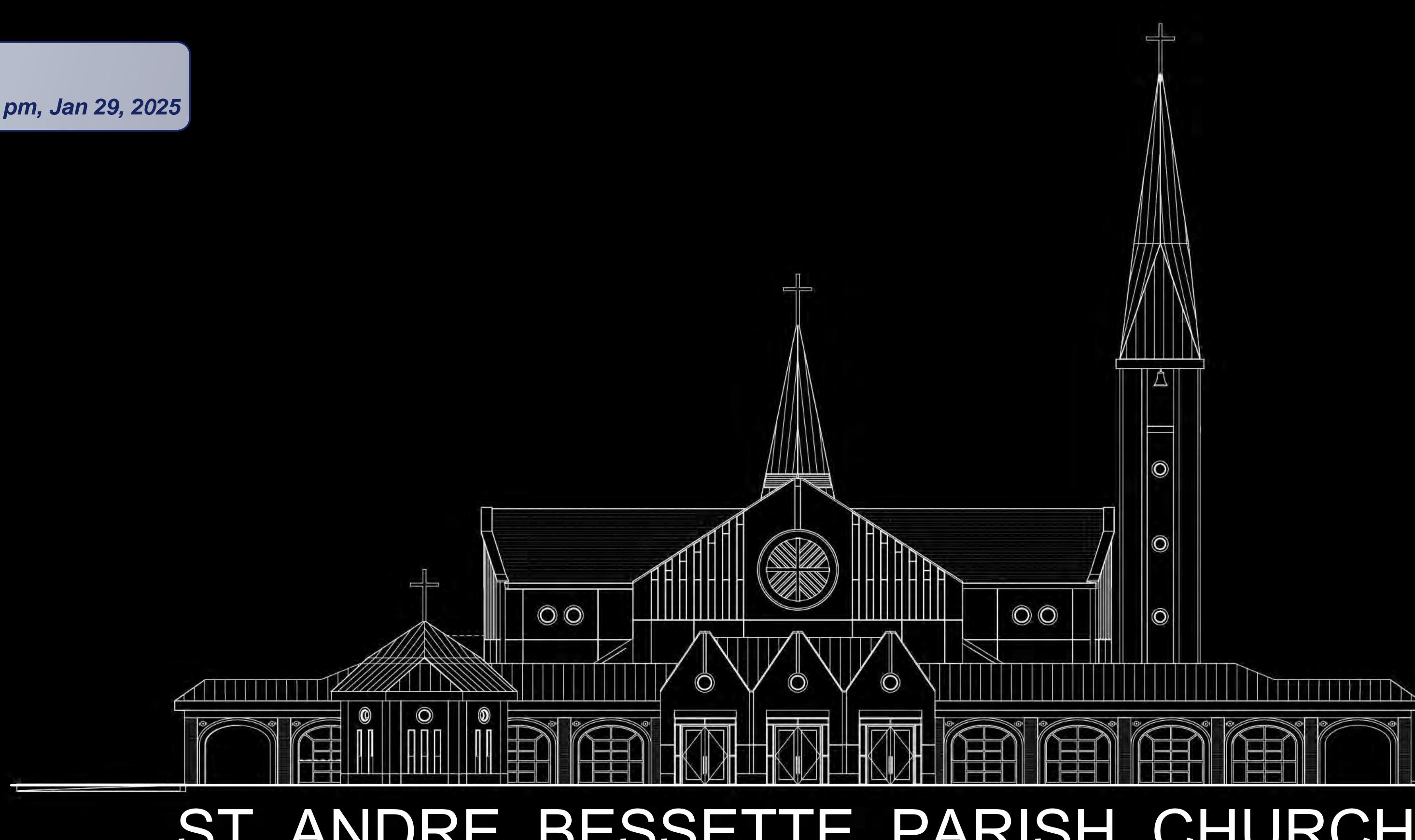
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ST. ANDRE BESSETTE PARISH CHURCH

Roman Catholic Episcopal Corporation for the Diocese of Toronto in Canada DA. 18. 099 - SP. 18. V. 0290 - Site Plan Application Documents - November 29, 2019 LOH ARCHITECTS & Associates Inc / PDA Inc.

ST. ANDRE BESSETTE PARISH CHURCH Roman Catholic Episcopal Corporation for the Diocese of Toronto in Canada

Project Consultants: St. Andre Bessette Parish Church

(1) Architects in Association: LOH ARCHITECTS & Associates Inc. Joseph Loh, Principal and Managing Director 67 Lombard Street Toronto, Ontario M5C 1M2 416-690-3212 joseph@loharchitects.ca

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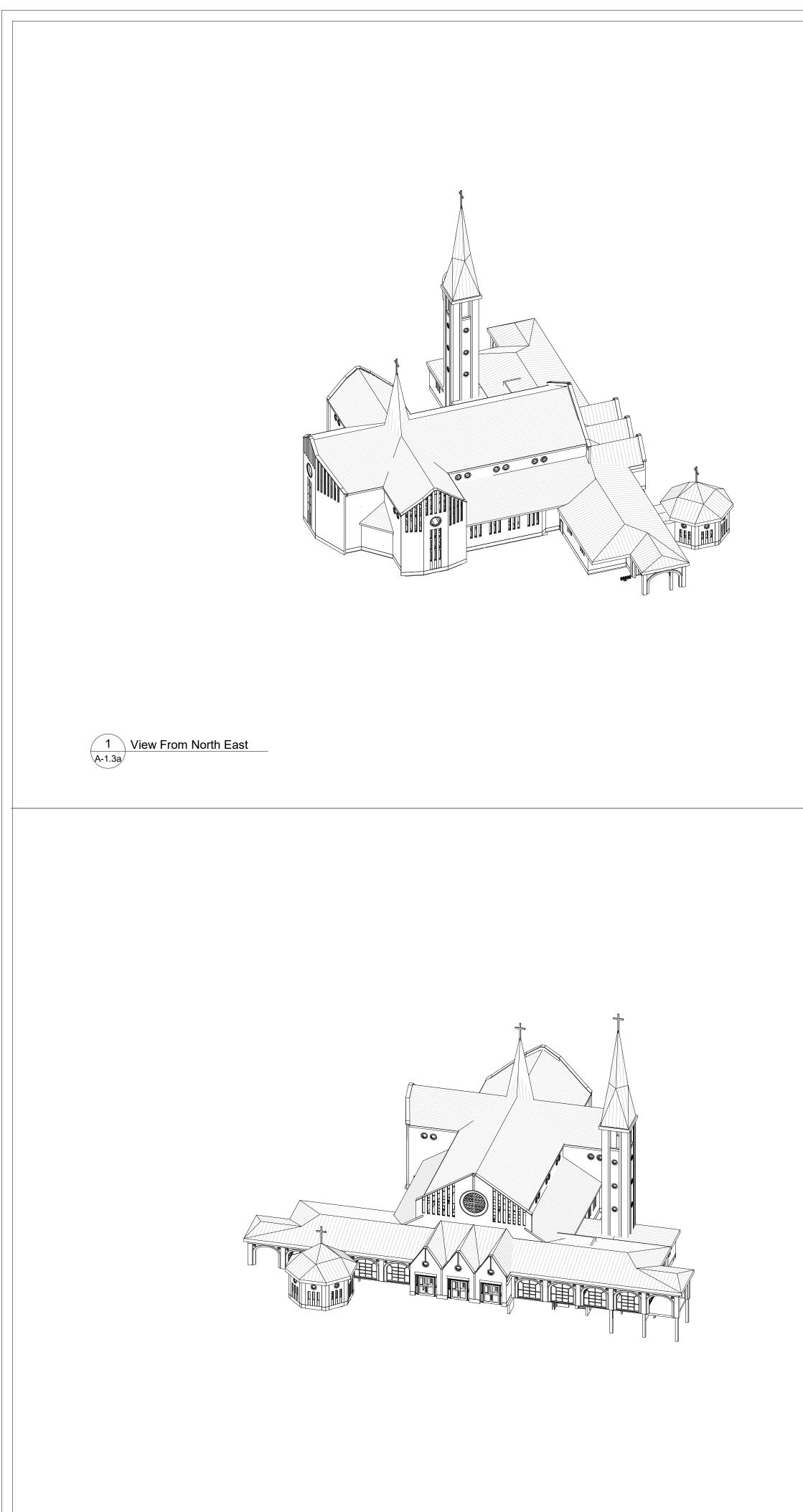
Rosemarie Humphries, President 216 Chrislea Road, Suite 103

S	t. Andre Bessette Church Drawing List
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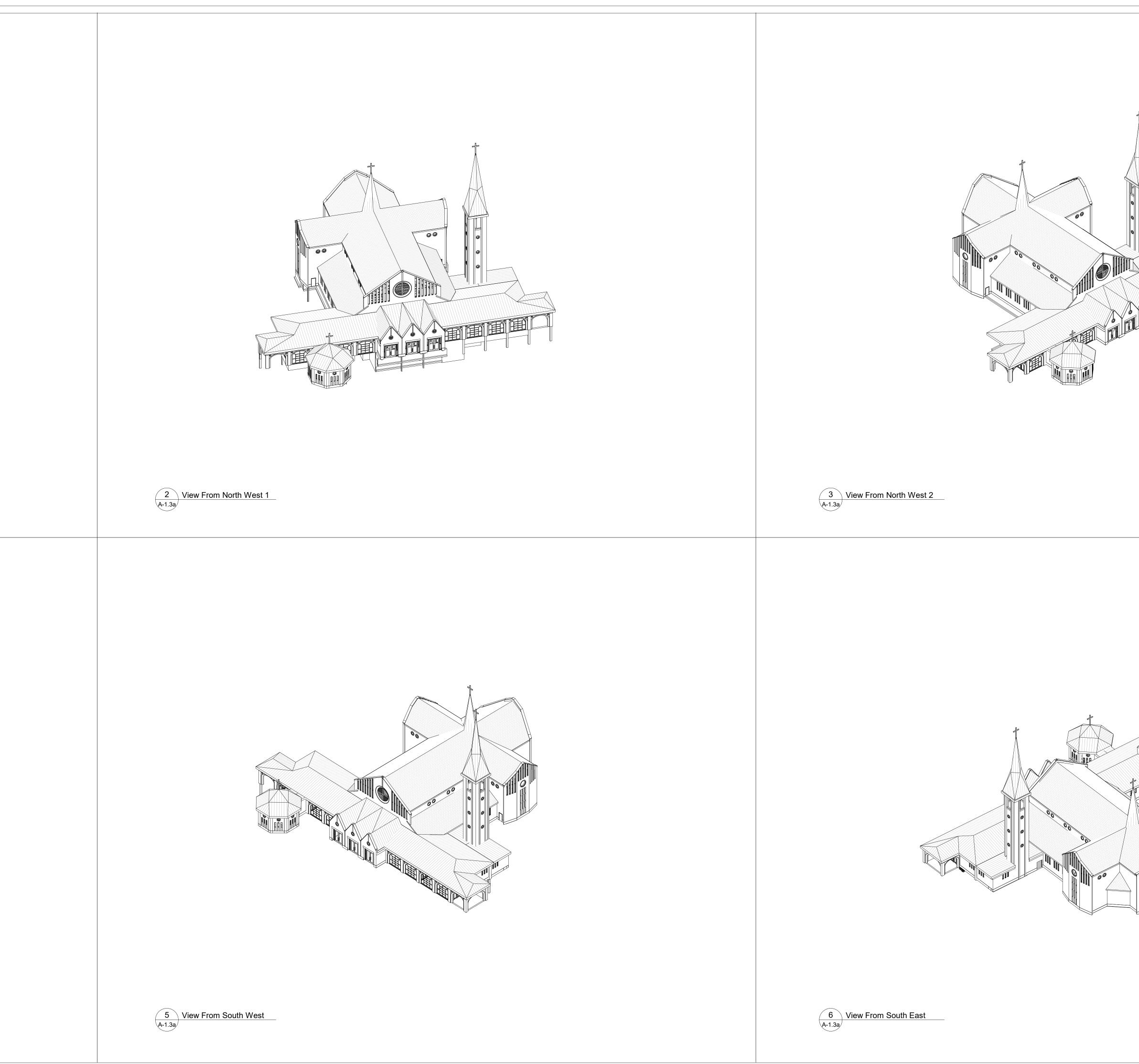
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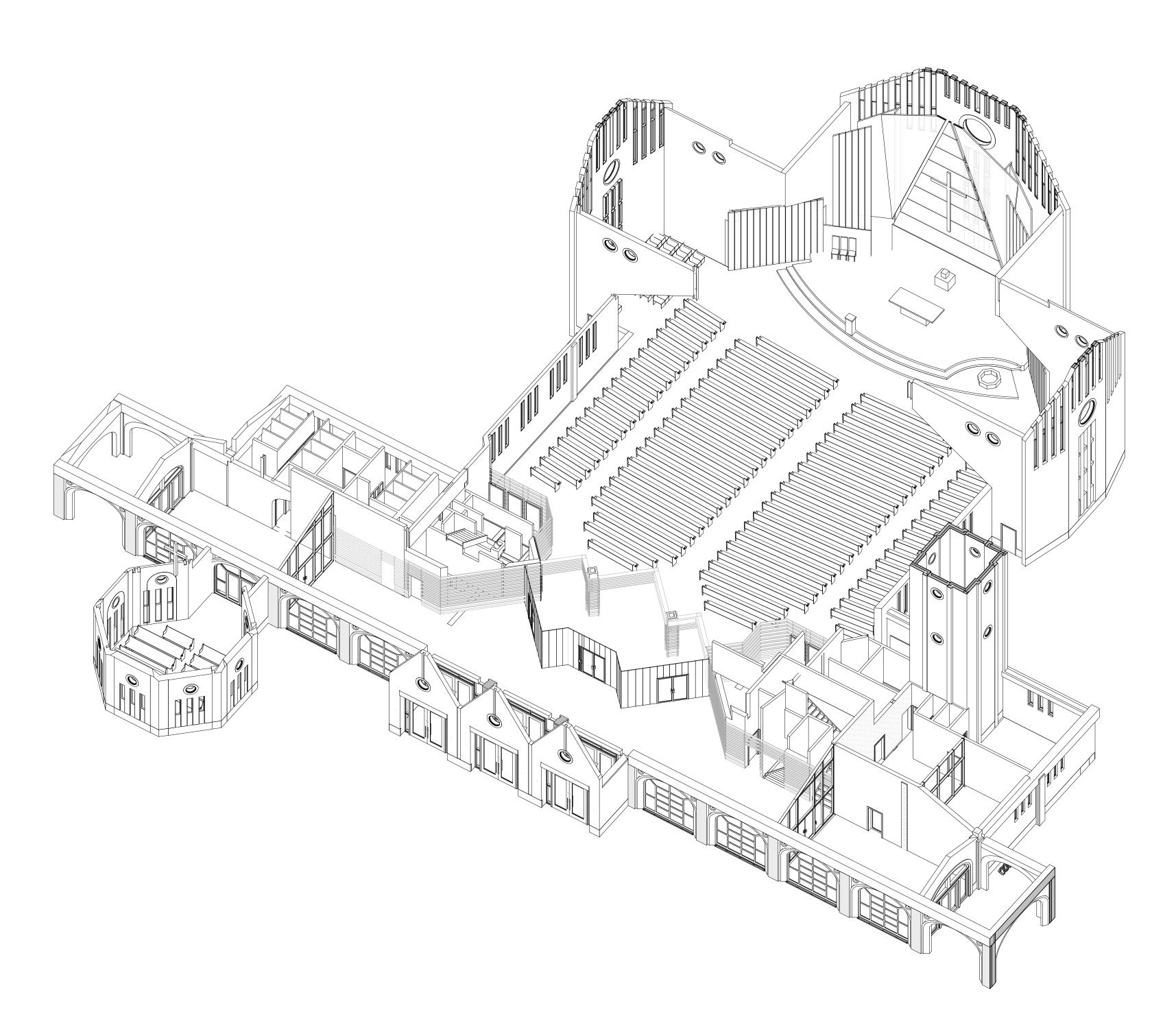


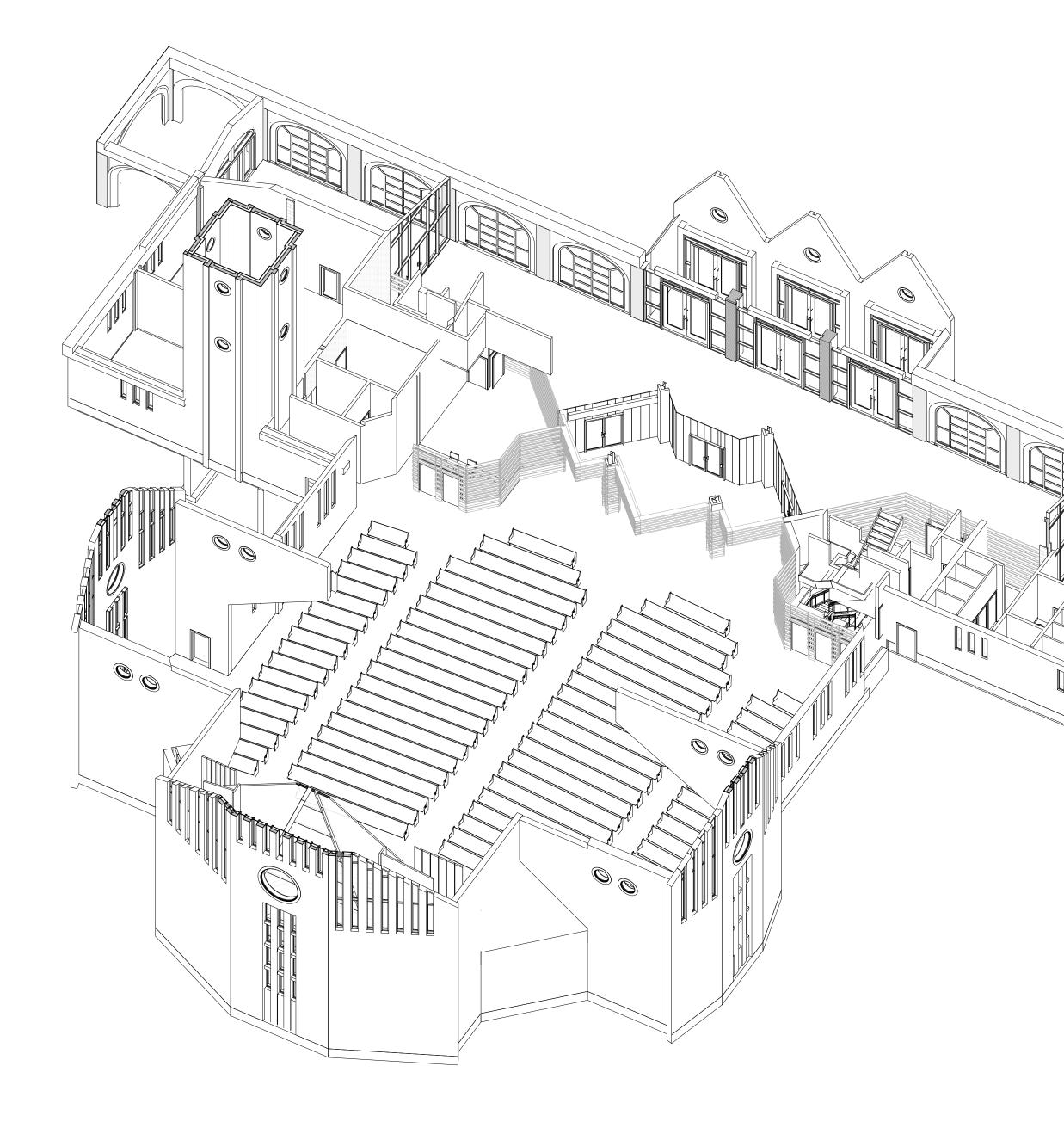
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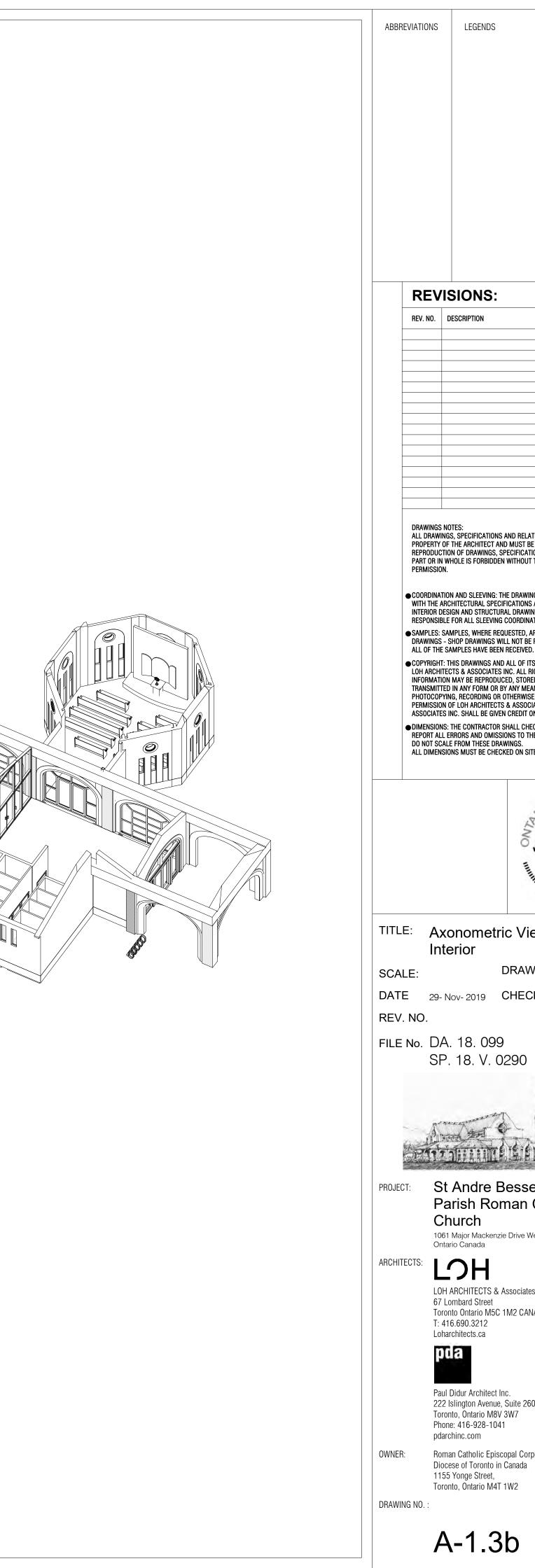
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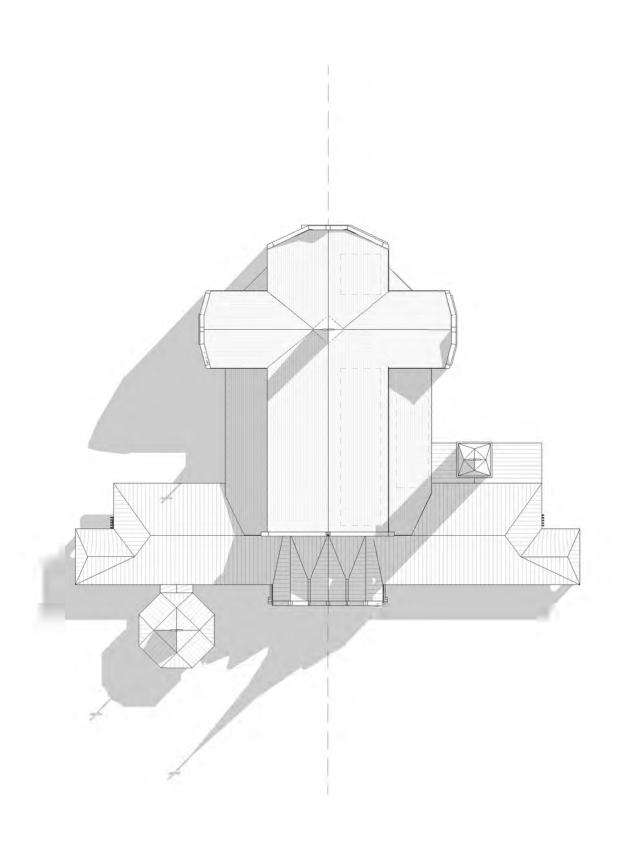




