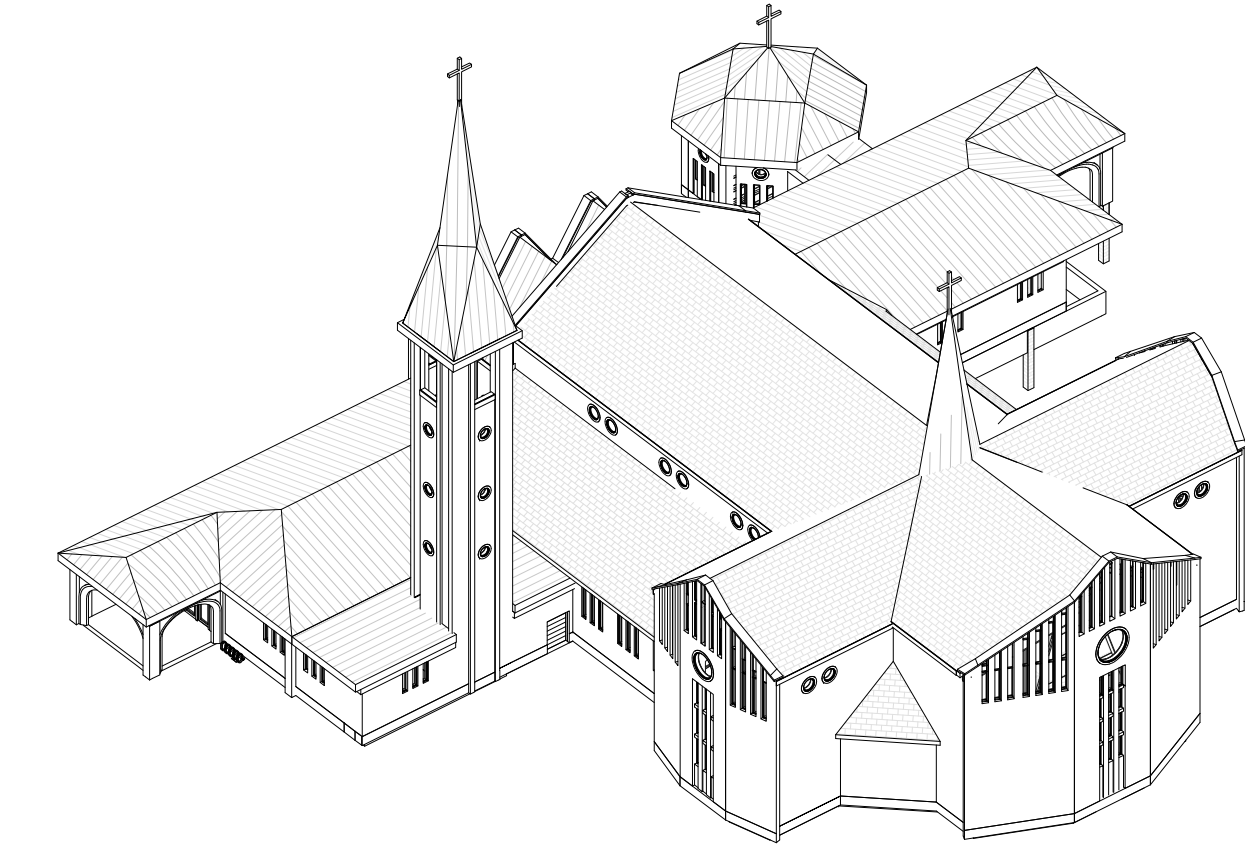
**ST. ANDRE BESSETTE PARISH CHURCH**



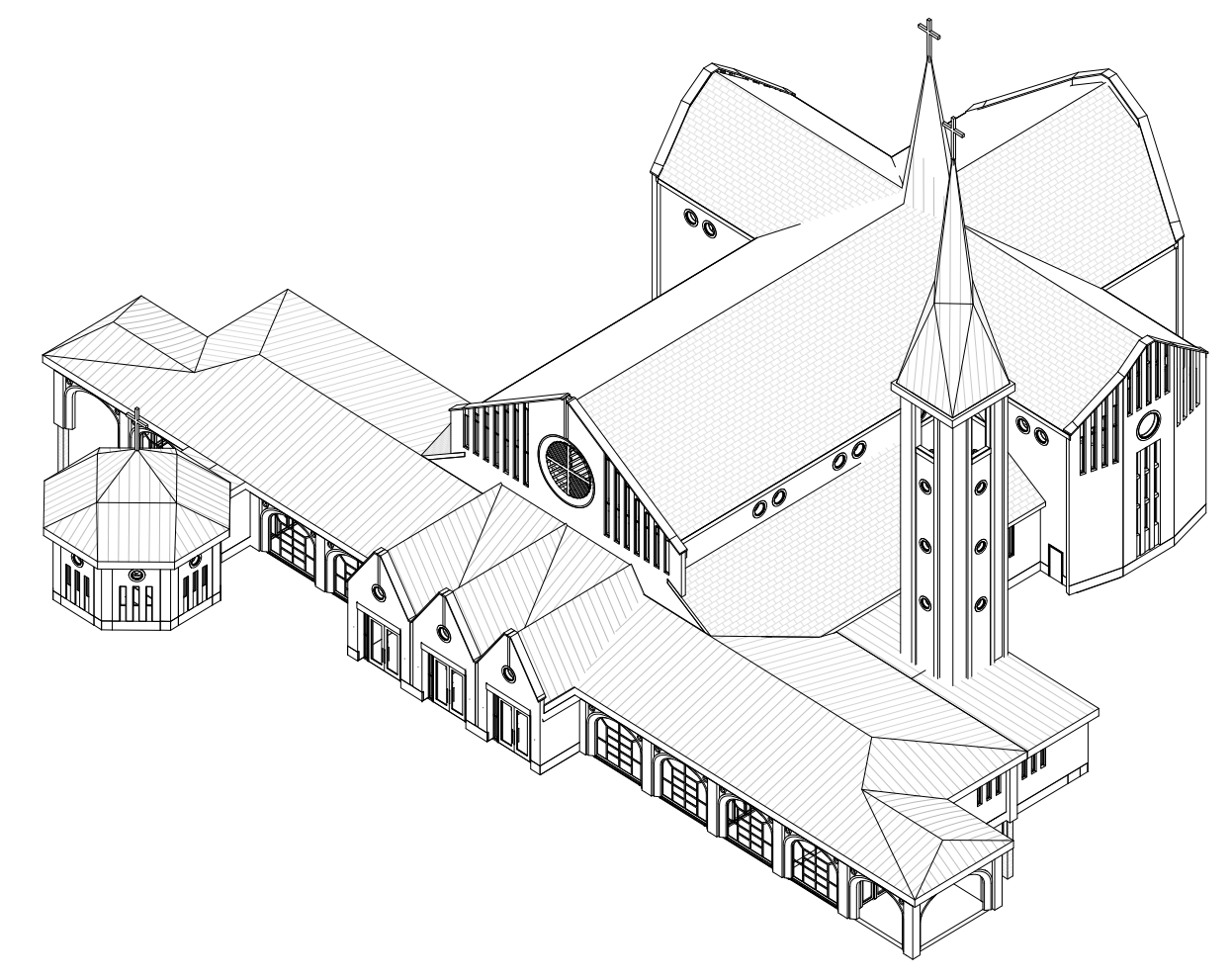
3 View From North West 2  
 A-1.3a



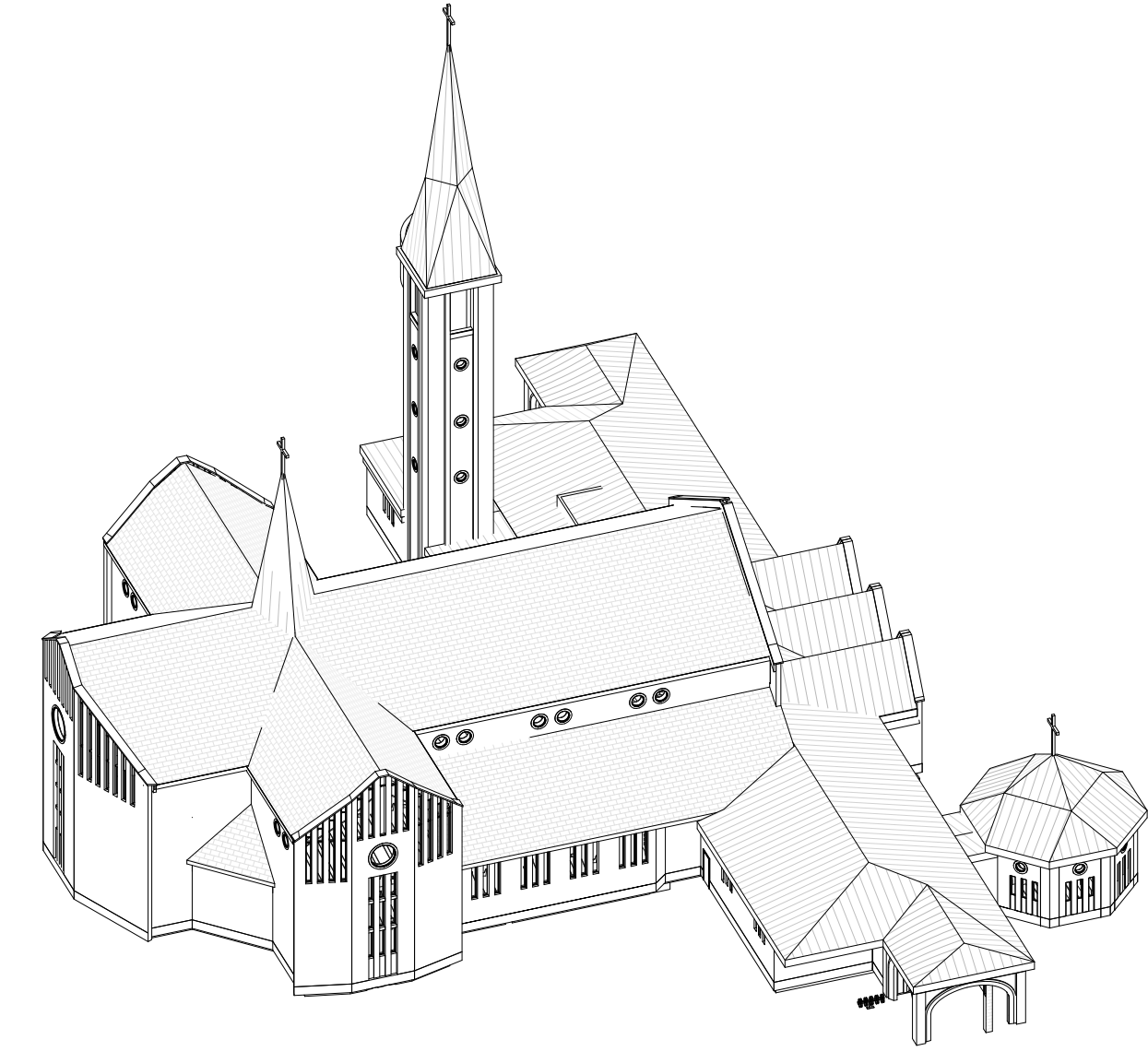
2 View From North West 1  
 A-1.3a



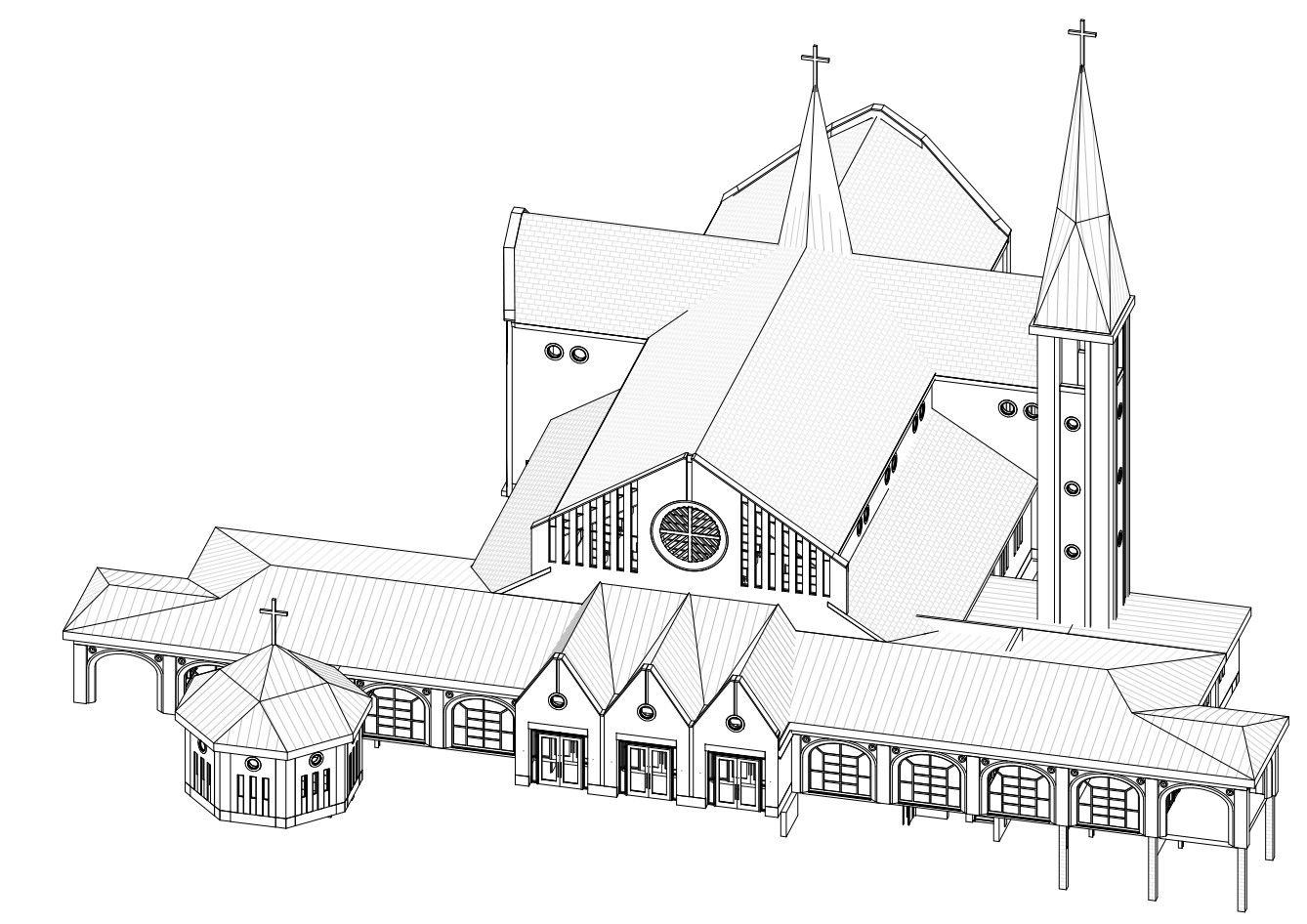
6 View From South East  
 A-1.3a



5 View From South West  
 A-1.3a

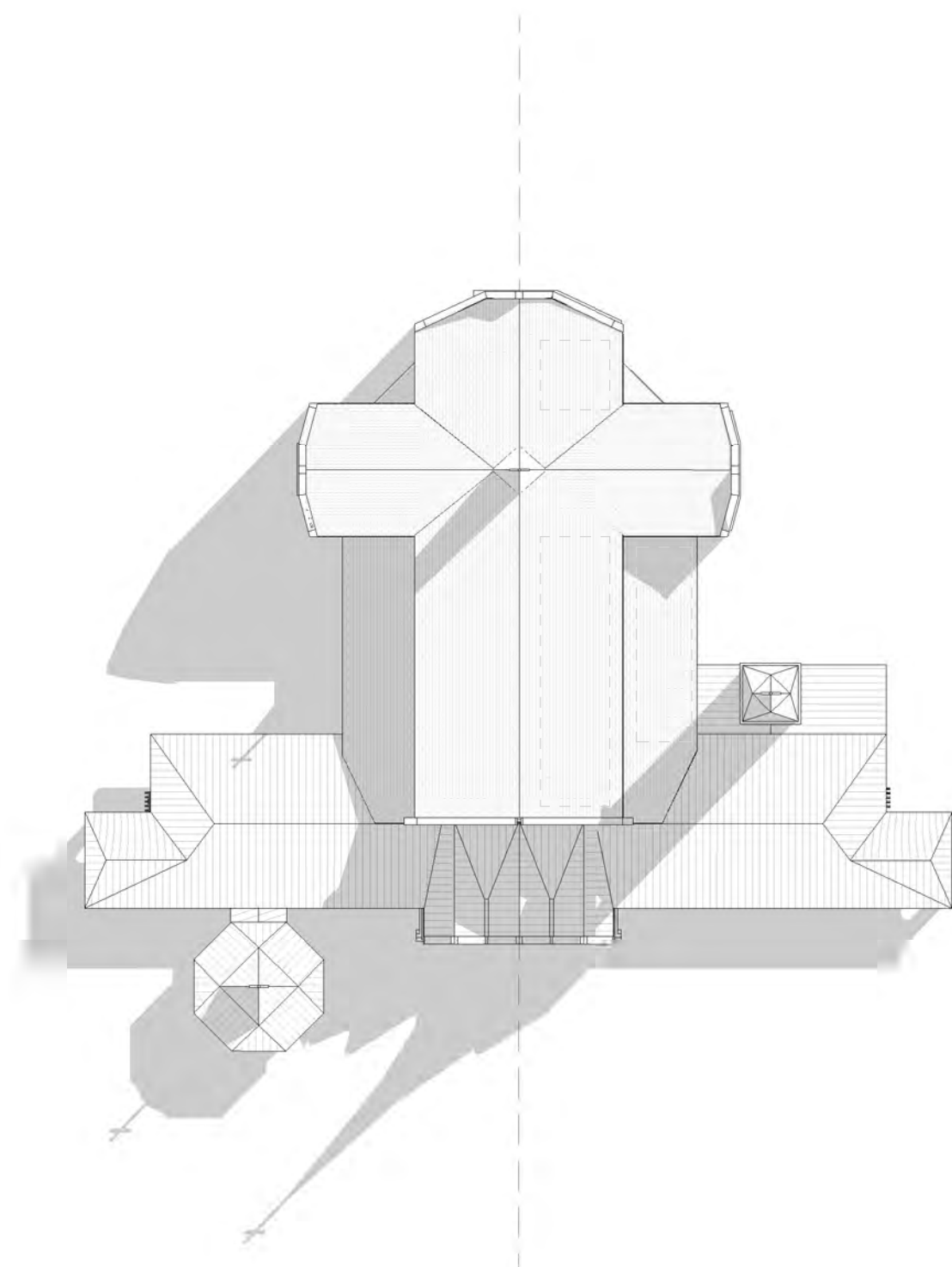


1 View From North East  
 A-1.3a

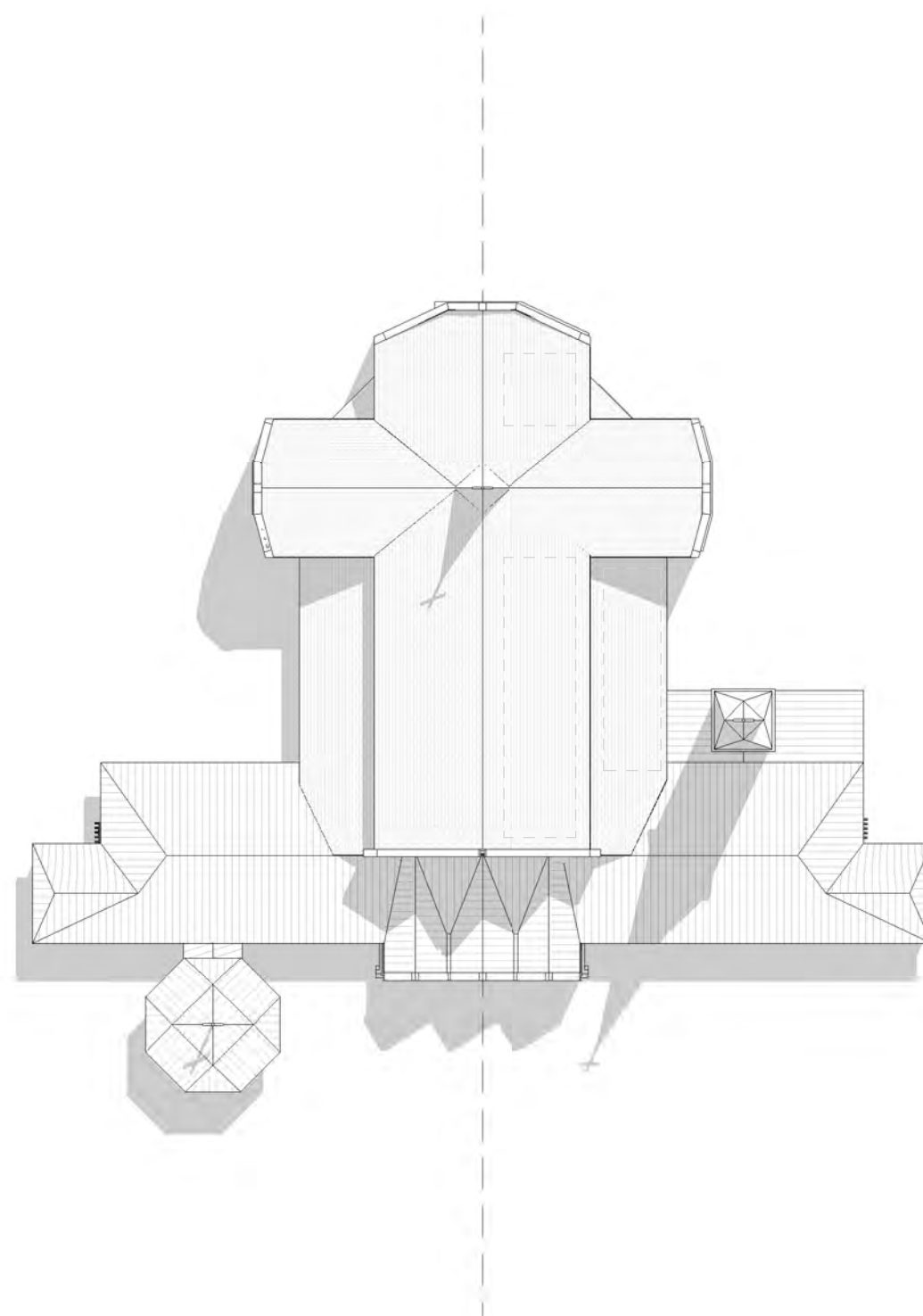


4 View From West  
 A-1.3a

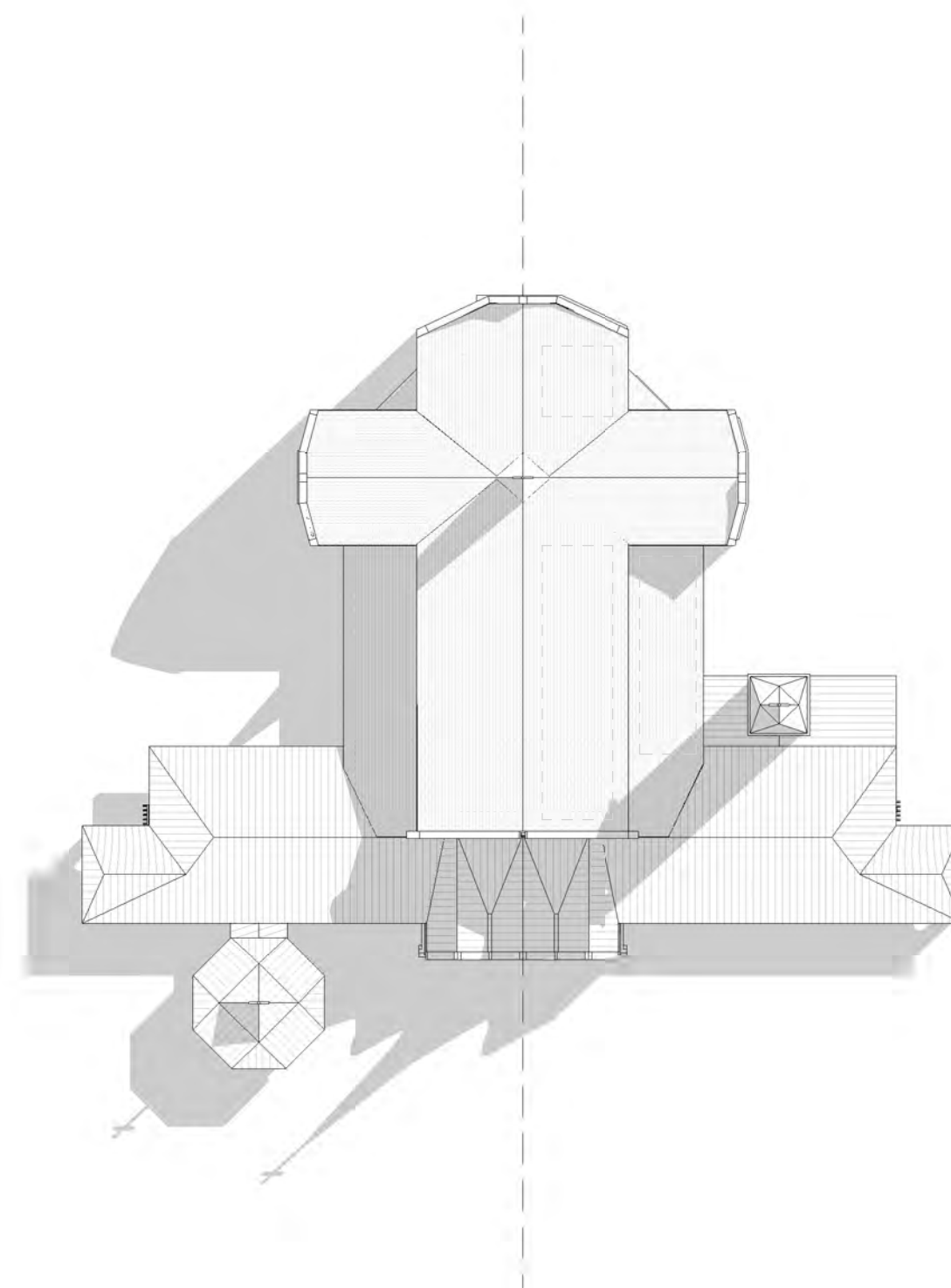




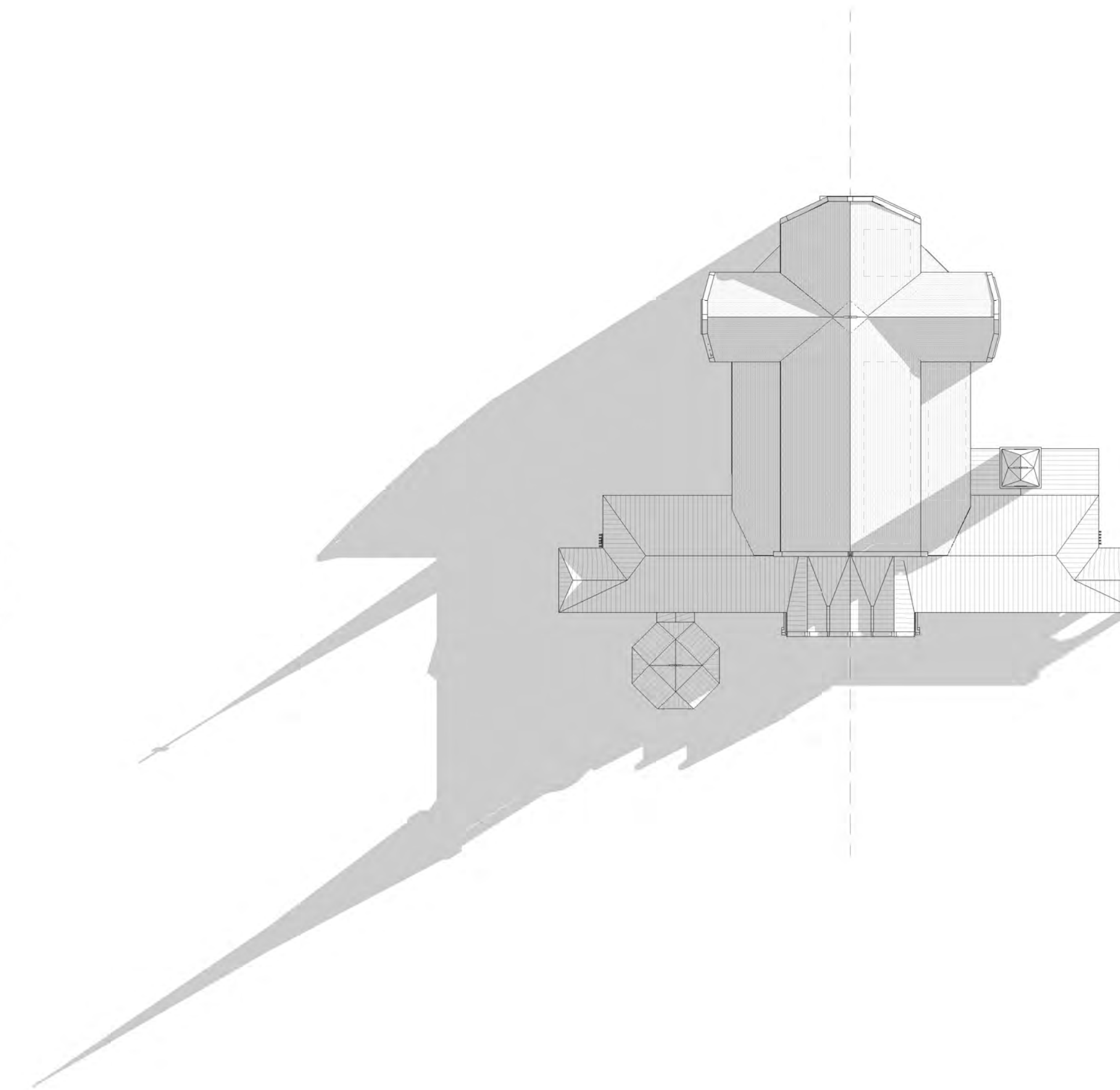
1 Spring Equinox Solar Study  
A-1.4 March 20th 10am



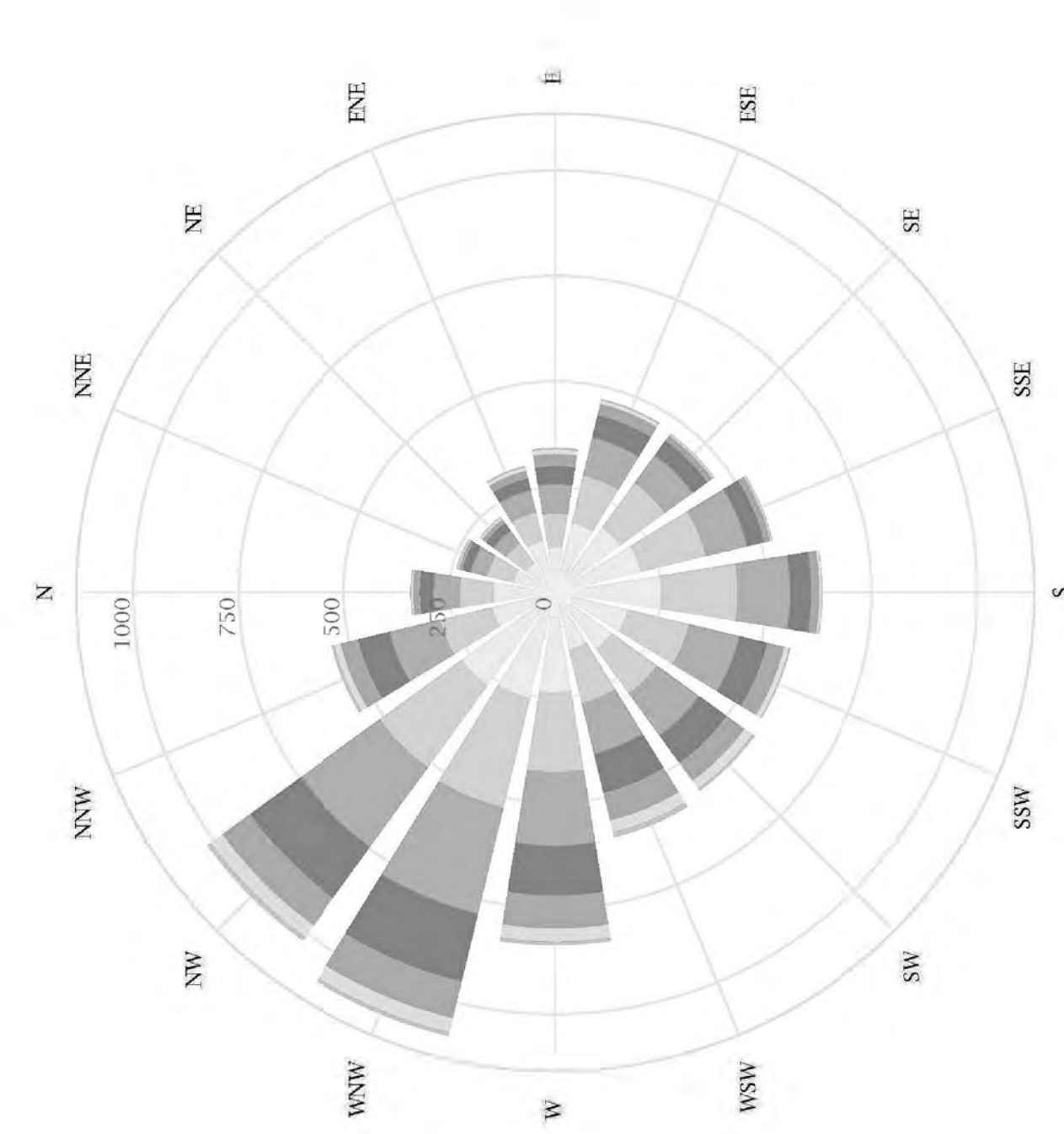
2 Summer Solstice Solar Study  
A-1.4 June 21st 10am



