

ITEM: 6.14	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A204/24
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Report Date: January 31, 2025

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Engineering	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Forestry	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
By-law & Compliance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
Applicant			12/10/2024	Application Cover Letter

BACKGROUND (SCHEDULE D, IF REQUIRED)

* Background Information contains historical development approvals considered to be related to this file.
This information should not be considered comprehensive.

Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

Hearing Date	Reason for Adjournment (to be obtained from NOD_ADJ)
N/A	N/A

SCHEDULES

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A204/24

CITY WARD #:	4
APPLICANT:	Roman Catholic Episcopal Corporation for the Diocese of Toronto, in Canada
AGENT:	Humphries Planning Group Inc.
PROPERTY:	1075 Major Mackenzie Drive, Vaughan
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	DA.18.099
PROPOSAL:	Relief from the Zoning By-law is being requested to permit a proposed Place of Worship (St. Andre Bessette Parish Roman Catholic Church), which includes a single detached dwelling to be attached to the Church. Relief is also required to facilitate related Site Plan Application DA.18.099.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned A – Agricultural Zone and subject to the provisions of Exception 9(925) under Zoning By-law 1-88, as amended.

Zoning By-law 1-88 – UNDER REVIEW		Variance Requested – UNDER REVIEW
1	A single family detached dwelling means a separate building containing only one (1) dwelling unit [Section 2.0, Definitions].	To permit a single detached dwelling to be attached to the Church.
2	A maximum height of 11 m is required [Schedule A].	To permit a maximum building height of 15 m.
3	A strip of land not less than 6.0 m in width shall be provided along a lot line which abuts a street line and shall be used for no other purpose than landscaping. This shall not prevent the provision of access driveways across the said strip [Section 3.13].	To permit a strip of land not less than 4.6 m in width to be provided along a lot line which abuts a street line and shall be used for no other purpose than landscaping. This shall not prevent the provision of access driveways across the said strip

HEARING INFORMATION

DATE OF MEETING: Thursday, February 6, 2025

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive

LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

HEARING INFORMATION

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	January 23, 2025
Date Applicant Confirmed Posting of Sign:	January 20, 2025
Applicant Justification for Variances: <small>*As provided in Application Form</small>	Proposed variances to facilitate the development of the Saint Andre Bessette Roman Catholic Church.
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
Zoning review required on January 28, 2025 revised submission (see Building Standards comments below).	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)

On January 28, 2025, Zoning staff requested the applicant to provide the full architectural set for the Minor Variance application A204/24 for review. Applicant had submitted architectural drawings previously under site development application DA.18.099.

The current variances identified were provided in the public notice and subject to change based on the review of the January 28, 2025, submission.

On January 30, 2025, Zoning staff requested an updated Variance Chart with the proposed maximum building of 13.5m as shown on the elevation drawings submitted.

The Variance chart submitted on December 9, 2024, proposes a maximum of 15m building height.

Building Standards Recommended Conditions of Approval:	TBD
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DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments. Application under Review.

Development Planning Recommended Conditions of Approval:	TBD
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DEVELOPMENT ENGINEERING

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

Development Engineering does not object to Minor Variance A204/24.

Development Engineering Recommended Conditions of Approval:	N/A
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PARKS, FORESTRY & HORTICULTURE (PFH)

Vaughan Forestry is working with development planning for this construction project. Forestry has no comments relating to the minor variance at this time.

PFH Recommended Conditions of Approval:	None
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DEVELOPMENT FINANCE

No comment no concerns

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No objection or comments

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC)

No comments received to date

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT

No comments received to date

Fire Department Recommended Conditions of Approval:	None
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RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Planning Alyssa.pangilinan@vaughan.ca	TBD
2	TRCA Cameron.McDonald@trca.ca	1. That the applicant provides the required fee amount of \$1250.00 payable to the Toronto and Region Conservation Authority. 2. That the applicant obtains a permit for development activity on the subject property pursuant to Conservation Authorities Act – Section 28.