AXONOMETRIC VIEW OF NAVE & NARTHEX INTERIOR

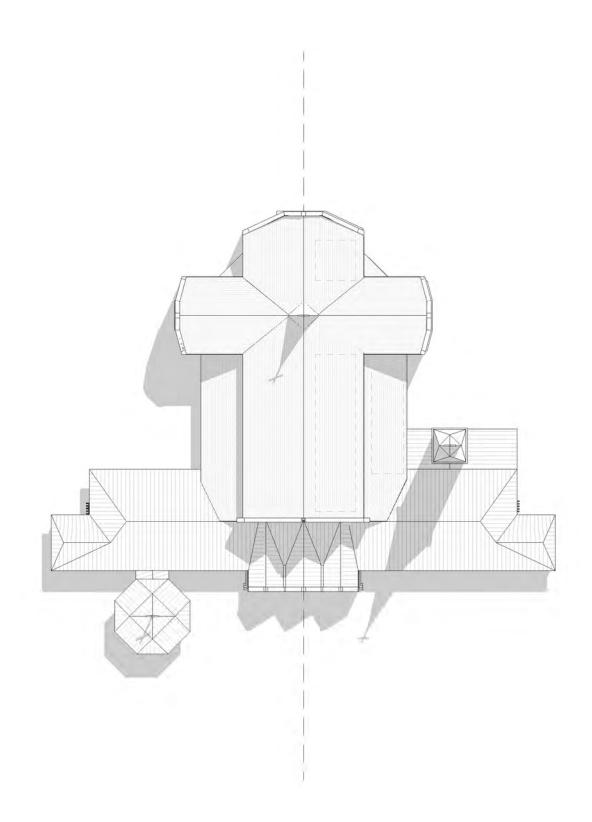


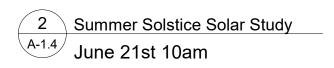
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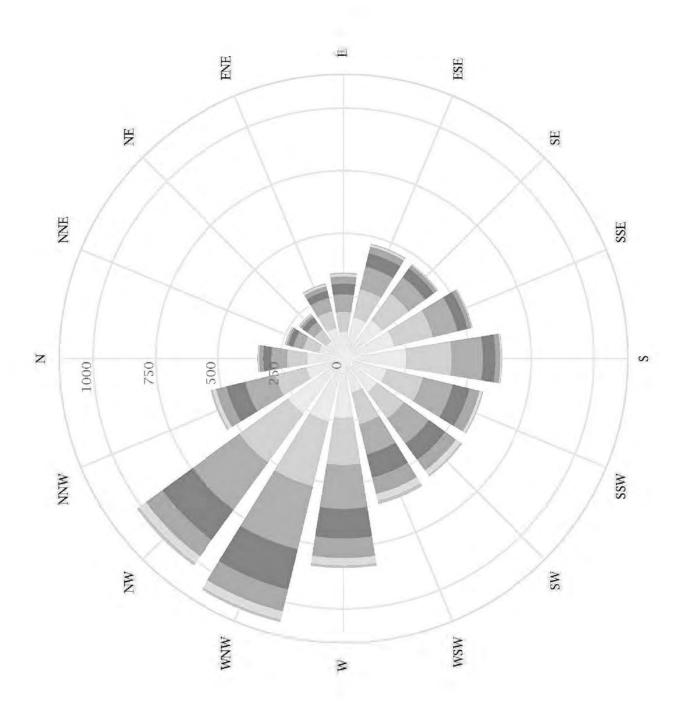




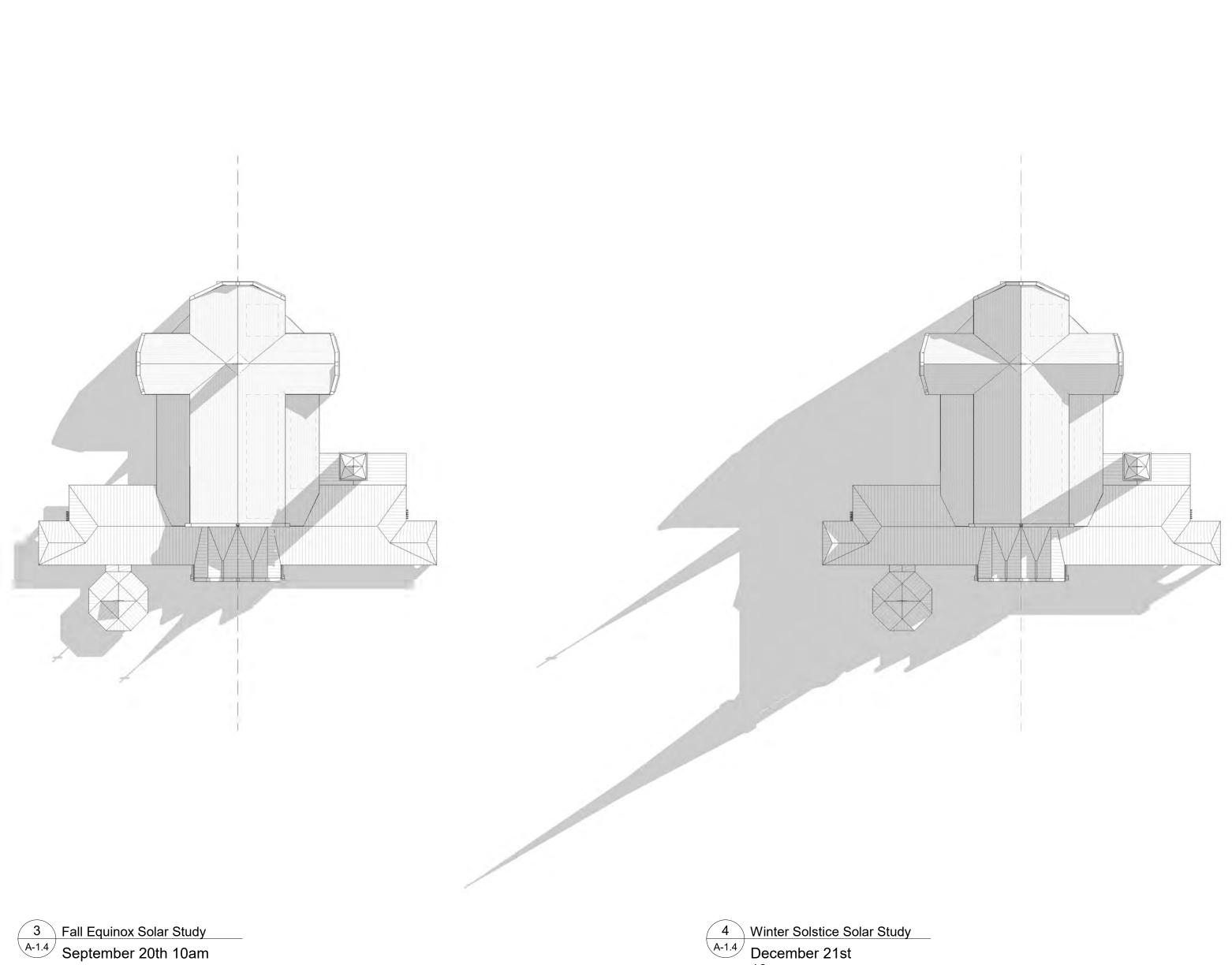
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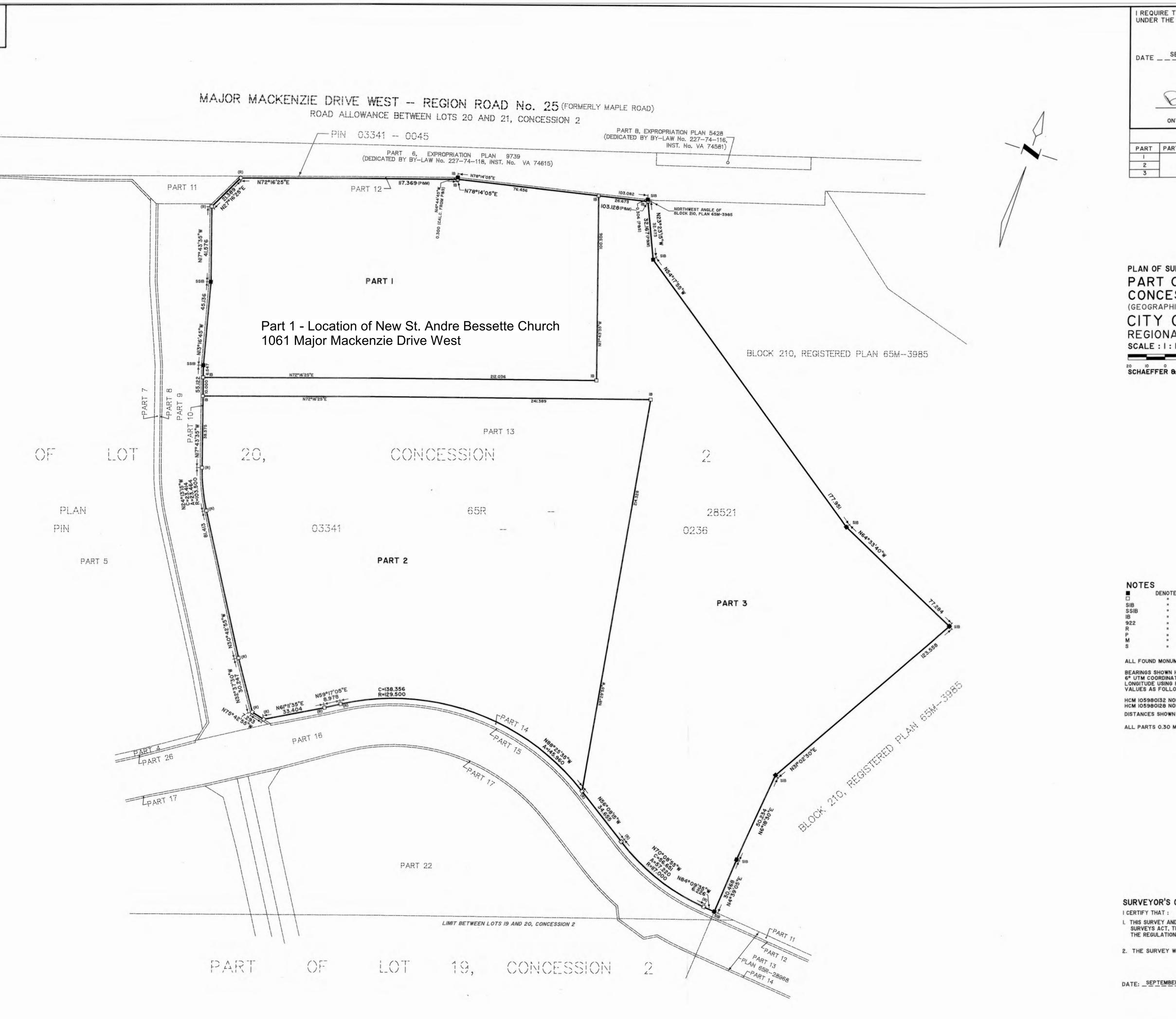
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4 Winter Solstice Solar Study A-1.4 December 21st 10am

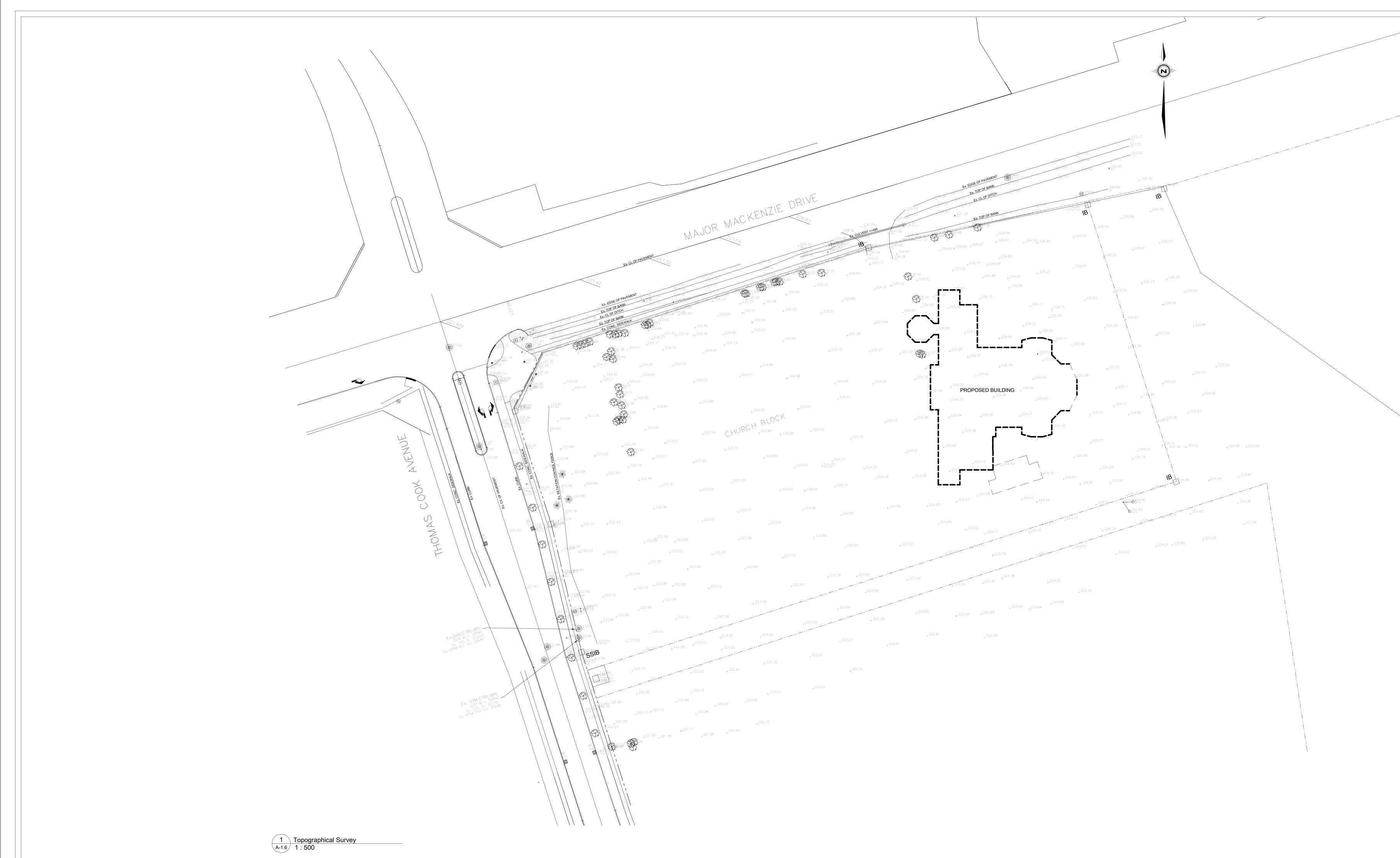
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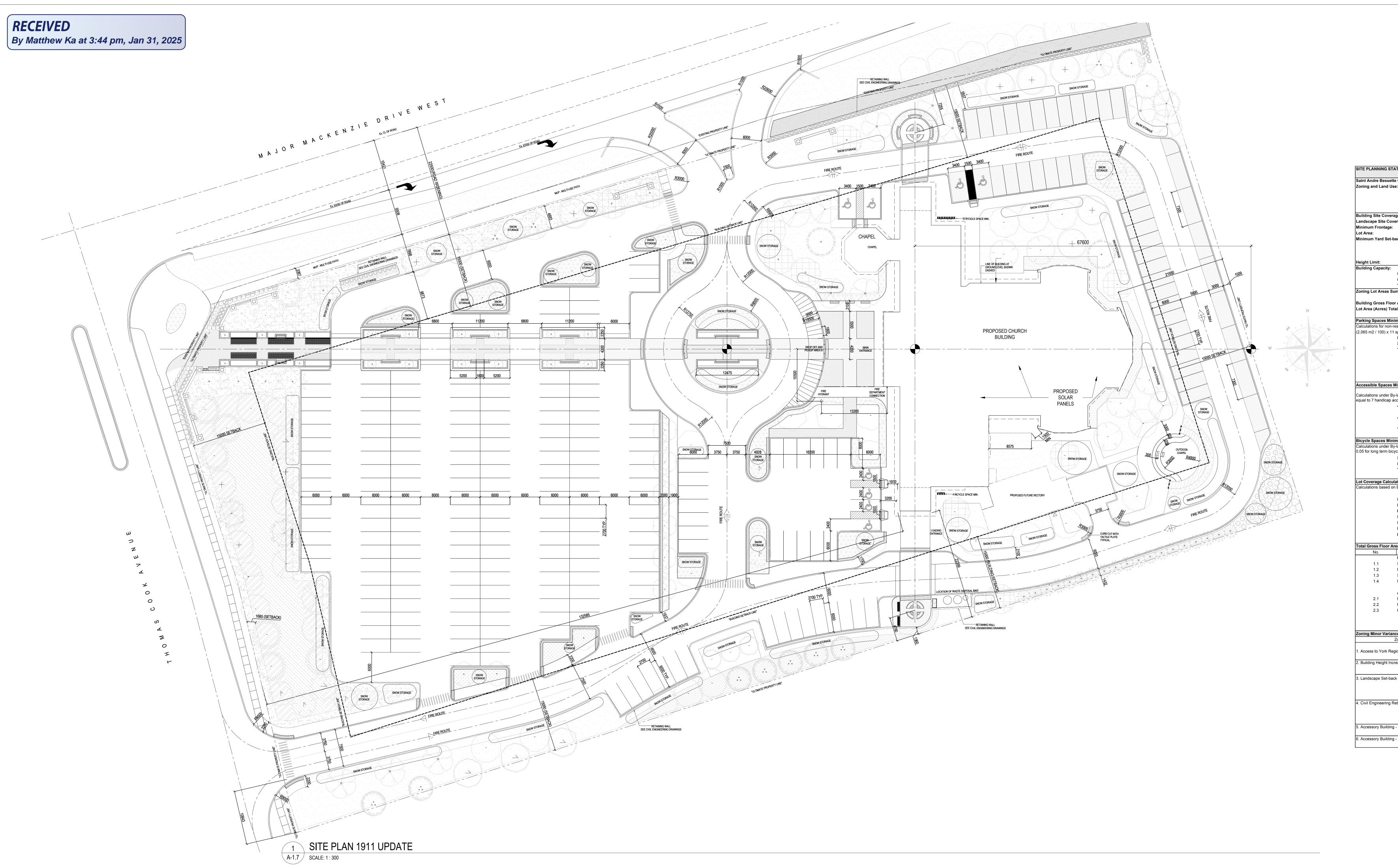
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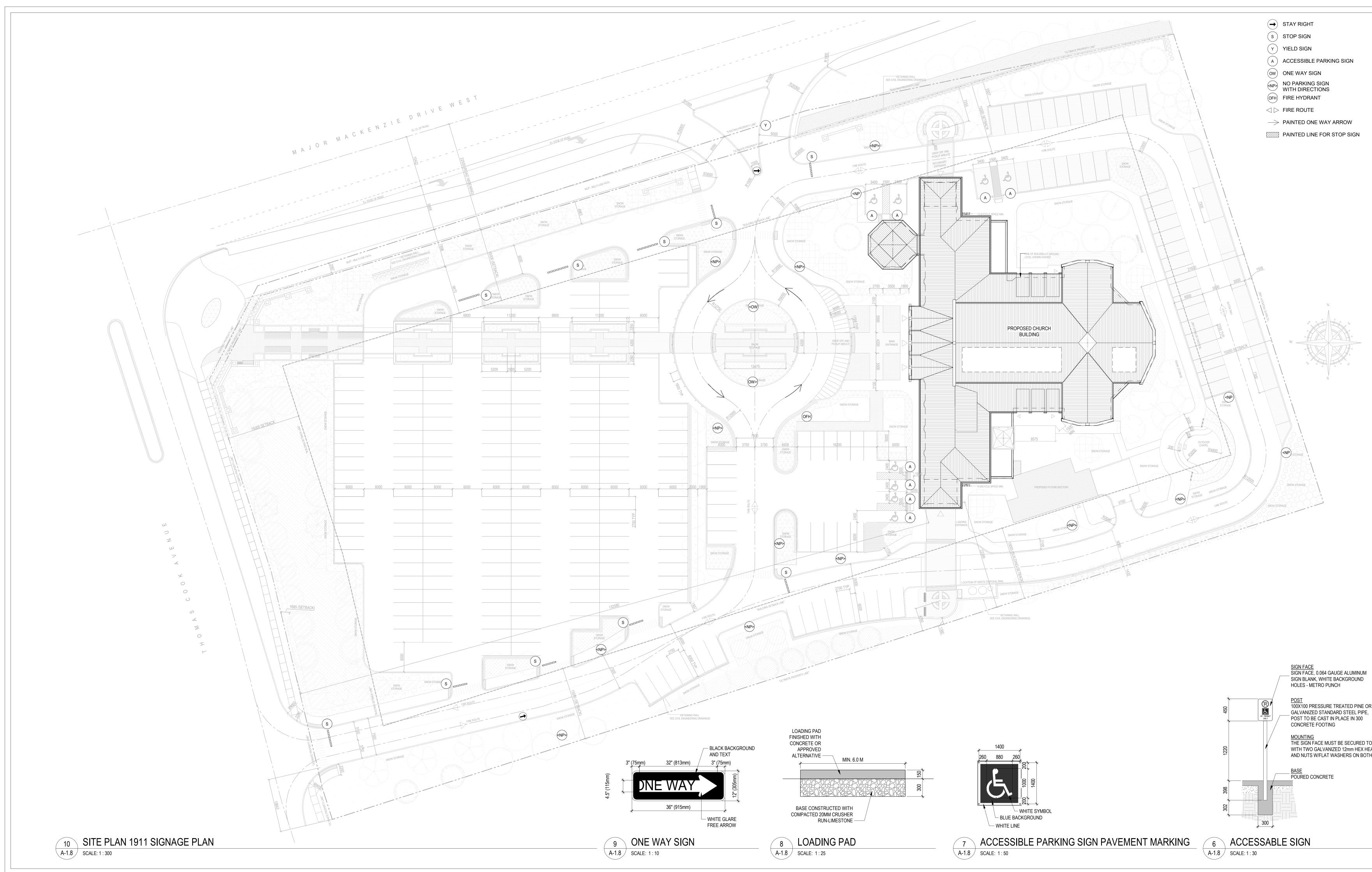