3 Fall Equinox Solar Study  
A-1.4 September 20th 10am



4 Winter Solstice Solar Study  
A-1.4 December 21st 10am



Wind Rose for St. Andre Bessette Church Location

ABBREVIATIONS LEGENDS

REVISIONS:

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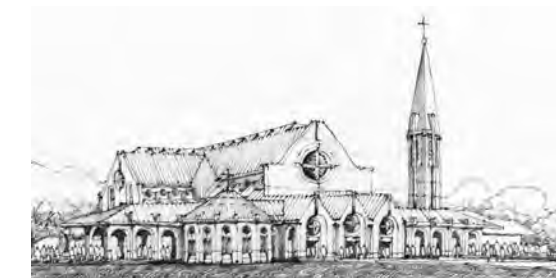
TITLE: Sustainability Diagrams

SCALE: DRAWN: MH/JM

DATE: 29-Nov-2019 CHECKED: JL

REV. NO. 4

FILE No. DA. 18. 099  
SP. 18. V. 0290



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LOH ARCHITECTS & Associates Inc  
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222 Kingston Avenue, Suite 260  
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pdaarchinc.com

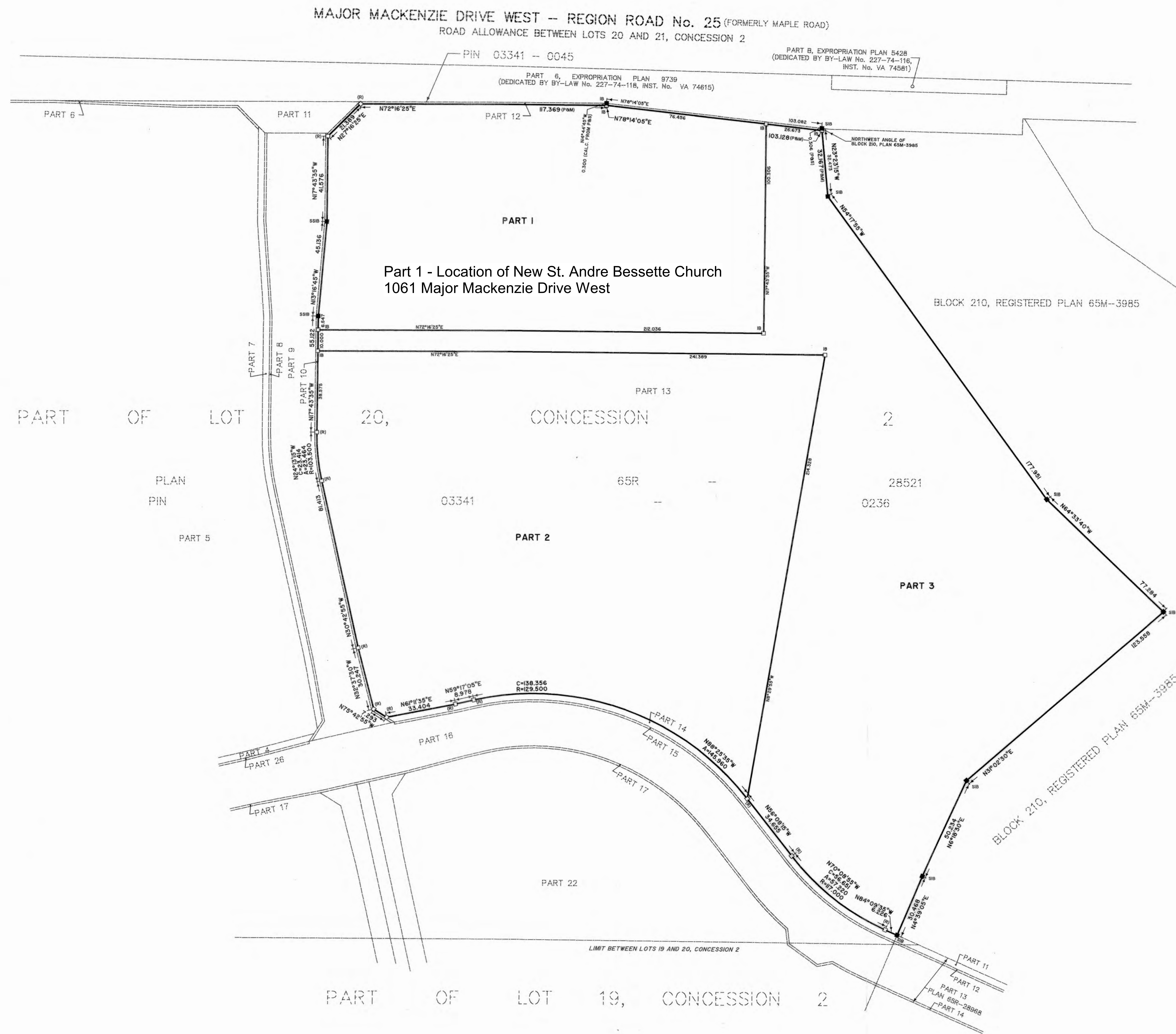
OWNER: Roman Catholic Episcopal Corporation for the Diocese of Toronto in Canada  
1155 Yonge Street  
Toronto, Ontario M4T 1W2

DRAWING NO.:

A-1.4

ST. ANDRE BESSETTE PARISH CHURCH

METRIC: DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.



I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

**PLAN 65R-30297**

RECEIVED AND DEPOSITED

DATE SEPTEMBER 17, 2007. DATE SEPTEMBER 18, 2007

DAN DZALDOV  
ONTARIO LAND SURVEYOR

E. CAROL MARTIN  
ASST. DEP. LAND REGISTRAR FOR THE LAND TITLES DIVISION OF YORK REGION No. 65

**SCHEDULE**

| PART | PART OF LOT | CONCESSION | PART OF PIN | AREA (m <sup>2</sup> ) |
|------|-------------|------------|-------------|------------------------|
| 1    |             |            |             | 22256.7                |
| 2    | 20          | 2          | 03341-0236  | 37742.1                |
| 3    |             |            |             | 37455.8                |

PLAN OF SURVEY OF  
PART OF LOT 20  
CONCESSION 2  
(GEOGRAPHIC TOWNSHIP OF VAUGHAN, COUNTY OF YORK)  
CITY OF VAUGHAN  
REGIONAL MUNICIPALITY OF YORK  
SCALE: 1 : 1000

SCHAEFFER & DZALDOV LIMITED

ABBREVIATIONS

LEGENDS

**REVISIONS:**

| REV. NO. | DESCRIPTION                      | DRAWN | DATE        |
|----------|----------------------------------|-------|-------------|
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**NOTES**

■ DENOTES FOUND MONUMENT

□ PLANTED MONUMENT

SIB STANDARD IRON BAR

SSIB SHORT STANDARD IRON BAR

IB IRON BAR

922 SCHAEFFER & DZALDOV LIMITED, O.L.S.

R FOUND IRON (922), REPLACED WITH SSIB

P PLAN 65R-28521

M MEASURED

S SET

ALL FOUND MONUMENTS ARE NUMBERED 922.

BEARINGS SHOWN HEREON ARE GRID BEARINGS DERIVED FROM THE 47M COORDINATE SYSTEM NAD 83, ZONE 17, CENTRAL MERIDIAN 8° WEST LONGITUDE USING HORIZONTAL CONTROL MONUMENTS HAVING PUBLISHED VALUES AS FOLLOWS:

HCM 10598012 NORTHING 4857608.667, EASTING 622478.869

HCM 10598018 NORTHING 4855633.999, EASTING 623054.357.

DISTANCES SHOWN ON THIS PLAN ARE GROUND DISTANCES.

ALL PARTS 0.30 METRE WIDE HAVE BEEN EXAGGERATED FOR CLARITY.

**SURVEYOR'S CERTIFICATE**

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.

2. THE SURVEY WAS COMPLETED ON THE 31<sup>st</sup> DAY OF AUGUST, 2007.

DATE: SEPTEMBER 5, 2007.

DAN DZALDOV  
ONTARIO LAND SURVEYOR

**SCHAEFFER & DZALDOV LIMITED**  
ONTARIO LAND SURVEYORS

64 JARDIN DRIVE CONCORD, ONTARIO L4K 3P3 TEL: (416) 997-0101

DRAWN ACAD/LW CHECKED WMF SCALE 1:1000 JOB NO. 03-563-13



**TITLE:** Legal Survey Key Plan

SCALE: 1 : 1000 DRAWN: Author

DATE: 29-Nov-2019 CHECKED: Checker

REV. NO.

FILE No. DA. 18. 099

SP. 18. V. 0290



**PROJECT:** St Andre Bessette Parish Roman Catholic Church

1061 Major Mackenzie Drive West, Maple Ontario Canada

**ARCHITECTS:** LOH

LOH ARCHITECTS & ASSOCIATES INC.  
67 Lombard Street  
Toronto Ontario M5C 1M2 CANADA  
T: 416.690.3212  
Loharchitects.ca

**OWNER:** Roman Catholic Episcopical Corporation for the Diocese of Toronto in Canada

1155 Yonge Street  
Toronto, Ontario M4T 1W2

DRAWING NO.:

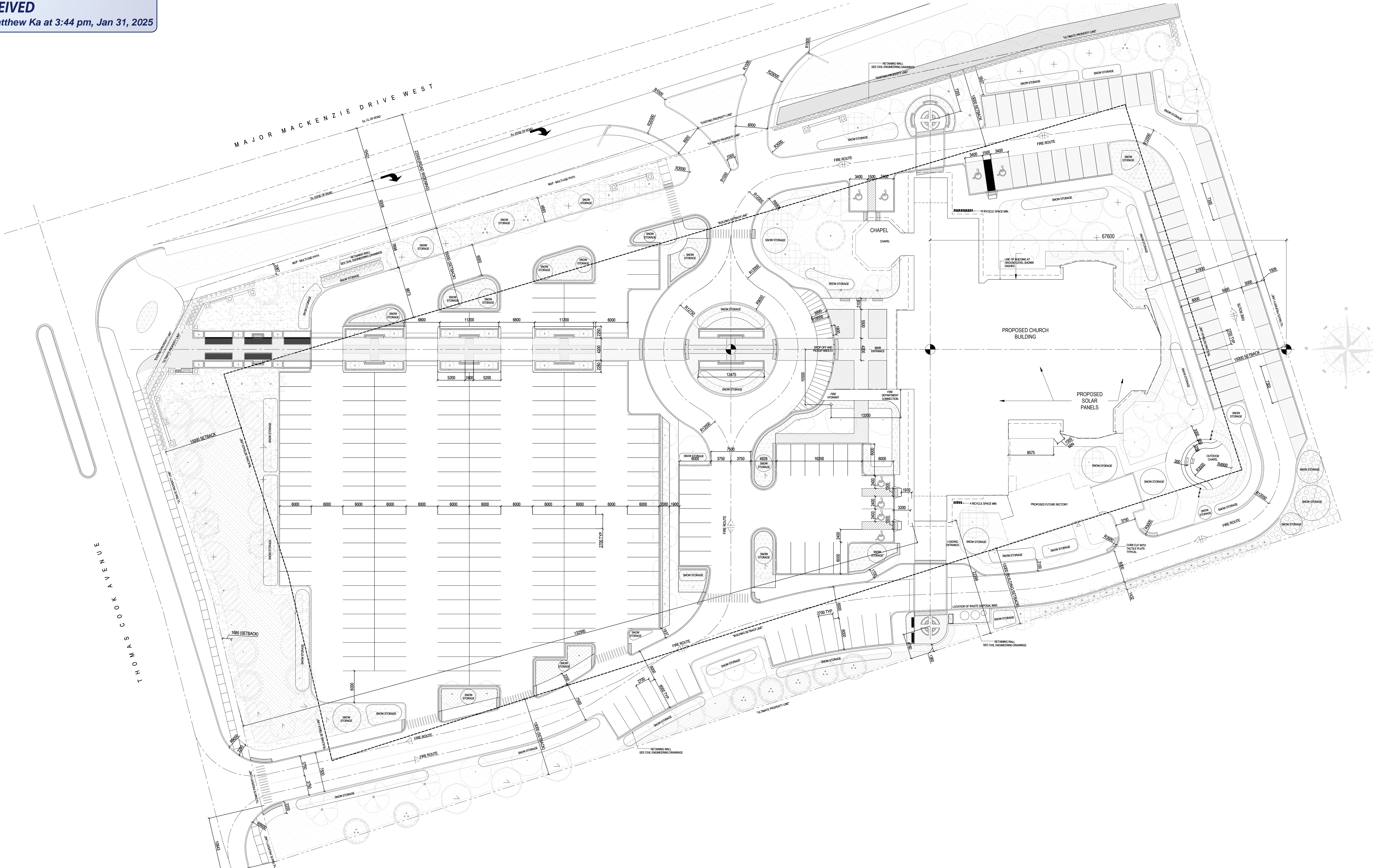
**A-1.5**

1 Legal Survey Plan  
A-1.5 1 : 1000

ST. ANDRE BESSETTE PARISH CHURCH







**SITE PLANNING STATISTICS:**

**Site Address:** 1075 Major Mackenzie Drive West, Vaughan, Ontario, L6A 3P2  
**Zoning and Land Use:** 8.2 Agricultural Use and Related Commercial  
**Relevant Documents:** Official Plan Amendment (OPA) and Zoning By-Law 1-88 Vaughan Official Plan 2010  
**Ontario Land Registry summary and site exception 9025 2006-7**

**Building Site Coverage:** 20% Maximum  
**Landscape Site Coverage:** 40% Maximum  
**Minimum Frontage:** 100 meters (20 meters for Institutional Uses)  
**Lot Area:** 5.5 Acres (2.26 Ha)  
**Minimum Yard Set-back:** 15 Meters front yard, 15 Meters rear yard, 15 Meters interior side yard, 15 Meters exterior side yard, 11 Meters maximum above established grade

**Height Limit:** 15 Meters maximum above established grade

**Building Capacity:**  
 Church Assembly Hall: 616 Seats  
 Chapel: 59 Seats  
**Total:** 675 Seats

**Zoning Lot Areas Summary:**  
**Building Gross Floor Area (GFA) Total:** 2,065 Square Meters (22,228 Square Feet)  
**Lot Area (Acres) Total:** 21.818 Square Meters (5.39 Acres with York Region road reduction)

**Parking Spaces Minimum Required by Zoning:**  
 Calculations for non-residential parking based on By-law 1-88 and 11 parking spaces per 100 square meters of gross floor area (2,065 m<sup>2</sup> / 100) x 11 spaces = 228 required parking spaces.  
**Parking Required Minimum:** 228 Spaces  
**Spaces Above Requirement:** 23 Spaces  
**Total Car Parking Spaces:** 251 Spaces  
 (Standard parking space dimensions: 2.7 M x 6.0 M)  
 (Standard parallel parking space dimensions: 2.7 M x 7.3 M)  
 (Standard parallel parking end space dimensions: 2.7 M x 6.7 M)  
 (Standard two-way drive aisle dimensions range: 5.4 M x 7.5 M)  
 (Standard two-way drive aisle dimension provided: 6.0 M)

**Accessible Spaces Minimum Required by Zoning:**  
 Calculations under By-law 1-88 for accessible spaces based on 2% of the total number of parking spaces (228 x 0.02 + 5) plus 2 spaces is equal to 7 handicap accessible spaces. The 7 spaces are included within the total number of parking spaces = 251.  
**4 Type-A Accessible Parking Spaces Required:** (Type-A Space: 2.4 M x 6.0 M abuts 1.5 M Access Aisle)  
**4 Type-B Accessible Parking Spaces Required:** (Type-B Space: 2.4 M x 6.0 M abuts 1.5 M Access Aisle)  
**Total Car Accessible Spaces:** 8 Spaces (7 minimum)

**Bicycle Spaces Minimum Required by Zoning:**  
 Calculations under By-law 1-88 for bicycle parking is equal to 1 space per 100 m<sup>2</sup> of GFA. Included with the ratio of 0.4 for short term and 0.05 for long term bicycle spaces.  
**Short term bicycle spaces:** 10 Spaces (2,065 m<sup>2</sup> / 100) x 0.4 = 10 Bicycles  
**Long term bicycle spaces:** 2 Spaces (2,065 m<sup>2</sup> / 100) x 0.05 = 2 Bicycles  
**Total Bicycle Spaces:** 12 Spaces

**Lot Coverage Calculations:**  
 Calculations based on By-law 1-88 with maximum 20% Building Coverage and 40% Landscape Coverage  
**Lot Area:** 21,692 Square Meters  
**Building Area:** 1,849 Square Meters (1.1+1.2+1.3+2.1 areas below)  
**Building Site Coverage:** 8.5 %  
**Lot Frontage:** 109 Meters  
**Lot Depth:** 209 Meters  
**Building Height:** 15 Meters above established grade  
**Landscape Site Coverage:** 41.7 % = (9,040 m<sup>2</sup> / 21,692 m<sup>2</sup>) x 100

**Total Gross Floor Area (GFA) Summary:**

| No                                       | Name   | Area (m <sup>2</sup> )     | Area (ft <sup>2</sup> )      |
|--|--|----------------------------|------------------------------|
| <b>Non-Residential Church Buildings:</b> |  |                            |                              |
| 1.1                                      | Sanctuary, Confession, Nave and Support Spaces | 889 m <sup>2</sup>         | 9569 ft <sup>2</sup>         |
| 1.2                                      | Narthex, Offices, and Support Spaces           | 785 m <sup>2</sup>         | 8534 ft <sup>2</sup>         |
| 1.3                                      | St. Joseph's Chapel                            | 76 m <sup>2</sup>          | 818 ft <sup>2</sup>          |
| 1.4                                      | Mezzanine Level                                | 96 m <sup>2</sup>          | 1033 ft <sup>2</sup>         |
|  | Sub-total                                      | 1,826 m <sup>2</sup>       | 19,555 ft <sup>2</sup>       |
| <b>Accessory Building - Rectory:</b>     |  |                            |                              |
| 2.1                                      | Future Rectory First Floor                     | 119 m <sup>2</sup>         | 1281 ft <sup>2</sup>         |
| 2.2                                      | Future Rectory Second Floor                    | 120 m <sup>2</sup>         | 1292 ft <sup>2</sup>         |
| 2.3                                      | Parking Garage (2 Spaces)                      | 239 m <sup>2</sup>         | 2,573 ft <sup>2</sup>        |
|  | Sub-total                                      | 478 m <sup>2</sup>         | 5,146 ft <sup>2</sup>        |
|  | <b>Total Gross Floor Area:</b>                 | <b>2,065 m<sup>2</sup></b> | <b>22,228 ft<sup>2</sup></b> |

**Zoning Minor Variances:**

| Zoning & By-laws                                      | Zoning Requirement:  | Zoning Minor Variance:  |
|---|--|---|
| 1. Access to York Regional Road - Major Mackenzie Dr. | No access permitted from Regional Road with exceptions.                        | Regional road R100 using urban cross section.   |
| 2. Building Height Increase from 11 Meters Maximum.   | 11 Meters Maximum  | 15 Meters above established grade (the calculated building height is 15 meters above established grade).  |
| 3. Landscape Set-back Distance from Property Lines.   | North: 6.0 Meters<br>East: 2.4 Meters<br>South: 2.4 Meters<br>West: 6.0 Meters | 5.155 Meters<br>1.425 Meters<br>1.05 Meters<br>6.0 Meters   |
| 4. Civil Engineering Retaining Wall.                  | South: 2.4 Meters  | Retaining wall is 2.75 meters in height. Located 1.0 meter from property line at single point, tapers away beyond this point to a lower height in each direction. |
| 5. Accessory Building - Church Spire & Bell Tower.    | Exempt   | No Variance Required for Accessory Church Buildings.  |
| 6. Accessory Building - Church Rectory.               | Exempt   | No Variance Required for Accessory Church Buildings.  |

| No. | DESCRIPTION                        | DRWN | DATE        |
|-----|------------------------------------|------|-------------|
| 4   | ISSUED FOR SITE PLAN APPLICATION 4 | AR   | XX-SEP-2024 |
| 3   | ISSUED FOR SITE PLAN APPLICATION 3 | GC   | 29-NOV-2023 |
| 2   | ISSUED FOR SITE PLAN APPLICATION 2 | MH   | 29-NOV-2019 |
| 1   | ISSUED FOR SITE PLAN APPLICATION 1 | MH   | 19-OCT-2018 |

**REVISIONS**

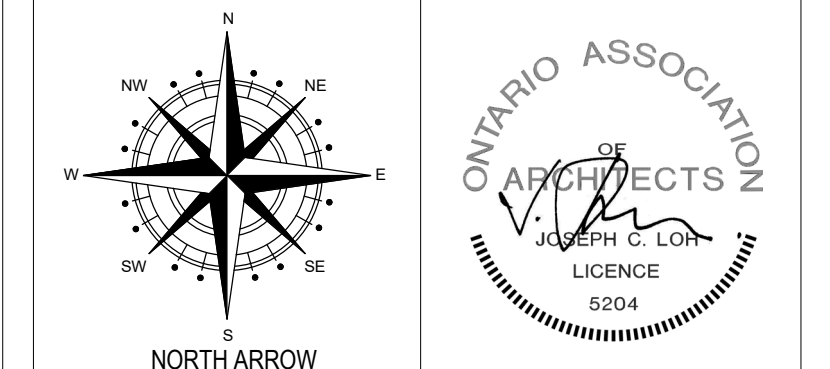
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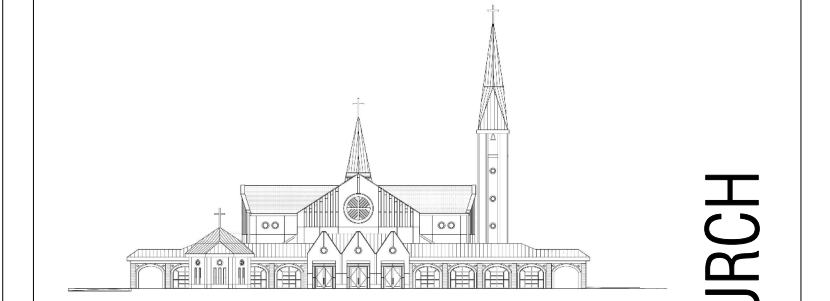
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**TITLE: SITE PLAN**

**SCALE:** 1:300  
**DATE:** 16-Jan-2025  
**REV. No. 4**  
**FILE No. DA. 18. 099**  
**SP. 18. V. 0290**



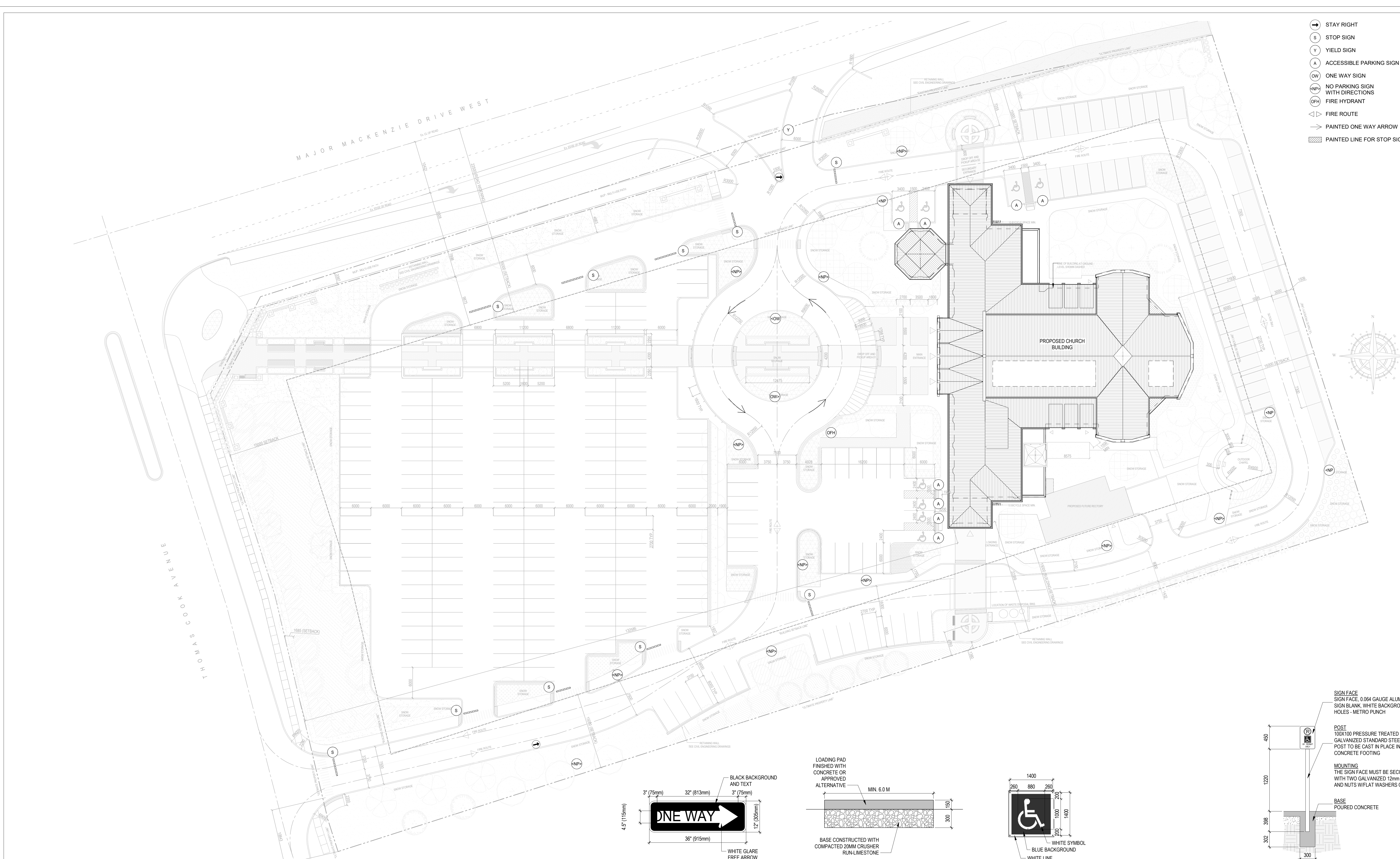
**PROJECT:** St. Andre Bessette Parish Roman Catholic Church  
 1075 Major Mackenzie Drive West, Maple Ontario Canada L6A 3P2

**ARCHITECTS:** LQH  
 LQH ARCHITECTS & ASSOCIATES INC.  
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**pda**  
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 Phone: 416-928-1041  
 pdaarch.com

**OWNER:** Roman Catholic Episcopal Corporation for the Diocese of Toronto in Canada  
 1155 Yonge Street  
 Toronto, Ontario M4T 1W2

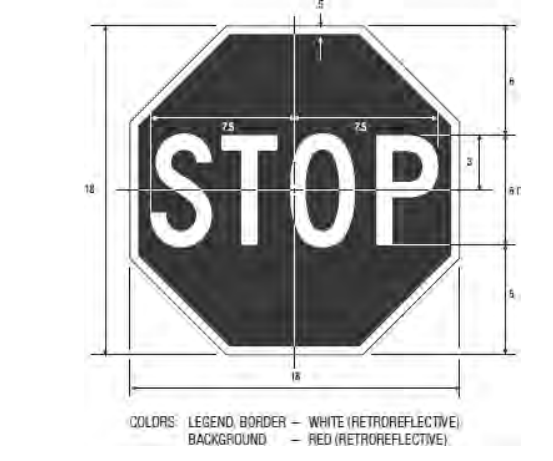
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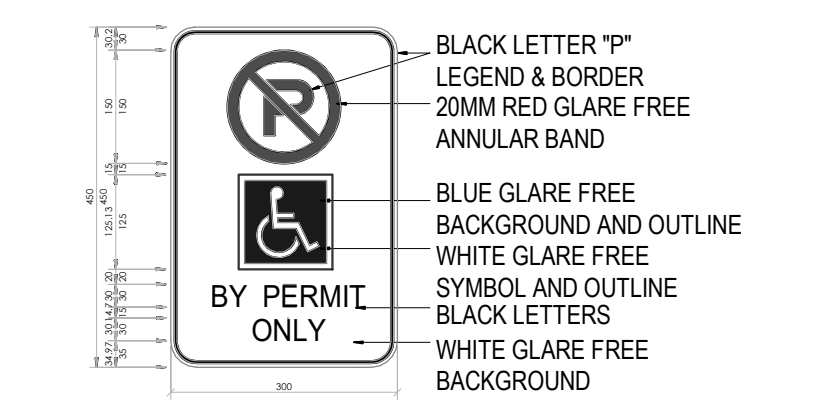
- STAY RIGHT
- ⊘ STOP SIGN
- ⊘ YIELD SIGN
- ⊘ ACCESSIBLE PARKING SIGN
- ONE WAY SIGN
- ⊘ NO PARKING SIGN WITH DIRECTIONS
- ⊘ FIRE HYDRANT
- FIRE ROUTE
- PAINTED ONE WAY ARROW
- ▨ PAINTED LINE FOR STOP SIGN

GENERAL SIGNAGE NOTES:

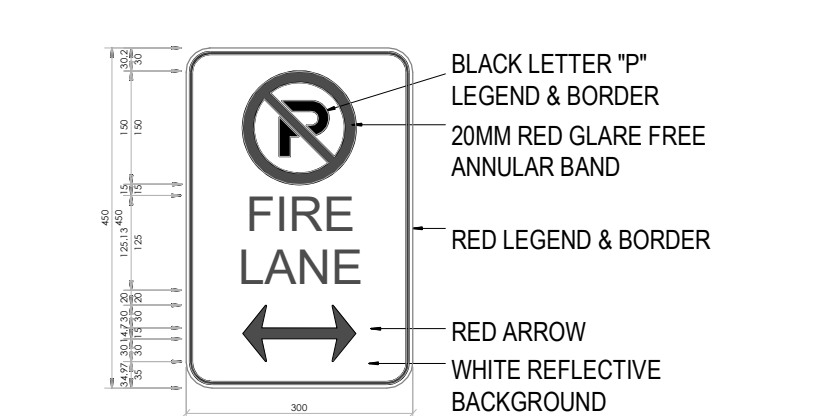
- ALL WAY FINDING AND WARNING SIGNS LOCATED WITHIN THE SITE ARE GLARE FREE, EASILY VISIBLE AND LEGIBLE (IE. SOLID OR MATTE BACKGROUND COLOUR WITH HIGH CONTRAST IN BRIGHTNESS BETWEEN THE SIGN'S CONTENT AND BACKGROUND).
- WAY-FINDING AND WARNING SIGNS WILL BE INSTALLED WITH BRAILLE AND LOCATED FOR EASY ACCESS AND RECOGNITION (IE. TACTILE INDICATORS ON THE GROUND IN PROXIMITY TO THE SIGN) FOR THOSE WITH VISUAL IMPAIRMENTS.