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

IMPORTANT INFORMATION

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

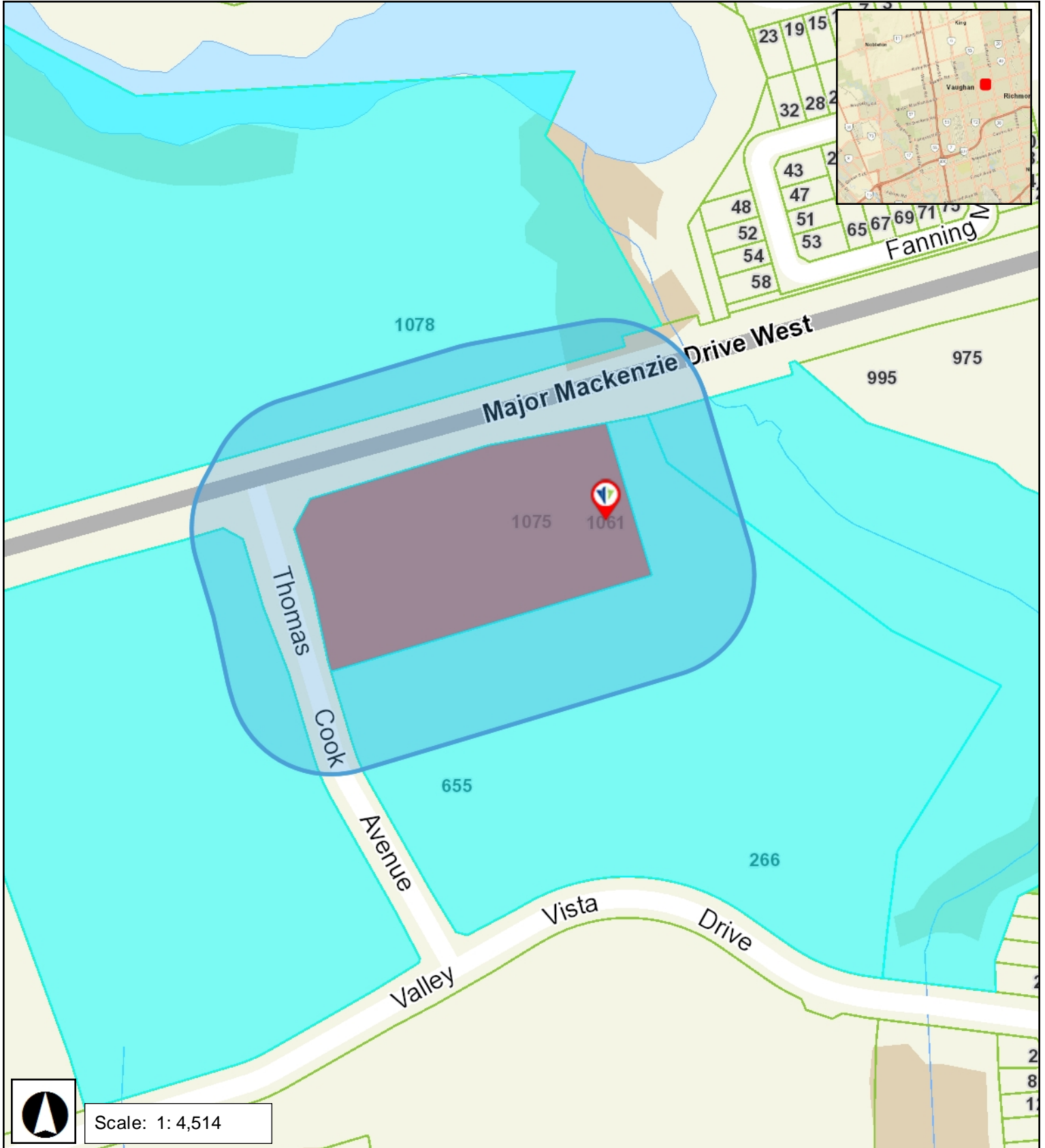
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



RECEIVED
By Matthew Ka at 12:57 pm, Jan 29, 2025

***Revised Submission
Under Review**



ST. ANDRE BESSETTE PARISH CHURCH

Roman Catholic Episcopal Corporation for the Diocese of Toronto in Canada

DA. 18. 099 - SP. 18. V. 0290 - Site Plan Application Documents - November 29, 2019

LOH ARCHITECTS & Associates Inc / PDA Inc.