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	GINEERS GINEERS GINEERS GINEERS Tel: (905) 738-6100 Fax: (905) 738-6875 E-mail: DCIATESLID. design@schaeffers.com DRAWING No. JGHAN Y OF CHURCH BLOCK OT 20, CONCESSION 2 0297	TITLE: Topographical Survey SCALE: 1: 500 DRAWN: MH/ JM DATE 29-Nov-2019 CHECKED: JL REV. NO. FILE No. DA. 18. 099 SP. 18. V. 0290 PROJECT: St Andre Bessette Parish Roman Catholic Church Dif Mejor Mackenzie Drive West, Maple Ontario Canada PROJECT: DI Mejor Mackenzie Drive West, Maple Dif Mejor Mackenzie Drive West, Maple Church Dif Mejor Mackenzie Drive West, Maple Dif Mejor Mackenzie

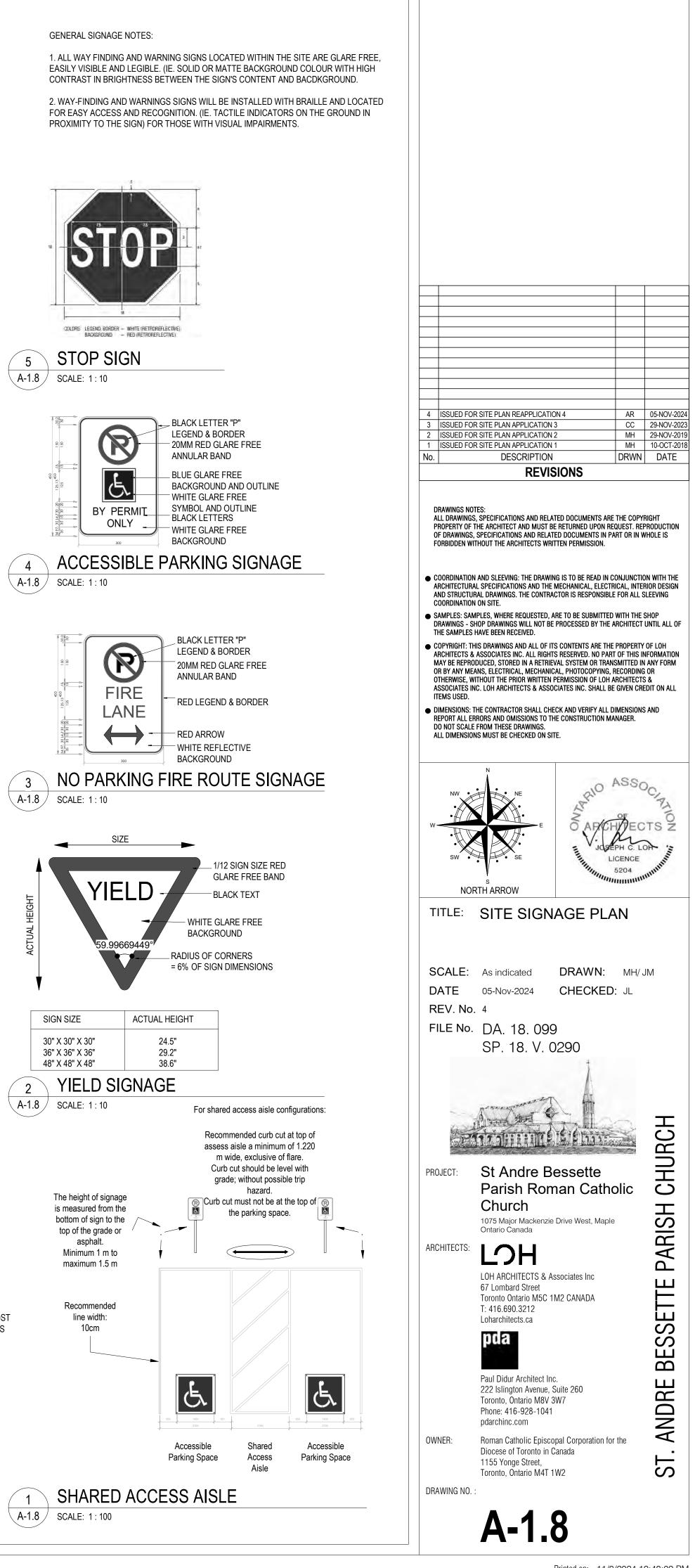




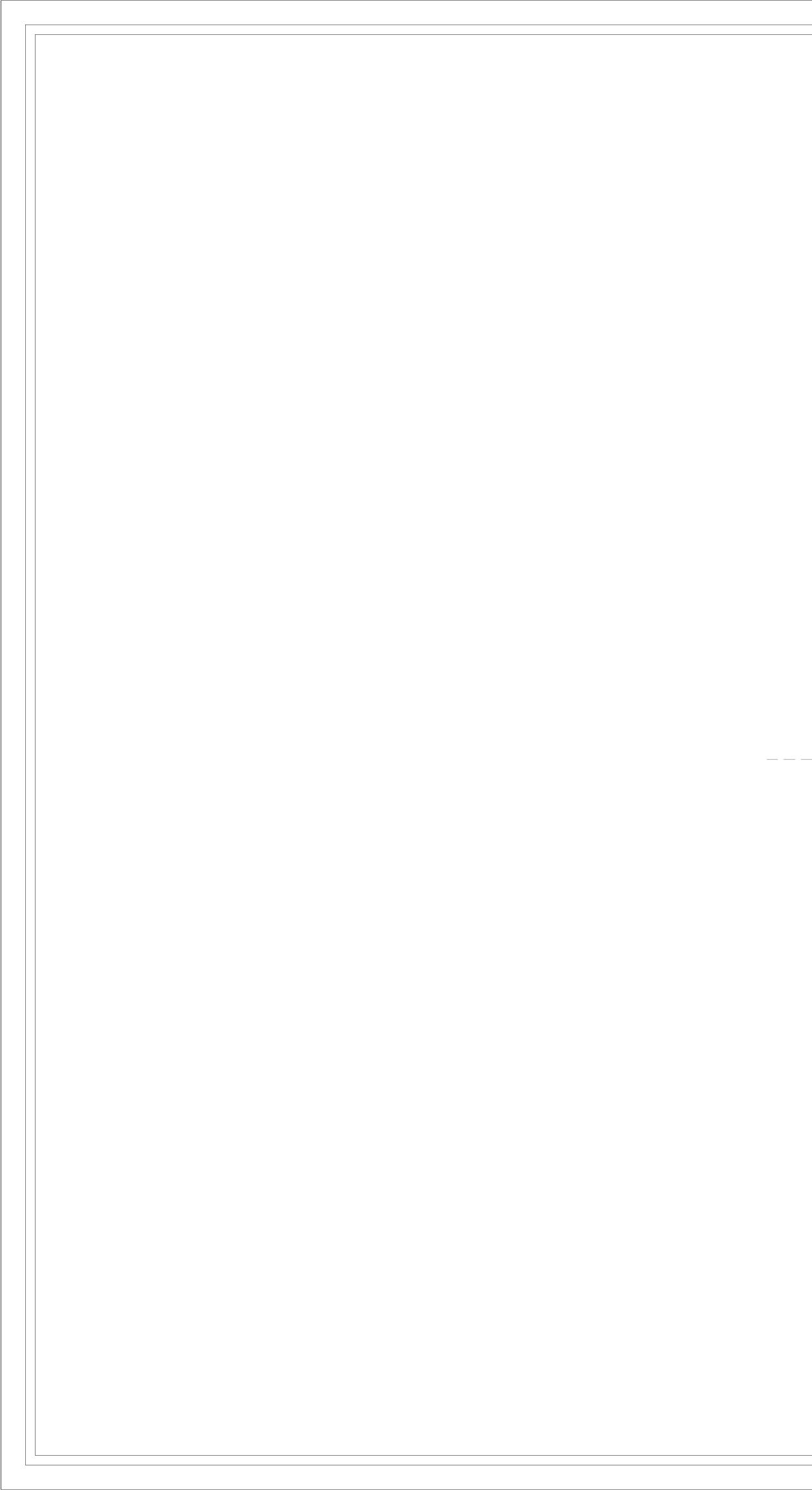
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Church Assembly Hall: Chapel: Total:	59 S	eats eats				REVISIC	NS
Total: summary: or Area (GFA) Total:		eats Meters (22,228 Sc	quare Feet)		PROPERTY OF 1	TES: 6, Specifications and related The architect and must be re Specifications and related d	TURNED UPON REQUEST.
ital:			es with York Region rc	d reduction)		THOUT THE ARCHITECTS WRITTEN	
residential parking based on By-law 1-88 I spaces = 228 required parking spaces. Parking Required Minimum			neters of gross floor a	a	ARCHITECTURA	I AND SLEEVING: THE DRAWING IS AL SPECIFICATIONS AND THE MEC	HANICAL, ELECTRICAL, IN
Parking Required Minimum: Spaces Above Requirement: Total Car Parking Spaces:	23 S	paces paces paces			COORDINATION	RAL DRAWINGS. THE CONTRACTOI I on site. IPLES, where requested, are t	
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Minimum Required by Zoning:	, , , , , , , , , , , , , , , , , , ,	•	•	, 	OTHERWISE, W Associates in	ANS, ELECTRICAL, MECHANICAL, I Ithout the prior written pern IC. Loh architects & Associat	VISSION OF LOH ARCHITE
-law 1-88 for accessible spaces based of ccessible spaces. The 7 spaces are inc 4 Type-A Accessible Parking Spaces F	luded within the total n			s 2 spaces is	ITEMS USED. DIMENSIONS: T	THE CONTRACTOR SHALL CHECK /	AND VERIFY ALL DIMENSI
4 Type-B Accessible Parking Spaces F	(Type-A Spac Required: 4	e: 3.4 M x 6.0 M al Car Spaces	buts 1.5 M Access Aisl		DO NOT SCALE	RRORS AND OMISSIONS TO THE CO FROM THESE DRAWINGS. NS MUST BE CHECKED ON SITE.	JINGTRUCTION MANAGER.
Total Car Accessible Spaces:		e: 2.4 M x 6.0 M al Spaces (7 minimu	buts 1.5 M Access Aisl ım))			
imum Required by Zoning: y-law 1-88 for bicycle parking is equal to	1 space per 100 m2 of	f GFA. Included wi	th the ratio of 0.4 for s	ort term and	LINE (NO ASE
ycle spaces. Short term bicycle spaces:	10 S	paces (2,065 m2/	100) x 0.4 = 10 Bicycle		NW ·	NE .	ARHO ASS
Long-term bicycle spaces: Total Bicycle Spaces:		paces (2,065 m2/ paces	100) x 0.05 = 2 Bicycle		• H L	E	
l ations: n By-law 1-88 with maximum 20% Buildi	ng Coverage and 40%	Landscape Cover	age		sw	SE	JOSEPH C. LICENC 5204
Lot Area: Building Area:		quare Meters quare Meters (1.1 [.]	+1.2+1.3+2.1 areas be	w)	NOF	× s RTH ARROW	5204 5204
Building Site Coverage: Lot Frontage	8.5 % 109 N	leters			TITLE:	SITE PLAN	
Lot Depth: Building Height: Landscape Site Coverage:		leters above estab	•			, ., .	
Landscape Site Coverage: ea (GFA) Summary:	41.7 %	5 = (9,040 m2 / 21	,092 m2) X 100		0000-	-	
Name Non-Residential Church Buildings: Sanctuary, Confession, Nave and Sup	port Spaces	Area (m²) 889 m²	Area (ft²) 9569 ft²		SCALE: DATE		RAWN: M⊦ CHECKED: JL
Narthex, Offices, and Support Spaces St. Joseph's Chapel		765 m² 76 m²	8234 ft² 818 ft²		REV. No.		
Mezzanine Level Accessory Building - Rectory:	Sub-total:	96 m² 1,826 m²	1033 ft ² 19,655 ft ²		FILE No.	DA. 18. 099 SP. 18. V. 029	۹N
Future Rectory First Floor Future Rectory Second Floor	Г	119 m² 120 m²	1281 ft ² 1292 ft ²			JI. TO. V. UZ	
Parking Garage (2 Spaces)	Sub-total:	239 m²	2,573 ft ²			ť	\mathbb{A}
Total	Gross Floor Area:	2,065 m²	22,228 ft ²				
Zoning & By-laws	Zoning Req		Zoning Minor Va				
ional Road - Major MacKenzie Dr.	No access permited fr with exce 11 Meters Maximum		d Regional road RIRO cross section. 15 Meters above est		PROJECT:	St Andre Bes	sette
			(the calculated buildi meters above establi	g height is 15		Parish Roma	
Clistance from Property Lines:	East: 2.4	Meters Meters Meters	5.135 Meters 1.425 Meters 1.05 Meters			Church 1075 Major Mackenzie Driv	ve West, Maple
etaining Wall:	West: 6.0	Meters Meters	6.0 Meters Retaining wall is 2.75		ARCHITECTS:	Ontario Canada L6A 3P2	
			height. Located 1.0 property line at single away beyond this po	point, tapers t to a lower			
Church Spire & Bell Tower	E	xempt	height in each directi No Variance Require Church Buildings.	n.		LOH ARCHITECTS & Assoc 67 Lombard Street Toronto Ontario M5C 1M2	
Church Rectory	E	xempt	No Variance Require Church Buildings.	for Accessory		T: 416.690.3212 Loharchitects.ca	υπινάμα
						Paul Didur Architect Inc. 222 Islington Avenue, Suite	
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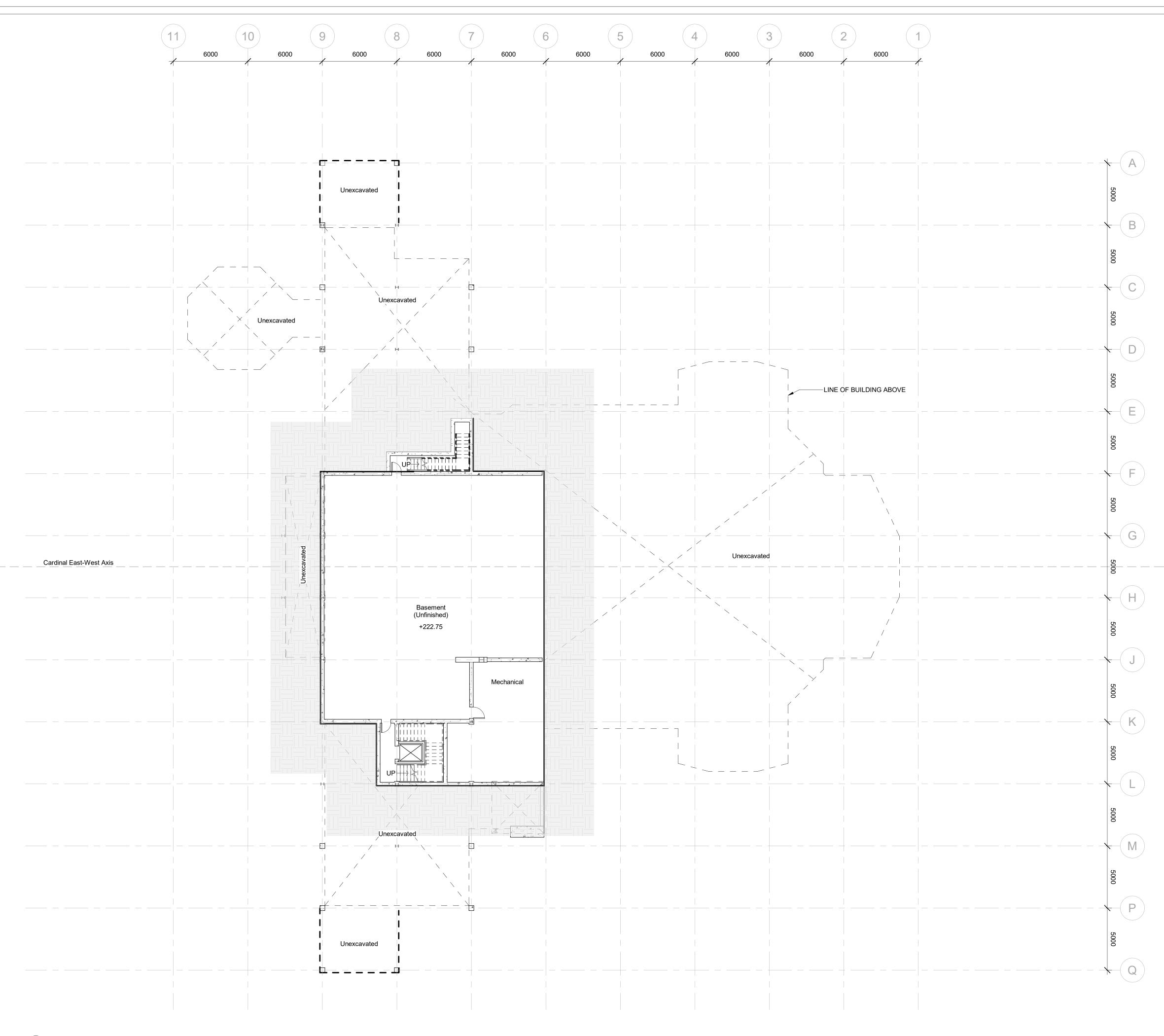