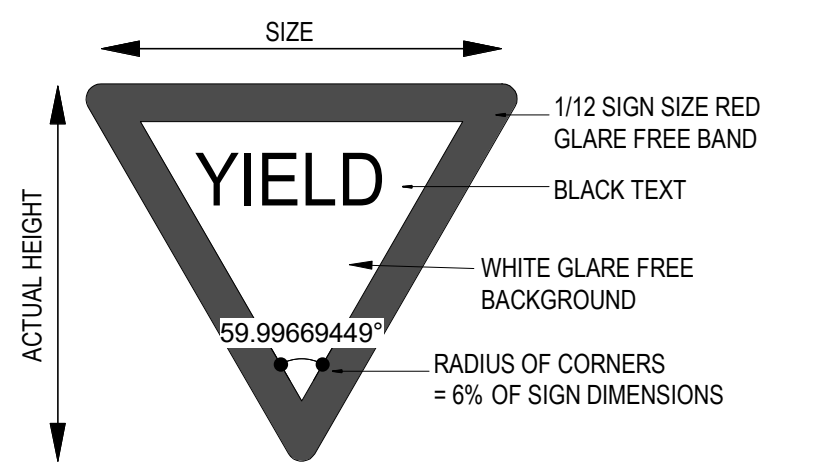
5 STOP SIGN  
SCALE: 1:10



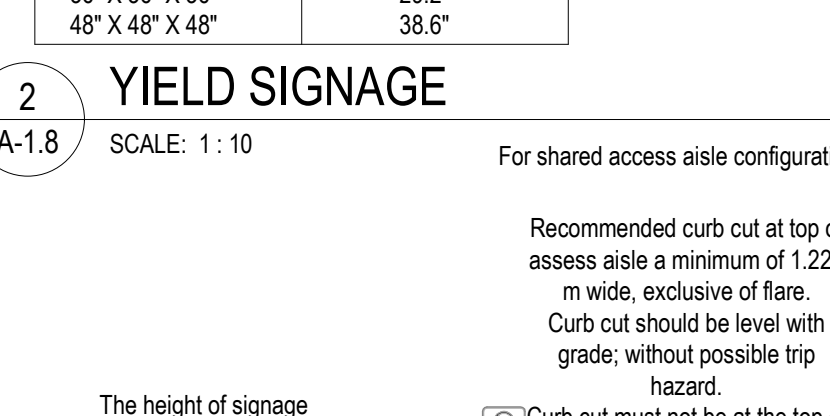
4 ACCESSIBLE PARKING SIGNAGE  
SCALE: 1:10



3 NO PARKING FIRE ROUTE SIGNAGE  
SCALE: 1:10

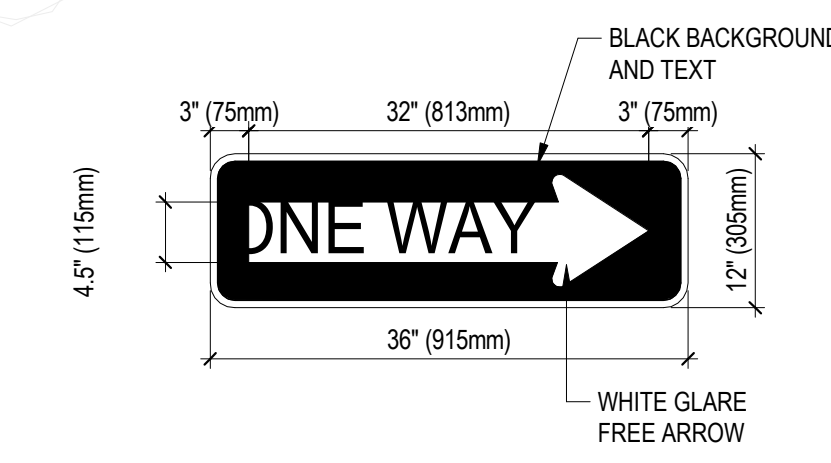


2 YIELD SIGNAGE  
SCALE: 1:10

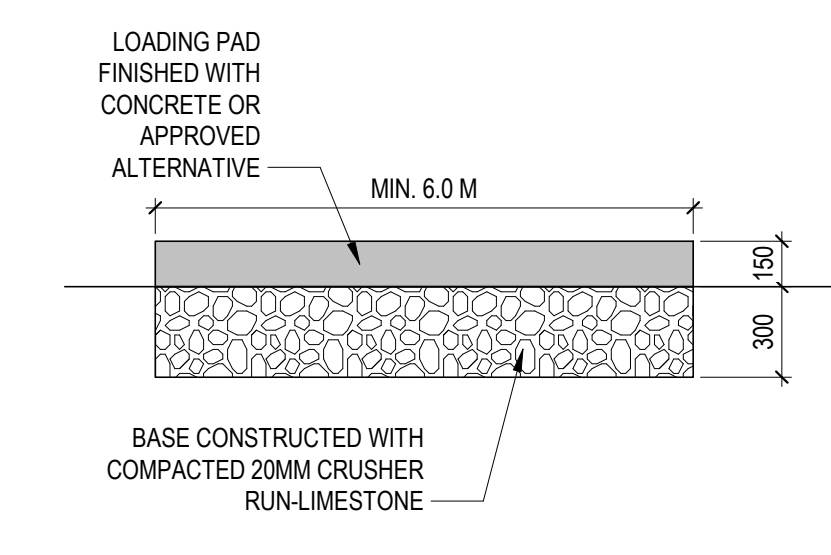


1 SHARED ACCESS AISLE  
SCALE: 1:100

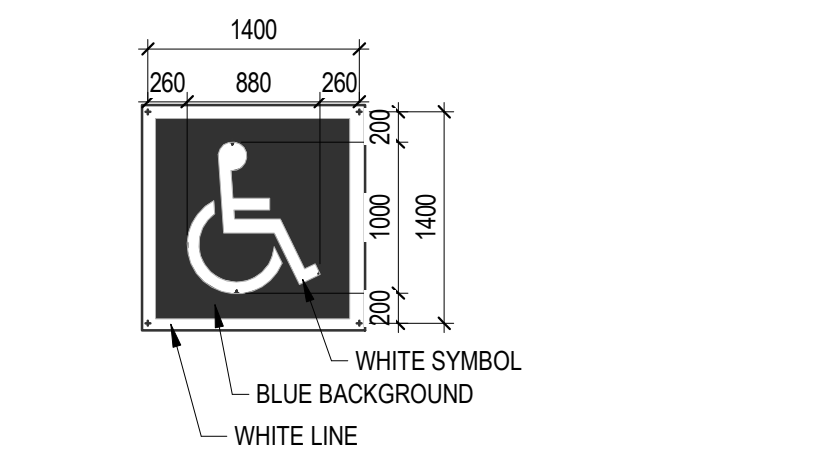
10 SITE PLAN 1911 SIGNAGE PLAN  
SCALE: 1:300



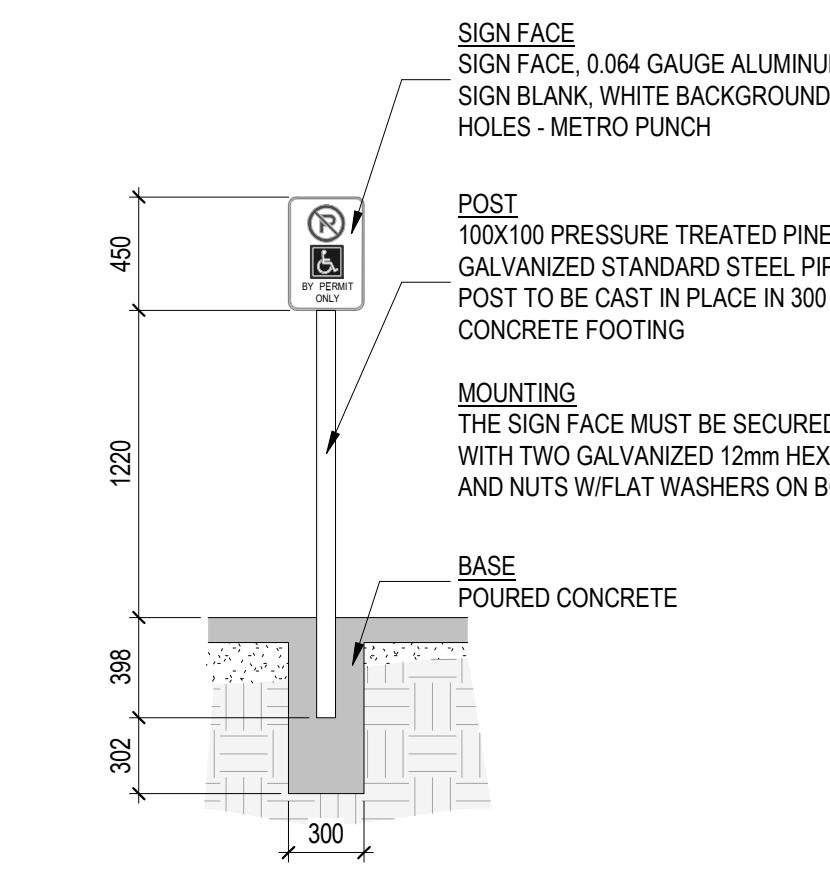
9 ONE WAY SIGN  
SCALE: 1:10



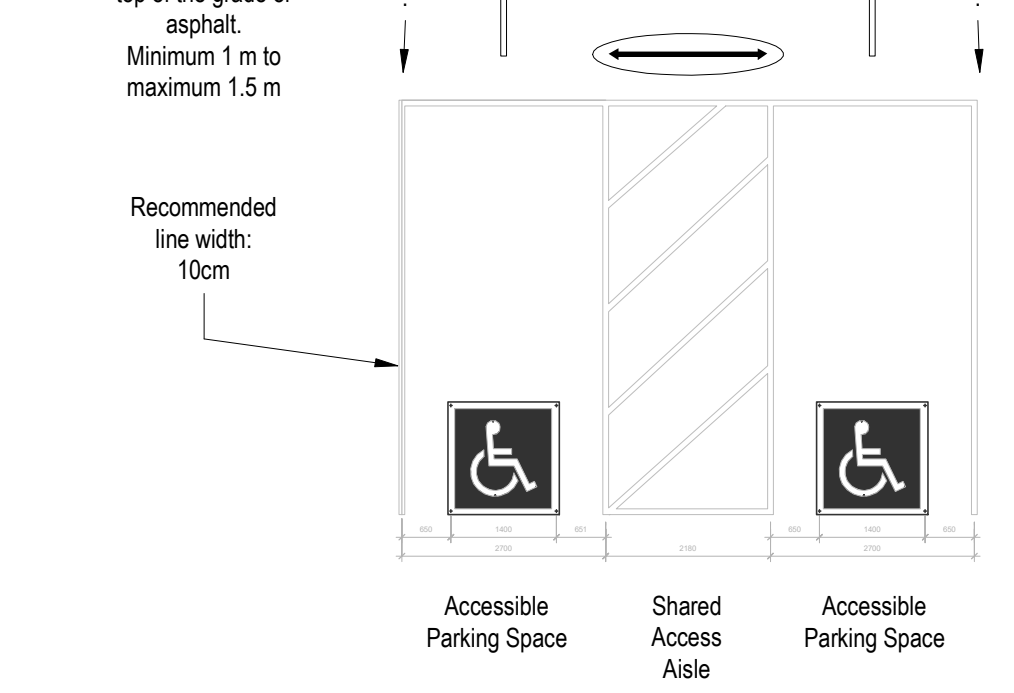
8 LOADING PAD  
SCALE: 1:25



7 ACCESSIBLE PARKING SIGN PAVEMENT MARKING  
SCALE: 1:50



6 ACCESSIBLE SIGN  
SCALE: 1:30



1 SHARED ACCESS AISLE  
SCALE: 1:100

| No. | DESCRIPTION                          | DRWN | DATE        |
|-----|--------------------------------------|------|-------------|
| 4   | ISSUED FOR SITE PLAN REAPPLICATION 4 | AR   | 05 NOV 2024 |
| 3   | ISSUED FOR SITE PLAN APPLICATION 3   | CC   | 29 NOV 2023 |
| 2   | ISSUED FOR SITE PLAN APPLICATION 2   | MH   | 29 NOV 2019 |
| 1   | ISSUED FOR SITE PLAN APPLICATION 1   | MH   | 19 OCT 2018 |

REVISIONS

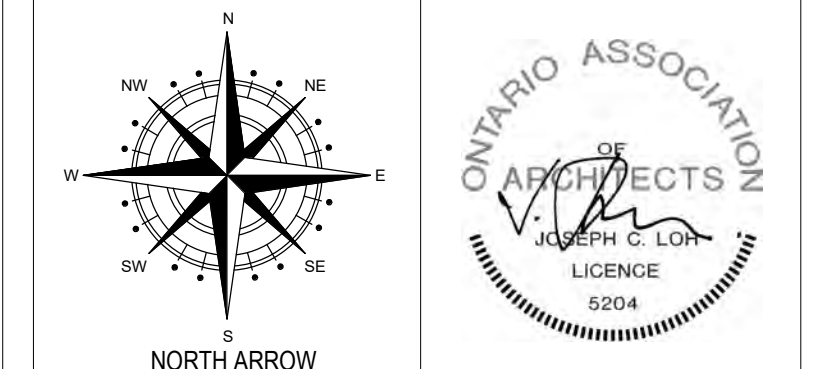
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TITLE: SITE SIGNAGE PLAN

SCALE: As indicated DRAWN: MH/JM  
DATE: 05-Nov-2024 CHECKED: JL  
REV. No. 4  
FILE No. DA. 18. 099  
SP. 18. V. 0290



PROJECT: St Andre Bessette Parish Roman Catholic Church  
1075 Major Mackenzie Drive West, Maple Ontario Canada

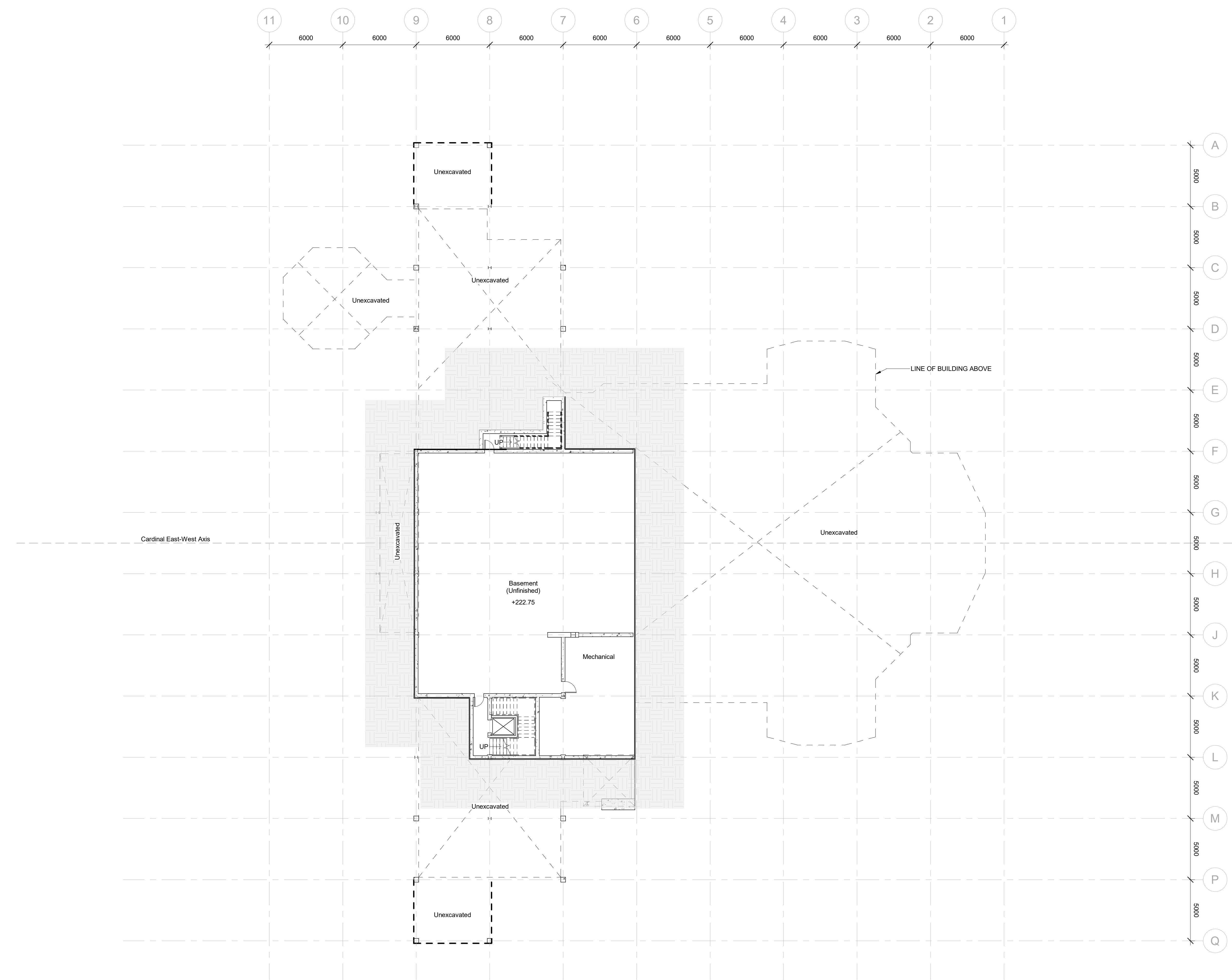
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OWNER: Roman Catholic Episcopal Corporation for the Diocese of Toronto in Canada  
1155 Yonge Street  
Toronto, Ontario M4T 1W2

DRAWING NO.:

A-1.8



1 Basement Level  
A-2.1 1 : 150

ABBREVIATIONS LEGENDS

REVISIONS:

| REV. NO. | DESCRIPTION                      | DRAWN | DATE        |
|----------|----------------------------------|-------|-------------|
| 4        | Issued for Site Plan Revisions   | MH    | Nov 29 2019 |
| 3        | Issued for Site Plan Application | MH    | Oct 19 2018 |
| 2        | Pricing Class 'C' Cost Estimate  | MH    | Feb 20 2018 |
| 1        | Concept Design                   | MH    | Jan 4 2018  |

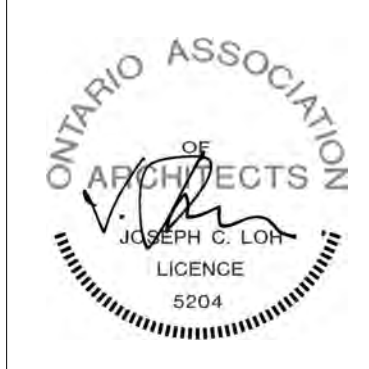
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TITLE: **Basement Level Plan**

SCALE: 1 : 150 DRAWN: MH/JM

DATE: 29-Nov-2019 CHECKED: JL

REV. NO. 4

FILE No. DA. 18. 099

SP. 18. V. 0290



PROJECT: **St Andre Bessette Parish Roman Catholic Church**  
 1061 Major Mackenzie Drive West, Maple  
 Ontario Canada

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 Loharchitects.ca

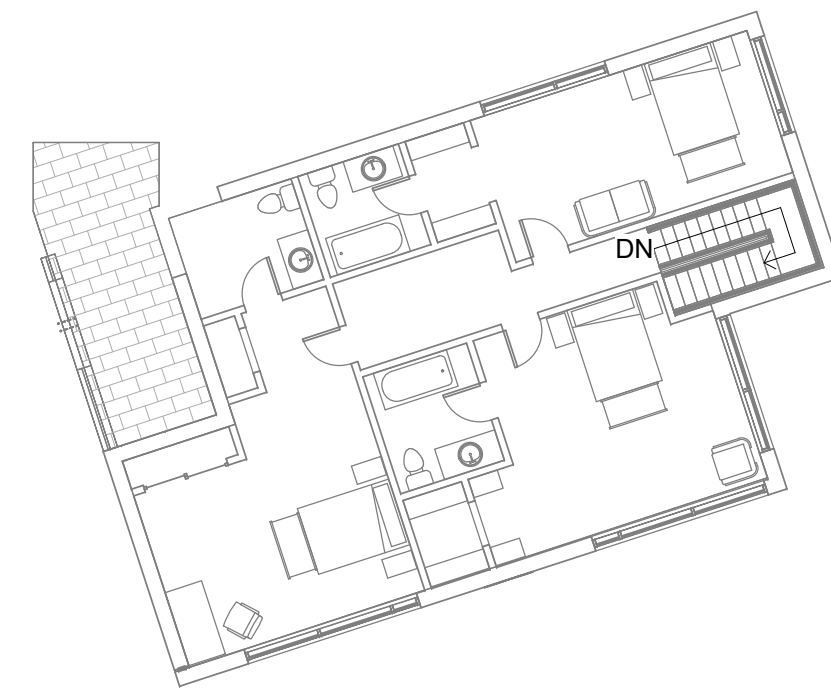
**pda**  
 Paul Didar Architect Inc.  
 222 Kingdon Avenue, Suite 260  
 Toronto, Ontario M8V 3W7  
 Phone: 416-928-1041  
 pdaarchinc.com

OWNER: Roman Catholic Episcopal Corporation for the Diocese of Toronto in Canada  
 1155 Yonge Street  
 Toronto, Ontario M4T 1W2

DRAWING NO.:

**A-2.1**

ST. ANDRE BESSETTE PARISH CHURCH

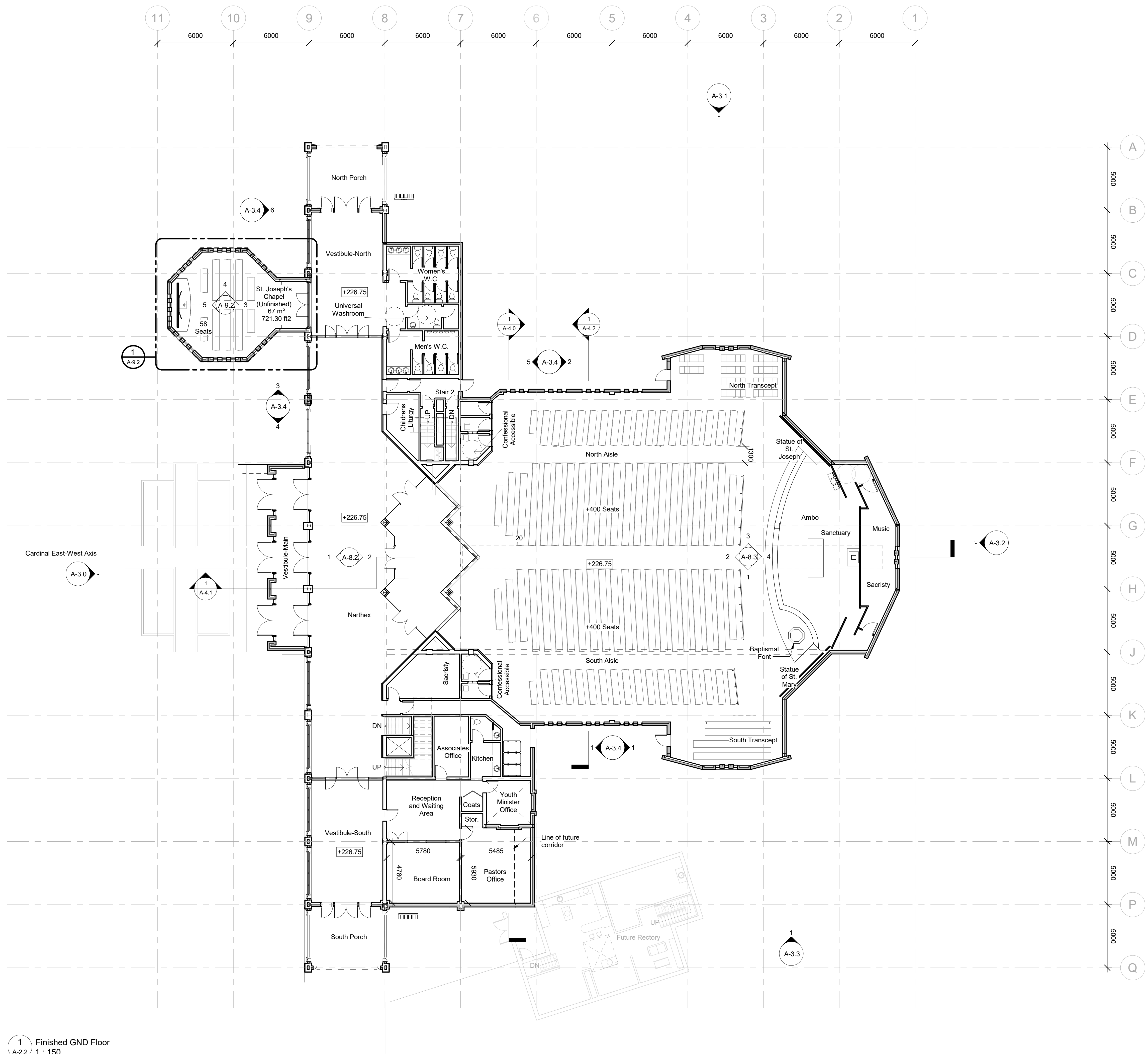


2 Rectory Second Floor Level  
A-2.2 1: 150

| St. Andre Bessette Church Gross Building Area |                                 |                     |            |
|---|---------------------------------|---------------------|------------|
| No.   | Name                            | Area Sq.m           | Area Sq.ft |
| <b>Non-Residential</b>                        |                                 |                     |            |
| 1.1   | SAB Church, Nave and Sanctuary  | 889 m <sup>2</sup>  | 9568 SF    |
| 1.2   | Narthex, Offices and Vestibules | 785 m <sup>2</sup>  | 8450 SF    |
| 1.3   | St. Joseph's Chapel             | 76 m <sup>2</sup>   | 815 SF     |
| 1.4   | Basement (unfinished space)     | 429 m <sup>2</sup>  | 4619 SF    |
| 1.5   | Mezzanine                       | 96 m <sup>2</sup>   | 1034 SF    |
|   |                                 | 2275 m <sup>2</sup> | 24486 SF   |
| <b>Residential</b>                            |                                 |                     |            |
| 2.1   | Future Rectory First Floor      | 119 m <sup>2</sup>  | 1286 SF    |
| 2.2   | Future Rectory Second Floor     | 120 m <sup>2</sup>  | 1287 SF    |
|   |                                 | 239 m <sup>2</sup>  | 2573 SF    |
| <b>Total Gross Floor Area</b>                 |                                 | 2514 m <sup>2</sup> | 27059 SF   |

| St. Andre Bessette Church Architectural Room Program |                                  |                     |                       |
|--|----------------------------------|---------------------|-----------------------|
| Number   | Name                             | Area Sq.m           | Area Sq.ft            |
|  | SPIRE                            | 9 m <sup>2</sup>    | 95 ft <sup>2</sup>    |
| 001  | Basement (Unfinished)            | 0 m <sup>2</sup>    | 0 ft <sup>2</sup>     |
| 002  | Mechanical                       | 0 m <sup>2</sup>    | 0 ft <sup>2</sup>     |
| 100  | Nave                             | 811 m <sup>2</sup>  | 8734 ft <sup>2</sup>  |
| 101  | Narthex                          | 231 m <sup>2</sup>  | 2485 ft <sup>2</sup>  |
| 102  | St. Joseph's Chapel (Unfinished) | 67 m <sup>2</sup>   | 721 ft <sup>2</sup>   |
| 103  | Vestibule-North                  | 56 m <sup>2</sup>   | 602 ft <sup>2</sup>   |
| 104  | Vestibule-Main                   | 37 m <sup>2</sup>   | 400 ft <sup>2</sup>   |
| 105  | Vestibule-South                  | 56 m <sup>2</sup>   | 603 ft <sup>2</sup>   |
| 106  | Sacristy                         | 13 m <sup>2</sup>   | 142 ft <sup>2</sup>   |
| 107  | Sacristy                         | 17 m <sup>2</sup>   | 186 ft <sup>2</sup>   |
| 108  | Confessional Accessible          | 7 m <sup>2</sup>    | 77 ft <sup>2</sup>    |
| 109  | Confessional Accessible          | 7 m <sup>2</sup>    | 78 ft <sup>2</sup>    |
| 110  | Pastors Office                   | 32 m <sup>2</sup>   | 350 ft <sup>2</sup>   |
| 111  | Reception and Waiting Area       | 30 m <sup>2</sup>   | 327 ft <sup>2</sup>   |
| 112  | Associates Office                | 13 m <sup>2</sup>   | 141 ft <sup>2</sup>   |
| 113  | Kitchen                          | 7 m <sup>2</sup>    | 70 ft <sup>2</sup>    |
| 114  | Servery                          | 0 m <sup>2</sup>    | 0 ft <sup>2</sup>     |
| 115  | Coats                            | 2 m <sup>2</sup>    | 18 ft <sup>2</sup>    |
| 116  | Youth Minister Office            | 13 m <sup>2</sup>   | 135 ft <sup>2</sup>   |
| 117  | Board Room                       | 28 m <sup>2</sup>   | 299 ft <sup>2</sup>   |
| 118  | Music                            | 13 m <sup>2</sup>   | 144 ft <sup>2</sup>   |
| 119  | Storage                          | 0 m <sup>2</sup>    | 0 ft <sup>2</sup>     |
| 120  | Stair 1                          | 14 m <sup>2</sup>   | 151 ft <sup>2</sup>   |
| 121  | Stair 2                          | 7 m <sup>2</sup>    | 76 ft <sup>2</sup>    |
| 122  | Childrens Liturgy                | 10 m <sup>2</sup>   | 113 ft <sup>2</sup>   |
| 123  | Men's W.C.                       | 19 m <sup>2</sup>   | 204 ft <sup>2</sup>   |
| 124  | Women's W.C.                     | 22 m <sup>2</sup>   | 233 ft <sup>2</sup>   |
| 125  | Universal Washroom               | 5 m <sup>2</sup>    | 56 ft <sup>2</sup>    |
| 126  | Office W.C.                      | 0 m <sup>2</sup>    | 0 ft <sup>2</sup>     |
| 128  | Stor.                            | 2 m <sup>2</sup>    | 18 ft <sup>2</sup>    |
| 201  | Mezzanine                        | 84 m <sup>2</sup>   | 902 ft <sup>2</sup>   |
| <b>Grand total: 32</b>                               |                                  | 1613 m <sup>2</sup> | 17360 ft <sup>2</sup> |

1 Finished GND Floor  
A-2.2 1: 150



ABBREVIATIONS LEGENDS

REVISIONS:

| REV. NO. | DESCRIPTION                                | DRAWN | DATE        |
|----------|--|-------|-------------|
| 1        | Issued for Site Plan Application           | MH    | Nov 29 2019 |
| 2        | Issued for Pricing Class 'C' Cost Estimate | MH    | Dec 19 2019 |
| 3        | Pricing Class 'C' Cost Estimate            | MH    | Feb 20 2019 |
| 4        | Concept Design                             | MH    | Jan 4 2018  |

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TITLE: Ground Level Plan

SCALE: 1: 150 DRAWN: MH/JM  
DATE: 29-Nov-2019 CHECKED: JL  
REV. NO. 4

FILE No. DA. 18. 099  
SP. 18. V. 0290



PROJECT: **St Andre Bessette Parish Roman Catholic Church**  
1061 Major Mackenzie Drive West, Maple  
Ontario Canada

ARCHITECTS: **LOH**  
LOH ARCHITECTS & Associates Inc  
67 Lombard Street  
Toronto Ontario M5C 1M2 CANADA  
T: 416.690.3212  
Loharchitects.ca



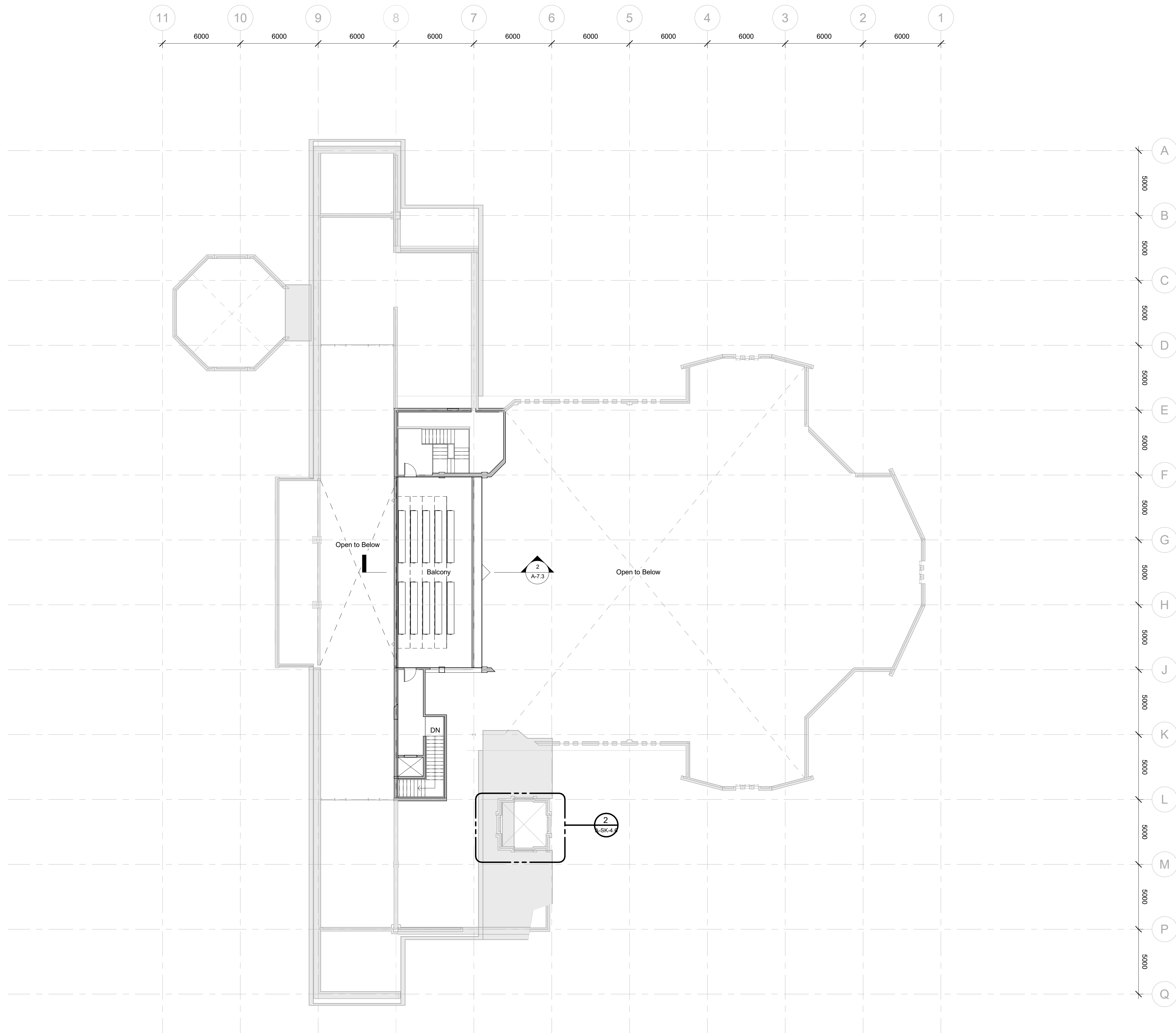
Paul Didar Architect Inc.  
222 Basington Avenue, Suite 260  
Toronto, Ontario M8V 3W7  
Phone: 416-928-1041  
pdaarchinc.com