ST. ANDRE BESSETTE PARISH CHURCH

Roman Catholic Episcopal Corporation for the Diocese of Toronto in Canada

**Project Consultants:
St. Andre Bessette Parish Church**

(1) Architects in Association: LOH ARCHITECTS & Associates Inc.
Joseph Loh, Principal and Managing Director
67 Lombard Street
Toronto, Ontario M5C 1M2
416-690-3212
joseph@loharchitects.ca

Paul Didur Architect Inc.
Paul Didur, principal
222 Islington Avenue, Suite 260
Toronto, Ontario M8V 3W7
Phone: 416-928-1041
paul@pdarchinc.com

(2) Structural Engineers: Reed Jones Christoffersen
Andrew Bayne, principal
144 Front Street West, Suite 500
Toronto, ON M5J 2L7
Phone: 416.977.5335
abayne@rjc.ca

(3) Mechanical Engineers: H.H. Angus & Associates Inc.
Kevin O'Neill, principal
1127 Leslie Street
Toronto, Ontario M3C 2J6
Phone: 416-443-8200
kevin.oneill@hhangus.com

(4) Electrical Engineers: H.H. Angus & Associates Inc.
Kevin O'Neill, principal
1127 Leslie Street
Toronto, Ontario M3C 2J6
Phone: 416-443-8200
kevin.oneill@hhangus.com

(5) Landscape Architects: Terraplan
Paul Marsala, principal
Courtney Linkins ext.239
Phone: 416-638-4911
pmarsala@terraplan.ca

(6) Cost Planning: Marshall Murray Incorporated
Anil Ramjee, principal
120 Carlton Street
Toronto, Ontario M5A 4K2
Phone: 416-928-1993
aramjee@marshallmurray.com

(7) Civil Engineer: Skelton Brumwell & Associates Inc.
Scott Brumwell, principal
93 Bell Farm Road
Barrie, Ontario L4M 5G1
Phone: 877-726-1141
Phone: 1-705-726-1141
sbrumwell@skeltonbrumwell.ca

(8) Acoustics Engineer: Swallow Acoustic Engineering
Consultants Ltd. & Thorton Tomasetti
Acoustics Noise & Vibration
John Swallow, President
Jeremy Thorbahn, Project Director ext. 29
Pier-Gui Lalonde, Associate
366 Revus Avenue, Unit 23
Mississauga, Ontario L5G 4S5
Phone: 905-271-7888
jswallow@swallowacoustic.ca
jthorbahn@thorontomasetti.com

(9) Traffic Consultant: WSP Group
Brett Sears MCIP RPP, manager
100 Commerce Valley Drive West
Thornhill, Ontario L3T 0A1
Phone: 289-982-4752
brett.sears@wsp.com

(10) Ecology Consultant: WSP Group
Mark Cece, manager
100 Commerce Valley Drive West
Thornhill, Ontario L3T 0A1
Phone: 905-882-4211, extension 6861

(11) Land Surveyor: Schaeffer Consulting Engineers
Boris Josifovski, supervisor
Levon Fermanian, associate
6 Ronrose Drive
Concord, Ontario L4K 4R3
Phone: 905-738-6100
lfermanian@schaeffers.com

(12) Environmental Consultant: Peto MacCallum Ltd.
Mahabood Alam, director
environmental/ hydrology
Harry Gharegrat, manager geotechnical
165 Cartwright Avenue
Toronto, Ontario M6A 1V5
Phone: 416-785-5110
hgharegart@petomacallum.com

(13) Net Zero Energy: Alberto Bichol Consulting Inc.
7968 Wedgewood Street
Burnaby, British Columbia
Phone: 778.998.9651
albert.bichol@albertobicholconsulting.com

(14) Urban Planning Consultant: Humphries Planning Group Inc.
Rosemarie Humphries, President
216 Chrislea Road, Suite 103
Toronto, Ontario L4L 8S5
Phone: 905-264-7678
rhumphries@humphriesplanning.com