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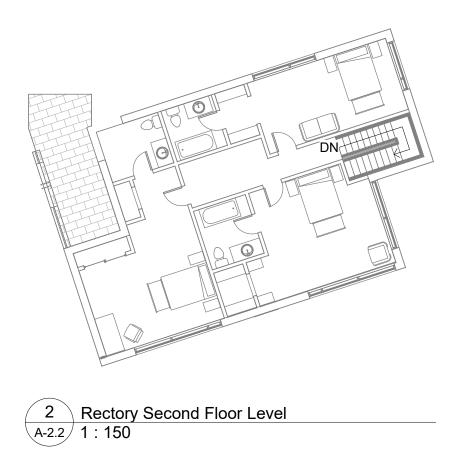
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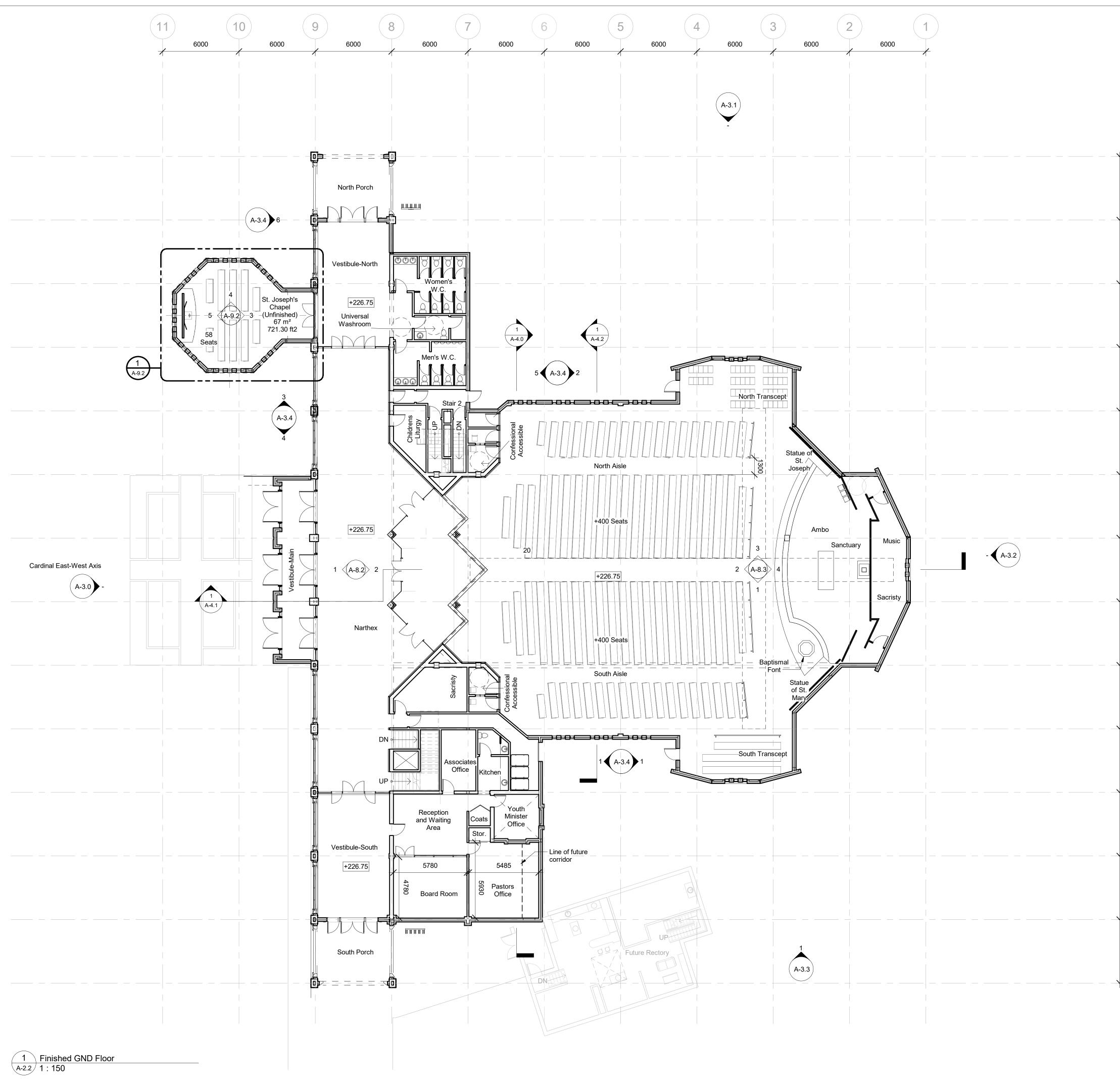
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	ment Level Plan



	St. Andre Bessette Church Gross	s Building Area						
No.	Name Area Sq.m Area							
Non-Resid	ential							
1.1	SAB Church, Nave and Sanctuary	889 m²	9568 SF					
1.2	Narthex, Offices and Vestibules	785 m²	8450 SF					
1.3	St. Joseph's Chapel	76 m²	815 SF					
1.4	Basement (unfinished space)	429 m²	4619 SF					
1.5	Mezzanine	96 m²	1034 SF					
		2275 m ²	24486 SF					
Residentia	I							
2.1	Future Rectory First Floor	119 m²	1286 SF					
2.2	Future Rectory Second Floor	120 m²	1287 SF					
	·	239 m ²	2573 SF					
Total Gros	s Floor Area	2514 m²	27059 SF					

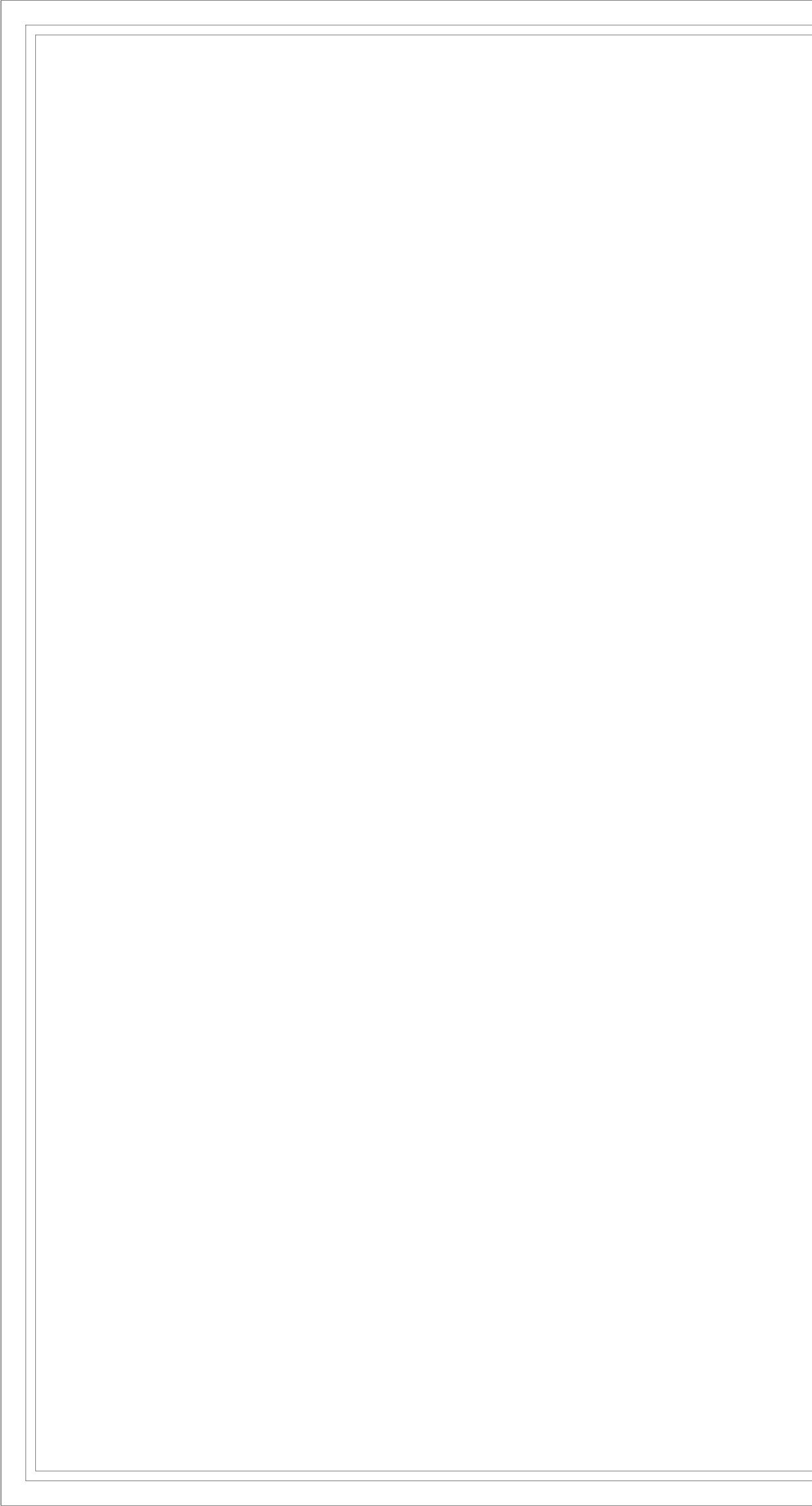
Total	Gross	Floor	Area

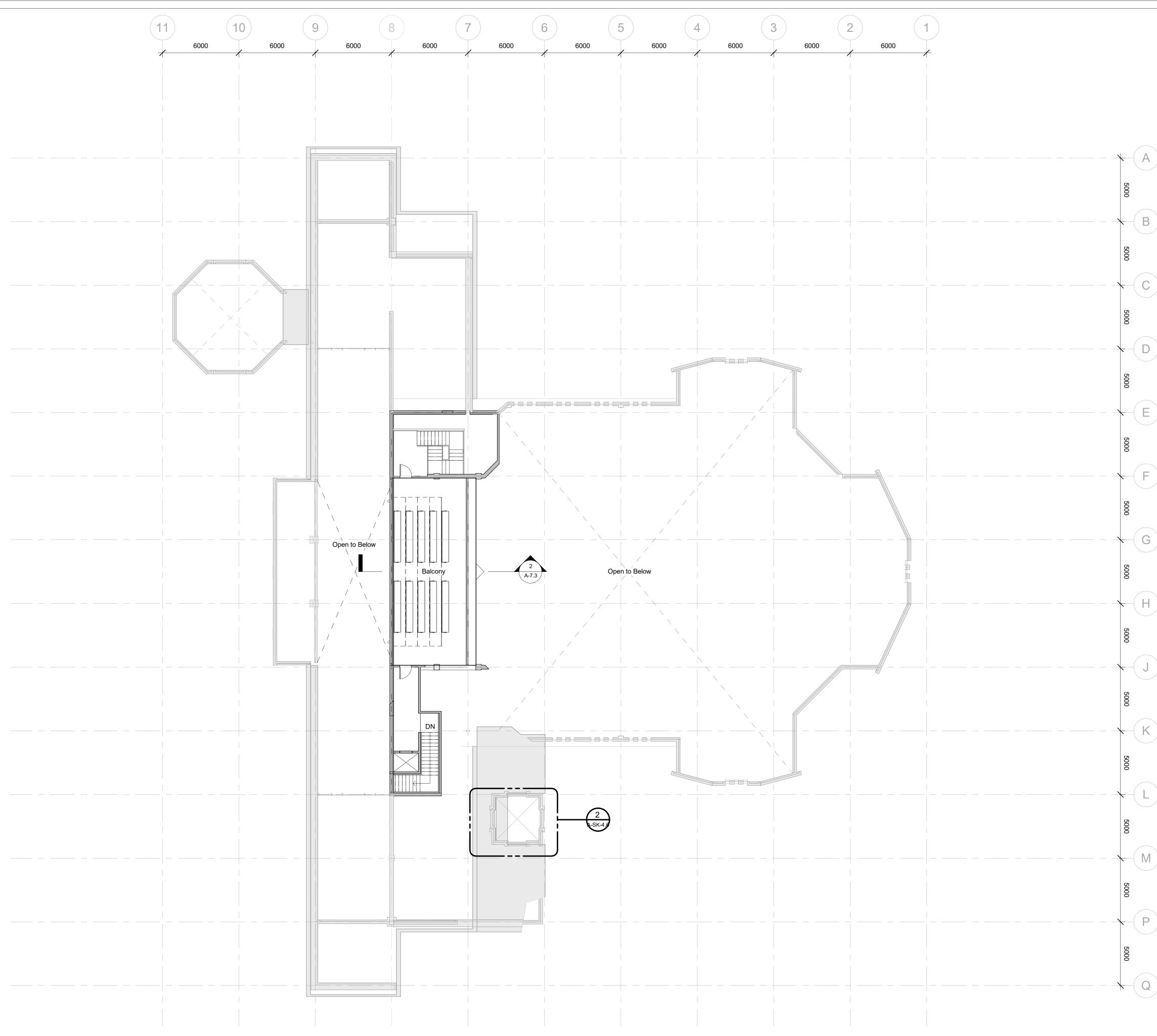
Number	Name	Area Sq.m	Area Sq.ft
	SPIRE	9 m²	95 ft
001	Basement (Unfinished)	0 m ²	0 ft
002	Mechanical	0 m²	0 ft
100	Nave	811 m²	8734 ft
101	Narthex	231 m²	2485 ft
102	St. Joseph's Chapel (Unfinished)	67 m²	721 ft
103	Vestibule-North	56 m²	602 ft
104	Vestibule-Main	37 m²	400 ft
105	Vestibule-South	56 m²	603 ft
106	Sacristy	13 m²	142 ft
107	Sacristy	17 m²	186 ft
108	Confessional Accessible	7 m²	77 ft
109	Confessional Accessible	7 m²	78 ft
110	Pastors Office	32 m²	350 ft
111	Reception and Waiting Area	30 m²	327 ft
112	Associates Office	13 m²	141 ft
113	Kitchen	7 m²	70 ft
114	Servery	0 m²	0 ft
115	Coats	2 m²	18 ft
116	Youth Minister Office	13 m²	135 ft
117	Board Room	28 m²	299 ft
118	Music	13 m²	144 ft
119	Storage	0 m²	0 ft
120	Stair 1	14 m²	151 ft
121	Stair 2	7 m²	76 ft
122	Childrens Liturgy	10 m²	113 ft
123	Men's W.C.	19 m²	204 ft
124	Women's W.C.	22 m²	233 ft
125	Universal Washroom	5 m²	56 ft
126	Office W.C.	0 m²	0 ft
128	Stor.	2 m²	18 ft
201	Mezzanine	84 m²	902 ft



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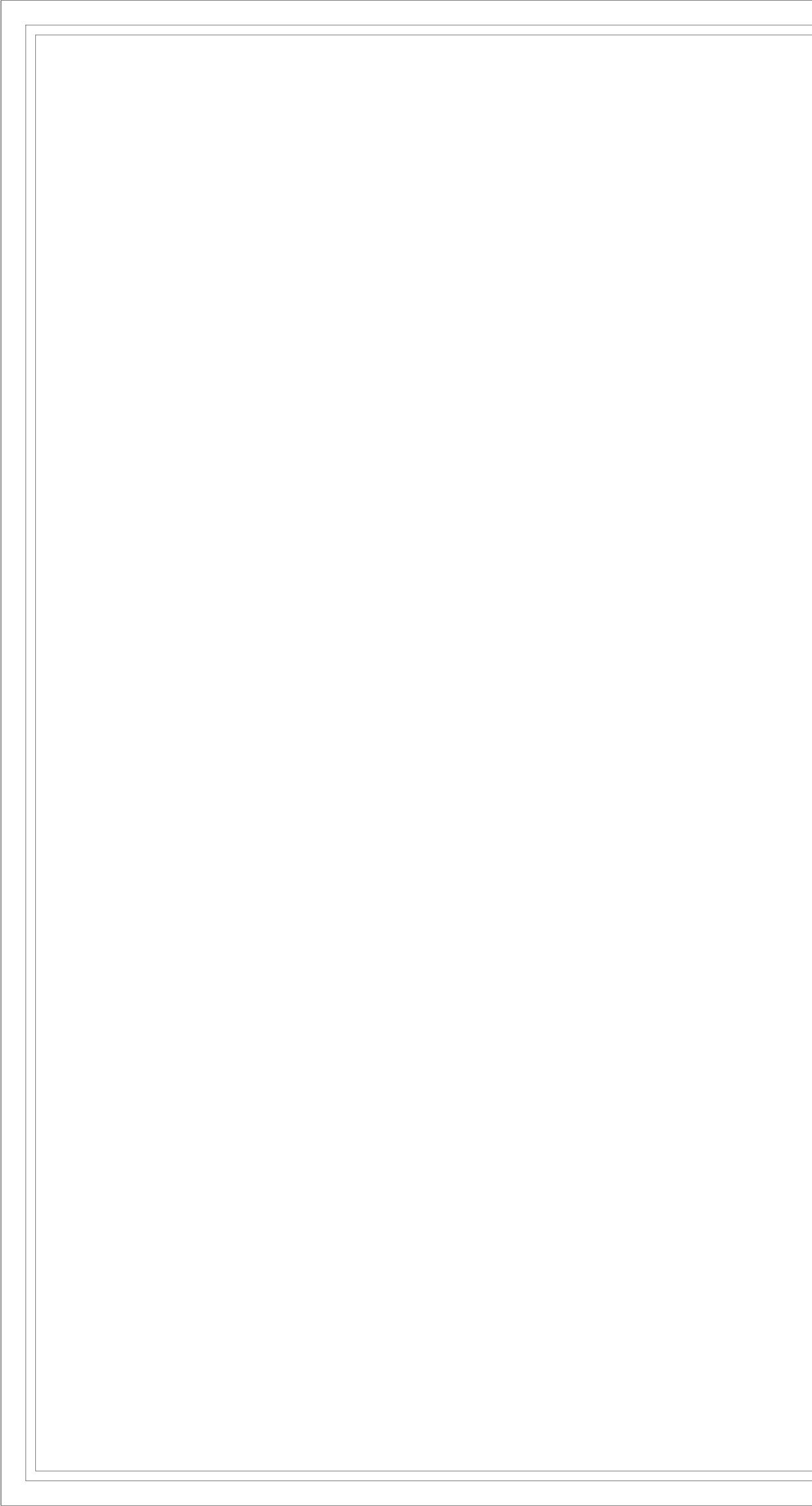