OWNER: Roman Catholic Episcopal Corporation for the Diocese of Toronto in Canada  
1155 Yonge Street  
Toronto, Ontario M4T 1W2

DRAWING NO.:

A-2.2

ST. ANDRE BESSETTE PARISH CHURCH



1 Mezzanine Level  
A-2.3 1:150

ABBREVIATIONS LEGENDS

REVISIONS:

| REV. NO. | DESCRIPTION                      | DRAWN | DATE        |
|----------|----------------------------------|-------|-------------|
| 4        | Issued for Site Plan Revisions   | MH    | Nov 29 2019 |
| 3        | Issued for Site Plan Application | MH    | Oct 10 2018 |
| 2        | Printing Class C Cost Estimate   | MH    | Feb 29 2018 |
| 1        | Concept Design                   | MH    | Jan 4 2018  |

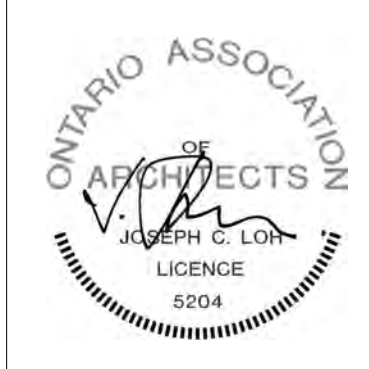
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TITLE: Mezzanine Level Plan  
SCALE: 1:150 DRAWN: MH/JM  
DATE: 29-Nov-2019 CHECKED: JL  
REV. NO. 4  
FILE No. DA. 18. 099  
SP. 18. V. 0290



PROJECT: St Andre Bessette Parish Roman Catholic Church  
1061 Major Mackenzie Drive West, Maple Ontario Canada

ARCHITECTS: LOH ARCHITECTS & ASSOCIATES INC.  
67 Lombard Street Toronto Ontario M5C 1M2 CANADA  
T: 416.690.3212 Loharchitects.ca

pda Paul Didar Architect Inc.  
222 King Street East, Suite 260 Toronto, Ontario M5V 3W7  
Phone: 416-928-1041 pdaarch.com

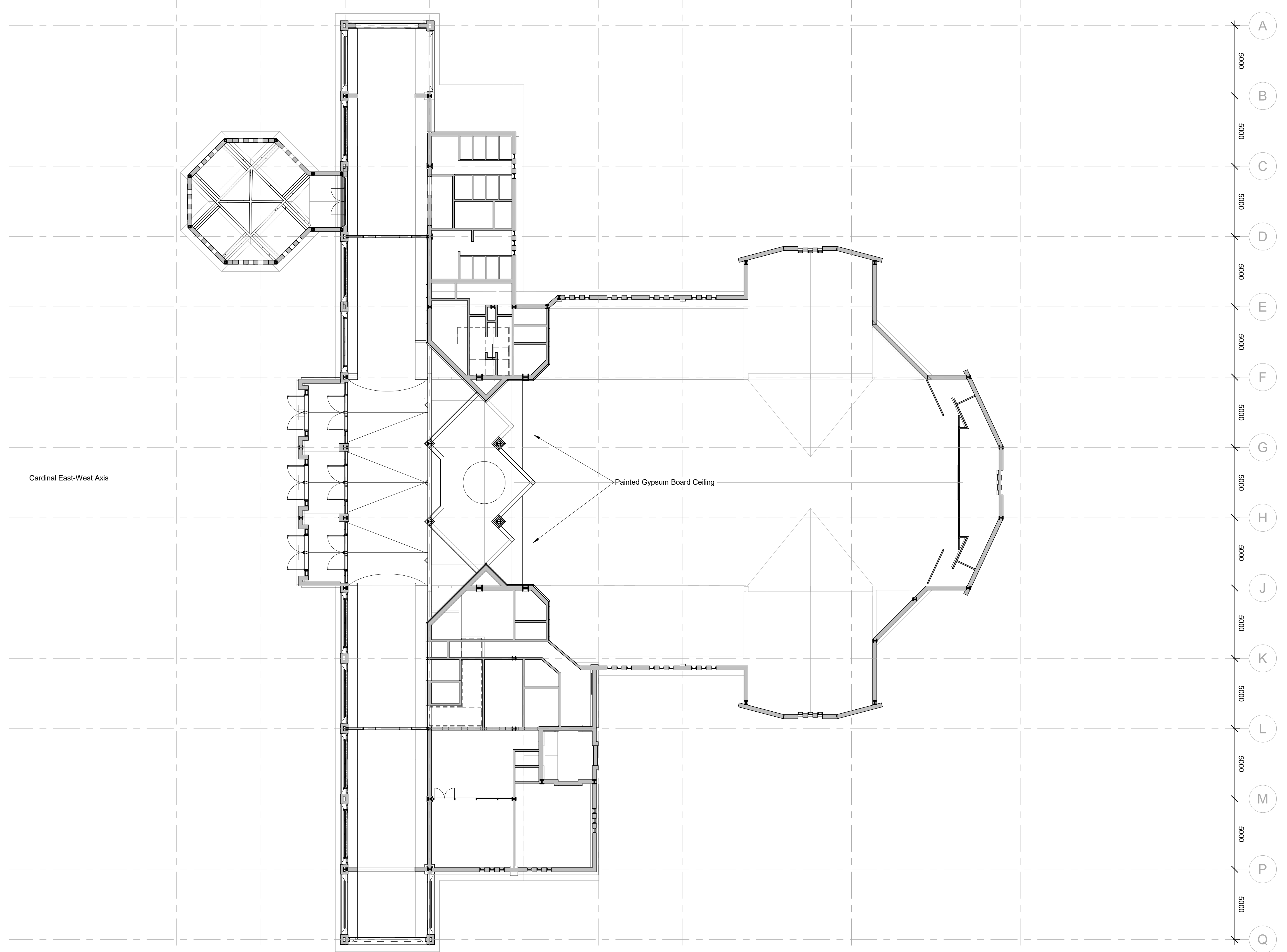
OWNER: Roman Catholic Episcopal Corporation for the Diocese of Toronto in Canada  
1155 Yonge Street Toronto, Ontario M4T 1W2

DRAWING NO.:

A-2.3

ST. ANDRE BESSETTE PARISH CHURCH

11 10 9 8 7 6 5 4 3 2 1  
6000 6000 6000 6000 6000 6000 6000 6000 6000 6000 6000



1 Reflected Ceiling Plan  
A-2.4 1 : 150

ABBREVIATIONS LEGENDS

REVISIONS:

| REV. NO. | DESCRIPTION                      | DRAWN | DATE        |
|----------|----------------------------------|-------|-------------|
| 4        | Issued for Site Plan Revisions   | MH    | Nov 29 2019 |
| 3        | Issued for Site Plan Application | MH    | Oct 10 2018 |
| 2        | Pricing Class 'C' Cost Estimate  | MH    | Feb 20 2018 |
| 1        | Concept Design                   | MH    | Jan 4 2018  |

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TITLE: Ground Level Reflected Ceiling Plan  
SCALE: 1 : 150 DRAWN: MH/JM  
DATE: 29-Nov-2019 CHECKED: JL  
REV. NO. 4  
FILE No. DA. 18. 099  
SP. 18. V. 0290



PROJECT: St Andre Bessette Parish Roman Catholic Church  
1061 Major Mackenzie Drive West, Maple Ontario Canada

ARCHITECTS: Loh Architects & Associates Inc.  
67 Lombard Street Toronto Ontario M5C 1M2 CANADA  
T: 416.690.3212 Loharchitects.ca

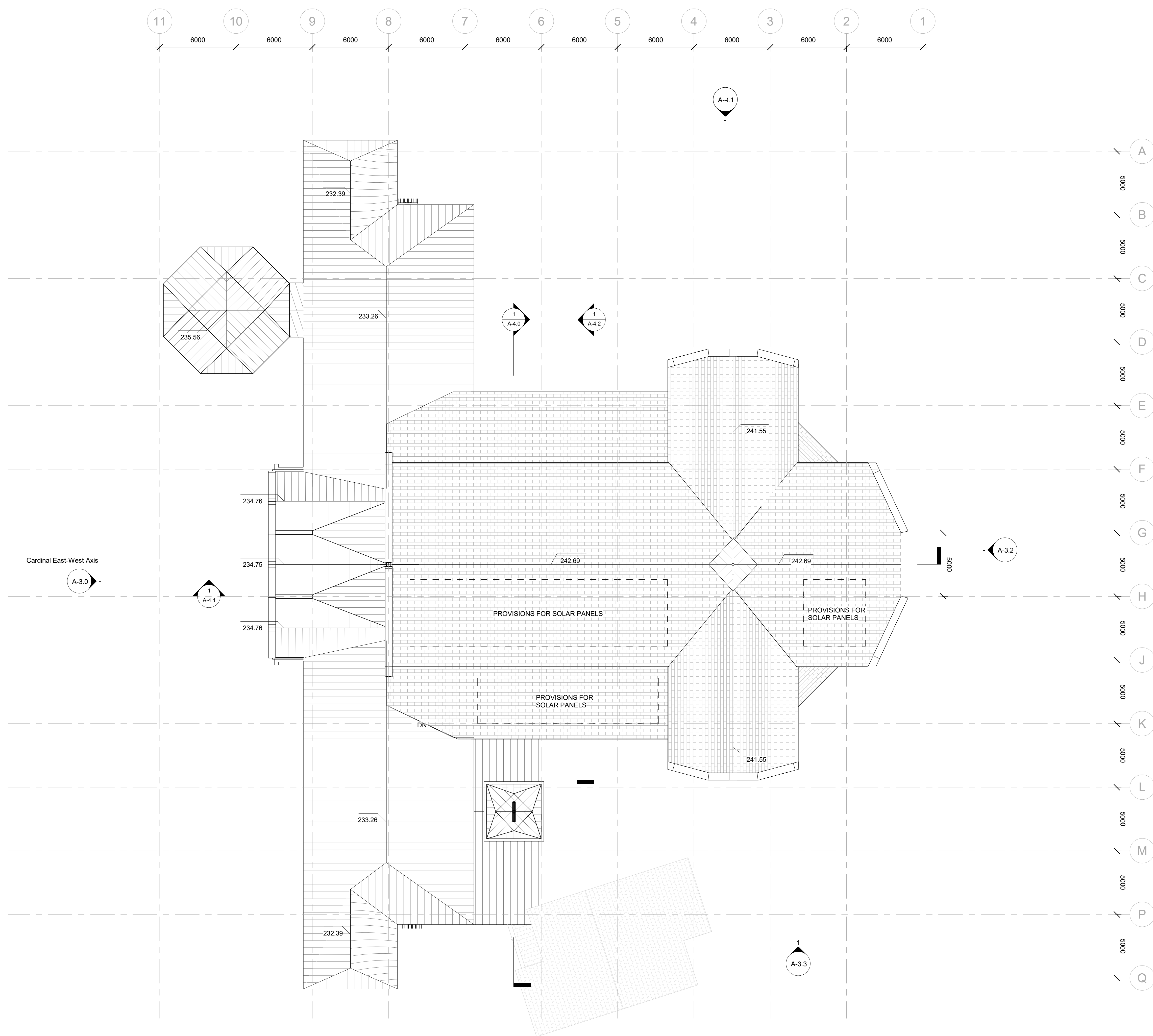
pda Paul Didar Architect Inc.  
222 Kingston Avenue, Suite 260 Toronto, Ontario M5V 3W7  
Phone: 416-928-1041 pdaarchinc.com

OWNER: Roman Catholic Episcopal Corporation for the Diocese of Toronto in Canada  
1155 Yonge Street Toronto, Ontario M4T 1W2

DRAWING NO.:

A-2.4

ST. ANDRE BESSETTE PARISH CHURCH



1 Roof Level  
A-2.5 1 : 150

ABBREVIATIONS LEGENDS

**REVISIONS:**

| REV. NO. | DESCRIPTION                      | DRAWN | DATE        |
|----------|----------------------------------|-------|-------------|
| 4        | Issued for Site Plan Revisions   | MH    | Nov 29 2019 |
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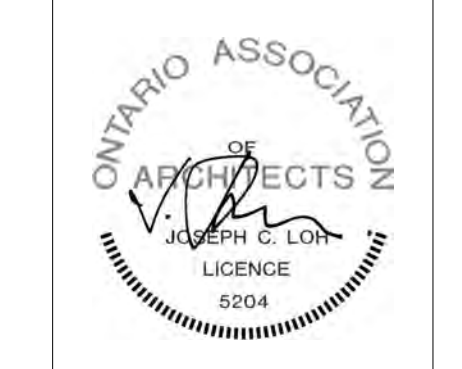
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**TITLE:** Roof Plan

**SCALE:** 1 : 150 **DRAWN:** MH/ JM

**DATE:** 29-Nov-2019 **CHECKED:** JL

**REV. NO.:** 4

**FILE No.:** DA. 18. 099 **SP. 18. V. 0290**



**PROJECT:** St Andre Bessette Parish Roman Catholic Church  
 1061 Major Mackenzie Drive West, Maple  
 Ontario Canada

**ARCHITECTS:** **LOH**  
 LOH ARCHITECTS & ASSOCIATES INC.  
 67 Lombard Street  
 Toronto Ontario M5C 1M2 CANADA  
 T: 416.690.3212  
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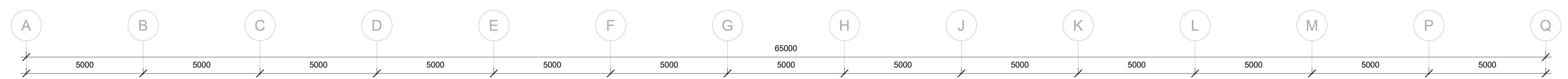
**pda**  
 Paul Didar Architect Inc.  
 222 Kingdon Avenue, Suite 260  
 Toronto, Ontario M8V 3W7  
 Phone: 416-928-1041  
 pdaarchinc.com

**OWNER:** Roman Catholic Episcopal Corporation for the Diocese of Toronto in Canada  
 1155 Yonge Street  
 Toronto, Ontario M4T 1W2

**DRAWING NO.:**

**A-2.5**

**ST. ANDRE BESSETTE PARISH CHURCH**



**MATERIAL LEGEND**

- GL1 CLEAR VISION GLASS
- GL14 SPANDREL GLASS: DARK GREY
- GL2 DOUBLE GLAZED CLEAR GLASS
- PT1 PAINT: PEWTER METALLIC
- LV1 PREFINISHED ALUMINUM LOUVERS
- MT1 PREFINISHED METAL FLASHING
- MT2 PREFINISHED ALUMINUM MULLIONS
- MT5 PREFINISHED METAL PANELS
- PC1 PRECAST CONCRETE: COLOUR
- PC2 PRECAST BRICK CLADDING
- ST1 GRANITE: LABRADOR BLACK
- RF1 PREFINISHED ROOF SHINGLES
- RF2 PREFINISHED METAL STANDING SEAM ROOF
- W1 PRESSURE TREATED WOOD CROSS CLAD IN LEAD COATED COPPER
- PV1 PHOTOVOLTAIC POWERS

**Established Grade Calculations**

$$L = \frac{(\text{Start Elev.} + \text{End Elev.})}{2} \times \text{Length}$$

| Length No. | Begin Elev. | End Elev. | Length        | Total            |
|------------|-------------|-----------|---------------|------------------|
| 1          | 226.75      | 226.6     | 10.65m        | 2414.09m         |
| 2          | 226.6       | 226.75    | 14.35m        | 3252.79m         |
| 3          | 226.75      | 226.75    | 15.00m        | 3401.25m         |
| 4          | 226.75      | 226.53    | 10.00m        | 2266.40m         |
| 5          | 226.53      | 226.44    | 5.00m         | 1132.42m         |
| 6          | 226.44      | 226.31    | 5.18m         | 1172.62m         |
|            |             |           | <b>60.18m</b> | <b>13639.57m</b> |

13,639.57 / 60.18 = 226.64  
**Established Grade = 226.64**

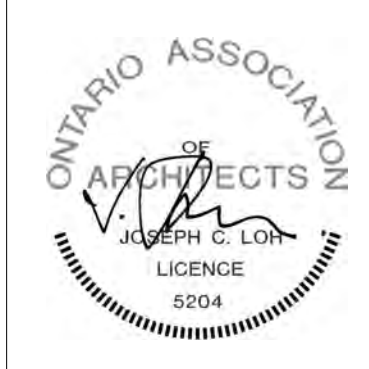


1 West Elevation  
 A-3.0 1:100

**REVISIONS:**

| REV. NO. | DESCRIPTION                      | DRAWN | DATE        |
|----------|----------------------------------|-------|-------------|
| 4        | Issued for Site Plan Revisions   | MH    | Nov 29 2019 |
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**TITLE: West Facade Elevation**

SCALE: 1:100 DRAWN: MH/JM  
 DATE: 29-Nov-2019 CHECKED: JL  
 REV. NO. 4  
 FILE No. DA. 18. 099  
 SP. 18. V. 0290



**PROJECT: St Andre Bessette Parish Roman Catholic Church**  
 1061 Major Mackenzie Drive West, Maple Ontario Canada

**ARCHITECTS: Loh Architects & Associates Inc.**  
 67 Lombard Street Toronto Ontario M5C 1M2 CANADA  
 T: 416.690.3212 Loharchitects.ca

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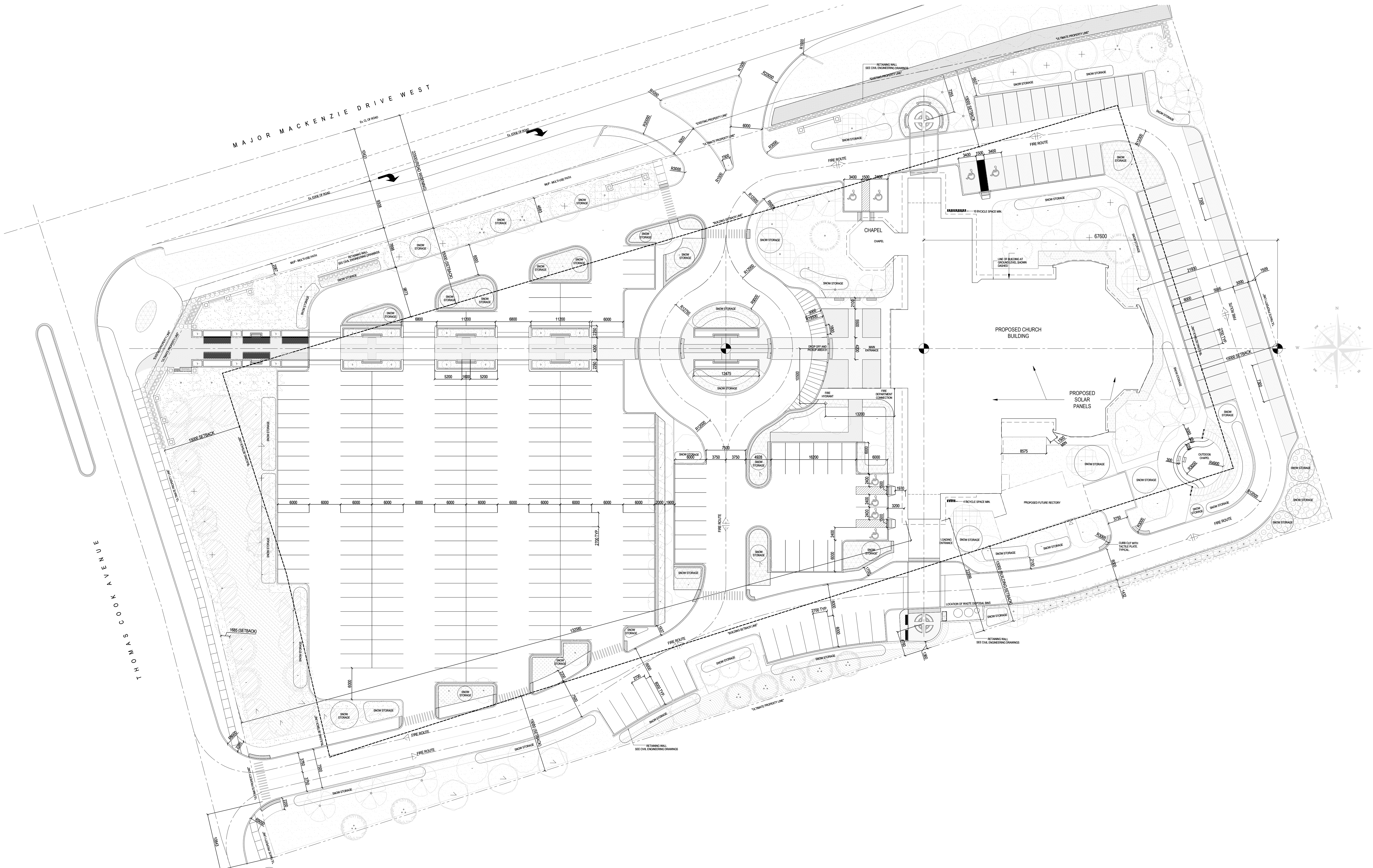
**OWNER: Roman Catholic Episcopal Corporation for the Diocese of Toronto in Canada**  
 1155 Yonge Street Toronto, Ontario M4T 1W2

DRAWING NO.:

**A-3.0**

**ST. ANDRE BESSETTE PARISH CHURCH**





**SITE PLANNING STATISTICS:**

1075 Major Mackenzie Drive West, Vaughan, Ontario, L6A 3P2  
 8.2 Agricultural Use and Related Commercial

**Relevant Documents:**  
 Official Plan Amendment (OPA) and Zoning By-Law 1-88 Vaughan Official Plan 2010  
 Ontario Land Registry summary and site exception 9025 2006-7

**Building Site Coverage:** 20% Maximum  
**Landscape Site Coverage:** 40% Maximum  
**Minimum Frontage:** 100 meters (20 meters for Institutional Uses)  
**Lot Area:** 5.5 Acres (2.26 Ha)  
**Minimum Yard Set-back:** 15 Meters front yard, 15 Meters rear yard, 15 Meters interior side yard, 15 Meters exterior side yard, 11 Meters maximum above established grade

**Height Limit:** 15 Meters maximum above established grade

**Building Capacity:**  
 Church Assembly Hall: 616 Seats  
 Chapel: 59 Seats  
 Total: 675 Seats

**Zoning Lot Areas Summary:**  
**Building Gross Floor Area (GFA) Total:** 2,065 Square Meters (22,228 Square Feet)  
**Lot Area (Acres) Total:** 21.818 Square Meters (5.39 Acres with York Region road reduction)

**Parking Spaces Minimum Required by Zoning:**  
 Calculations for non-residential parking based on By-law 1-88 and 11 parking spaces per 100 square meters of gross floor area (2,065 m<sup>2</sup> / 100) x 11 spaces = 228 required parking spaces.  
 Parking Required Minimum: 228 Spaces  
 Spaces Above Requirement: 23 Spaces  
**Total Car Parking Spaces:** 251 Spaces  
 (Standard parking space dimensions: 2.7 M x 6.0 M)  
 (Standard parallel parking end space dimensions: 2.7 M x 7.3 M)  
 (Standard two-way drive aisle dimensions range: 5.4 M x 7.5 M)  
 (Standard two-way drive aisle dimension provided: 6.0 M)

**Accessible Spaces Minimum Required by Zoning:**  
 Calculations under By-law 1-88 for accessible spaces based on 2% of the total number of parking spaces (228 x 0.02 = 4.56) plus 2 spaces is equal to 7 handicap accessible spaces. The 7 spaces are included within the total number of parking spaces = 251.  
 4 Type-A Accessible Parking Spaces Required: (Type-A Space: 2.4 M x 6.0 M abuts 1.5 M Access Aisle)  
 4 Type-B Accessible Parking Spaces Required: (Type-B Space: 2.4 M x 6.0 M abuts 1.5 M Access Aisle)  
**Total Car Accessible Spaces:** 8 Spaces (7 minimum)

**Bicycle Spaces Minimum Required by Zoning:**  
 Calculations under By-law 1-88 for bicycle parking is equal to 1 space per 100 m<sup>2</sup> of GFA. Included with the ratio of 0.4 for short term and 0.05 for long term bicycle spaces.  
 Short term bicycle spaces: 10 Spaces (2,065 m<sup>2</sup> / 100) x 0.4 = 8.26  
 Long term bicycle spaces: 2 Spaces (2,065 m<sup>2</sup> / 100) x 0.05 = 1.03  
**Total Bicycle Spaces:** 12 Spaces

**Lot Coverage Calculations:**  
 Calculations based on By-law 1-88 with maximum 20% Building Coverage and 40% Landscape Coverage  
 Lot Area: 21,692 Square Meters  
 Building Area: 1,849 Square Meters (1.1+1.2+1.3+2.1 areas below)  
**Building Site Coverage:** 8.5 %  
 Lot Frontage: 109 Meters  
 Lot Depth: 209 Meters  
 Building Height: 15 Meters above established grade  
**Landscape Site Coverage:** 41.7 % = (9,040 m<sup>2</sup> / 21,692 m<sup>2</sup>) x 100

**Total Gross Floor Area (GFA) Summary:**

| No                                       | Name   | Area (m <sup>2</sup> )     | Area (ft <sup>2</sup> )      |
|--|--|----------------------------|------------------------------|
| <b>Non-Residential Church Buildings:</b> |  |                            |                              |
| 1.1                                      | Sanctuary, Confession, Nave and Support Spaces | 889 m <sup>2</sup>         | 9569 ft <sup>2</sup>         |
| 1.2                                      | Narthex, Offices, and Support Spaces           | 785 m <sup>2</sup>         | 8534 ft <sup>2</sup>         |
| 1.3                                      | St. Joseph's Chapel                            | 76 m <sup>2</sup>          | 818 ft <sup>2</sup>          |
| 1.4                                      | Mezzanine Level                                | 96 m <sup>2</sup>          | 1033 ft <sup>2</sup>         |
|  | Sub-total                                      | 1,826 m <sup>2</sup>       | 19,555 ft <sup>2</sup>       |
| <b>Accessory Building - Rectory:</b>     |  |                            |                              |
| 2.1                                      | Future Rectory First Floor                     | 119 m <sup>2</sup>         | 1281 ft <sup>2</sup>         |
| 2.2                                      | Future Rectory Second Floor                    | 120 m <sup>2</sup>         | 1292 ft <sup>2</sup>         |
| 2.3                                      | Parking Garage (2 Spaces)                      | 239 m <sup>2</sup>         | 2,573 ft <sup>2</sup>        |
|  | Sub-total                                      | 478 m <sup>2</sup>         | 5,146 ft <sup>2</sup>        |
|  | <b>Total Gross Floor Area:</b>                 | <b>2,065 m<sup>2</sup></b> | <b>22,228 ft<sup>2</sup></b> |

**Zoning Minor Variances:**

| Zoning & By-laws                                      | Zoning Requirement:  | Zoning Minor Variance:  |
|---|--|---|
| 1. Access to York Regional Road - Major Mackenzie Dr. | No access permitted from Regional Road with exceptions.                        | Regional road R100 using urban cross section.   |
| 2. Building Height Increase from 11 Meters Maximum.   | 11 Meters Maximum  | 15 Meters above established grade (the calculated building height is 15 meters above established grade).  |
| 3. Landscape Set-back Distance from Property Lines.   | North: 6.0 Meters<br>East: 2.4 Meters<br>South: 2.4 Meters<br>West: 6.0 Meters | 5.155 Meters<br>1.425 Meters<br>1.05 Meters<br>6.0 Meters   |
| 4. Civil Engineering Retaining Wall.                  | South: 2.4 Meters  | Retaining wall is 2.75 meters in height. Located 1.0 meter from property line at single point, tapers away beyond this point to a lower height in each direction.<br>No Variance Required for Accessory Church Buildings. |
| 5. Accessory Building - Church Spire & Bell Tower.    | Exempt   | No Variance Required for Accessory Church Buildings.  |
| 6. Accessory Building - Church Rectory.               | Exempt   | No Variance Required for Accessory Church Buildings.  |

| No. | DESCRIPTION                        | DRWN | DATE        |
|-----|------------------------------------|------|-------------|
| 4   | ISSUED FOR SITE PLAN APPLICATION 4 | AR   | XX-SEP-2024 |
| 3   | ISSUED FOR SITE PLAN APPLICATION 3 | CC   | 29-NOV-2023 |
| 2   | ISSUED FOR SITE PLAN APPLICATION 2 | MH   | 29-NOV-2019 |
| 1   | ISSUED FOR SITE PLAN APPLICATION 1 | MH   | 19-OCT-2018 |

**REVISIONS**

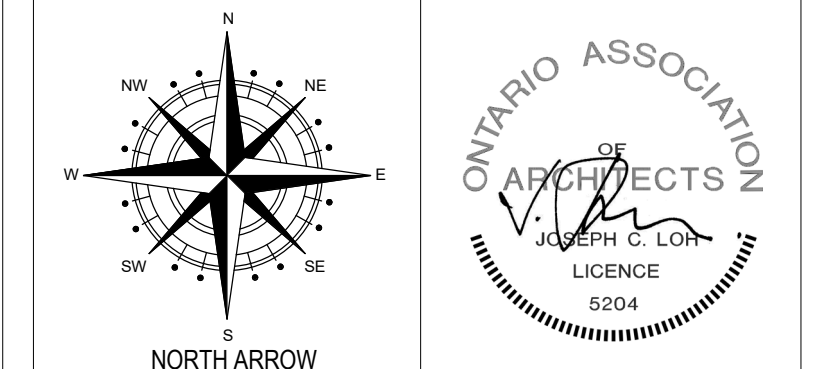
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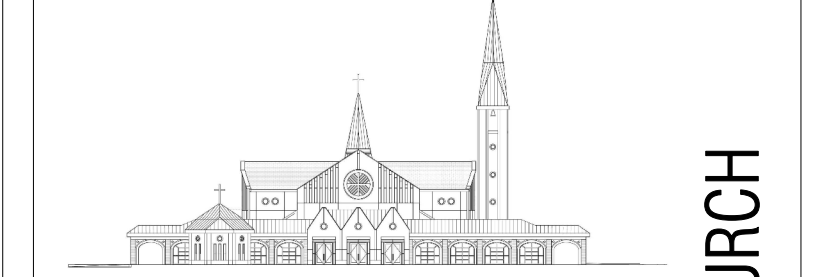
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**TITLE: SITE PLAN**

SCALE: 1:300 DRAWN: MH/JM  
 DATE: 16-Jan-2025 CHECKED: JL  
 REV. No. 4  
 FILE No. DA. 18. 099  
 SP. 18. V. 0290



**PROJECT: St. Andre Bessette Parish Roman Catholic Church**  
 1075 Major Mackenzie Drive West, Maple Ontario Canada L6A 3P2

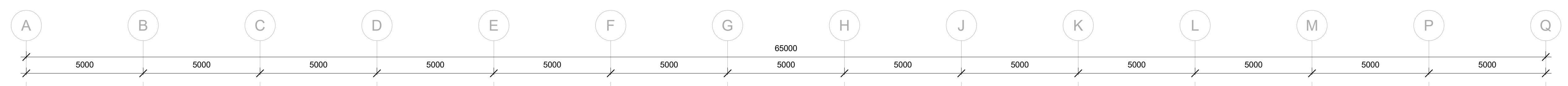
**ARCHITECTS: LQH**  
 LQH ARCHITECTS & ASSOCIATES INC.  
 67 Lombard Street  
 Toronto Ontario M5C 1M2 CANADA  
 T: 416.690.3212  
 Lqharchitects.ca

**pda**  
 Paul Didar Architect Inc.  
 222 Kingston Avenue, Suite 260  
 Toronto, Ontario M8V 3W7  
 Phone: 416-928-1041  
 pdaarch.com

**OWNER:** Roman Catholic Episcopal Corporation for the Diocese of Toronto in Canada  
 1155 Yonge Street  
 Toronto, Ontario M4T 1W2