(15) City of Vaughan Control Architect: Williams & Stewart Associates Ltd./
John G. Williams Ltd/ Architect
Avi Shwartz
40 Vogel Road, Unit 46
Richmond Hill, Ontario L4B 3N6
Phone: 905-780-0500
ashwartz@williamsarch.com



Context Map

St. Andre Bessette Church Drawing List	
Sheet Number	Sheet Name
Architectural Drawings	
A-0.0	COVER PAGE
A-1.1	Context Plan and Drawings List
A-1.2	Main Facade Perspective
A-1.3a	Building Massing Axonometrics
A-1.3b	Axonometric View of Nave Interior
A-1.4	Sustainability Diagrams
A-1.5	Legal Survey Key Plan
A-1.6	Topographical Survey
A-1.7	Site Plan
A-2.1	Basement Level Plan
A-2.2	Ground Level Plan
A-2.3	Mezzanine Level Plan
A-2.4	Ground Level Reflected Ceiling Plan
A-2.5	Roof Plan
A-3.0	West Facade Elevation
A-3.1	North Facade Elevation
A-3.2	East Facade Elevation
A-3.3	South Facade Elevation
A-3.4	Hidden Elevations
A-4.0	Nave North-South at Basement Building Section
A-4.1	Nave East-West Building Section
A-4.2	Nave North-South Building Section
A-7.1	Typical Wall Details
A-7.3	Mezzanine Plan & Section
A-8.2	Nartex Interior Elevations
A-8.3	Interior Elevation
A-9.1	Typical West and East Exterior Details

ABBREVIATIONS LEGENDS

REVISIONS:

REV. NO.	DESCRIPTION	DRAWN	DATE
4	Issued for Site Plan Revisions	MH	Nov 29 2019
3	Issued for Site Plan Application	MH	Oct 10 2018
2	Priority Class 12 Cost Estimate	MH	Feb 29 2018
1	Concept Design	MH	Jan 4 2018

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TITLE: Context Plan and Drawings List
SCALE: 1 : 250 **DRAWN:** MH/JM
DATE: 29-Nov-2019 **CHECKED:** JL
REV. NO.: 4
FILE No.: DA. 18. 099
SP. 18. V. 0290



PROJECT: St Andre Bessette Parish Roman Catholic Church
1061 Major MacKenzie Drive West, Maple Ontario Canada

ARCHITECTS: LOH
LOH ARCHITECTS & Associates Inc.
67 Lombard Street
Toronto Ontario M5C 1M2 CANADA
T. 416.690.3212
Loharchitects.ca

pda
Paul Didur Architect Inc.
222 Islington Avenue, Suite 260
Toronto, Ontario M8V 3W7
Phone: 416-928-1041
pdarchinc.com

OWNER: Roman Catholic Episcopal Corporation for the Diocese of Toronto in Canada
1155 Yonge Street
Toronto, Ontario M4T 1W2

DRAWING NO.: A-1.1

ST. ANDRE BESSETTE PARISH CHURCH



Perspective view of west facade from Major Mackenzie Drive West and Thomas Cook Avenue

ABBREVIATIONS LEGENDS

REVISIONS:

REV. NO.	DESCRIPTION	DRAWN	DATE
4	Issued for Site Plan Revisions	MH	Nov 29 2019
3	Issued for Site Plan Application	MH	Oct 10 2018
2	Printing Class 'C' Cost Estimate	MH	Feb 29 2018
1	Concept Design	MH	Jan 4 2018

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TITLE: Main Facade Perspective

SCALE: DRAWN: Author

DATE: 29-Nov-2019 CHECKED: JL

REV. NO. 4

FILE No. DA. 18. 099

SP. 18. V. 0290



PROJECT: St Andre Bessette Parish Roman Catholic Church
 1061 Major Mackenzie Drive West, Maple Ontario Canada

ARCHITECTS: **LOH**
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 67 Lombard Street
 Toronto Ontario M5C 1M2 CANADA
 T. 416.690.3212
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 222 Islington Avenue, Suite 260
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OWNER: Roman Catholic Episcopal Corporation for the Diocese of Toronto in Canada
 1155 Yonge Street
 Toronto, Ontario M4T 1W2

DRAWING NO. :

A-1.2

ST. ANDRE BESSETTE PARISH CHURCH

REVISIONS:

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TITLE: Building Massing
 Axonometrics
SCALE: DRAWN: MH/JM
DATE: 29-Nov-2019 **CHECKED:** JL
REV. NO.: 4
FILE No.: DA. 18. 099
 SP. 18. V. 0290



PROJECT: St Andre Bessette
 Parish Roman Catholic
 Church
 1061 Major Mackenzie Drive West, Maple
 Ontario Canada

ARCHITECTS: **LOH**
 LOH ARCHITECTS & ASSOCIATES INC.
 67 Lombard Street
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 T: 416.690.3212
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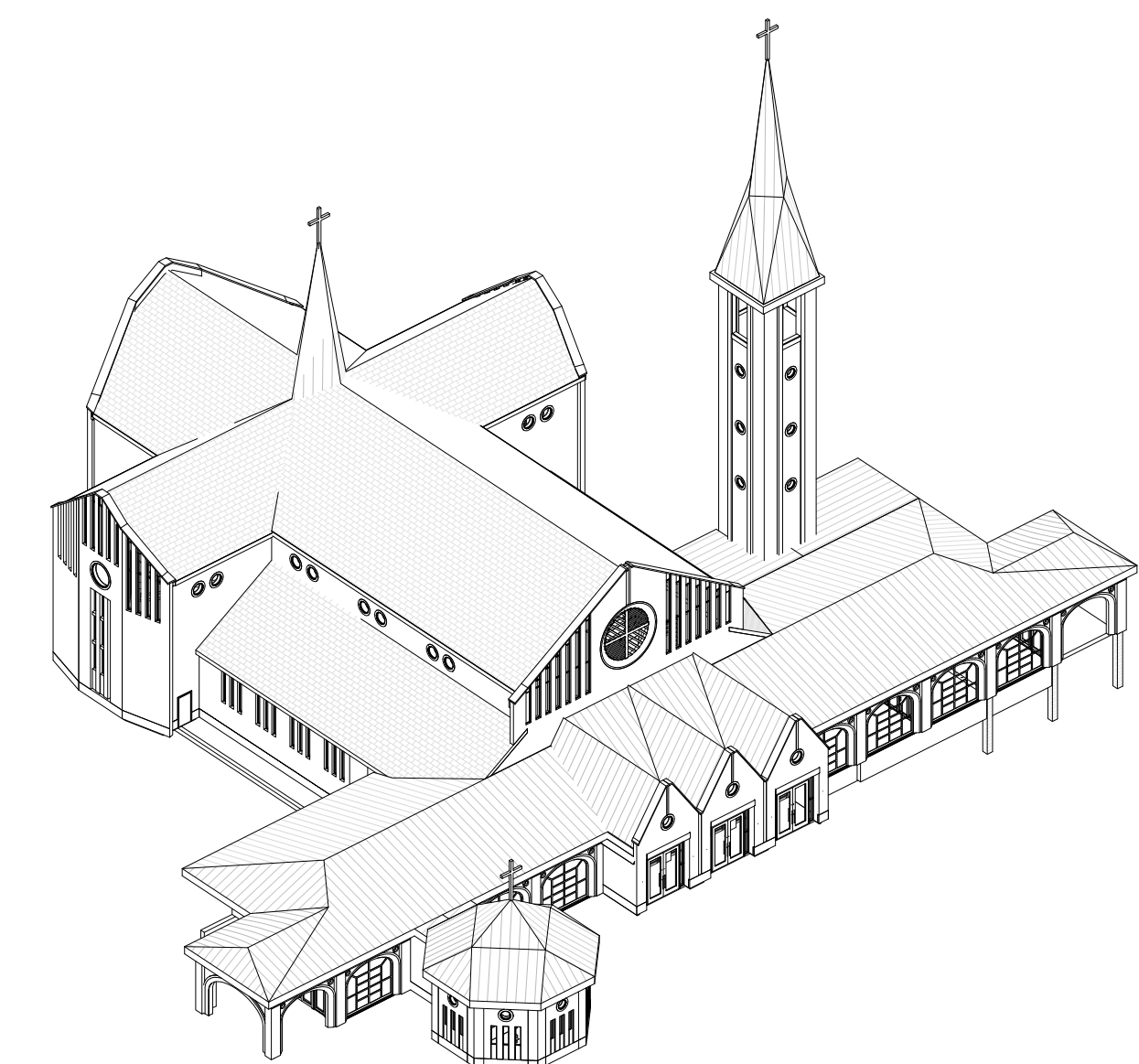
Paul Didur Architect Inc.
 222 Kingdon Avenue, Suite 260
 Toronto, Ontario M8V 3W7
 Phone: 416-928-1041
 pdaarchinc.com