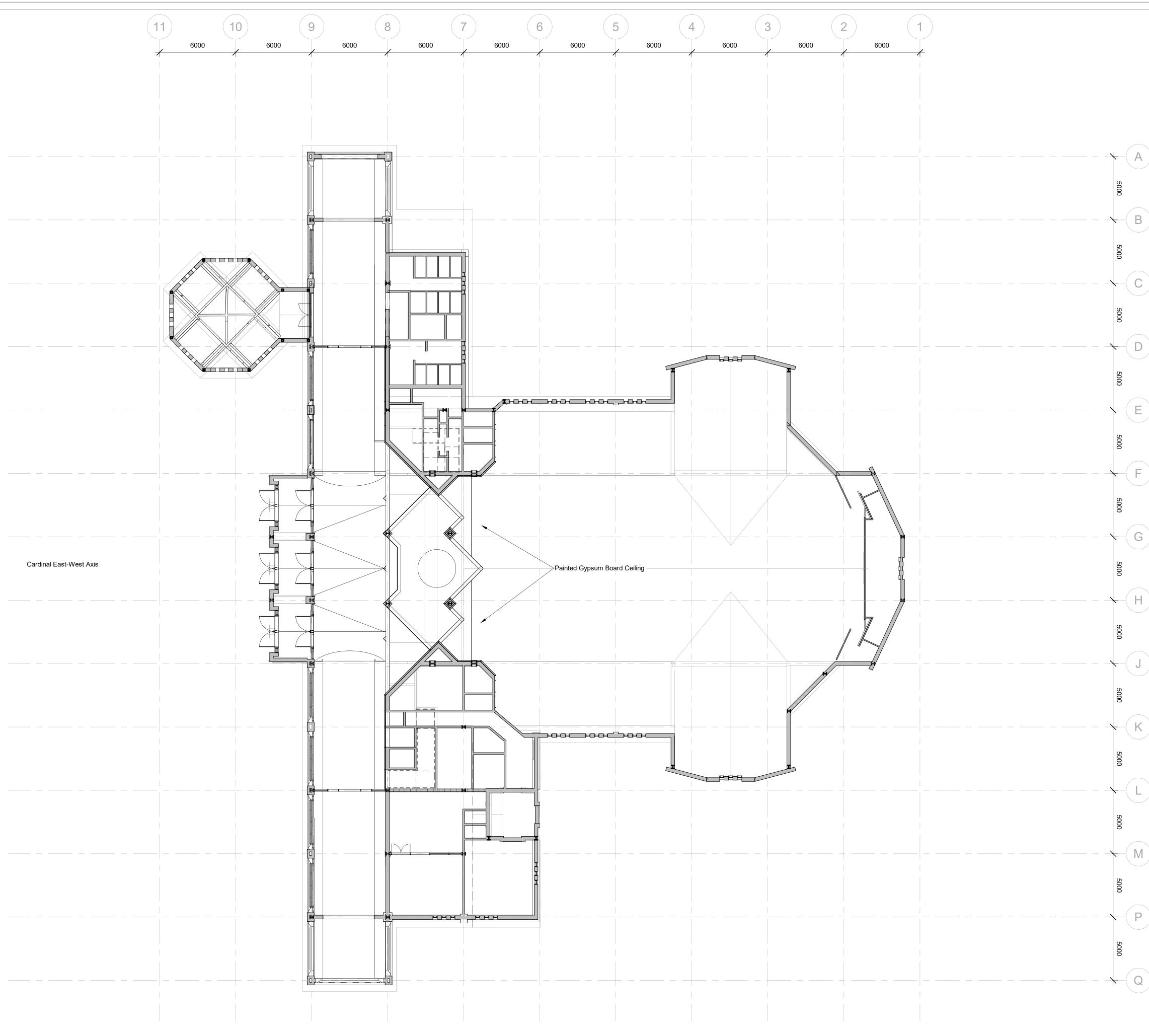


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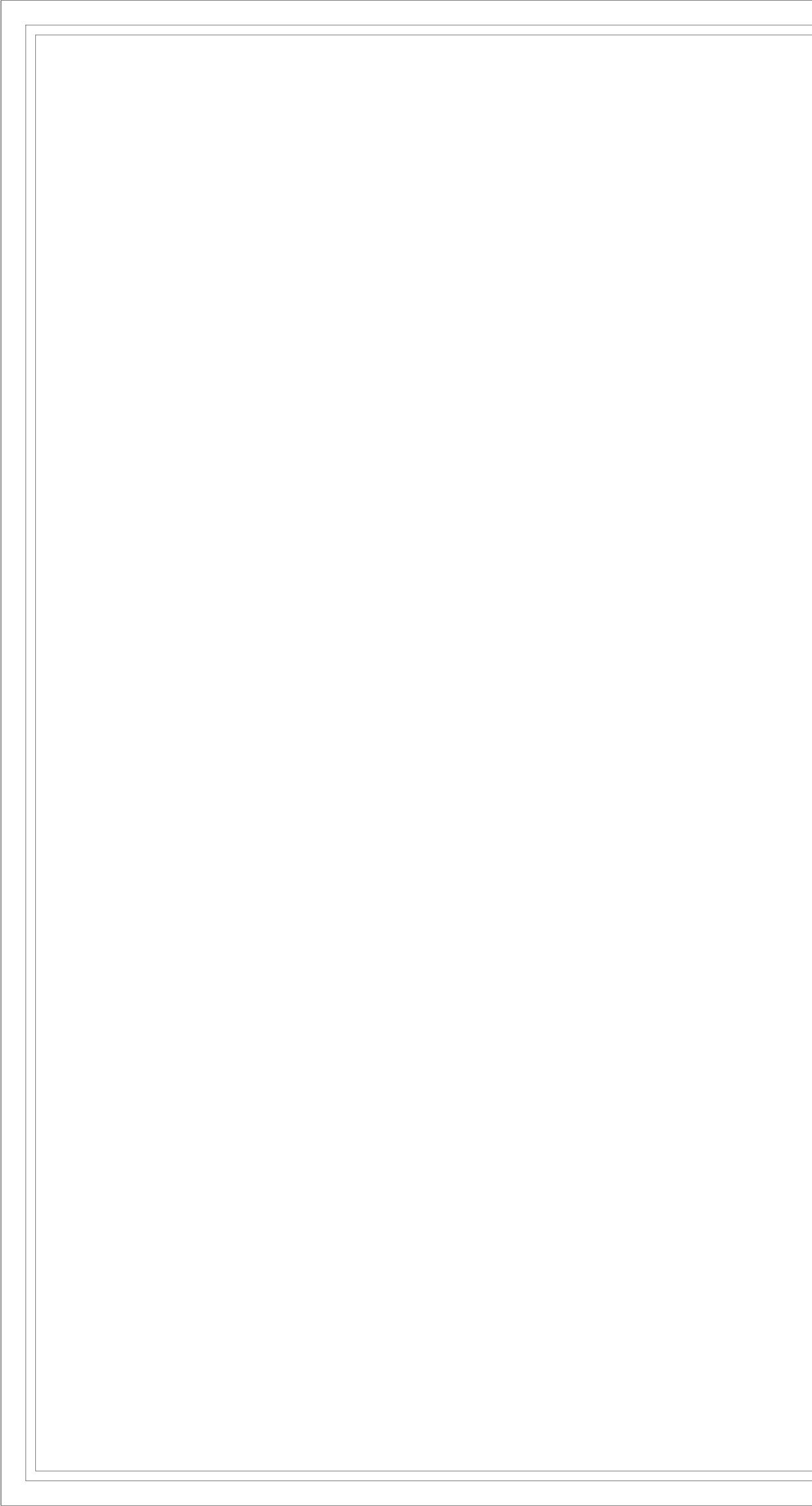


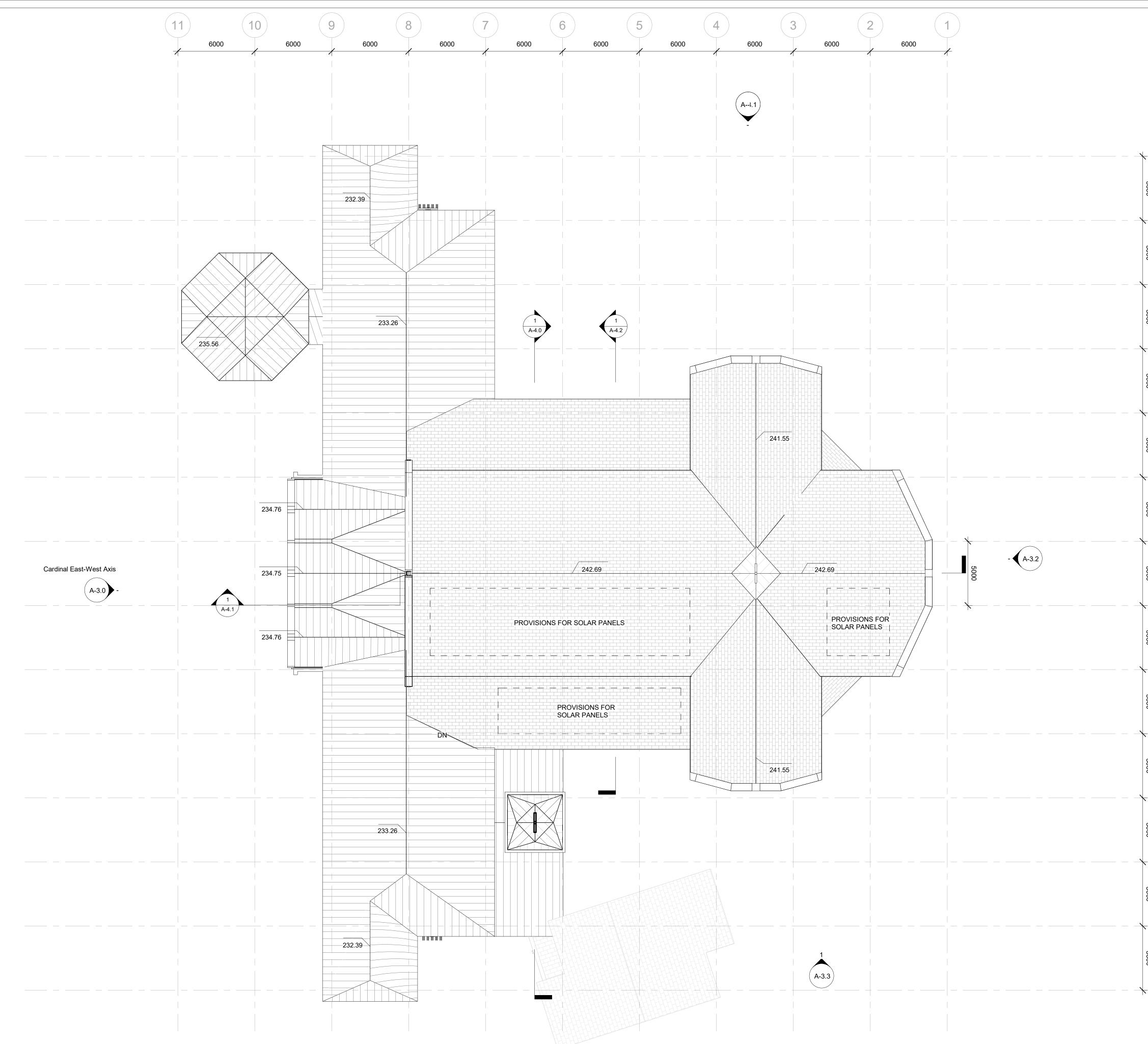


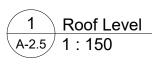
1 Reflected Ceiling Plar A-2.4 1 : 150

	REV	ISIONS:		
	REV. NO.	DESCRIPTION	DRAWN	DATE
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	ALL OF TH COPYRIGH LOH ARCH	E SAMPLES HAVE BEEN RECEIVED. T: This drawings and all of its con Itects & Associates Inc. All Rights 10n May be reproduced, stored in J	ITENTS ARE THE Reserved. No	PROPERTY PART OF TH
	TRANSMIT PHOTOCOM PERMISSIO	TED IN ANY FORM OR BY ANY MEANS, E Pying, recording or otherwise, wit on of loh architects & associates es inc. Shall be given credit on all	LECTRICAL, ME HOUT THE PRIO INC. LOH ARCHI	CHANICAL, R written
	REPORT AI DO NOT SO	NS: THE CONTRACTOR SHALL CHECK AN LL ERRORS AND OMISSIONS TO THE COI CALE FROM THESE DRAWINGS. ISIONS MUST BE CHECKED ON SITE.		
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			JOSEPH C. L LICENCE 5204	
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SCA DAT REV	C LE: 1: E 29- . NO.	round Level Refl eiling Plan 150 DRAWN: Nov- 2019 CHECKE 4	ected	OTS 2
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	ABBREVIATION	<u></u>	LEGENDS		
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			SIONS:		DATE
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		F 3 2	Issued for Site Plan Revisions Issued for Site Plan Application Pricing Class 'C' Cost Estimate	MH MH MH	Nov 29 2019 Oct 10 2018 Feb 20 2018
	DRAWIN		Concept Design DTES: S, SPECIFICATIONS AND RELATED DOCUM		Jan 4 2018
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	PERMIS ASSOCI	SION (Ates I	IG, RECORDING OR OTHERWISE, WITHOUT OF LOH ARCHITECTS & ASSOCIATES INC. L NC. SHALL BE GIVEN CREDIT ON ALL ITEM THE CONTRACTOR SHALL CHECK AND VEF	.0h archi' S Used.	TECTS &
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			6.690.3212 rchitects.ca		BESSETTE
		D _{aul} I	Didur Architect Inc.		
		222 I Toror Phon	slington Avenue, Suite 260 nto, Ontario M8V 3W7 e: 416-928-1041 chinc.com		ST. ANDRE
	OWNER:	Roma Dioce	an Catholic Episcopal Corporation fo ese of Toronto in Canada Yonge Street,	r the	T. Al
			nto, Ontario M4T 1W2		Ń
		A	-2.5		

D G \rightarrow H J K M (\mathbf{Q})

MATERIAL LEGEND

GL1	CLEA	CLEAR VISION GLASS							
GL1A	SPAN	SPANDREL GLASS: DARK GREY							
GL2	DOU	BLE GLAZED C	LEAR GLASS						
(PT1)	PAIN	T: PEWTER ME	TALLIC						
LV1	PREF	FINISHED ALUM	INUM LOUVE	RS					
(MT1)	PREF	INISHED META	AL FLASHING						
MT2	PREF	FINISHED ALUM	INUM MULLIC	NS					
MT5	PREF	FINISHED META	AL PANELS						
PC1	PREC	CAST CONCRE	TE: COLOUR						
PC2	PREC	CAST BRICK CL	ADDING						
ST1	GRAI	GRANITE: LABRADOR BLACK							
(RF1)	PREF	PREFINISHED ROOF SHINGLES							
RF2	PREF	FINISHED META	AL STANDING	SEAM ROOF					
(W1)		PRESSURE TREATED WOOD CROSS CLAD IN LEAD COATED COPPER							
(PV1)		TOVOLTAIC PO	-						
Established Grade Calculations									
1 - (94	ort Elov	/. + End Elev)							
L = (Old			c Length						
Calcula	tion	L							
Length		Begin Elev.	End Elev.	Length	Total				
Length 1		226.75	226.6	10.65m	2414.09m				
2		226.6	226.75	14.35m	3252.79m				
-		226.75	226.75	15.00m	3401.25m				
-									

13,639.57 / 60.18 = 226.64

6

Established Grade = 226.64

226.75

226.5

226.44

226.53

226.3

10.00m

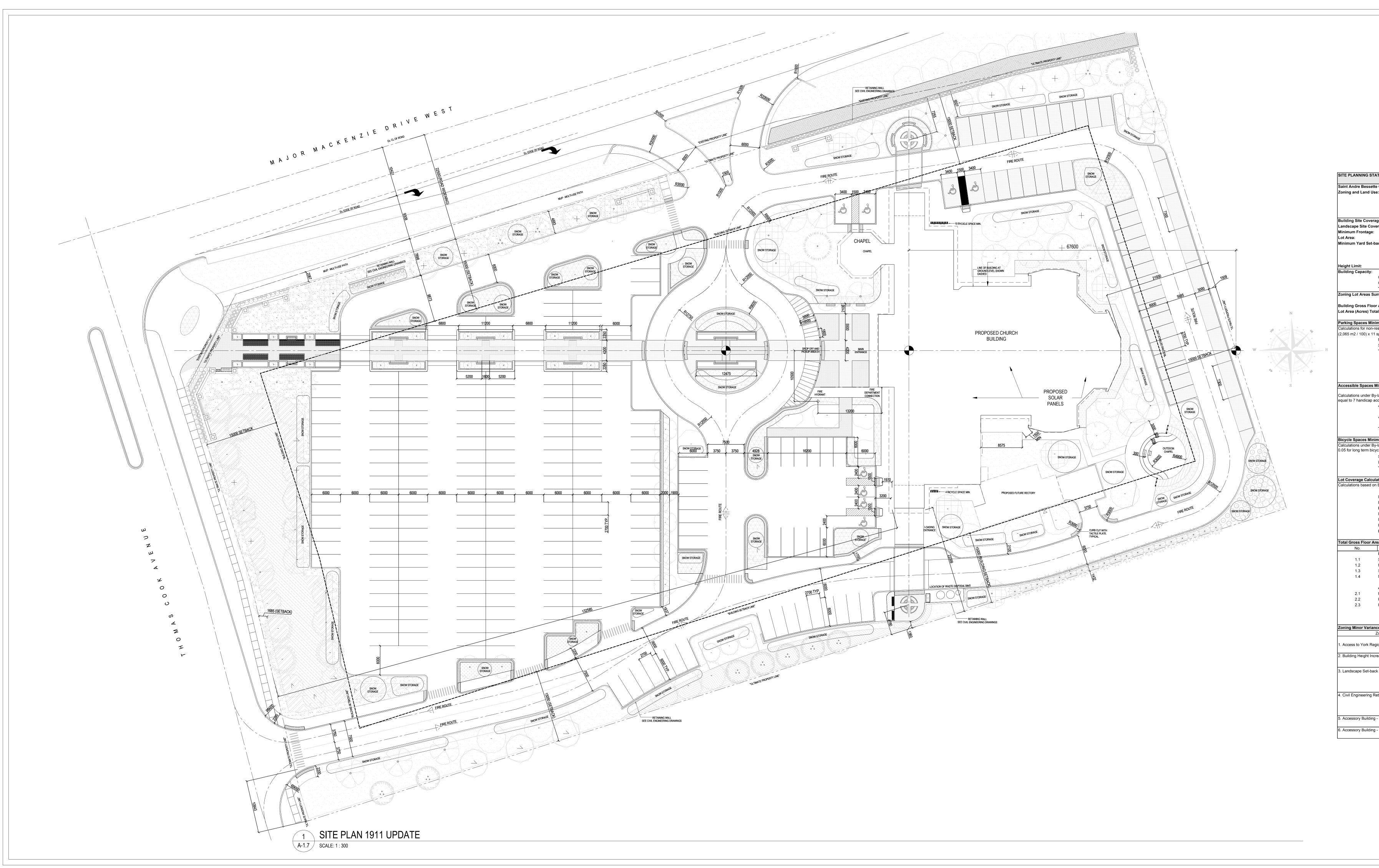
5.18m

2266.40m

1172.62m

60.18m 13639.57m





ATISTICS:	1075 Major M	acKanzia Driva We	est, Vaughan, Ontario,	64 302			
se:		I Use and Related	-	UA 372			
	Official Plan 2	010	and Zoning By-Law 1-				
rage: verage:	20% Maximun 40% Maximun	1	and site exception 902	2006-7			
	100 meters (2 5.5 A	0 meters for Institu cres (2.26 Ha)	utional Uses)			R SITE PLAN APPLICATION 4	AR
back:	15 N	leters front yard leters rear yard leters interior side	vard		3 ISSUED FOR 2 ISSUED FOR	R SITE PLAN APPLICATION 3 R SITE PLAN APPLICATION 2	AR CC MH
	15 N	leters exterior side				R SITE PLAN APPLICATION DESCRIPTION	мн DRW
Church Assembly Hall: Chapel: Total:	59 S	eats eats				REVISIC	NS
Total: summary: or Area (GFA) Total:		eats Meters (22,228 Sc	quare Feet)		PROPERTY OF 1	TES: 6, Specifications and related The architect and must be re Specifications and related d	TURNED UPON REQUEST.
ital:			es with York Region rc	d reduction)		THOUT THE ARCHITECTS WRITTEN	
residential parking based on By-law 1-88 I spaces = 228 required parking spaces. Parking Required Minimum			neters of gross floor a	a	ARCHITECTURA	I AND SLEEVING: THE DRAWING IS AL SPECIFICATIONS AND THE MEC	HANICAL, ELECTRICAL, IN
Parking Required Minimum: Spaces Above Requirement: Total Car Parking Spaces:	23 S	paces paces paces			COORDINATION	RAL DRAWINGS. THE CONTRACTOI I on site. Iples, where requested, are t	
	(Standard par (Standard par	king space dimens allel parking space	sions: 2.7 M x 6.0 M) e dimensions: 2.7 M x 7	· ·	DRAWINGS - SI THE SAMPLES	HOP DRAWINGS WILL NOT BE PRO Have been received.	DCESSED BY THE ARCHITE
	(Standard two	-way drive aisle di	pace dimensions: 2.7 I mensions range: 5.4 M mension provided: 6.0	к 7.5 M)	ARCHITECTS & MAY BE REPRO	IIS DRAWINGS AND ALL OF ITS CC Associates Inc. All Rights Re Duced, Stored in a retrieval	ESERVED. NO PART OF THI SYSTEM OR TRANSMITTE
Minimum Required by Zoning:	, , , , , , , , , , , , , , , , , , ,	•	•	, 	OTHERWISE, W Associates in	ANS, ELECTRICAL, MECHANICAL, I Ithout the prior written pern IC. Loh architects & Associat	VISSION OF LOH ARCHITE
-law 1-88 for accessible spaces based of ccessible spaces. The 7 spaces are inc 4 Type-A Accessible Parking Spaces F	luded within the total n			s 2 spaces is	ITEMS USED. DIMENSIONS: T	THE CONTRACTOR SHALL CHECK /	AND VERIFY ALL DIMENSI
4 Type-B Accessible Parking Spaces F	(Type-A Spac Required: 4	e: 3.4 M x 6.0 M al Car Spaces	buts 1.5 M Access Aisl		DO NOT SCALE	RRORS AND OMISSIONS TO THE CO FROM THESE DRAWINGS. NS MUST BE CHECKED ON SITE.	JINGTRUCTION MANAGER.
Total Car Accessible Spaces:		e: 2.4 M x 6.0 M al Spaces (7 minimu	buts 1.5 M Access Aisl ım))			
imum Required by Zoning: y-law 1-88 for bicycle parking is equal to	1 space per 100 m2 of	f GFA. Included wi	th the ratio of 0.4 for s	ort term and	LINE (NO ASE
ycle spaces. Short term bicycle spaces:	10 S	paces (2,065 m2/	100) x 0.4 = 10 Bicycle		NW ·	NE .	ARHO ASS
Long-term bicycle spaces: Total Bicycle Spaces:		paces (2,065 m2/ paces	100) x 0.05 = 2 Bicycle		• H L	E	
l ations: n By-law 1-88 with maximum 20% Buildi	ng Coverage and 40%	Landscape Cover	age		sw	SE	JOSEPH C. LICENC 5204
Lot Area: Building Area:		quare Meters quare Meters (1.1 [.]	+1.2+1.3+2.1 areas be	w)	NOF	× s RTH ARROW	5204 5204
Building Site Coverage: Lot Frontage	8.5 % 109 N	leters			TITLE:	SITE PLAN	
Lot Depth: Building Height: Landscape Site Coverage:		leters above estab	•			, ., .	
Landscape Site Coverage: ea (GFA) Summary:	41.7 %	5 = (9,040 m2 / 21	,092 m2) X 100		0000-	-	
Name Non-Residential Church Buildings: Sanctuary, Confession, Nave and Sup	port Spaces	Area (m²) 889 m²	Area (ft²) 9569 ft²		SCALE: DATE		RAWN: M⊦ CHECKED: JL
Narthex, Offices, and Support Spaces St. Joseph's Chapel		765 m² 76 m²	8234 ft² 818 ft²		REV. No.		
Mezzanine Level Accessory Building - Rectory:	Sub-total:	96 m² 1,826 m²	1033 ft ² 19,655 ft ²		FILE No.	DA. 18. 099 SP. 18. V. 029	۹N
Future Rectory First Floor Future Rectory Second Floor	Г	119 m² 120 m²	1281 ft ² 1292 ft ²			JI. TO. V. UZ	
Parking Garage (2 Spaces)	Sub-total:	239 m²	2,573 ft ²			ť	\mathbb{A}
Total	Gross Floor Area:	2,065 m²	22,228 ft ²				
Zoning & By-laws	Zoning Req		Zoning Minor Va				
ional Road - Major MacKenzie Dr.	No access permited fr with exce 11 Meters Maximum		d Regional road RIRO cross section. 15 Meters above est		PROJECT:	St Andre Bes	sette
			(the calculated buildi meters above establi	g height is 15		Parish Roma	
Clistance from Property Lines:	East: 2.4	Meters Meters Meters	5.135 Meters 1.425 Meters 1.05 Meters			Church 1075 Major Mackenzie Driv	ve West, Maple
etaining Wall:	West: 6.0	Meters Meters	6.0 Meters Retaining wall is 2.75		ARCHITECTS:	Ontario Canada L6A 3P2	
			height. Located 1.0 property line at single away beyond this po	point, tapers t to a lower			
Church Spire & Bell Tower	E	xempt	height in each directi No Variance Require Church Buildings.	n.		LOH ARCHITECTS & Assoc 67 Lombard Street Toronto Ontario M5C 1M2	
Church Rectory	E	xempt	No Variance Require Church Buildings.	for Accessory		T: 416.690.3212 Loharchitects.ca	υπινάμα
						Paul Didur Architect Inc. 222 Islington Avenue, Suite	
						Toronto, Ontario M8V 3W7 Phone: 416-928-1041	
					OWNER:	pdarchinc.com Roman Catholic Episcopal	
						Diocese of Toronto in Cana 1155 Yonge Street,	ada
						Toronto, Ontario M4T 1W2	
					DRAWING NO.	A-1.7	,