DRAWING NO.: **A-1.7**

Printed on: 2025-01-31 12:32:48 PM



**MATERIAL LEGEND**

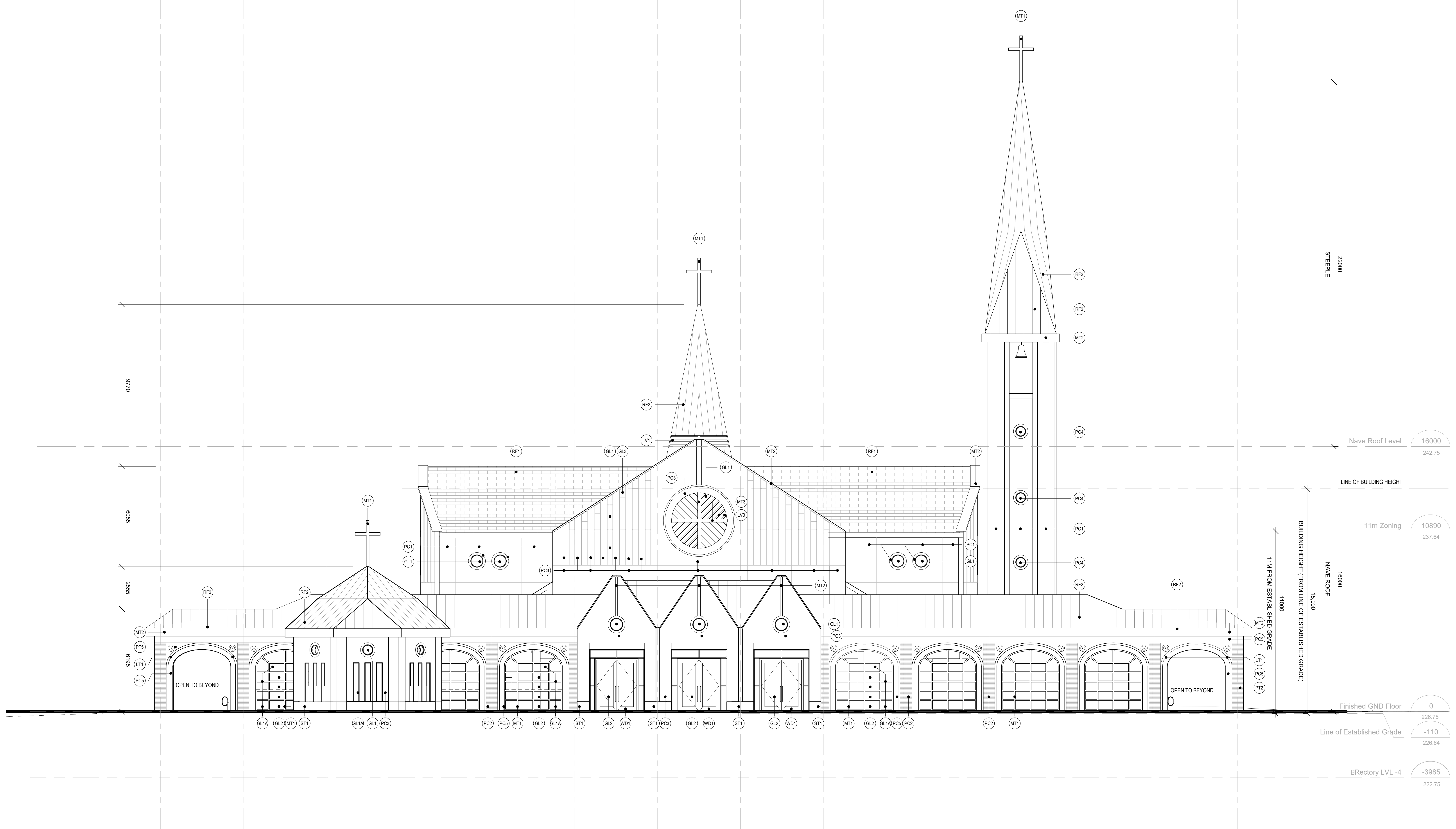
- PC1 PRECAST CONCRETE COLOUR
- PC2 PRECAST BRICK CLADDING
- PC3 PRECAST CONCRETE WITH WATERPROOF COATING COLOUR
- PC4 ROSETTE RELIEF
- PC5 EXTERIOR FACADE LINTELS
- MT1 PREFINISHED ALUMINUM MULLIONS
- MT2 PREFINISHED METAL FLASHING
- MT3 PREFINISHED METAL CHANNELS FOR ROSE WINDOWS
- GL1 CLEAR VISION GLASS
- GL1A CLEAR VISION GLASS WITHOUT INNER AND OUTER PANES
- GL2 DOUBLE GLAZED CLEAR LOW EMISSIVITY VISION GLASS
- GL3 SPANDREL GLASS
- PT1 PAINT FOR EXTERIOR STRUCTURAL STEEL: PEWTER METALLIC
- PT2 PAINT FOR EXTERIOR FRAMING: PEWTER METALLIC
- LV1 PREFINISHED ALUMINUM STORM LOUVERS
- LV2 PREFINISHED ALUMINUM LOUVERS
- LV3 PREFINISHED ALUMINUM FINS
- ST1 GRANITE: LABRADOR BLACK
- RF1 STANDING SEAM METAL ROOF SYSTEM
- RF2 ASPHALT SHINGLE ROOF SYSTEM: LIGHT GREY
- RF3 METAL SHINGLES
- WD1 WOOD: MAPLE
- PV1 PHOTOVOLTAIC POWERS
- LT1 EXTERIOR LIGHTING

**Established Grade Calculations**

$$L = \frac{(\text{Start Elev.} + \text{End Elev.})}{2} \times \text{Length}$$

| Length No. | Begin Elev. | End Elev. | Length        | Total            |
|------------|-------------|-----------|---------------|------------------|
| 1          | 226.75      | 226.6     | 10.65m        | 2414.09m         |
| 2          | 226.6       | 226.75    | 14.35m        | 3252.73m         |
| 3          | 226.75      | 226.75    | 15.00m        | 3401.25m         |
| 4          | 226.75      | 226.53    | 10.00m        | 2266.40m         |
| 5          | 226.53      | 226.44    | 5.00m         | 1132.42m         |
| 6          | 226.44      | 226.31    | 5.18m         | 1172.62m         |
|            |             |           | <b>60.18m</b> | <b>13639.57m</b> |

13,639.57 / 60.18 = 226.64  
 Established Grade = 226.64



1 West Elevation  
 A-3.0 1: 100

**REVISIONS:**

| REV. NO. | DESCRIPTION                      | DRAWN | DATE        |
|----------|----------------------------------|-------|-------------|
| 4        | Issued for Site Plan Revisions   | MH    | Nov 29 2019 |
| 3        | Issued for 30th Plan Application | MH    | Oct 10 2018 |
| 2        | Pricing Class 12 Cost Estimate   | MH    | Feb 20 2018 |
| 1        | Concept Design                   | MH    | Jan 4 2018  |

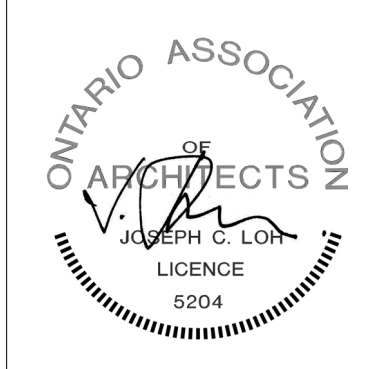
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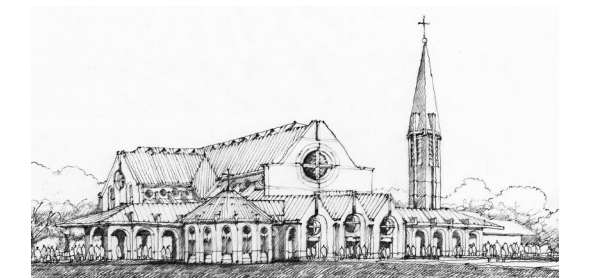
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**TITLE: West Facade Elevation**

SCALE: 1: 100 DRAWN: MH/JM  
 DATE: 29-Nov-2019 CHECKED: JL  
 REV. NO.: 4  
 FILE No: DA. 18. 099  
 SP. 18. V. 0290



**PROJECT: St Andre Bessette Parish Roman Catholic Church**  
 1061 Major Mackenzie Drive West, Maple  
 Ontario Canada

**ARCHITECTS: LOH**  
 LOH ARCHITECTS & ASSOCIATES INC.  
 67 Lombard Street  
 Toronto Ontario M5C 1M2 CANADA  
 T: 416.690.3212  
 Loharchitects.ca

**pda**  
 Paul Didar Architect Inc.  
 222 Kingston Avenue, Suite 260  
 Toronto, Ontario M8V 3W7  
 Phone: 416-928-1041  
 pdaarchinc.com

**OWNER:** Roman Catholic Episcopal Corporation for the Diocese of Toronto in Canada  
 1155 Yonge Street  
 Toronto, Ontario M4T 1W2

DRAWING NO.:

**A-3.0**

**ST. ANDRE BESSETTE PARISH CHURCH**

**RECEIVED**  
By Matthew Ka at 3:46 pm, Jan 31, 2025

**MATERIAL LEGEND**

- PC1 PRECAST CONCRETE: COLOUR
- PC2 PRECAST BRICK CLADDING
- PC3 PRECAST CONCRETE WITH WATERPROOF COATING: COLOUR
- PC4 ROSETTE RELIEF
- PC5 EXTERIOR FACADE LINTELS
- MT1 PREFINISHED ALUMINUM MULLIONS
- MT2 PREFINISHED METAL FLASHING
- MT3 PREFINISHED METAL CHANNELS FOR ROSE WINDOWS
- GL1 CLEAR VISION GLASS
- GL1A CLEAR VISION GLASS WITHOUT INNER AND OUTER PANES
- GL2 DOUBLE GLAZED CLEAR LOW EMISSIVITY VISION GLASS
- GL3 SPANDREL GLASS
- PT1 PAINT FOR EXTERIOR STRUCTURAL STEEL: PEWTER METALLIC
- PT2 PAINT FOR EXTERIOR FRAMING: PEWTER METALLIC
- LV1 PREFINISHED ALUMINUM STORM- LOUVERS
- LV2 PREFINISHED ALUMINUM LOUVERS
- LV3 PREFINISHED ALUMINUM FINS
- ST1 GRANITE: LABRADOR BLACK
- RF1 STANDING SEAM METAL ROOF SYSTEM
- RF2 ASPHALT SHINGLE ROOF SYSTEM: LIGHT GREY
- RF3 METAL SHINGLES
- WD1 WOOD: MAPLE
- PV1 PHOTOVOLTAIC POWERS
- LT1 EXTERIOR LIGHTING

**Established Grade Calculations**

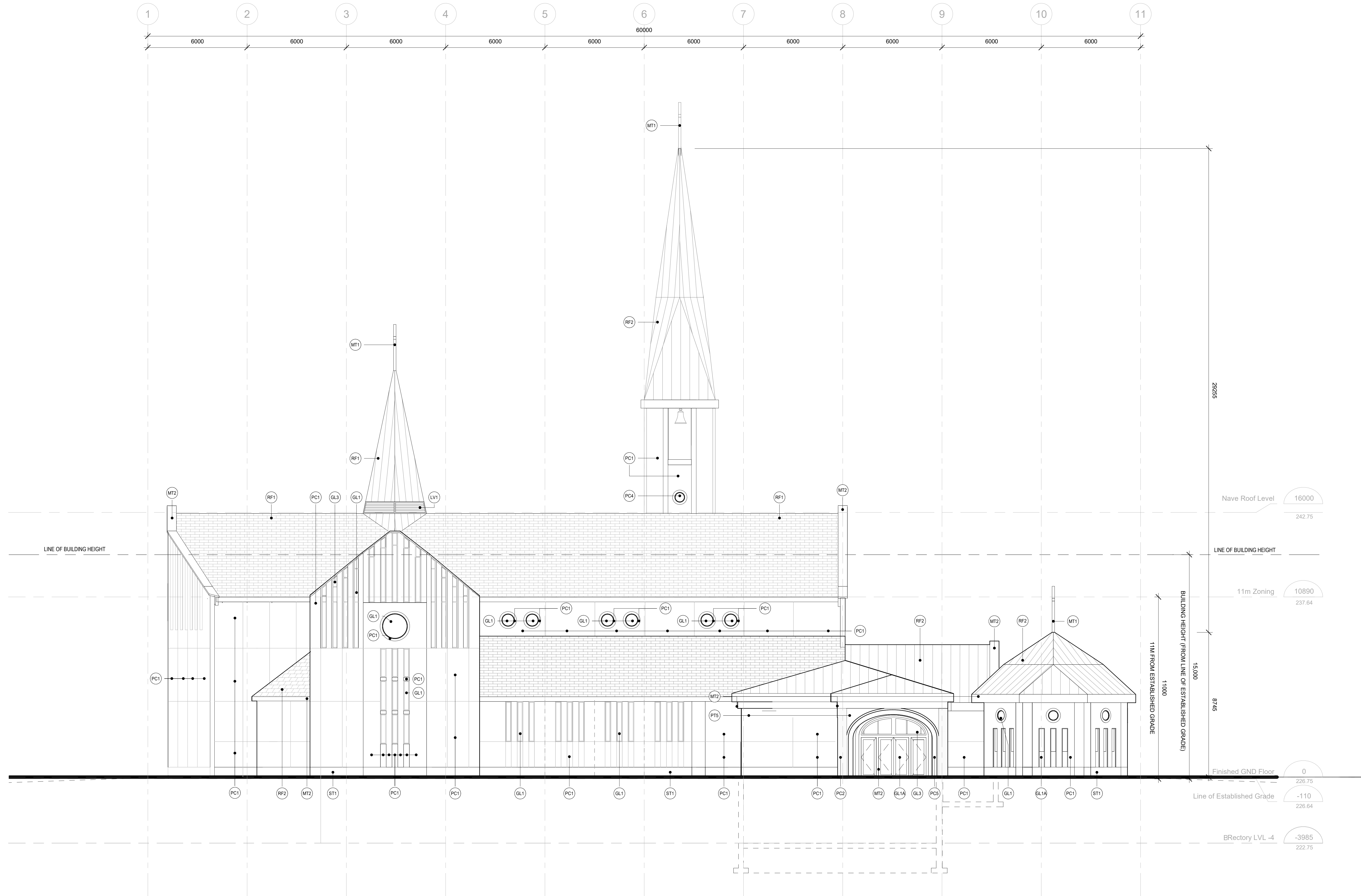
$$L = \frac{(\text{Start Elev.} + \text{End Elev.})}{2} \times \text{Length}$$

**Calculation**

| Length No. | Begin Elev. | End Elev. | Length        | Total            |
|------------|-------------|-----------|---------------|------------------|
| 1          | 226.75      | 226.6     | 10.65m        | 2414.09m         |
| 2          | 226.6       | 226.75    | 14.35m        | 3252.79m         |
| 3          | 226.75      | 226.75    | 15.00m        | 3401.25m         |
| 4          | 226.75      | 226.53    | 10.00m        | 2266.40m         |
| 5          | 226.53      | 226.44    | 5.00m         | 1132.42m         |
| 6          | 226.44      | 226.31    | 5.18m         | 1172.62m         |
|            |             |           | <b>60.18m</b> | <b>13639.57m</b> |

$$13,639.57 / 60.18 = 226.64$$

Established Grade = 226.64



1 North Elevation (Major Mackenzie Drive West)  
A-3.1 1 : 100

ABBREVIATIONS LEGENDS

**REVISIONS:**

| REV. NO. | DESCRIPTION                      | DRAWN | DATE        |
|----------|----------------------------------|-------|-------------|
| 1        | Concept Design                   | MH    | Jan 4 2018  |
| 2        | Pricing Class 'C' Cost Estimate  | MH    | Feb 20 2018 |
| 3        | Issued for Site Plan Application | MH    | Oct 10 2018 |
| 4        | Issued for Site Plan Revisions   | MH    | Nov 29 2019 |

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**TITLE: North Facade Elevation**

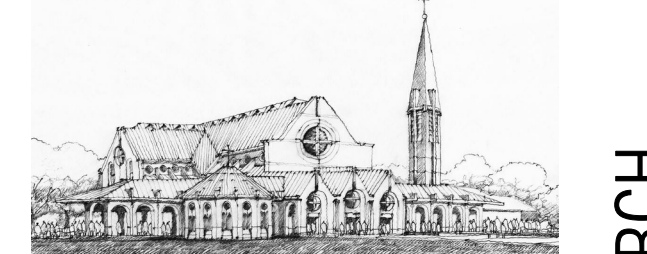
SCALE: 1 : 100 DRAWN: MH/JM

DATE: 29-Nov-2019 CHECKED: JL

REV. NO. 4

FILE No. DA. 18. 099

SP. 18. V. 0290



**PROJECT: St Andre Bessette Parish Roman Catholic Church**  
1061 Major Mackenzie Drive West, Maple  
Ontario Canada

**ARCHITECTS: LOH**  
LOH ARCHITECTS & ASSOCIATES INC.  
67 Lombard Street  
Toronto Ontario M5C 1M2 CANADA  
T: 416.690.3212  
Loharchitects.ca

**pda**  
Paul Didar Architect Inc.  
222 Kingston Avenue, Suite 260  
Toronto, Ontario M8V 3W7  
Phone: 416-928-1041  
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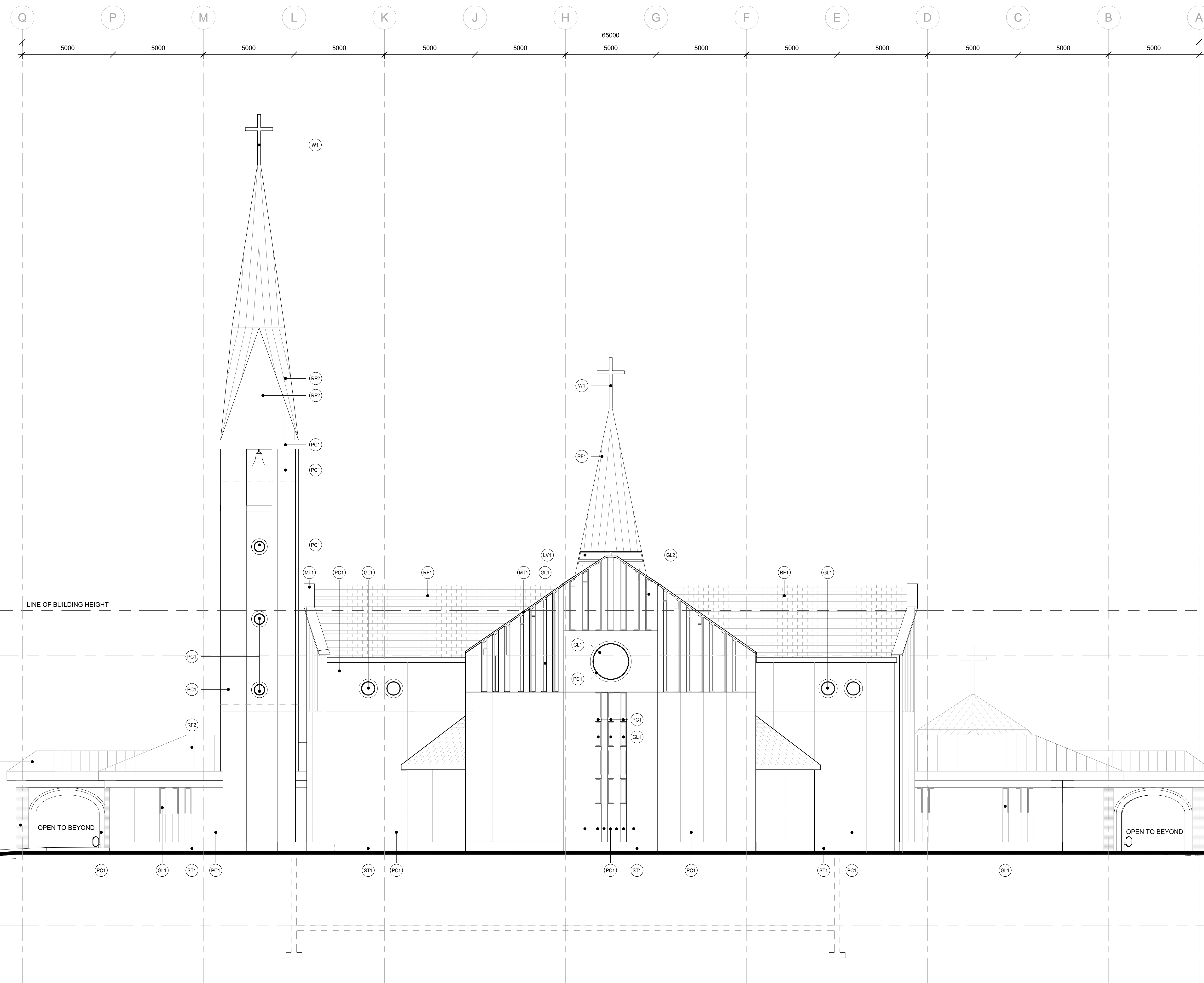
**OWNER:** Roman Catholic Episcopal Corporation for the Diocese of Toronto in Canada  
1155 Yonge Street  
Toronto, Ontario M4T 1W2

DRAWING NO.:

**A-3.1**

**ST. ANDRE BESSETTE PARISH CHURCH**

**RECEIVED**  
By Matthew Ka at 3:46 pm, Jan 31, 2025



**MATERIAL LEGEND**

- (GL1) CLEAR VISION GLASS
- (SL1A) SPANDREL GLASS: DARK GREY
- (GL2) DOUBLE GLAZED CLEAR GLASS
- (PT1) PAINT: PEWTER METALLIC
- (LV1) PREFINISHED ALUMINUM LOUVERS
- (MT1) PREFINISHED METAL FLASHING
- (MT2) PREFINISHED ALUMINUM MULLIONS
- (MT5) PREFINISHED METAL PANELS
- (PC1) PRECAST CONCRETE: COLOUR
- (PC2) PRECAST BRICK CLADDING
- (ST1) GRANITE: LABRADOR BLACK
- (RF1) PREFINISHED ROOF SHINGLES
- (RF2) PREFINISHED METAL STANDING SEAM ROOF
- (W1) PRESSURE TREATED WOOD CROSS CLAD IN LEAD COATED COPPER
- (PV1) PHOTOVOLTAIC POWERS

**Established Grade Calculations**

$$L = \frac{(\text{Start Elev.} + \text{End Elev.})}{2} \times \text{Length}$$

| Length No. | Begin Elev. | End Elev. | Length        | Total            |
|------------|-------------|-----------|---------------|------------------|
| 1          | 226.75      | 226.6     | 10.65m        | 2414.09m         |
| 2          | 226.6       | 226.75    | 14.35m        | 3252.79m         |
| 3          | 226.75      | 226.75    | 15.00m        | 3401.25m         |
| 4          | 226.75      | 226.53    | 10.00m        | 2266.40m         |
| 5          | 226.53      | 226.44    | 5.00m         | 1132.42m         |
| 6          | 226.44      | 226.31    | 5.18m         | 1172.62m         |
|            |             |           | <b>60.18m</b> | <b>13639.57m</b> |

$$\frac{13,639.57}{60.18} = 226.64$$

**Established Grade = 226.64**

ABBREVIATIONS LEGENDS

**REVISIONS:**

| REV. NO. | DESCRIPTION                      | DRAWN | DATE        |
|----------|----------------------------------|-------|-------------|
| 1        | Concept Design                   | MH    | Jan 4 2018  |
| 2        | Pricing Class 'C' Cost Estimate  | MH    | Feb 20 2018 |
| 3        | Issued for Site Plan Application | MH    | Oct 10 2018 |
| 4        | Issued for Site Plan Revisions   | MH    | Nov 29 2019 |

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**TITLE: East Facade Elevation**

SCALE: 1 : 100 DRAWN: MH/JM  
DATE: 29-Nov-2019 CHECKED: JL  
REV. NO. 4

FILE No. DA. 18. 099  
SP. 18. V. 0290



**PROJECT: St Andre Bessette Parish Roman Catholic Church**  
1061 Major Mackenzie Drive West, Maple  
Ontario Canada

**ARCHITECTS: LOH**  
LOH ARCHITECTS & Associates Inc.  
67 Lombard Street  
Toronto Ontario M5C 1M2 CANADA  
T: 416.690.3212  
Loharchitects.ca

**pda**  
Paul Didar Architect Inc.  
222 Kingston Avenue, Suite 260  
Toronto, Ontario M5V 3W7  
Phone: 416-928-1041  
pdaarchinc.com

**OWNER:** Roman Catholic Episcopal Corporation for the Diocese of Toronto in Canada  
1155 Yonge Street  
Toronto, Ontario M4T 1W2

DRAWING NO.:

**A-3.2**

1 East Elevation (Don River Ravine)  
A-3.2 1 : 100

**ST. ANDRE BESSETTE PARISH CHURCH**

**RECEIVED**  
By Matthew Ka at 3:46 pm, Jan 31, 2025

**MATERIAL LEGEND**

- GL1 CLEAR VISION GLASS
- GL1A SPANDREL GLASS: DARK GREY
- GL2 DOUBLE GLAZED CLEAR GLASS
- PT1 PAINT: PEWTER METALLIC
- LV1 PREFINISHED ALUMINUM LOUVERS
- MT1 PREFINISHED METAL FLASHING
- MT2 PREFINISHED ALUMINUM MULLIONS
- MT5 PREFINISHED METAL PANELS
- PC1 PRECAST CONCRETE: COLOUR
- PC2 PRECAST BRICK CLADDING
- ST1 GRANITE: LABRADOR BLACK
- RF1 PREFINISHED ROOF SHINGLES
- RF2 PREFINISHED METAL STANDING SEAM ROOF
- W1 PRESSURE TREATED WOOD CROSS CLAD IN LEAD COATED COPPER
- PV1 PHOTOVOLTAIC POWERS

**Established Grade Calculations**

$$L = \frac{(\text{Start Elev.} + \text{End Elev.})}{2} \times \text{Length}$$

| Calculation | Length No. | Begin Elev. | End Elev. | Length        | Total            |
|-------------|------------|-------------|-----------|---------------|------------------|
|             | 1          | 226.75      | 226.6     | 10.65m        | 2414.09m         |
|             | 2          | 226.6       | 226.75    | 14.35m        | 3252.79m         |
|             | 3          | 226.75      | 226.75    | 15.00m        | 3401.25m         |
|             | 4          | 226.75      | 226.53    | 10.00m        | 2266.40m         |
|             | 5          | 226.53      | 226.44    | 5.00m         | 1132.42m         |
|             | 6          | 226.44      | 226.31    | 5.18m         | 1172.62m         |
|             |            |             |           | <b>60.18m</b> | <b>13639.57m</b> |

$$13,639.57 / 60.18 = 226.64$$

Established Grade = 226.64



1 South Elevation  
A-3.3 / 1:100

ABBREVIATIONS LEGENDS

**REVISIONS:**

| REV. NO. | DESCRIPTION                     | DRAWN | DATE        |
|----------|---------------------------------|-------|-------------|
| 1        | Concept Design                  | MH    | Jan 4 2018  |
| 2        | Pricing Class 'C' Cost Estimate | MH    | Feb 20 2018 |
| 3        | Issued for Site Plan Approval   | MH    | Oct 10 2018 |
| 4        | Issued for Site Plan Revisions  | MH    | Nov 29 2019 |

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TITLE: South Facade Elevation

SCALE: 1:100 DRAWN: MH/JM

DATE: 29-Nov-2019 CHECKED: JL

REV. NO. 4

FILE No. DA. 18. 099

SP. 18. V. 0290



PROJECT: St Andre Bessette Parish Roman Catholic Church  
1061 Major Mackenzie Drive West, Maple Ontario Canada

ARCHITECTS: LOH  
LOH ARCHITECTS & ASSOCIATES INC.  
67 Lombard Street  
Toronto Ontario M5C 1M2 CANADA  
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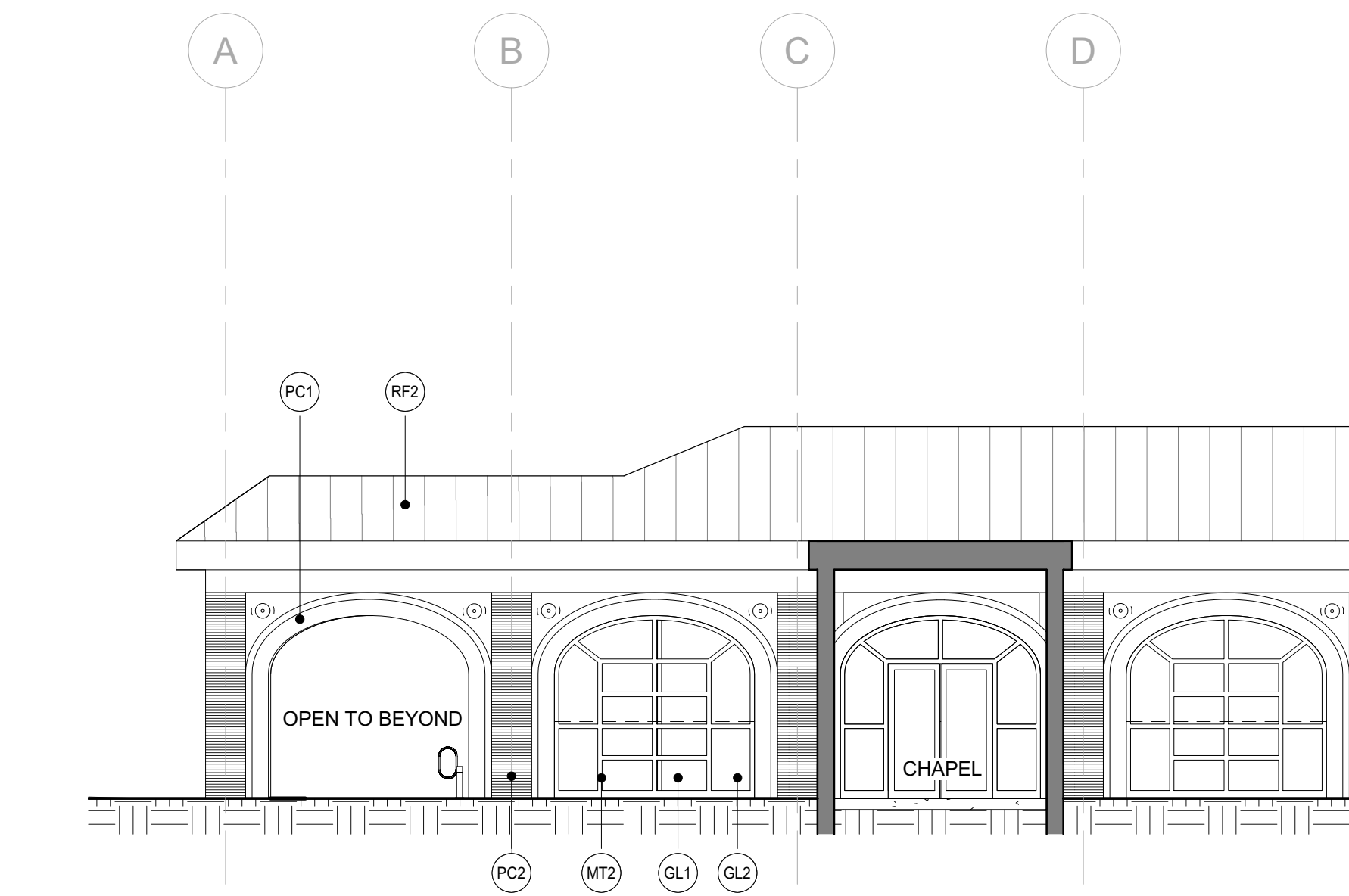
pda  
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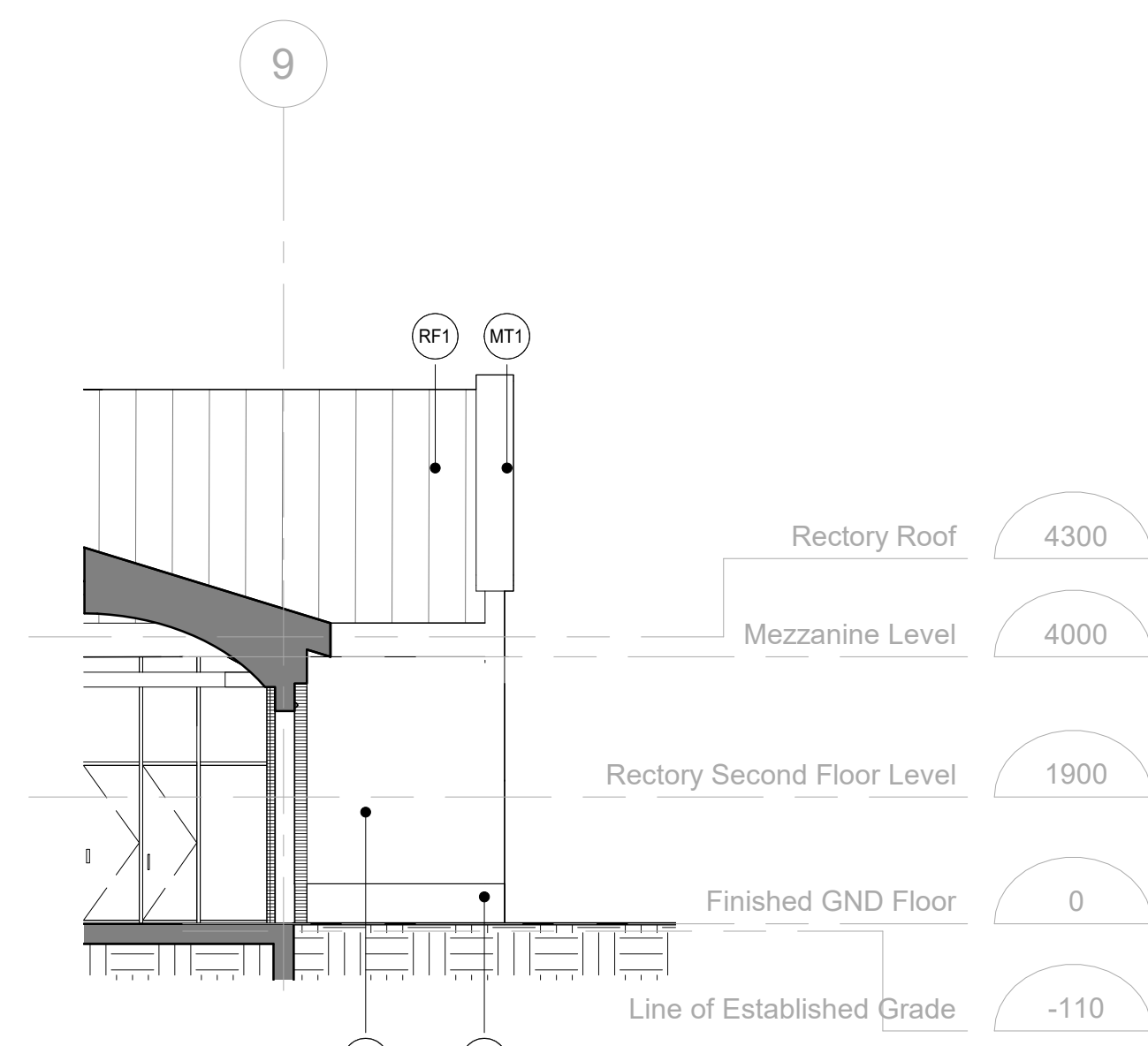
DRAWING NO.:

A-3.3

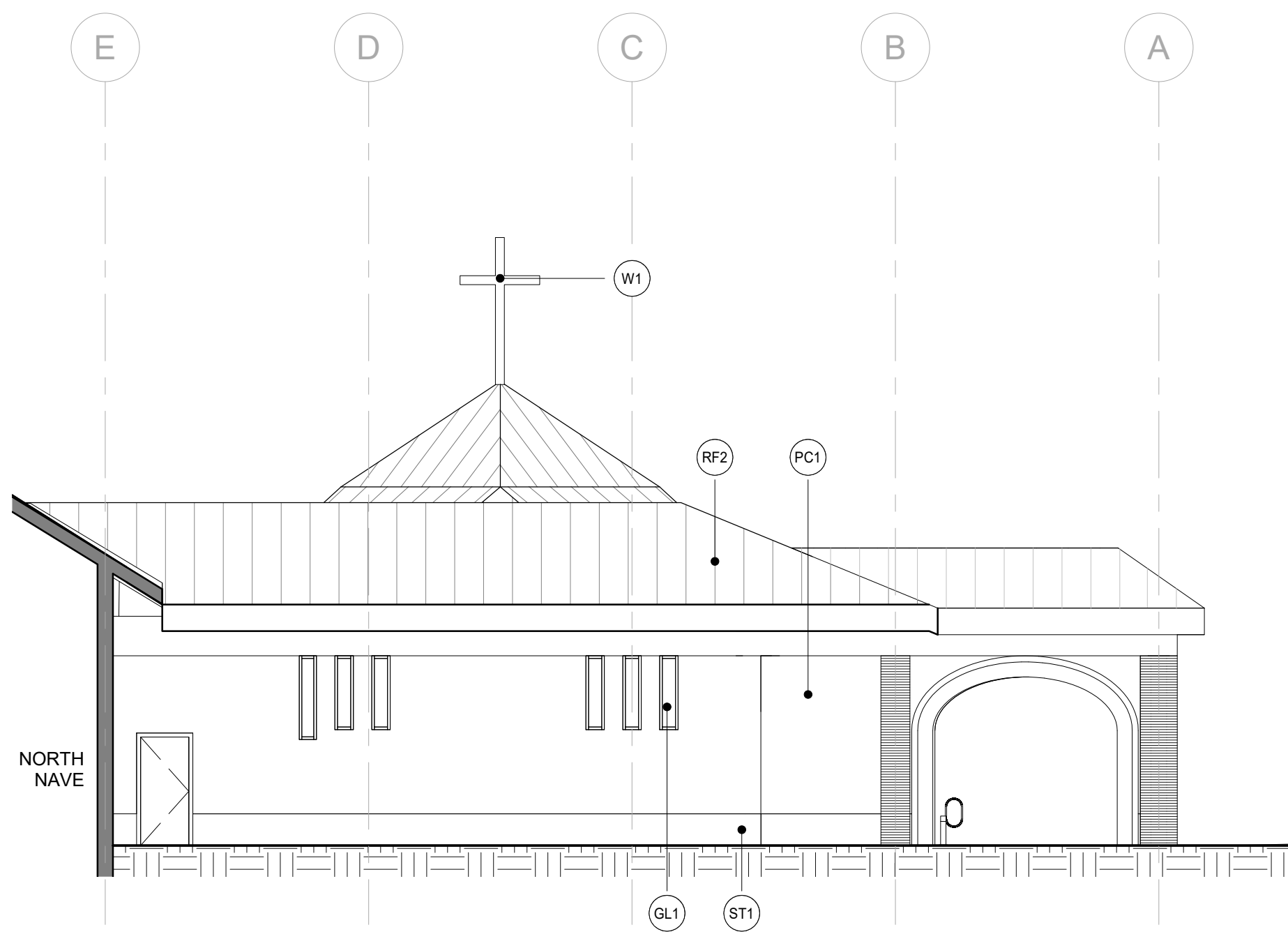
ST. ANDRE BESSETTE PARISH CHURCH



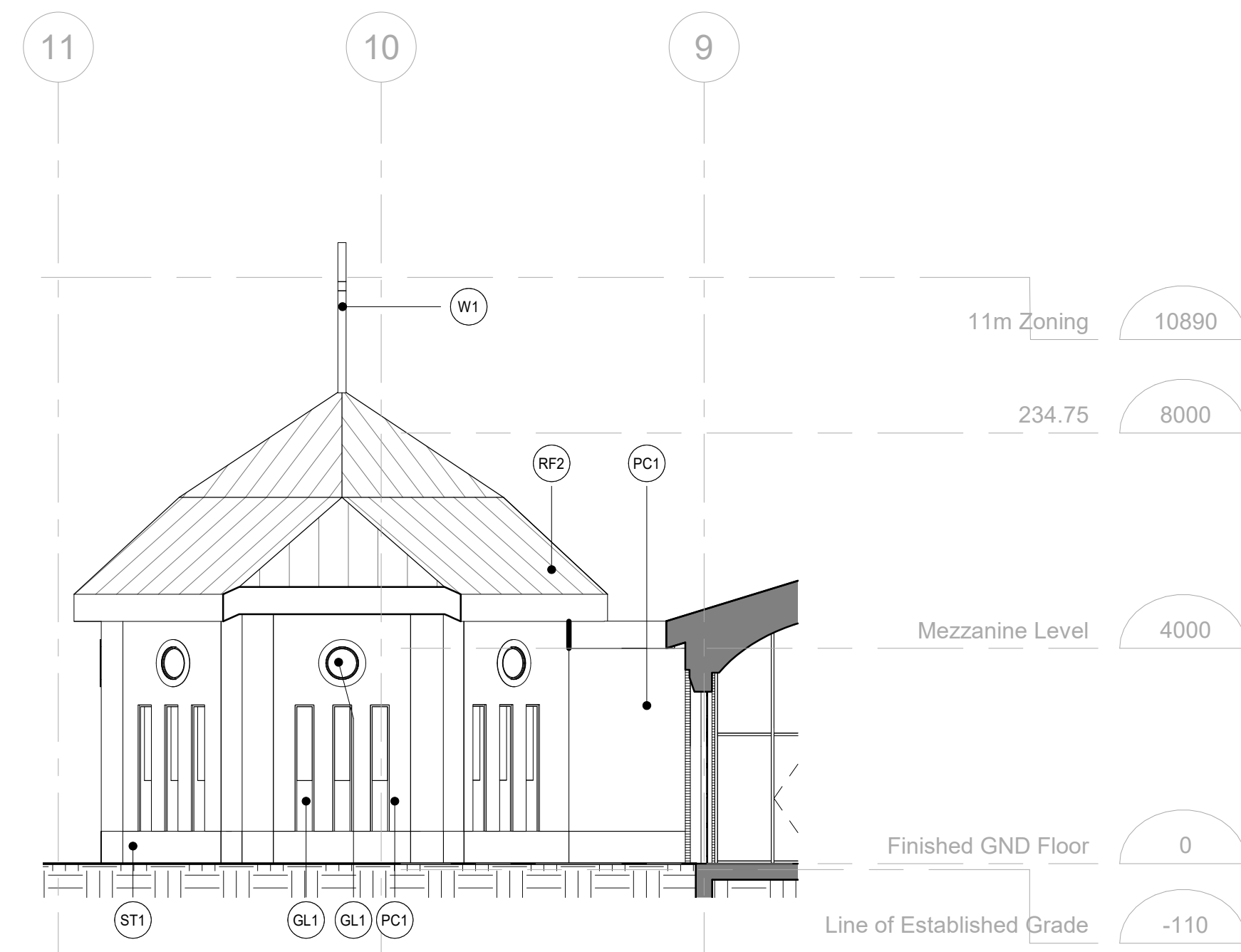
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A-3.4 1 : 100



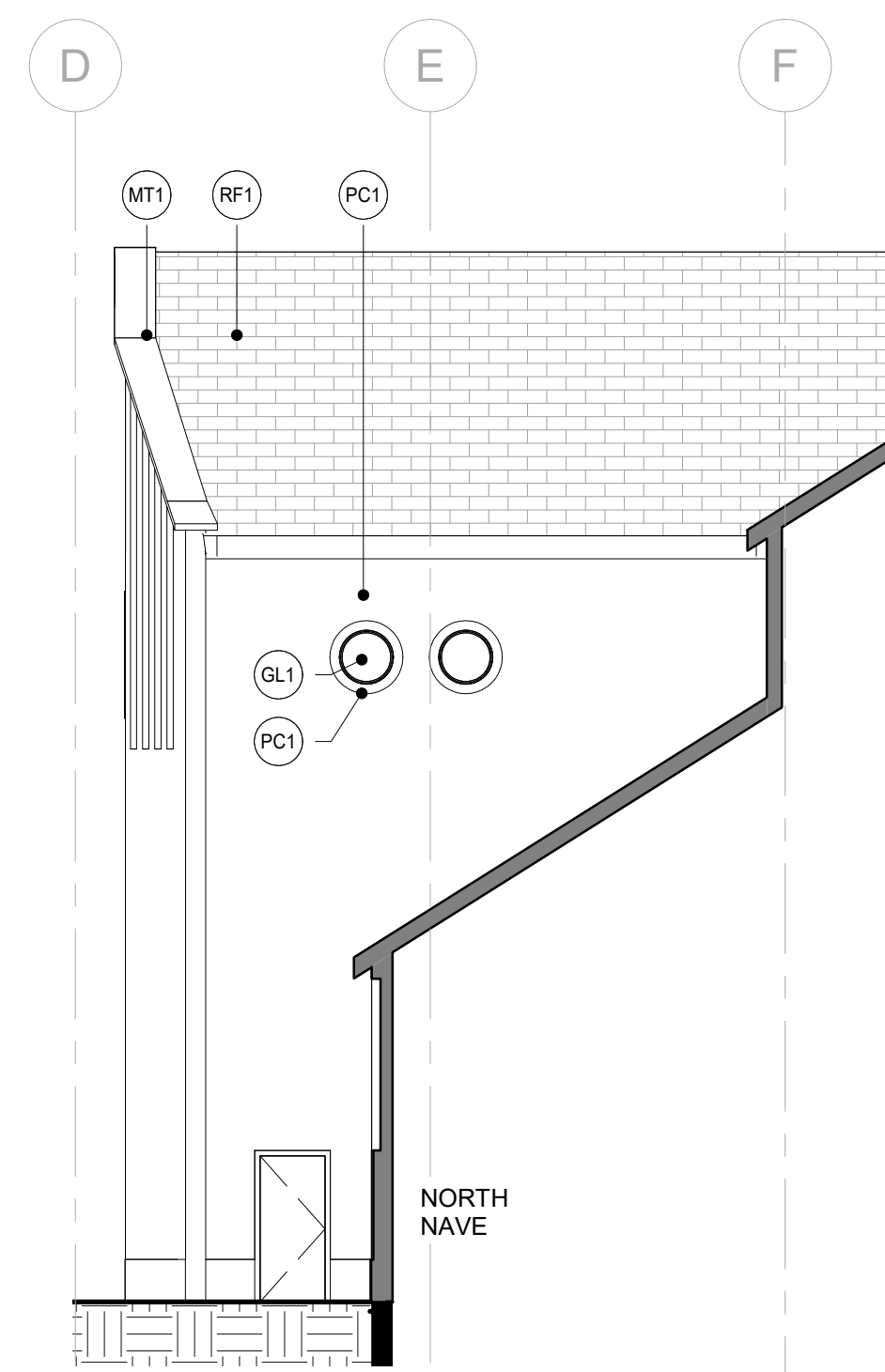
4 Hidden Elevation 7  
A-3.4 1 : 100



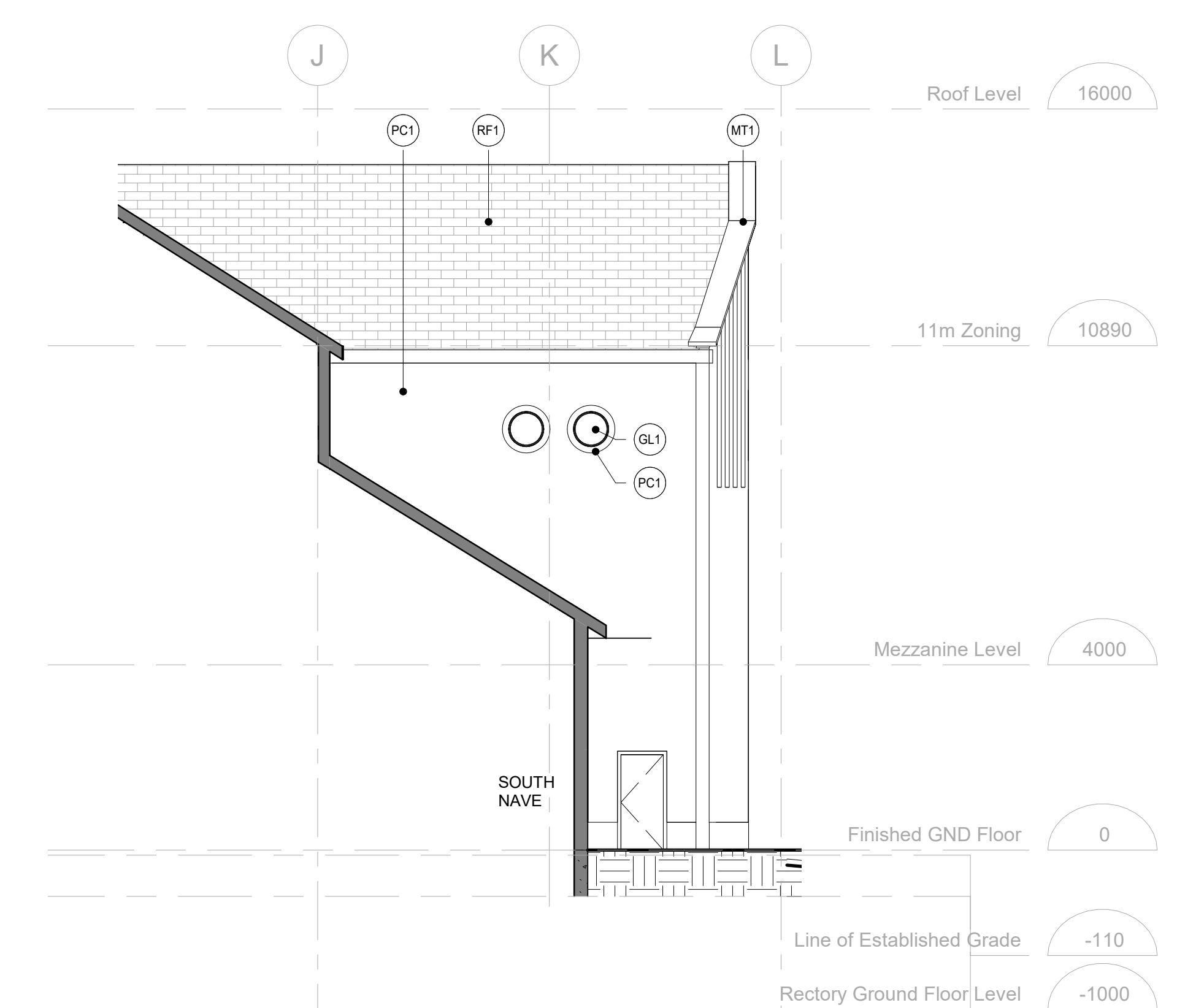
5 Hidden Elevation 4  
A-3.4 1 : 100



3 Hidden Elevation 6  
A-3.4 1 : 100



2 Hidden Elevation 3  
A-3.4 1 : 100



1 Hidden Elevation 2  
A-3.4 1 : 100

ABBREVIATIONS LEGENDS

REVISIONS:

| REV. NO. | DESCRIPTION                     | DRAWN | DATE        |
|----------|---------------------------------|-------|-------------|
| 1        | Concept Design                  | MH    | Jan 4 2018  |
| 2        | Pricing Class 'C' Cost Estimate | MH    | Feb 20 2018 |
| 3        | Issued for Site Plan Approval   | MH    | Oct 11 2018 |
| 4        | Issued for Site Plan Revisions  | MH    | Nov 29 2019 |

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TITLE: Hidden Elevations

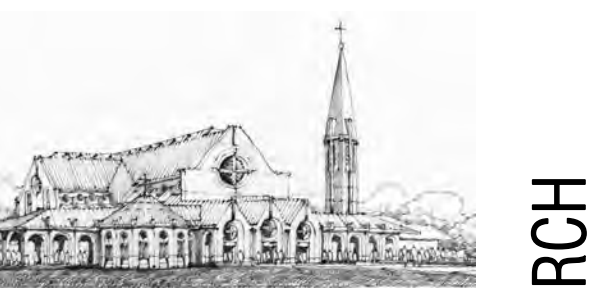
SCALE: 1 : 100 DRAWN: MH/JM

DATE: 29-Nov-2019 CHECKED: JL

REV. NO. 4

FILE No. DA. 18. 099

SP. 18. V. 0290



PROJECT: St Andre Bessette Parish Roman Catholic Church  
1061 Major Mackenzie Drive West, Maple Ontario Canada

ARCHITECTS: LOH ARCHITECTS & Associates Inc.  
67 Lombard Street Toronto Ontario M5C 1M2 CANADA  
T: 416.690.3212 Loharchitects.ca



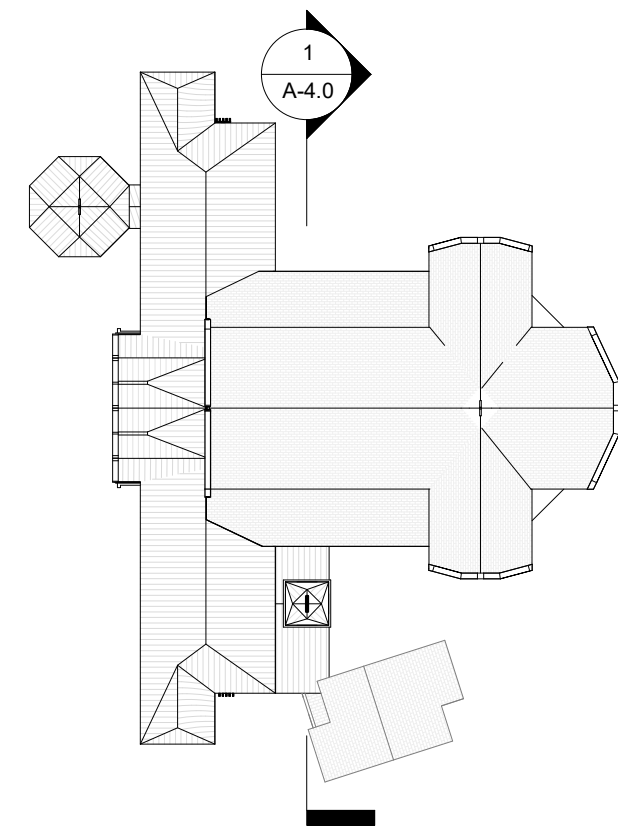
Paul Didar Architect Inc.  
222 Kingston Avenue, Suite 260 Toronto, Ontario M5V 3W7  
Phone: 416-928-1041 pdaarchinc.com

OWNER: Roman Catholic Episcopal Corporation for the Diocese of Toronto in Canada  
1155 Yonge Street Toronto, Ontario M4T 1W2

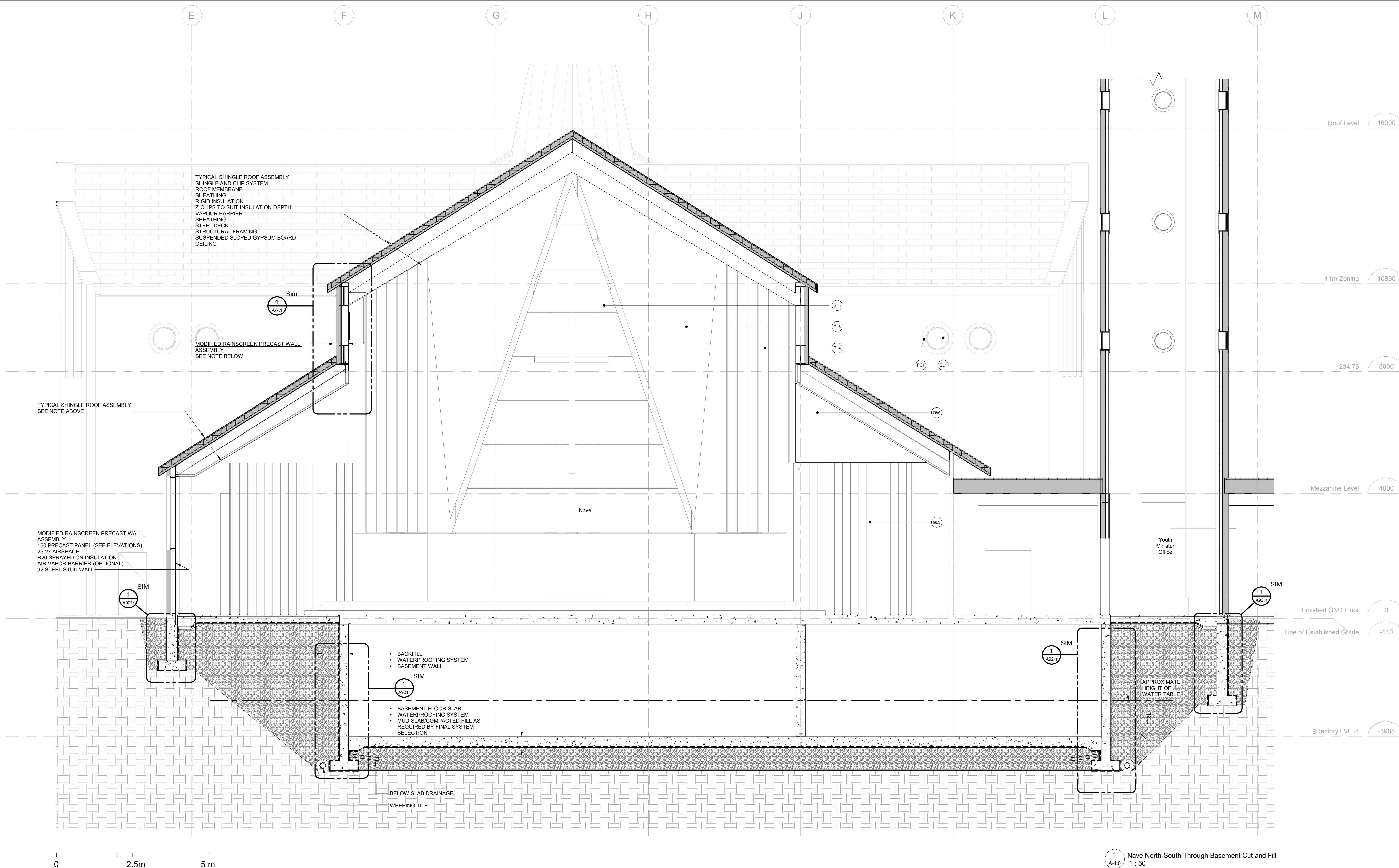
DRAWING NO.:

A-3.4

ST. ANDRE BESSETTE PARISH CHURCH



KEY PLAN



TYPICAL SHINGLE ROOF ASSEMBLY  
SHINGLE AND CLIP SYSTEM  
ROOF MEMBRANE  
SHEATHING  
RIGID INSULATION  
Z-CLIPS TO SUIT INSULATION DEPTH  
VAPOUR BARRIER  
SHEATHING  
STEEL DECK  
STRUCTURAL FRAMING  
SUSPENDED SLOPED GYPSUM BOARD  
CEILING

MODIFIED RAINSCREEN PRECAST WALL ASSEMBLY  
SEE NOTE BELOW

TYPICAL SHINGLE ROOF ASSEMBLY  
SEE NOTE ABOVE

MODIFIED RAINSCREEN PRECAST WALL ASSEMBLY  
150 PRECAST PANEL (SEE ELEVATIONS)  
25-27 AIRSPACE  
R20 SPRAYED ON INSULATION  
AIR VAPOR BARRIER (OPTIONAL)  
92 STEEL STUD WALL

BACKFILL  
WATERPROOFING SYSTEM  
BASEMENT WALL

BASEMENT FLOOR SLAB  
WATERPROOFING SYSTEM  
MUD SLAB/COMPACTED FILL AS REQUIRED BY FINAL SYSTEM SELECTION

BELOW SLAB DRAINAGE  
WEEPING TILE

ABBREVIATIONS

LEGENDS

REVISIONS:

| REV. NO. | DESCRIPTION                      | DRAWN | DATE        |
|----------|----------------------------------|-------|-------------|
| 1        | Concept Design                   | MH    | Jun 4 2018  |
| 2        | Pricing Class 'C' Cost Estimate  | MH    | Feb 20 2018 |
| 3        | Issued for Site Plan Application | MH    | Oct 10 2018 |
| 4        | Issued for Site Plan Revisions   | MH    | Nov 29 2019 |

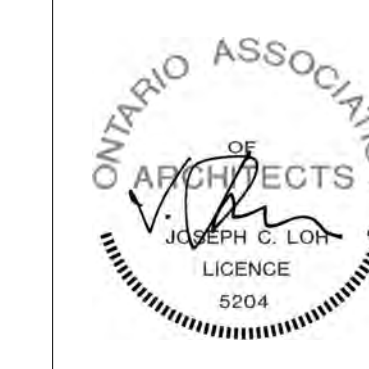
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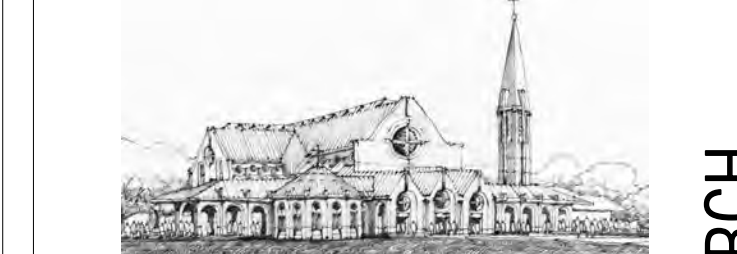
TITLE: Nave North-South at  
North Building Section

SCALE: As indicated DRAWN: MH/JM

DATE: 29-Nov-2019 CHECKED: JL

REV. NO. 4

FILE No. DA. 18. 099  
SP. 18. V. 0290



PROJECT: St Andre Bessette  
Parish Roman Catholic  
Church  
1061 Major Mackenzie Drive West, Maple  
Ontario Canada

ARCHITECTS: LOH  
LOH ARCHITECTS & Associates Inc  
67 Lombard Street  
Toronto Ontario M5C 1M2 CANADA  
T: 416.690.3212  
Loharchitects.ca

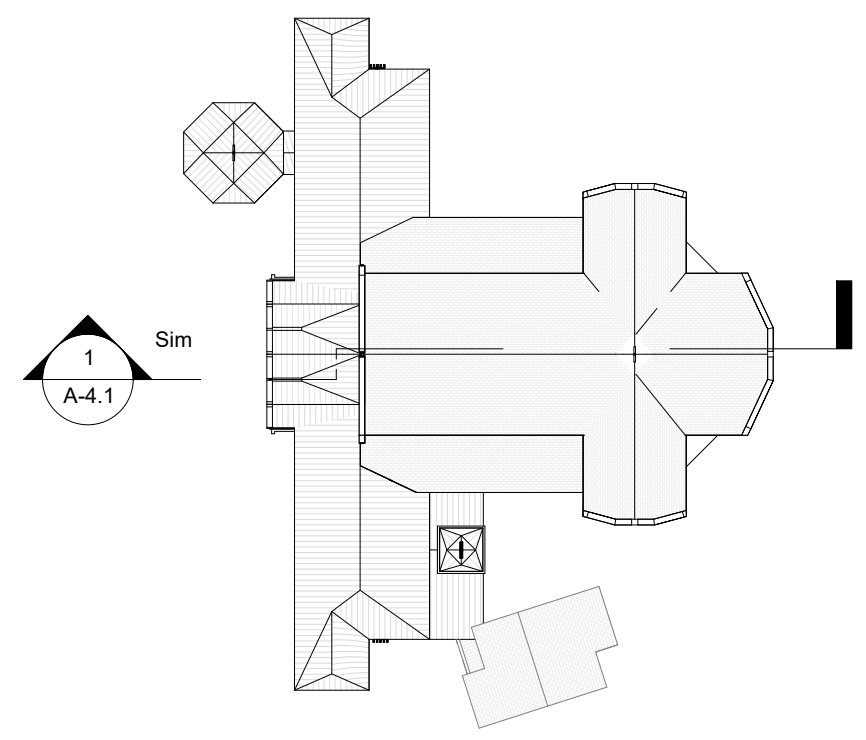
pda  
Paul Didar Architect Inc.  
222 Kingston Avenue, Suite 260  
Toronto, Ontario M8V 3W7  
Phone: 416-928-1041  
pda@chinc.com

OWNER: Roman Catholic Episcopal Corporation for the  
Diocese of Toronto in Canada  
1155 Yonge Street  
Toronto, Ontario M4T 1W2