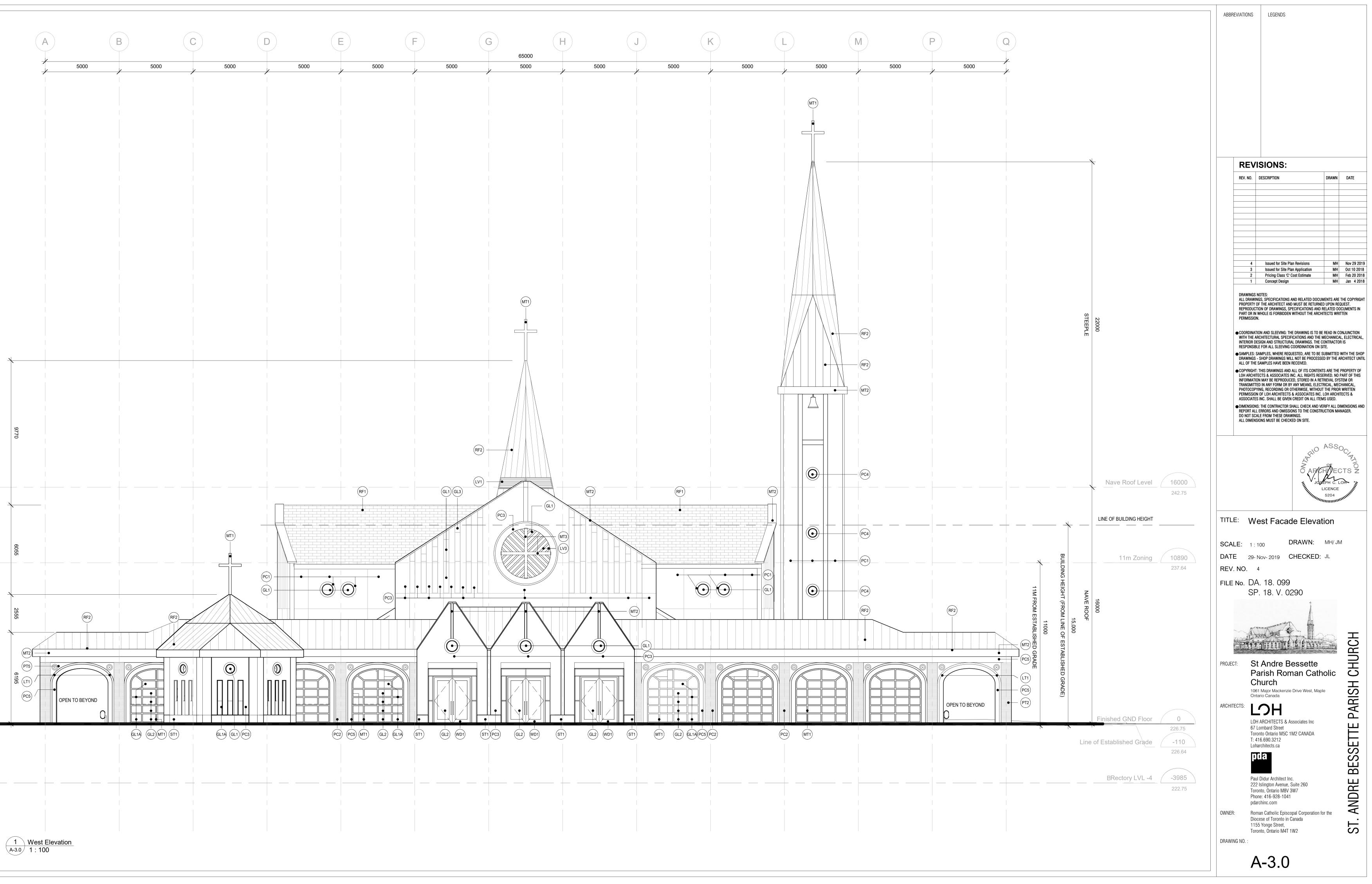
MATERIAL LEGEND

(PC1)	PRECAST CONCRETE: COLOUR
PC2	PRECAST BRICK CLADDING
PC3	PRECAST CONCRETE WITH WATERPROOF COATING: COLOUR
PC4	ROSETTE RELIEF
PC5	EXTERIOR FACADE LINTELS
(MT1)	PREFINISHED ALUMINUM MULLIONS
MT2	PREFINISHED METAL FLASHING
MT3	PREFINISHED METAL CHANNELS FOR ROSE WINDOWS
GL1	CLEAR VISION GLASS
GL1A	CLEAR VISION GLASS WITHOUT INNER AND OUTER PANES
GL2	DOUBLE GLAZED CLEAR 'LOW EMISSIVITY' VISION GLASS
GL3	SPANDREL GLASS
(PT1)	PAINT FOR EXTERIOR STRUCTURAL STEEL: PEWTER METALLIC
PT2	PAINT FOR EXTERIOR FRAMING: PEWTER METALLIC
(LV1)	PREFINISHED ALUMINUM STORM- LOUVERS
LV2	PREFINISHED ALUMINUM LOUVERS
LV3	PREFINISHED ALUMINUM FINS
(ST1)	GRANITE: LABRADOR BLACK
(RF1)	STANDING SEAM METAL ROOF SYSTEM
(RF2)	ASPHALT SHINGLE ROOF SYSTEM: LIGHT GREY
(RF3)	METAL SHINGLES
WD1)	WOOD: MAPLE
(PV1)	PHOTOVOLTAIC POWERS
(LT1)	EXTERIOR LIGHTING
Establish	ed Grade Calculations
L = (Star	t Elev. + End Elev)
	2 x Length

Length No.	Begin Elev.	End Elev.	Length Total	
1	226.75	226.6	10.65m	2414.09m
2	226.6	226.75	14.35m	3252.79m
3	226.75	226.75	15.00m	3401.25m
4	226.75	226.53	10.00m	2266.40m
5	226.53	226.44	5.00m	1132.42m
6	226.44	226.31	5.18m	1172.62m

13,639.57 / 60.18 = 226.64

Established Grade = 226.64



(PT5) -

LT1

PC5 /

MATERIAL LEGEND

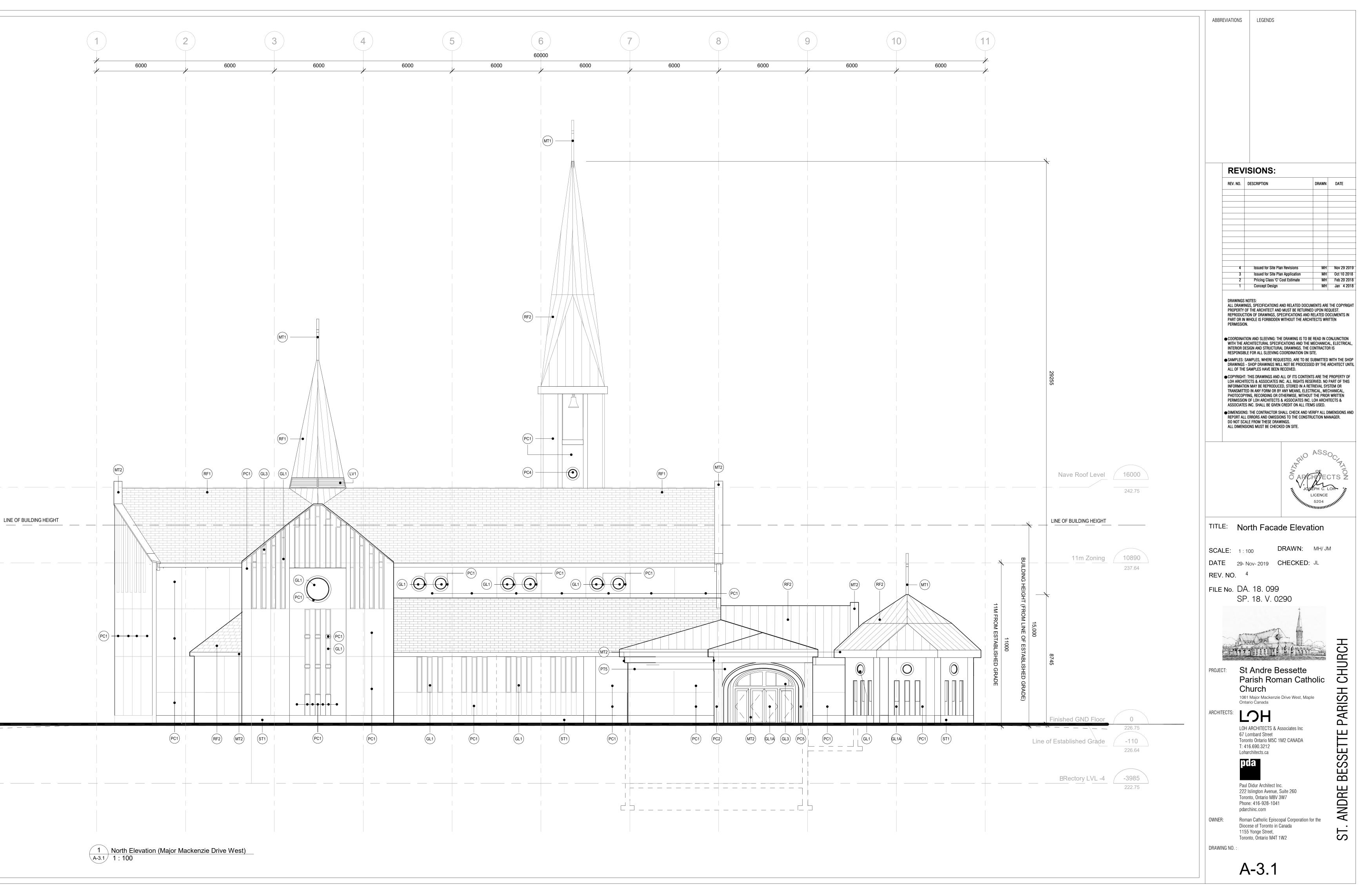
- (PC1) PRECAST CONCRETE: COLOUR
- (PC2) PRECAST BRICK CLADDING
- PC3 PRECAST CONCRETE WITH WATERPROOF COATING: COLOUR
- (PC4) ROSETTE RELIEF
- (PC5) EXTERIOR FACADE LINTELS
- (MT1) PREFINISHED ALUMINUM MULLIONS
- (MT2) PREFINISHED METAL FLASHING
- (MT3) PREFINISHED METAL CHANNELS FOR ROSE WINDOWS
- GL1 CLEAR VISION GLASS
- (GL1A) CLEAR VISION GLASS WITHOUT INNER AND OUTER PANES
- GL2 DOUBLE GLAZED CLEAR 'LOW EMISSIVITY' VISION GLASS
- GL3 SPANDREL GLASS
- (PT1) PAINT FOR EXTERIOR STRUCTURAL STEEL: PEWTER METALLIC
- (PT2) PAINT FOR EXTERIOR FRAMING: PEWTER METALLIC
- (LV1) PREFINISHED ALUMINUM STORM- LOUVERS
- (LV2) PREFINISHED ALUMINUM LOUVERS
- (LV3) PREFINISHED ALUMINUM FINS
- (ST1) GRANITE: LABRADOR BLACK
- (RF1) STANDING SEAM METAL ROOF SYSTEM
- (RF2) ASPHALT SHINGLE ROOF SYSTEM: LIGHT GREY
- (RF3) METAL SHINGLES
- WD1 WOOD: MAPLE
- (PV1) PHOTOVOLTAIC POWERS
- LT1 EXTERIOR LIGHTING

Established Grade Calculations

Established Grade Calculations							
L = (Start Elev	v. + End Elev)						
	2	— x Length					
Calculation							
Length No.	Begin Elev.	End Elev.	Length Total				
1	226.75	226.6	10.65m	2414.09m			
2	226.6	226.75	14.35m	3252.79m			
3	226.75	226.75	15.00m	3401.25m			
4	226.75	226.53	10.00m	2266.40m			
5	226.53	226.44	5.00m	1132.42m			
6	226.44	226.31	5.18m	1172.62m			
			60.18m	13639.57m			

13,639.57 / 60.18 = 226.64

Established Grade = 226.64



By Matthew Ka at 3:46 pm, Jan 31, 2025

MATERIAL LEGEND

(GL1)	CLEAR VISION GLASS

- (GL1A) SPANDREL GLASS: DARK GREY
- GL2 DOUBLE GLAZED CLEAR GLASS
- (PT1) PAINT: PEWTER METALLIC
- (LV1) PREFINISHED ALUMINUM LOUVERS
- (MT1) PREFINISHED METAL FLASHING
- (MT2) PREFINISHED ALUMINUM MULLIONS
- (MT5) PREFINISHED METAL PANELS
- PC1 PRECAST CONCRETE: COLOUR
- PC2 PRECAST BRICK CLADDING
- (ST1) GRANITE: LABRADOR BLACK
- (RF1) PREFINISHED ROOF SHINGLES
- (RF2) PREFINISHED METAL STANDING SEAM ROOF
- W1 PRESSURE TREATED WOOD CROSS CLAD IN LEAD COATED COPPER
- PV1 PHOTOVOLTAIC POWERS

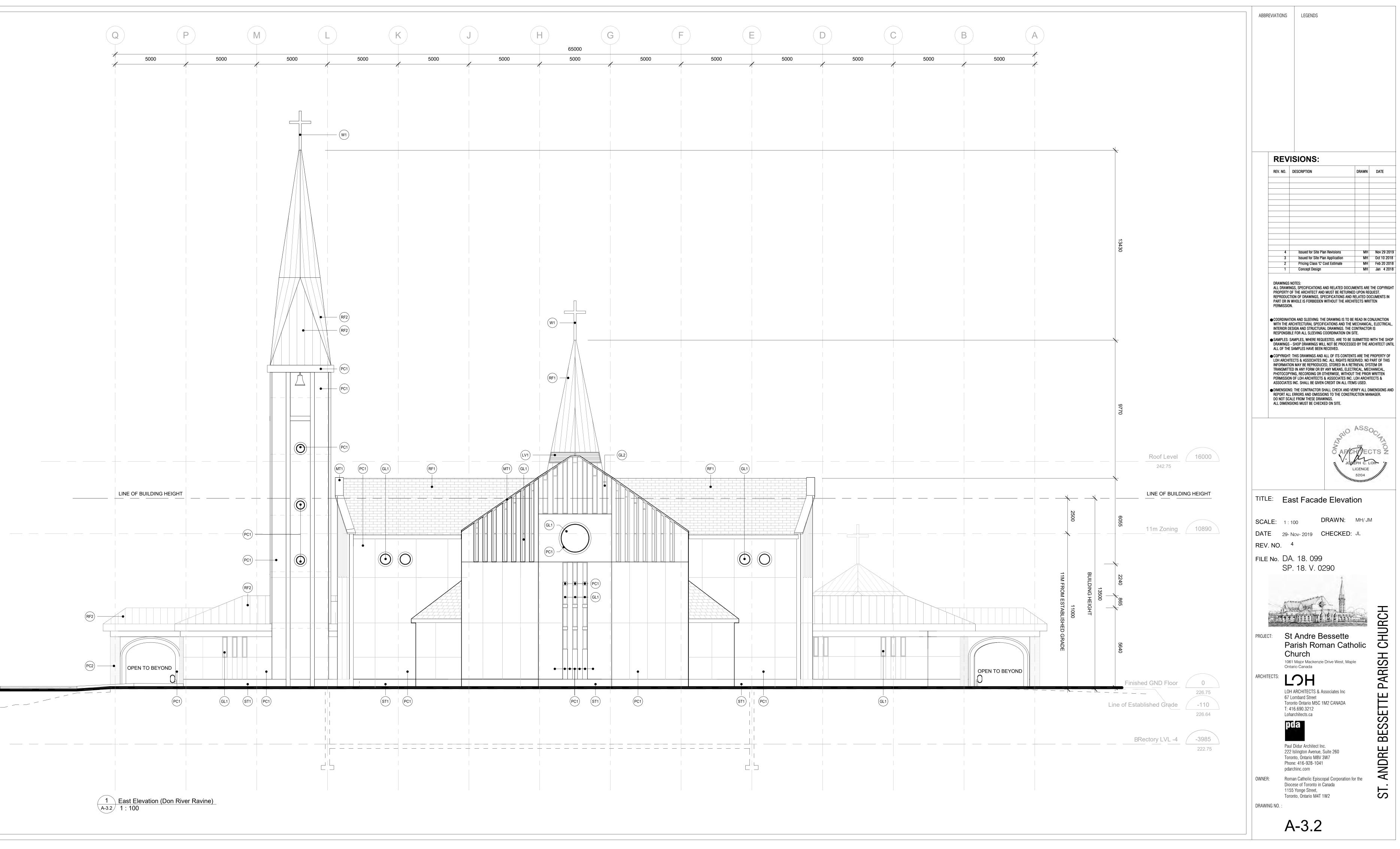
Established Grade Calculations

L = (Start Elev. + End Elev)

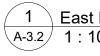
	2	x Length		
Calculation				
Length No.	Begin Elev.	End Elev.	Length	Total
1	226.75	226.6	10.65m	2414.09m
2	226.6	226.75	14.35m	3252.79m
3	226.75	226.75	15.00m	3401.25m
4	226.75	226.53	10.00m	2266.40m
5	226.53	226.44	5.00m	1132.42m
6	226.44	226.31	5.18m	1172.62m

60.18m 13639.57m

13,639.57 / 60.18 = 226.64 Established Grade = 226.64



_ _ _ _



By Matthew Ka at 3:46 pm, Jan 31, 2025

MATERIAL LEGEND

CLEAR VISION GLASS
SPANDREL GLASS: DARK GREY
DOUBLE GLAZED CLEAR GLASS
PAINT: PEWTER METALLIC
PREFINISHED ALUMINUM LOUVERS
PREFINISHED METAL FLASHING
PREFINISHED ALUMINUM MULLIONS
PREFINISHED METAL PANELS
PRECAST CONCRETE: COLOUR
PRECAST BRICK CLADDING
GRANITE: LABRADOR BLACK
PREFINISHED ROOF SHINGLES
PREFINISHED METAL STANDING SEAM ROOF
PRESSURE TREATED WOOD CROSS CLAD IN LEAD COATED COPPER

PV1 PHOTOVOLTAIC POWERS

Established Grade Calculations

L =	(Start	Elev.	+	End	Ele	ev)		
							v I	enath

<u> </u>	2	x Length		
Calculation				
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1	226.75	226.6	10.65m	2414.09n
2	226.6	226.75	14.35m	3252.79n
3	226.75	226.75	15.00m	3401.25n
4	226.75	226.53	10.00m	2266.40n
5	226.53	226.44	5.00m	1132.42n
6	226.44	226.31	5.18m	1172.62n