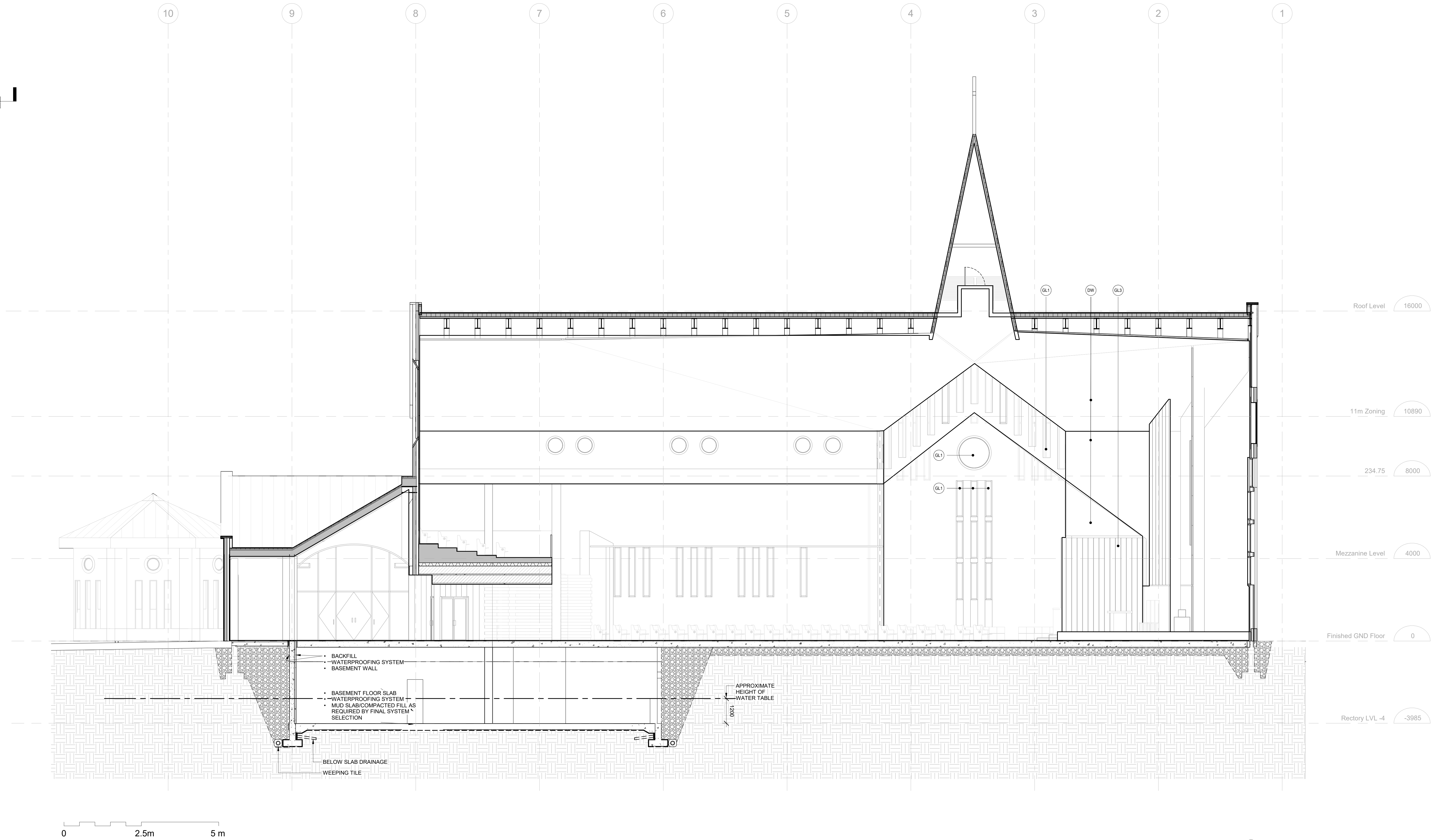
DRAWING NO.:

A-4.0

ST. ANDRE BESSETTE PARISH CHURCH



KEY PLAN



1 East-West Section  
A-4.1 1 : 75

ABBREVIATIONS LEGENDS

REVISIONS:

| REV. NO. | DESCRIPTION                      | DRAWN | DATE        |
|----------|----------------------------------|-------|-------------|
| 4        | Issued for Site Plan Revisions   | MH    | Nov 28 2019 |
| 3        | Issued for Site Plan Application | MH    | Oct 10 2018 |
| 2        | Priority Class "C" Cost Estimate | MH    | Feb 20 2018 |
| 1        | Concept Design                   | MH    | Jan 4 2018  |

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TITLE: Nave East-West Building Section

SCALE: As indicated DRAWN: MH/JM  
DATE: 29-Nov-2019 CHECKED: JL  
REV. NO. 4  
FILE No. DA. 18. 099  
SP. 18. V. 0290



PROJECT: St Andre Bessette Parish Roman Catholic Church  
1061 Major Mackenzie Drive West, Maple Ontario Canada

ARCHITECTS: Loh Architects & Associates Inc.  
67 Lombard Street Toronto Ontario M5C 1M2 CANADA  
T: 416.690.3212 Loharchitects.ca

pda Paul Didar Architect Inc.  
222 Bimington Avenue, Suite 260 Toronto, Ontario M8V 3W7  
Phone: 416-928-1041 pdaarchinc.com

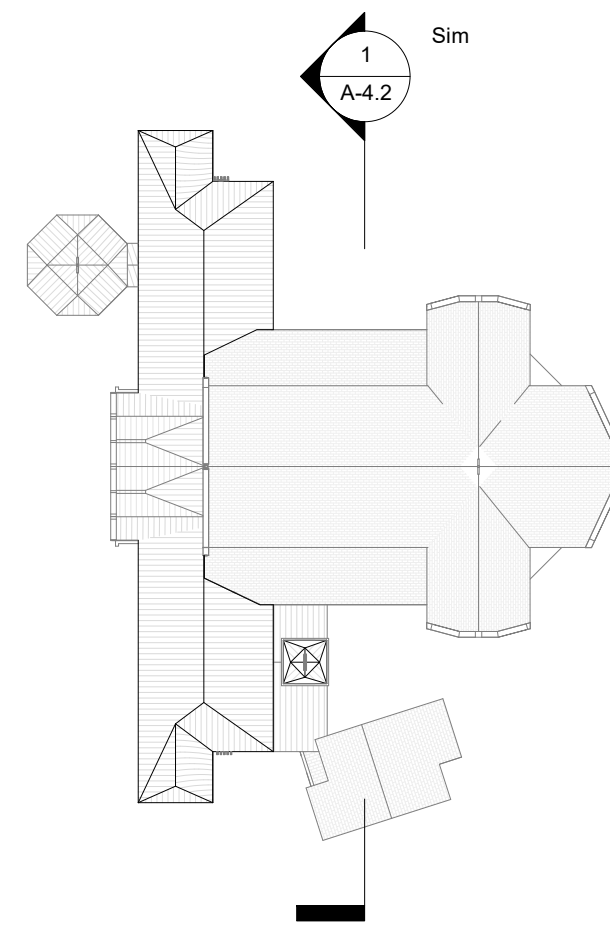
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1155 Yonge Street Toronto, Ontario M4T 1W2

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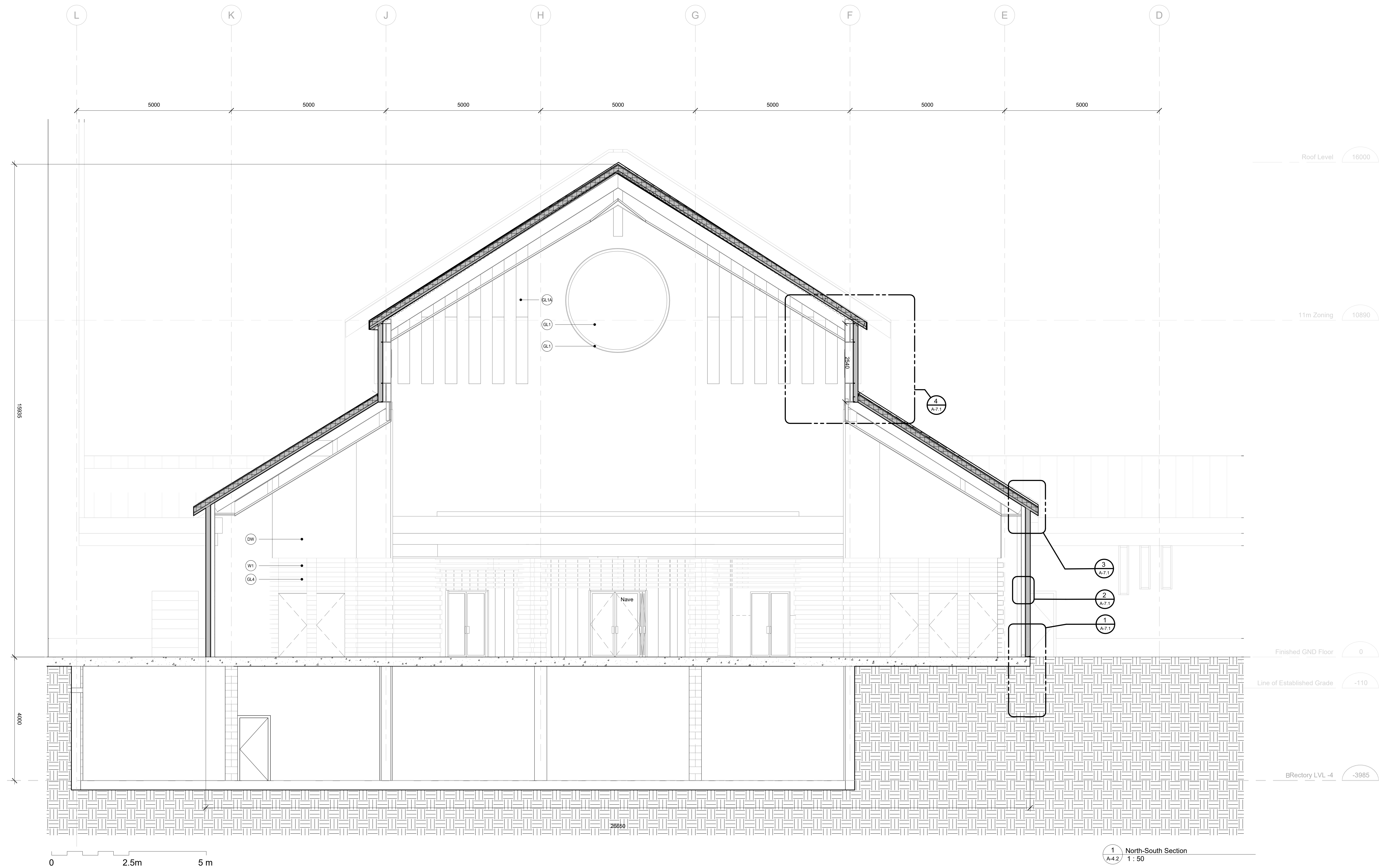
A-4.1

ST. ANDRE BESSETTE PARISH CHURCH





KEY PLAN



1 North-South Section  
A-4.2 / 1 : 50

ABBREVIATIONS LEGENDS

REVISIONS:

| REV. NO. | DESCRIPTION                      | DRAWN | DATE        |
|----------|----------------------------------|-------|-------------|
| 4        | Issued for Site Plan Revisions   | MH    | Nov 29 2019 |
| 3        | Issued for Site Plan Application | MH    | Oct 10 2019 |
| 2        | Pricing Class 'C' Cost Estimate  | MH    | Feb 20 2018 |
| 1        | Concept Design                   | MH    | Jan 4 2018  |

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TITLE: Nave North-South Building Section

SCALE: As indicated DRAWN: MH/JM

DATE: 29-Nov-2019 CHECKED: JL

REV. NO. 4

FILE No. DA. 18. 099

SP. 18. V. 0290



PROJECT: St Andre Bessette Parish Roman Catholic Church  
1061 Major Mackenzie Drive West, Maple Ontario Canada

ARCHITECTS: Loh Architects & Associates Inc.  
67 Lombard Street Toronto Ontario M5C 1M2 CANADA  
T: 416.690.3212 Loharchitects.ca



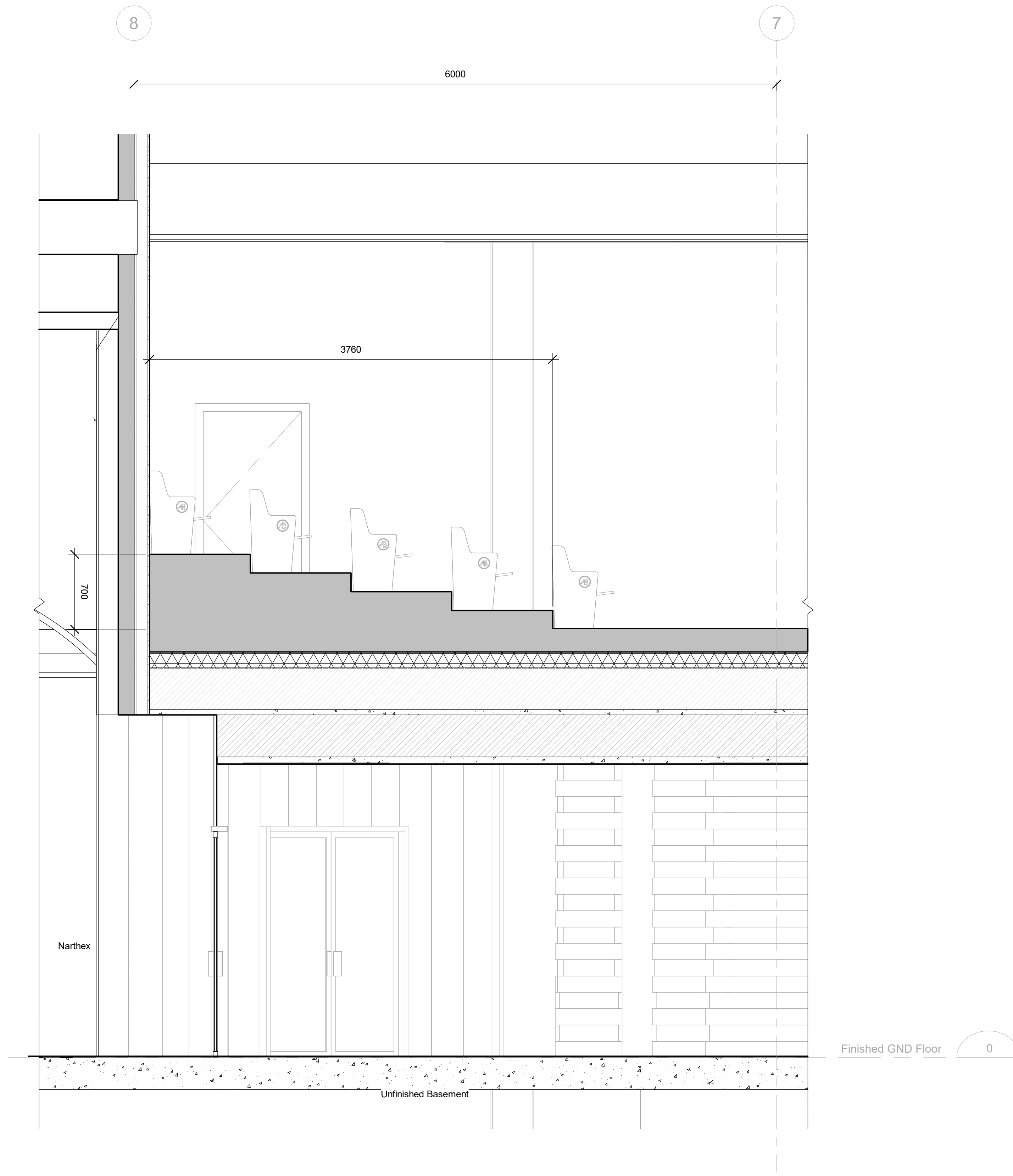
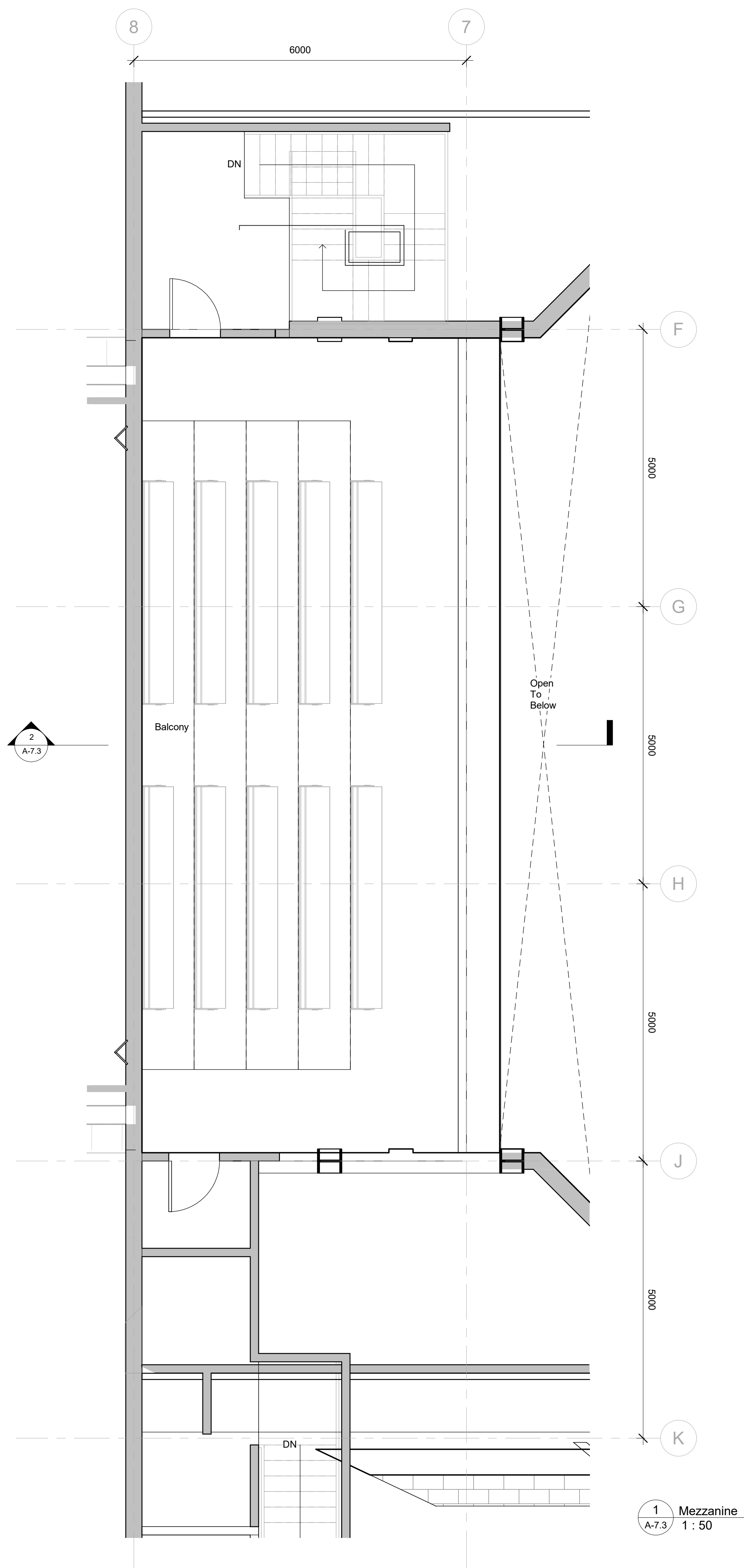
Paul Didar Architect Inc.  
222 Kingston Avenue, Suite 260 Toronto, Ontario M8V 3W7  
Phone: 416-928-1041 pdaarchinc.com

OWNER: Roman Catholic Episcopal Corporation for the Diocese of Toronto in Canada  
1155 Yonge Street Toronto, Ontario M4T 1W2

DRAWING NO.:

A-4.2

ST. ANDRE BESSETTE PARISH CHURCH



ABBREVIATIONS LEGENDS

**REVISIONS:**

| REV. NO. | DESCRIPTION                      | DRAWN | DATE        |
|----------|----------------------------------|-------|-------------|
| 4        | Issued for Site Plan Revisions   | MH    | Nov 29 2019 |
| 3        | Issued for OIA Plan Applications | MH    | Oct 11 2019 |
| 2        | Pricing Check 'C' Cost Estimate  | MH    | Feb 20 2018 |
| 1        | Concept Design                   | MH    | Jan 4 2018  |

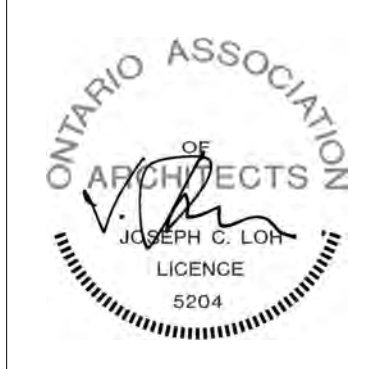
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**TITLE:** Mezzanine Plan & Section

**SCALE:** As indicated **DRAWN:** MH/JM

**DATE:** 29-Nov-2019 **CHECKED:** JL

**REV. NO.:** 4

**FILE No.:** DA. 18. 099

**SP. 18. V. 0290**



**PROJECT:** St Andre Bessette Parish Roman Catholic Church  
 1061 Major Mackenzie Drive West, Maple  
 Ontario Canada

**ARCHITECTS:** Loh Architects & Associates Inc.  
 67 Lombard Street  
 Toronto Ontario M5C 1M2 CANADA  
 T: 416.690.3212  
 Loharchitects.ca



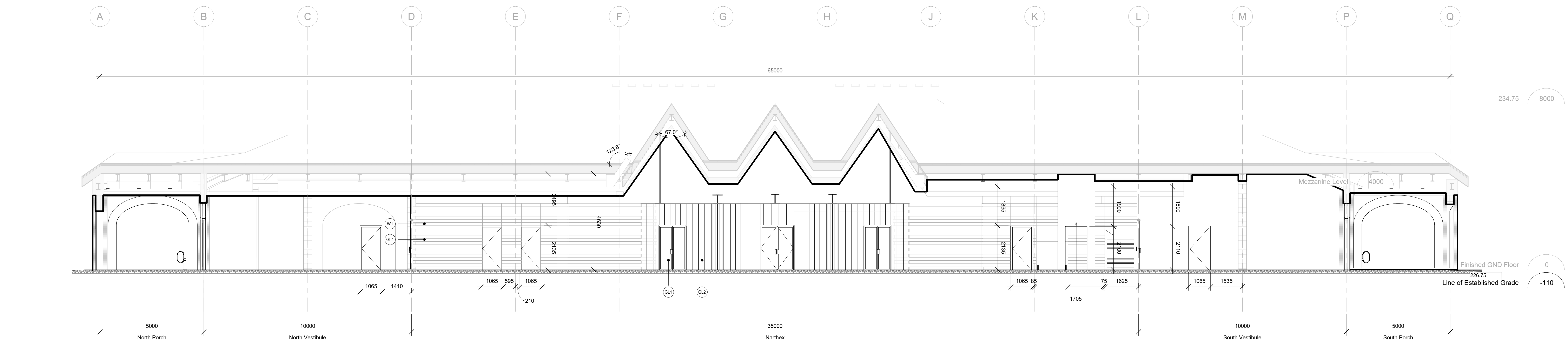
Paul Didar Architect Inc.  
 222 Kingston Avenue, Suite 260  
 Toronto, Ontario M8V 3W7  
 Phone: 416-928-1041  
 pdaarchinc.com

**OWNER:** Roman Catholic Episcopal Corporation for the Diocese of Toronto in Canada  
 1155 Yonge Street  
 Toronto, Ontario M4T 1W2

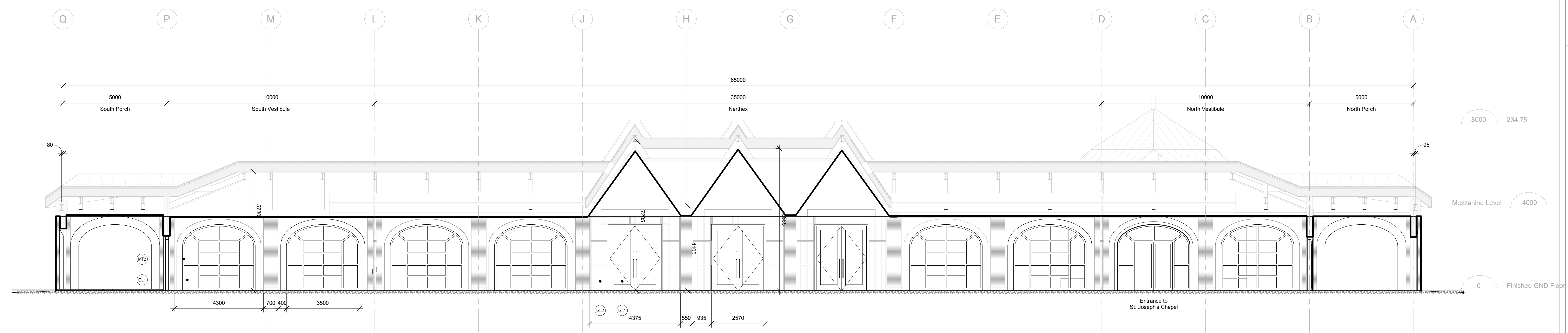
**DRAWING NO.:**

**A-7.3**

**ST. ANDRE BESSETTE PARISH CHURCH**



2 Interior Narthex West  
A-8.2 1 : 75



1 Interior Narthex East  
A-8.2 1 : 75

REVISIONS:

| REV. NO. | DESCRIPTION                      | DRAWN | DATE        |
|----------|----------------------------------|-------|-------------|
| 4        | Issued for Site Plan Revisions   | MH    | Nov 29 2019 |
| 3        | Issued for Site Plan Application | MH    | Oct 10 2019 |
| 2        | Pricing Class 'C' Cost Estimate  | MH    | Feb 20 2018 |
| 1        | Concept Design                   | MH    | Jan 4 2018  |

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**TITLE:** Narthex Interior Elevations  
**SCALE:** 1 : 75 **DRAWN:** MH/JM  
**DATE:** 29-Nov-2019 **CHECKED:** JL  
**REV. NO.:** 4  
**FILE No.:** DA. 18. 099  
**SP. 18. V. 0290**



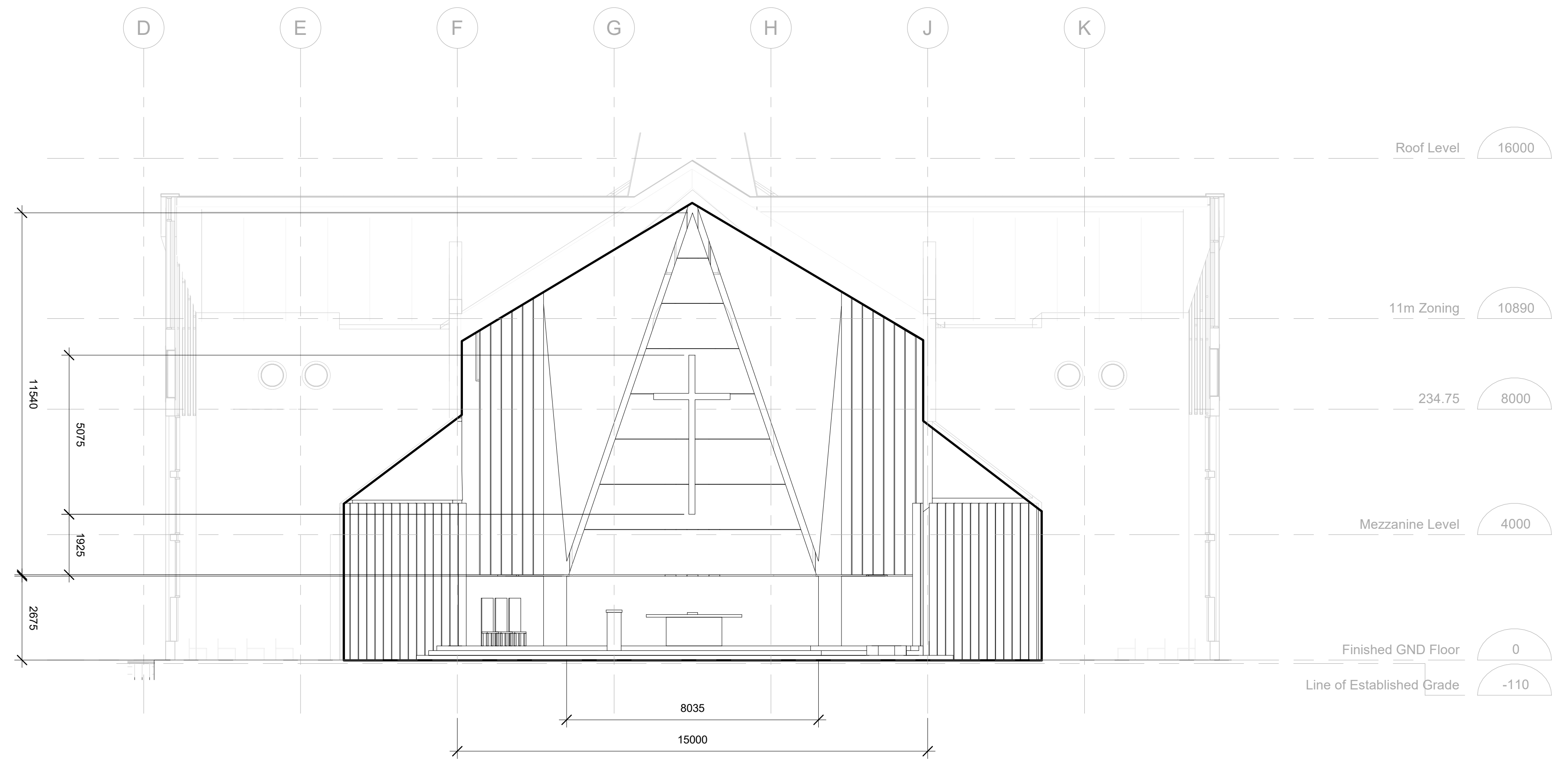
**PROJECT:** St Andre Bessette Parish Roman Catholic Church  
 1061 Major Mackenzie Drive West, Maple Ontario Canada

**ARCHITECTS:** Loh Architects & Associates Inc.  
 67 Lombard Street Toronto Ontario M5C 1M2 CANADA  
 T: 416.690.3212 Loharchitects.ca

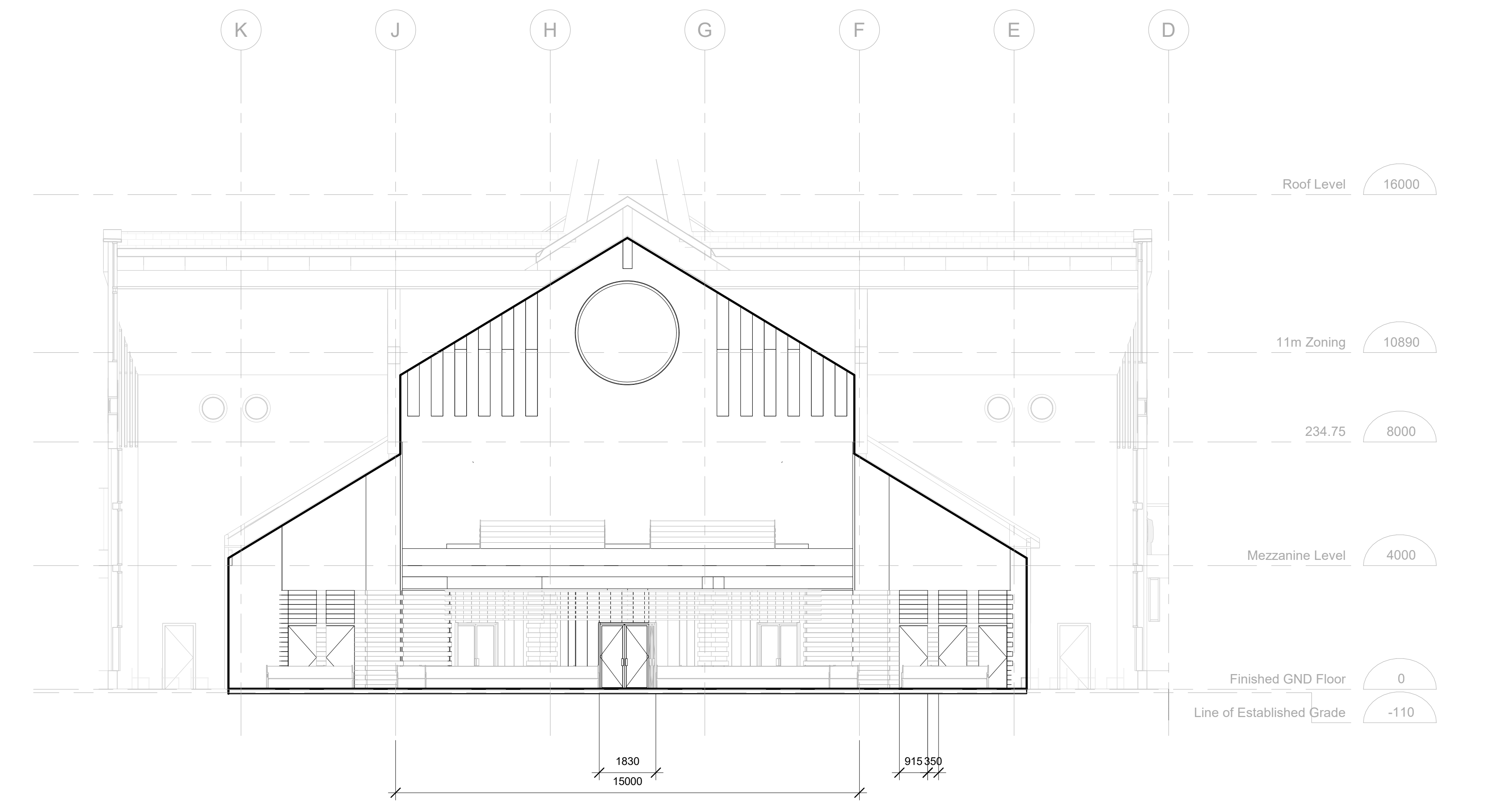
**OWNER:** Roman Catholic Episcopal Corporation for the Diocese of Toronto in Canada  
 1155 Yonge Street Toronto, Ontario M4T 1W2

**DRAWING NO.:** A-8.2

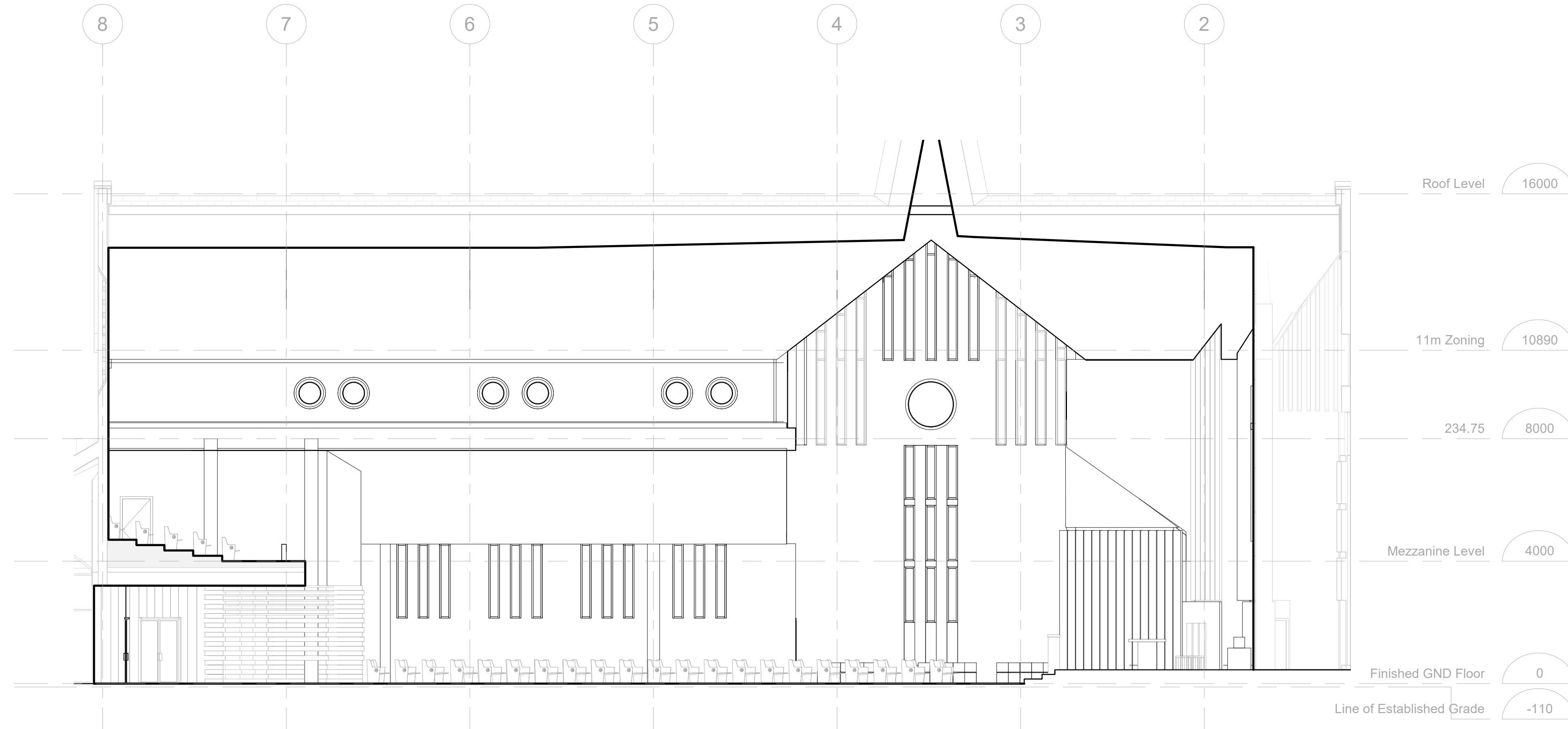
ST. ANDRE BESSETTE PARISH CHURCH



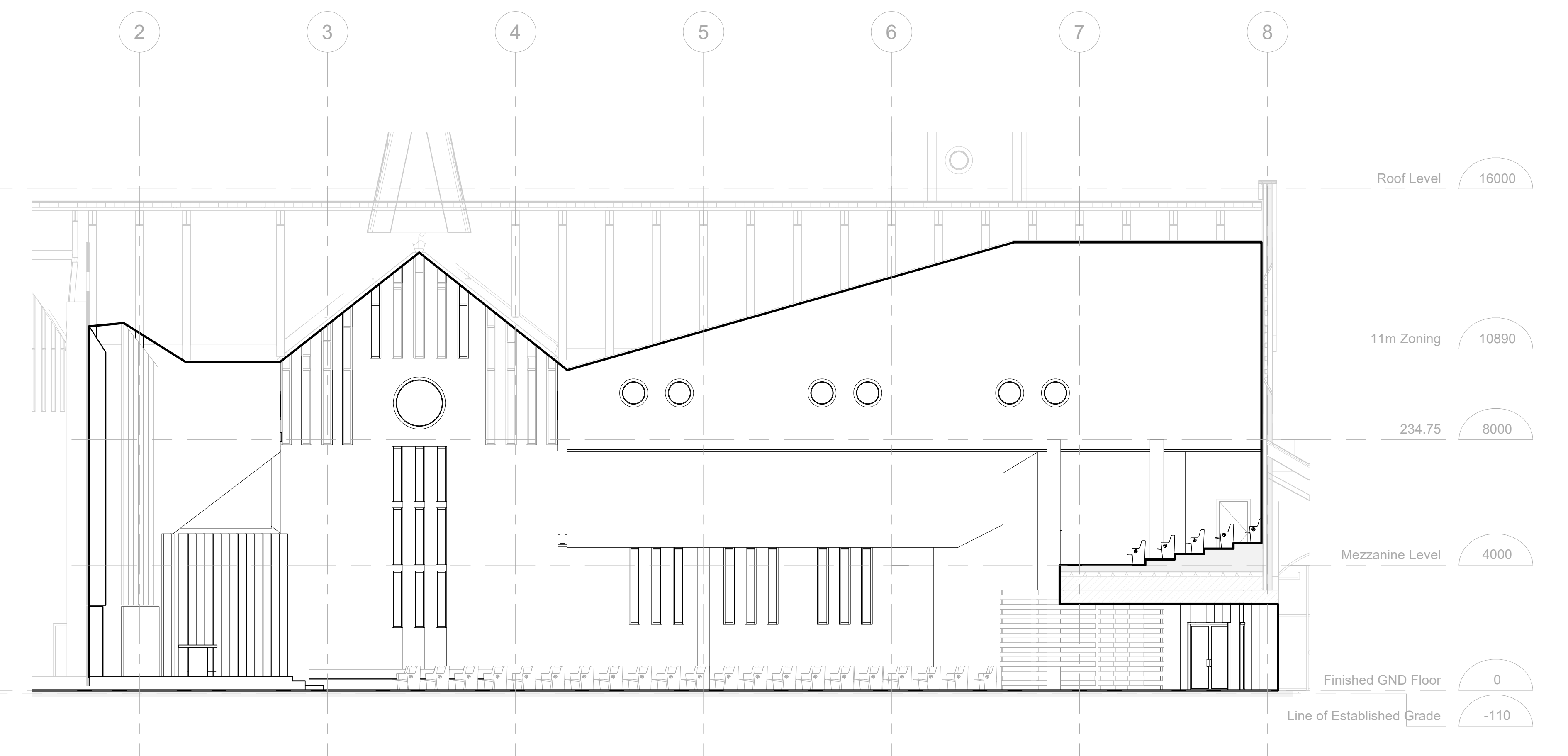
4 Elevation 2 - d  
A-8.3 1 : 100



2 Elevation 2 - b  
A-8.3 1 : 100



3 Elevation 2 - c  
A-8.3 1 : 100



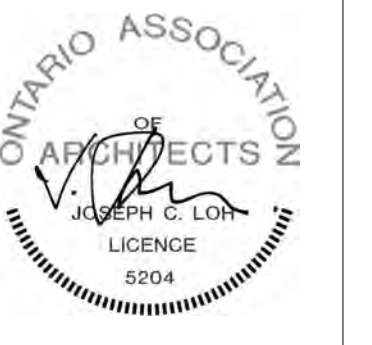
1 Elevation 2 - a  
A-8.3 1 : 100

ABBREVIATIONS LEGENDS

REVISIONS:

| REV. NO. | DESCRIPTION                      | DRAWN | DATE        |
|----------|----------------------------------|-------|-------------|
| 4        | Issued for Site Plan Revisions   | MH    | Nov 29 2019 |
| 3        | Issued for Site Plan Application | MH    | Oct 10 2018 |
| 2        | Printing Class 'C' Cost Estimate | MH    | Feb 29 2018 |
| 1        | Concept Design                   | MH    | Jan 4 2018  |

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TITLE: Interior Elevation

SCALE: 1 : 100 DRAWN: Author

DATE: 29-Nov-2019 CHECKED: Checker

REV. NO. 4

FILE No. DA. 18. 099

SP. 18. V. 0290



PROJECT: St Andre Bessette Parish Roman Catholic Church  
 1061 Major Mackenzie Drive West, Maple  
 Ontario Canada

ARCHITECTS: Loh Architects & Associates Inc.  
 67 Lombard Street  
 Toronto Ontario M5C 1M2 CANADA  
 T: 416.690.3212  
 Loharchitects.ca

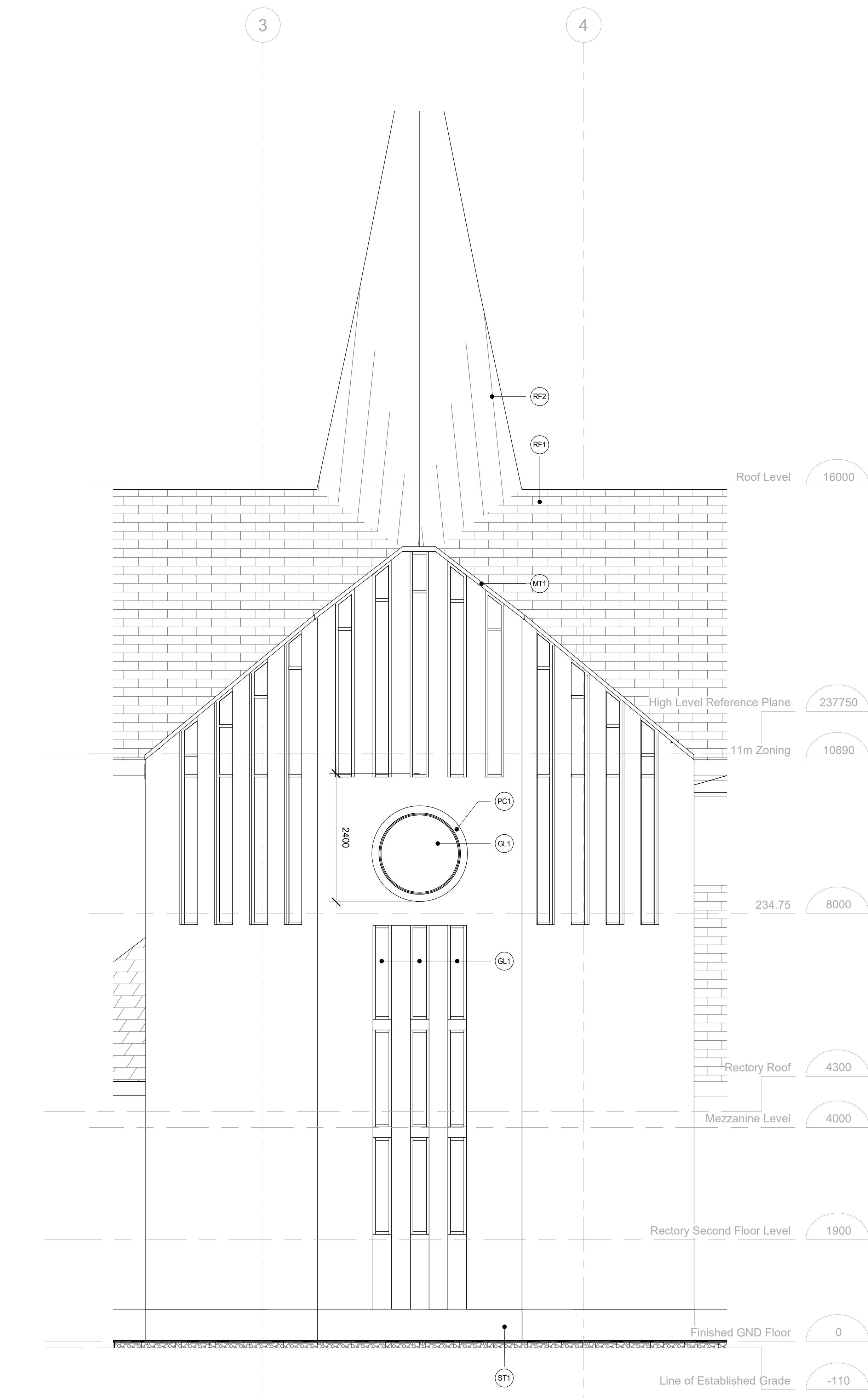
Paul Didar Architect Inc.  
 222 Basington Avenue, Suite 260  
 Toronto, Ontario M8V 3W7  
 Phone: 416-928-1041  
 pdarchinc.com

OWNER: Roman Catholic Episcopal Corporation for the Diocese of Toronto in Canada  
 1155 Yonge Street  
 Toronto, Ontario M4T 1W2

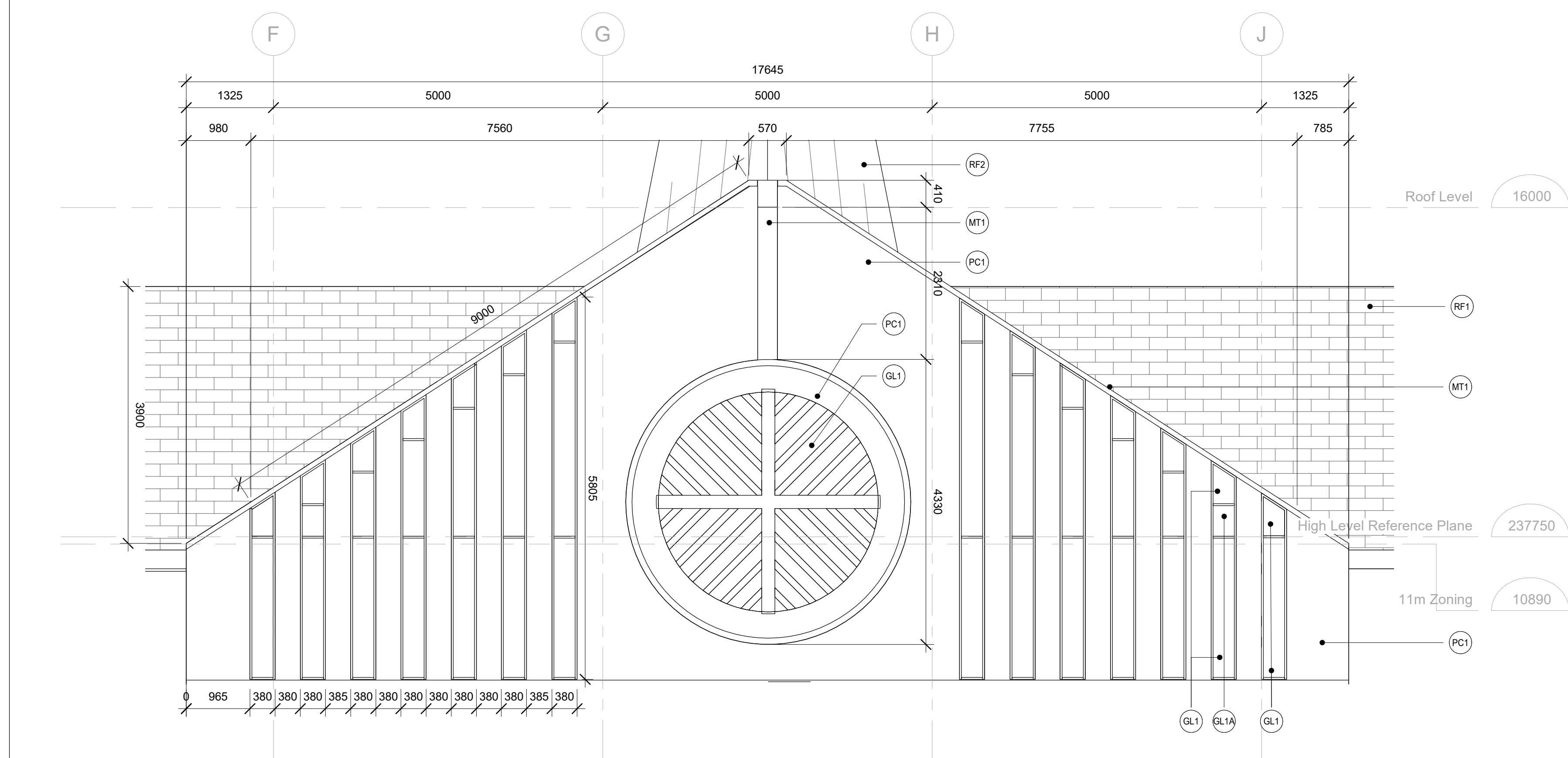
DRAWING NO.:

A-8.3

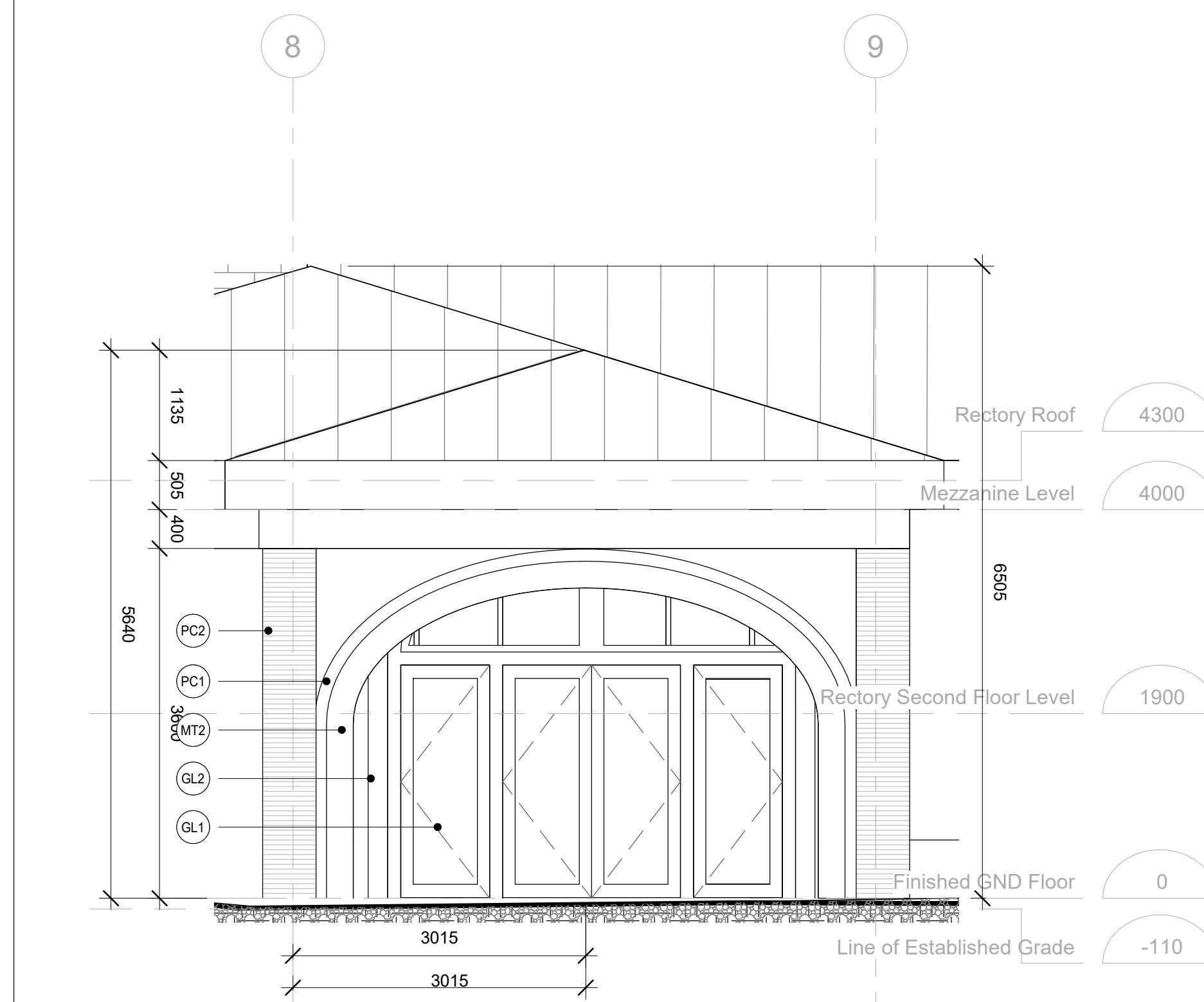
ST. ANDRE BESSETTE PARISH CHURCH



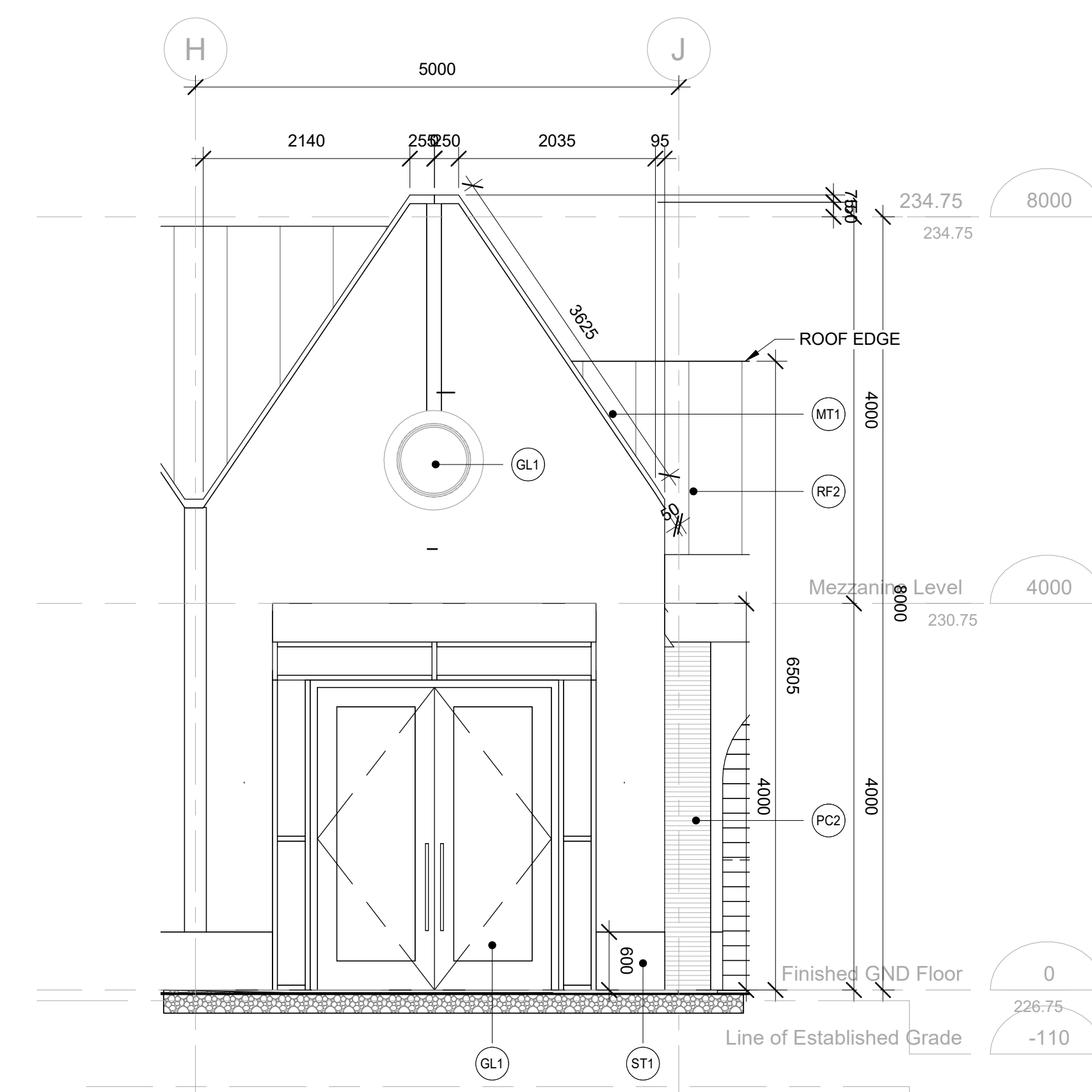
6 North Elevation Exterior Detail at Transcept Wall  
A-9.1 1:50



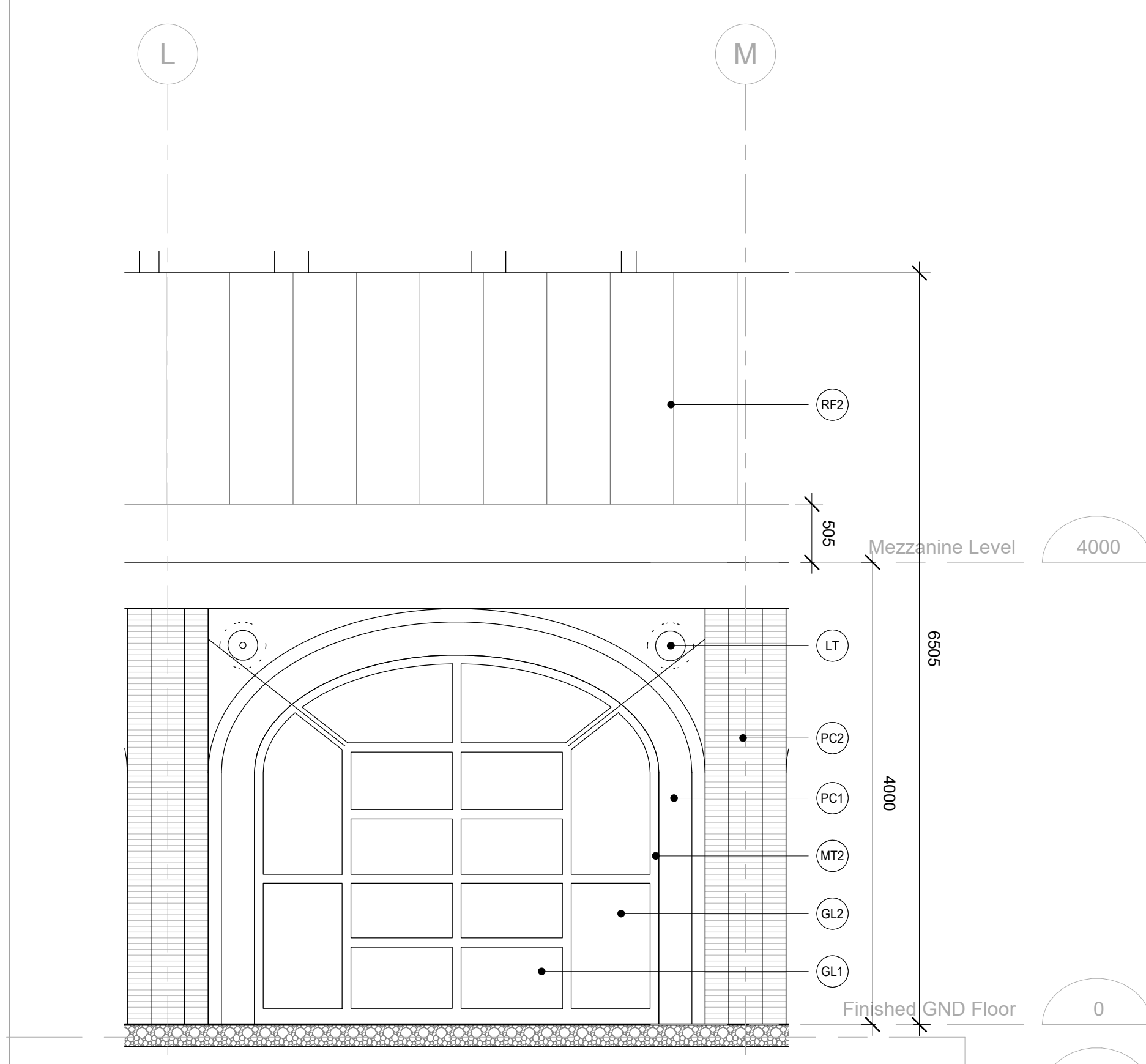
4 West Elevation - Main Hall Elevation Detail  
A-9.1 1:50



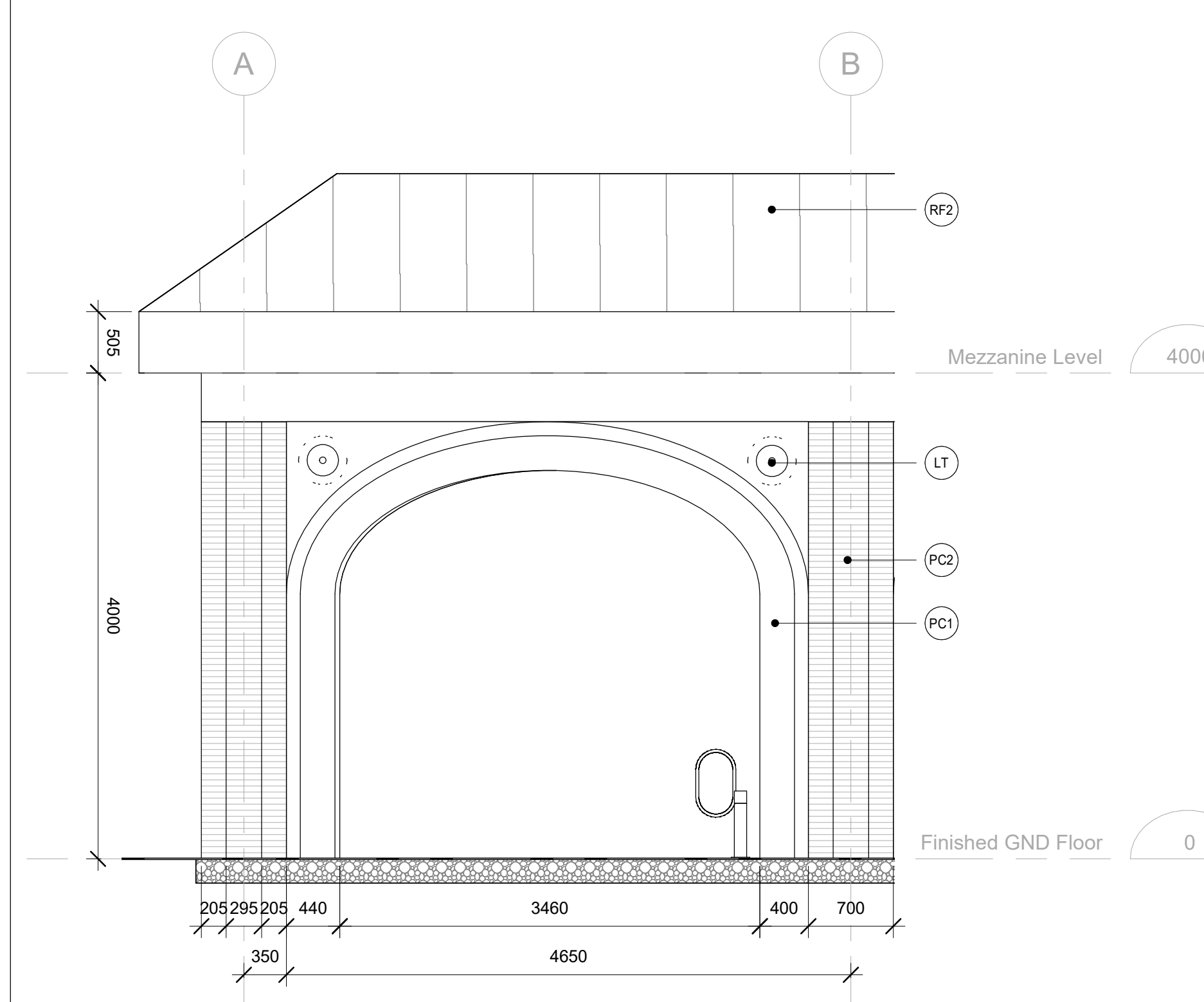
5 North Elevation Exterior Detail at Vestibule-North Entrance  
A-9.1 1:50



3 Typical West Elevation Main Entrance Precast Facade Detail  
A-9.1 1:50



1 Typical West Exterior Window Frame and Glazing  
A-9.1 1:40



2 Typical West Exterior Precast Panel B  
A-9.1 1:40

ABBREVIATIONS LEGENDS

REVISIONS:

| REV. NO. | DESCRIPTION                      | DRAWN | DATE        |
|----------|----------------------------------|-------|-------------|
| 4        | Issued for Site Plan Revisions   | MH    | Nov 29 2019 |
| 3        | Issued for Site Plan Application | MH    | Oct 10 2018 |
| 2        | Pricing Class 'C' Cost Estimate  | MH    | Feb 20 2018 |
| 1        | Concept Design                   | MH    | Jan 4 2018  |

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TITLE: Typical West and East Exterior Details

SCALE: As indicated DRAWN: MH/JM

DATE: 29-Nov-2019 CHECKED: JL

REV. NO. 4

FILE No. DA. 18. 099

SP. 18. V. 0290



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DRAWING NO.:

A-9.1

ST. ANDRE BESSETTE PARISH CHURCH