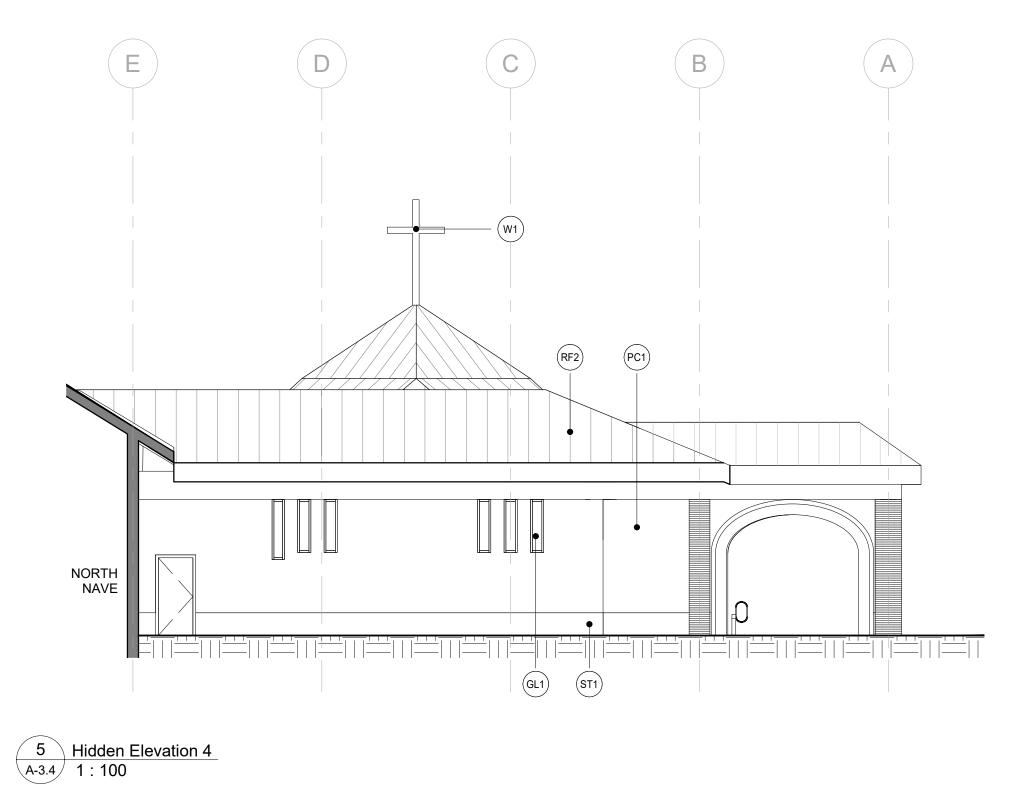
60.18m 13639.57m

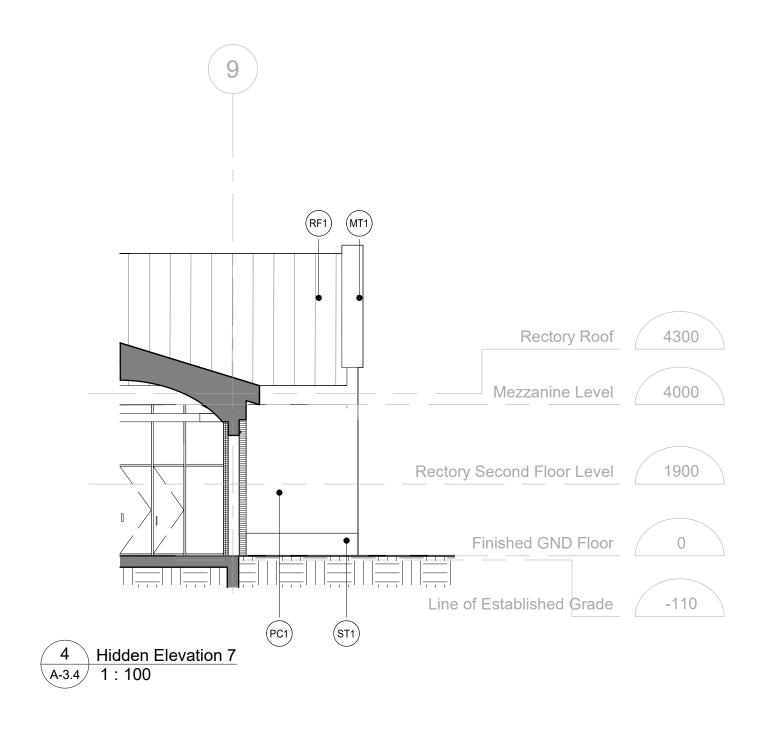
13,639.57 / 60.18 = 226.64

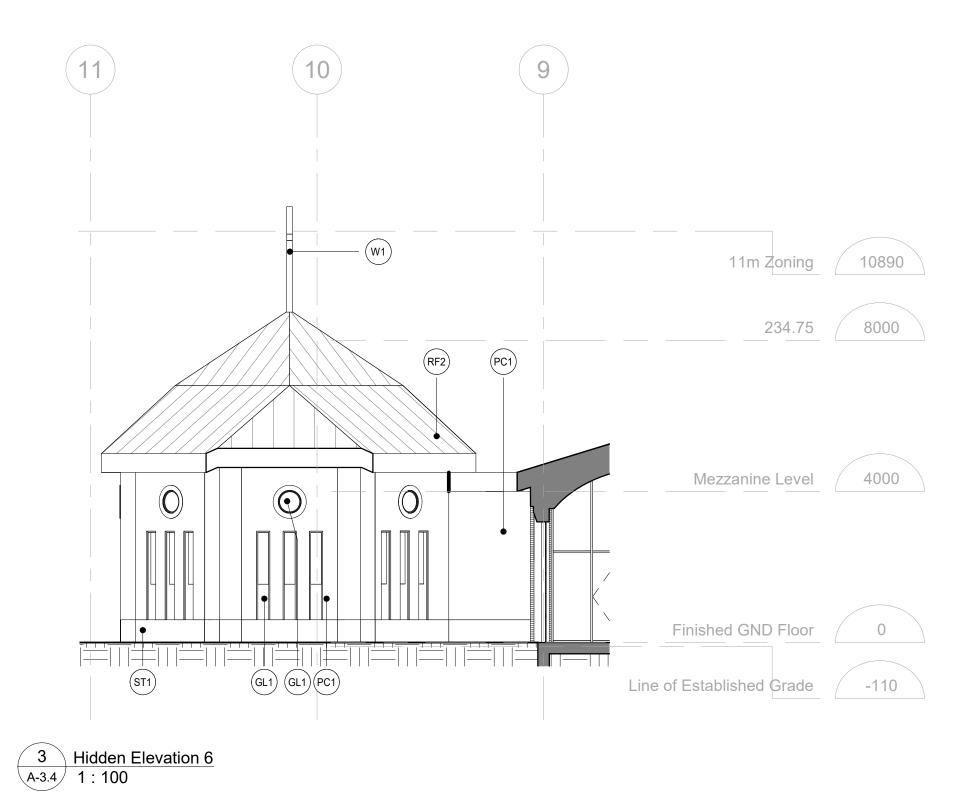
Established Grade = 226.64

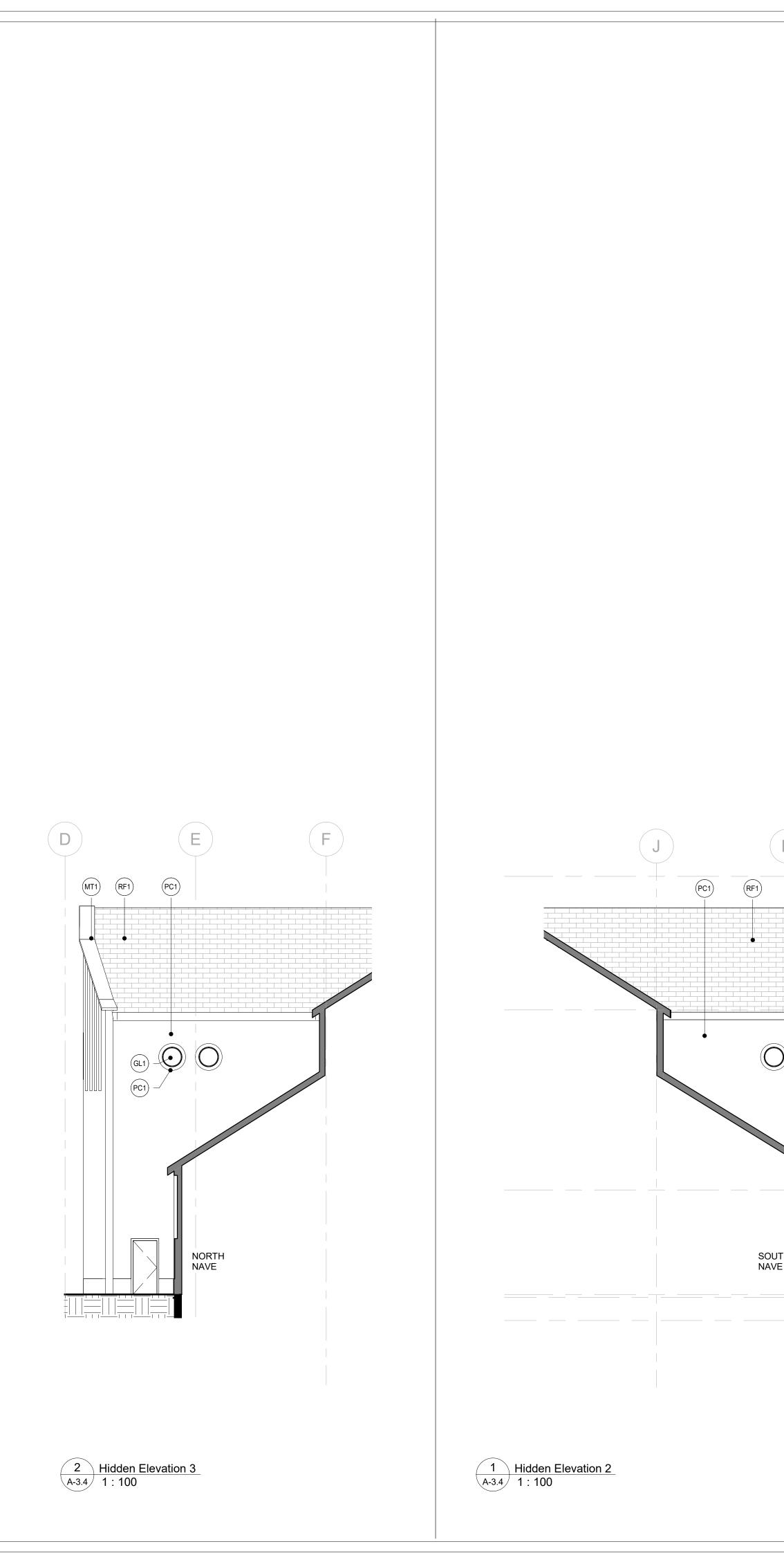




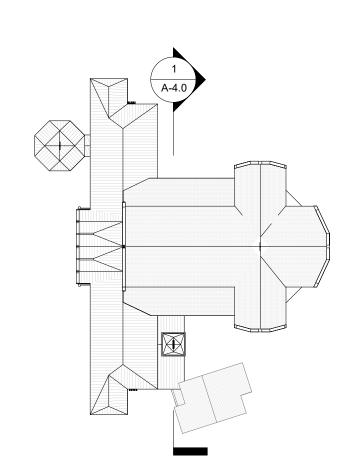




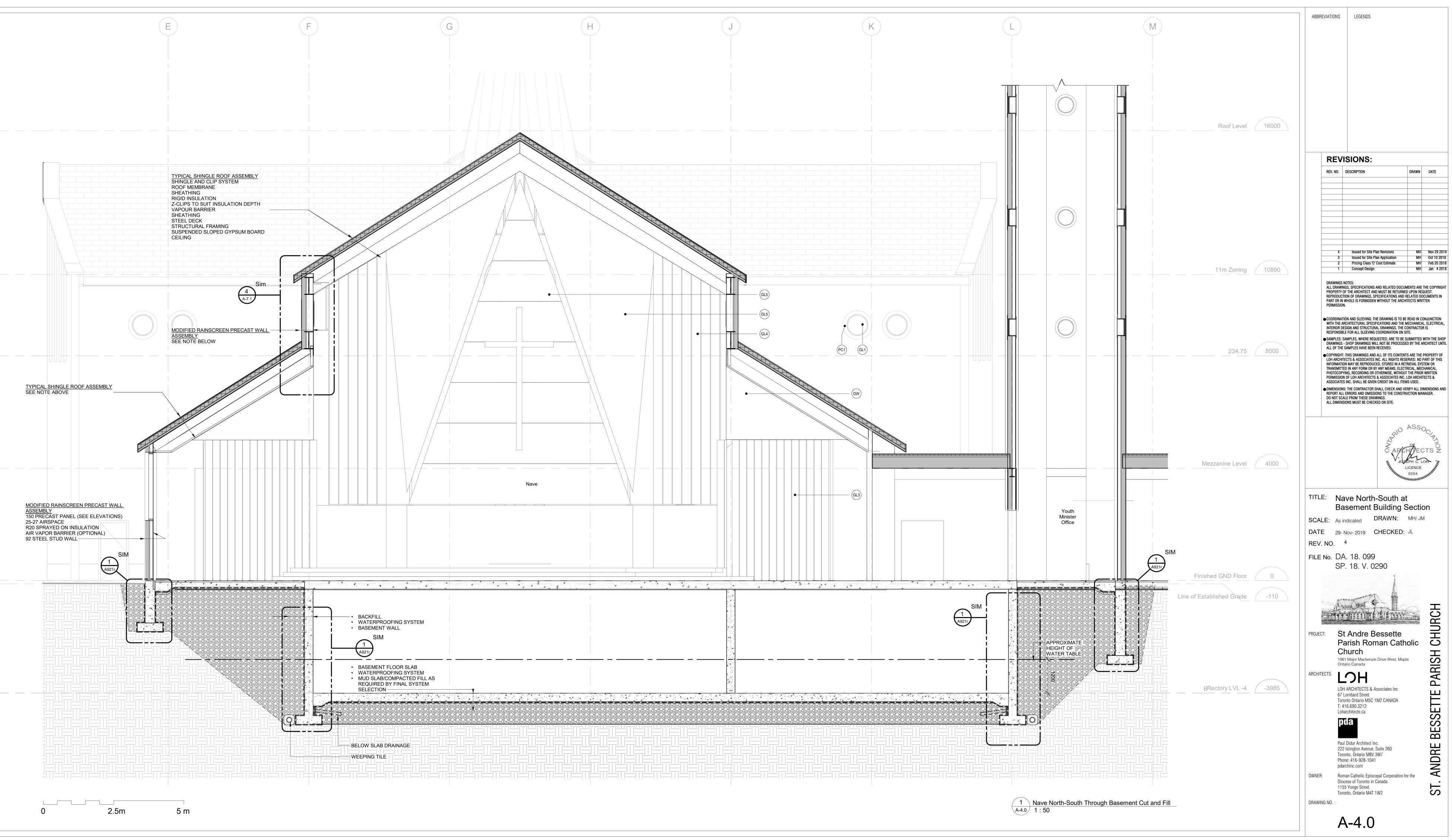


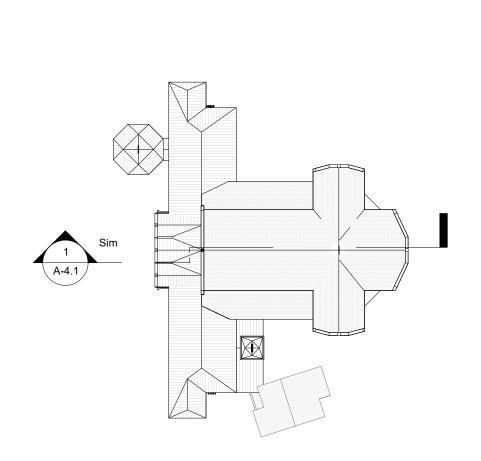


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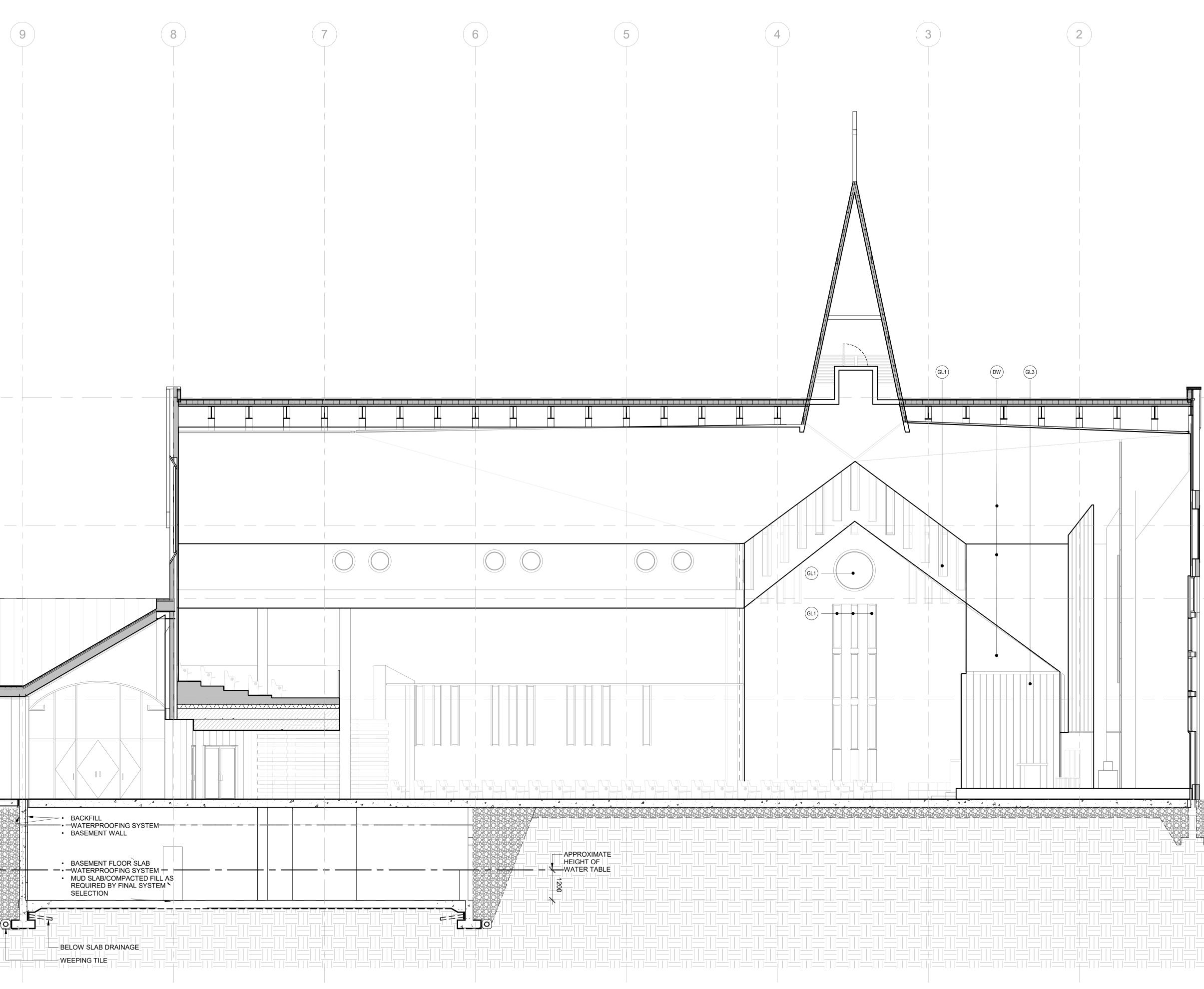


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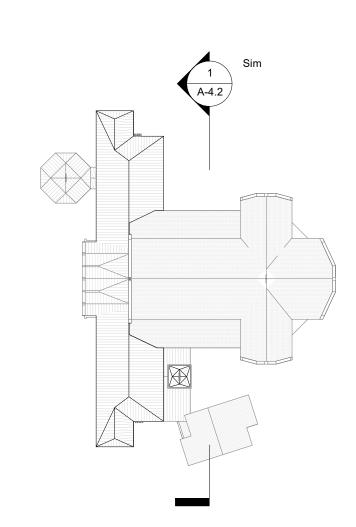
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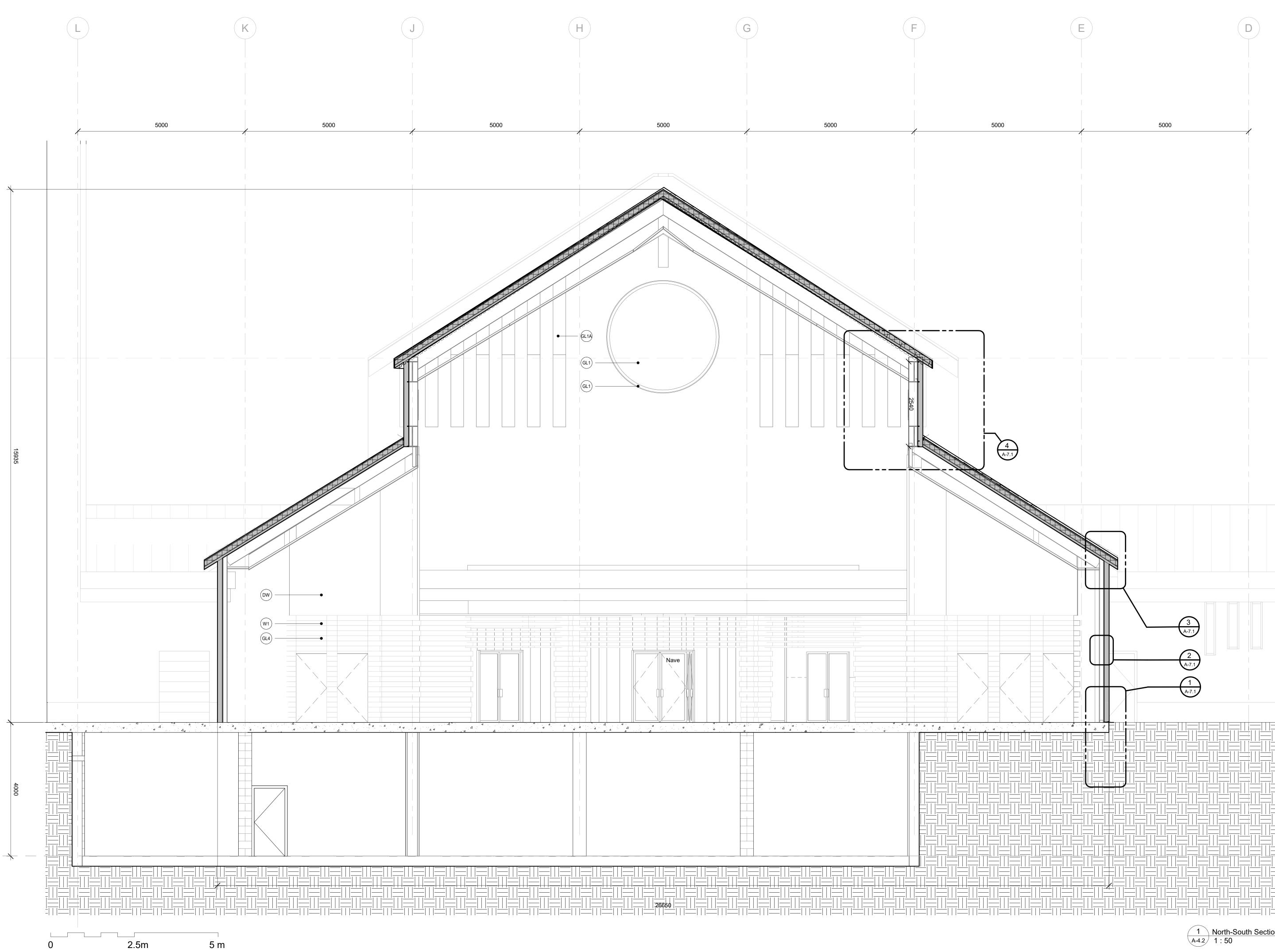




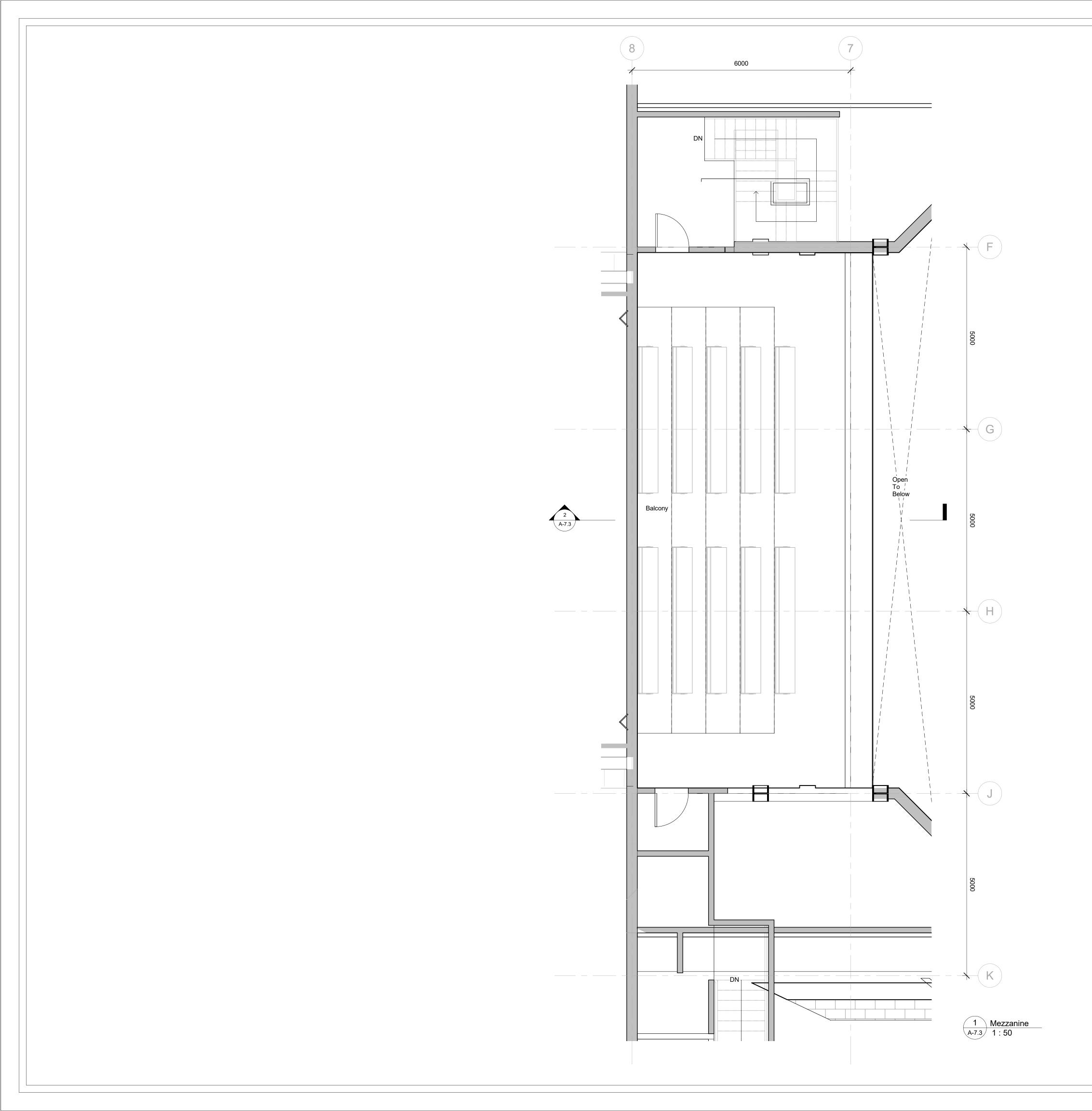
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	Rectory LVL -4	-3985		LOH ARCHITECTS & Associates Inc 57 Lombard Street		E P/
			T T L	Foronto Ontario M5C 1M2 CANADA T: 416.690.3212 Loharchitects.ca)ETT
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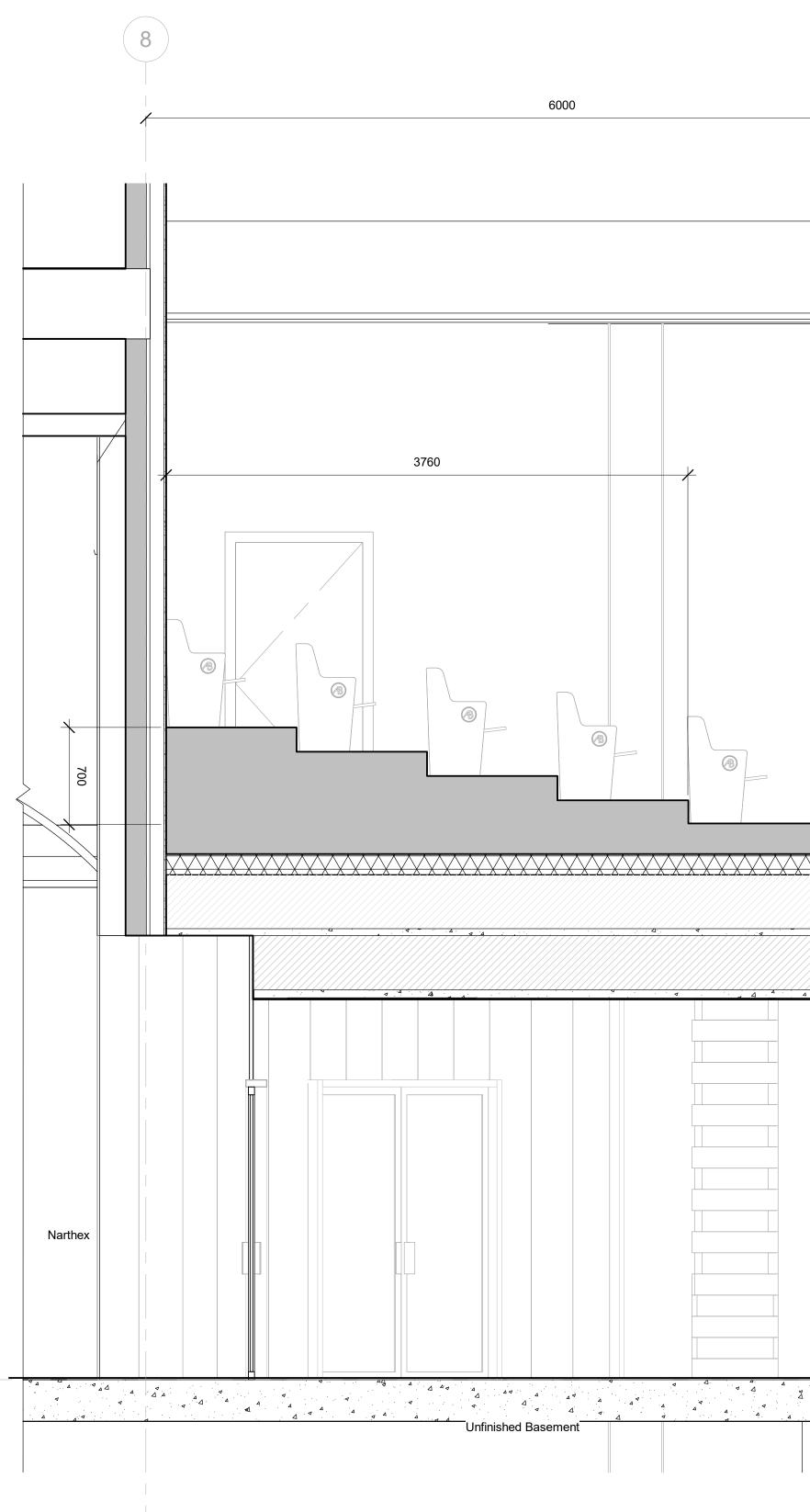


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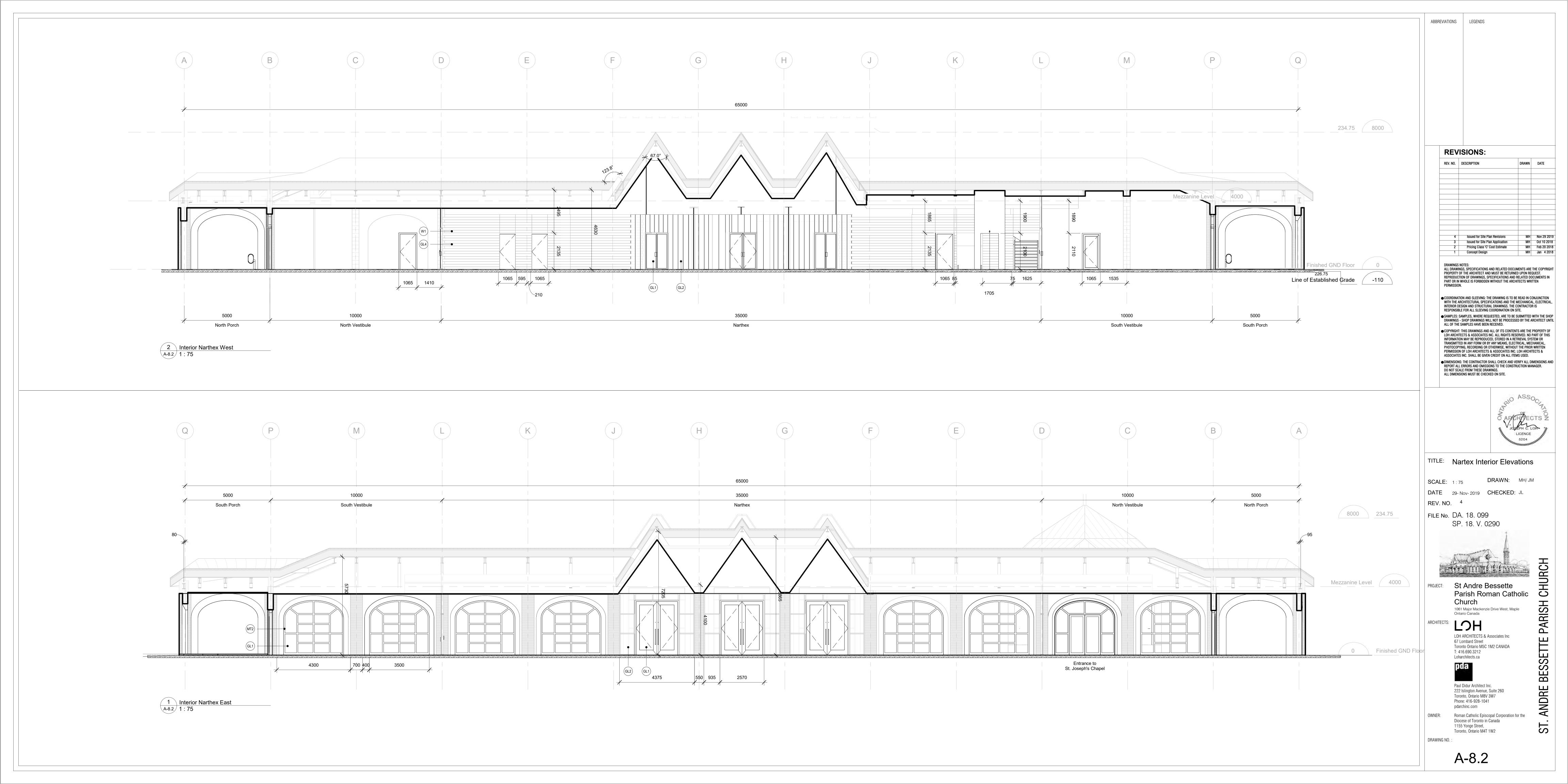


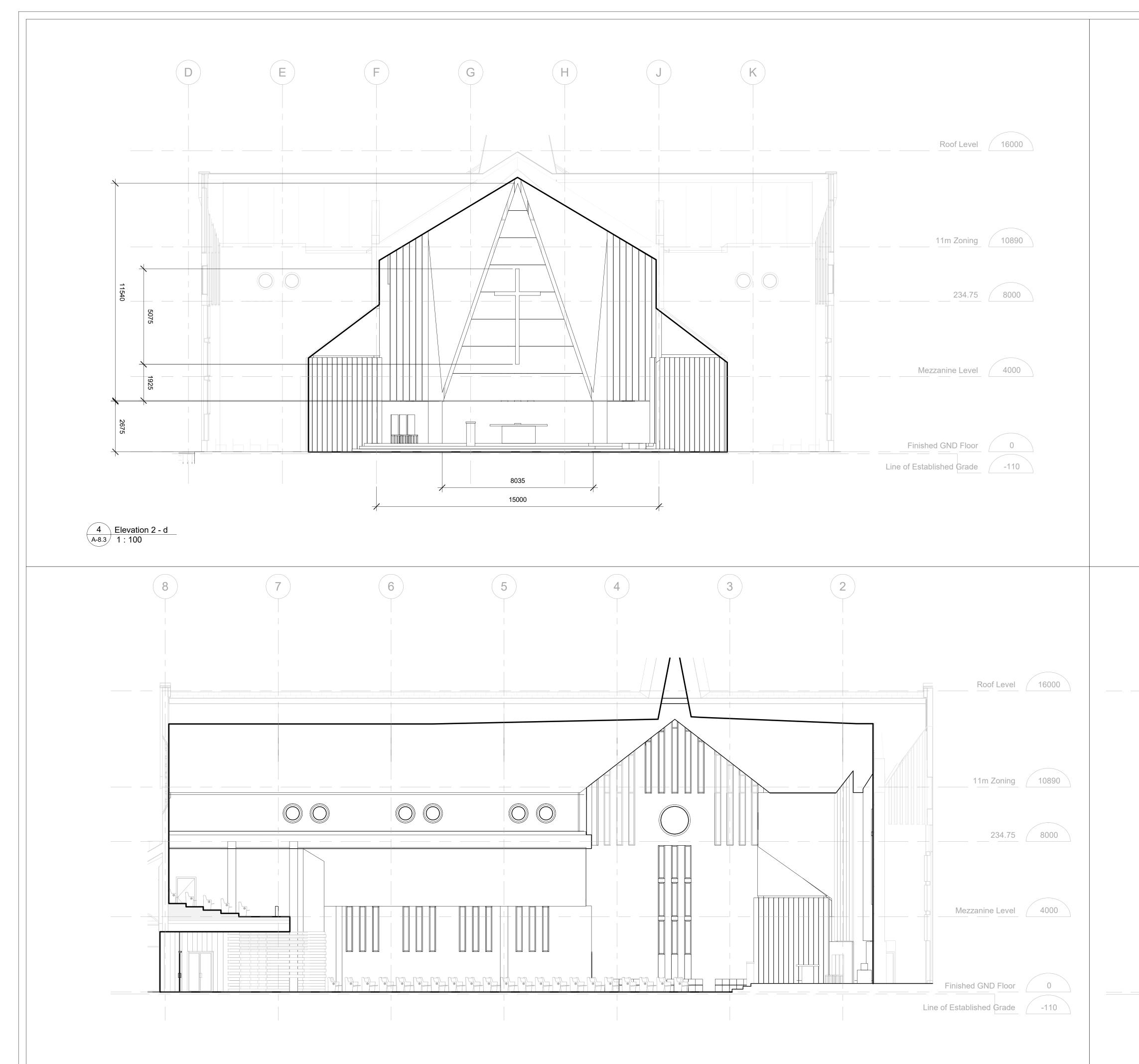
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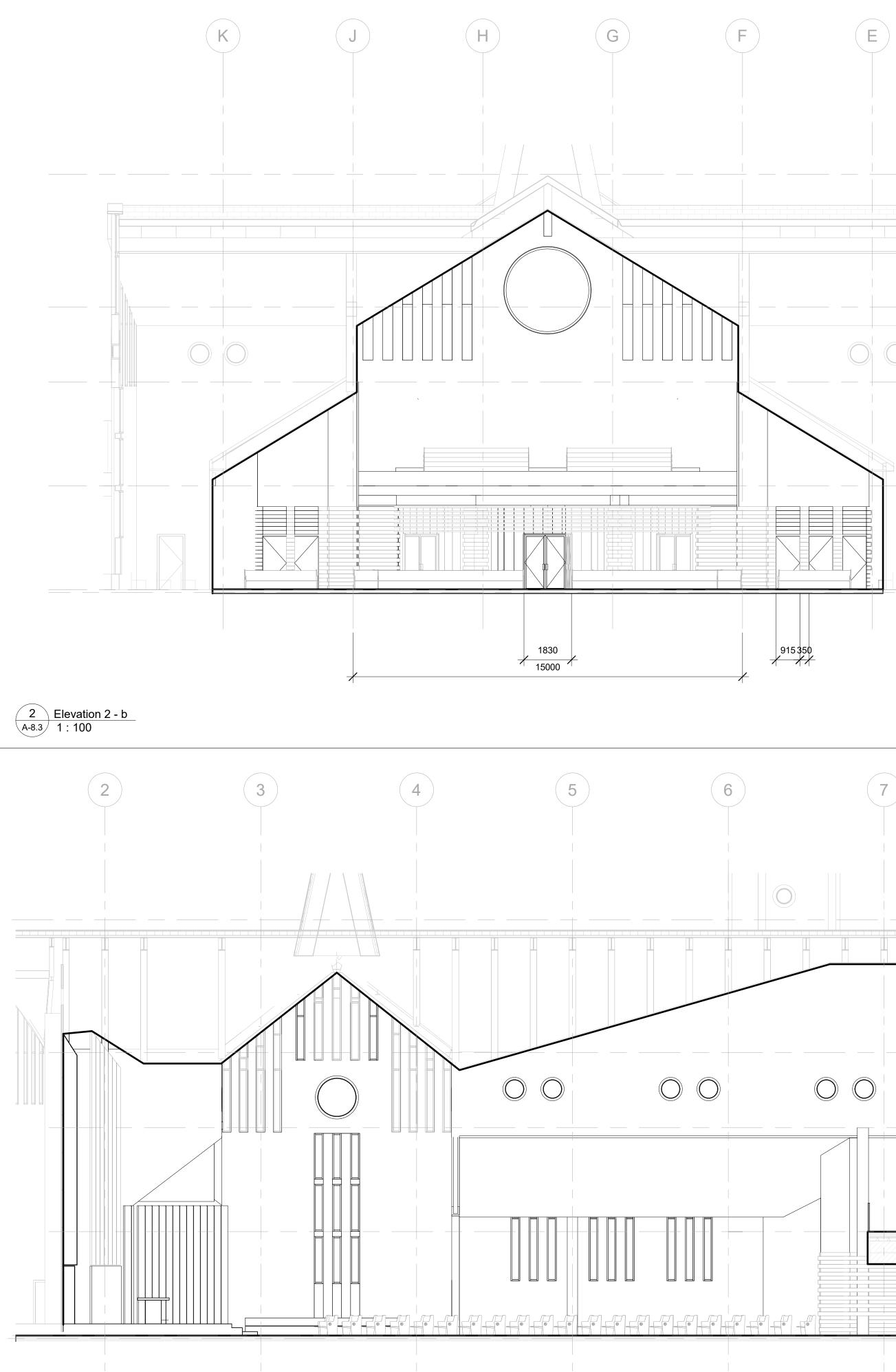


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		TITLE: Mezzanine Plan & Section
		DATE 29-Nov-2019 CHECKED: JL REV. NO. 4 FILE No. DA. 18. 099 SP. 18. V. 0290 PROJECT: St Andre Bessette Parish Roman Catholic Church 1061 Major Mackenzie Drive West, Maple
Unfinished Basement	2 East-West Section A-7.3 1:25	ARCHITECTS: LOH LOH ARCHITECTS & Associates Inc 67 Lombard Street Toronto Ontario MSC 1M2 CANADA T: 416.690.3212 Loharchitects.ca Paul Didur Architect Inc. 222 Islington Avenue, Suite 260 Toronto, Ontario M8V 3W7 Phone: 416-928-1041 pdarchinc.com MWNER: Roman Catholic Episcopal Corporation for the Diocese of Toronto in Canada 1155 Yonge Street, Toronto, Ontario M4T 1W2 DRAWING NO. :
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