OWNER: Roman Catholic Episcopate Corporation for the
 Diocese of Toronto in Canada
 1155 Yonge Street
 Toronto, Ontario M4T 1W2

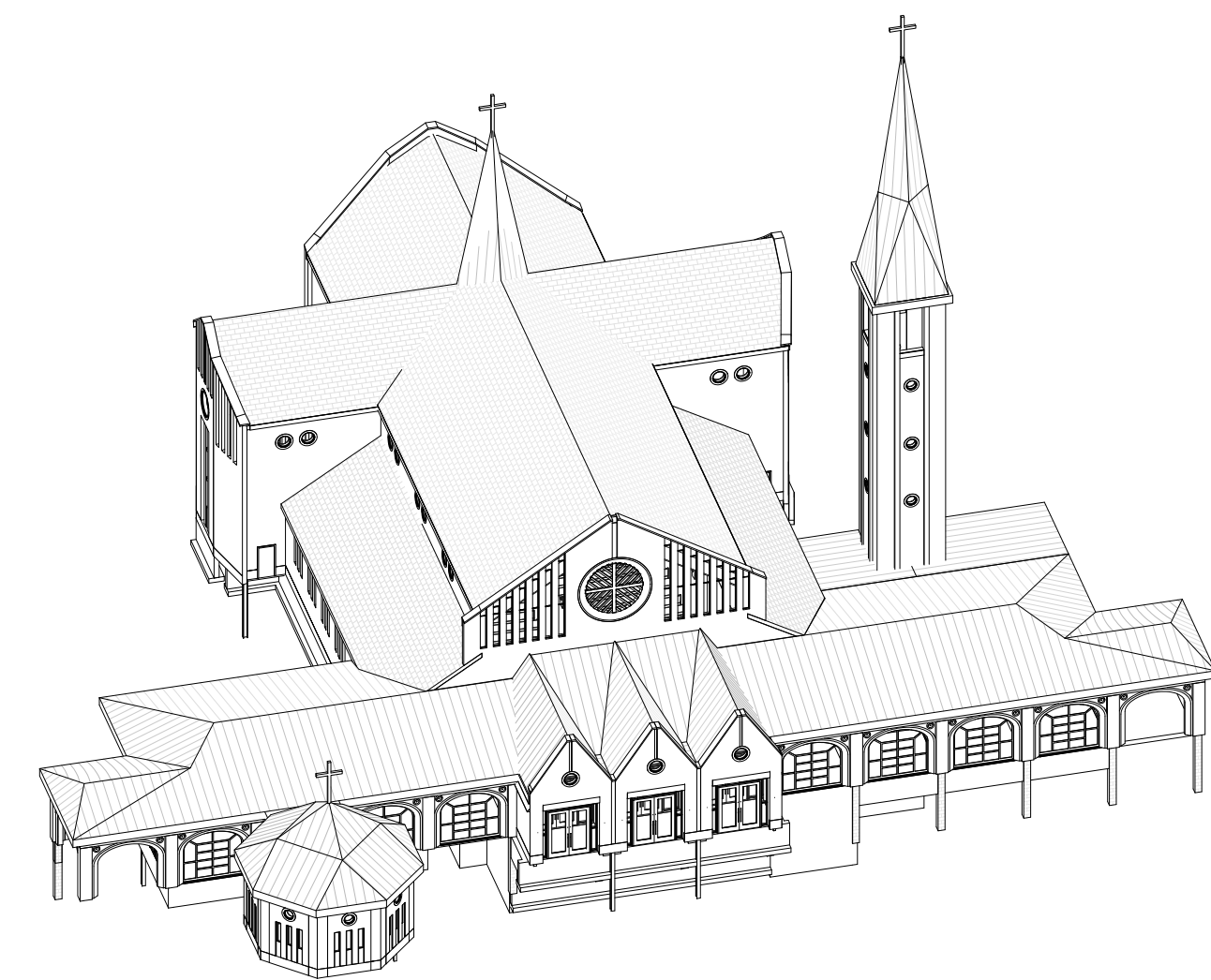
DRAWING NO.:

A-1.3a

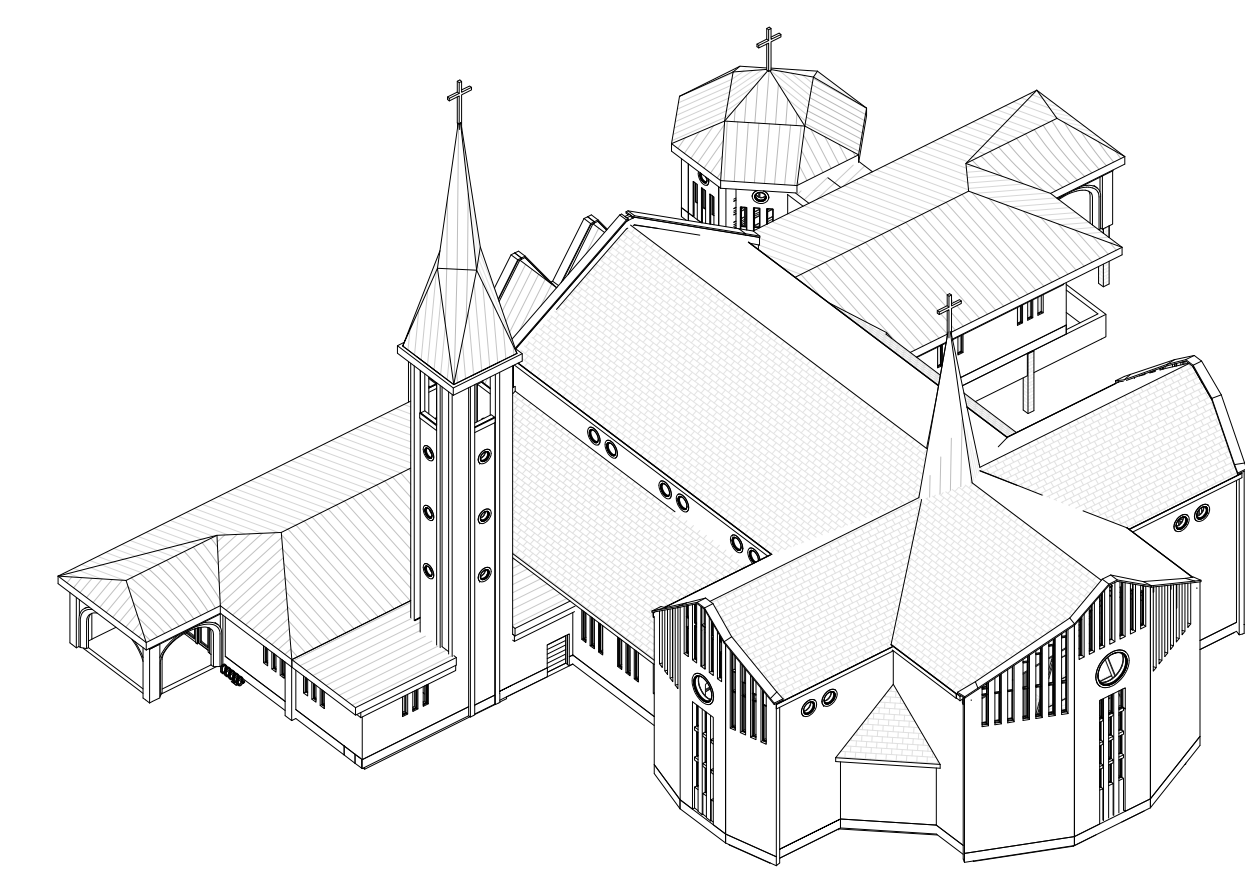
ST. ANDRE BESSETTE PARISH CHURCH



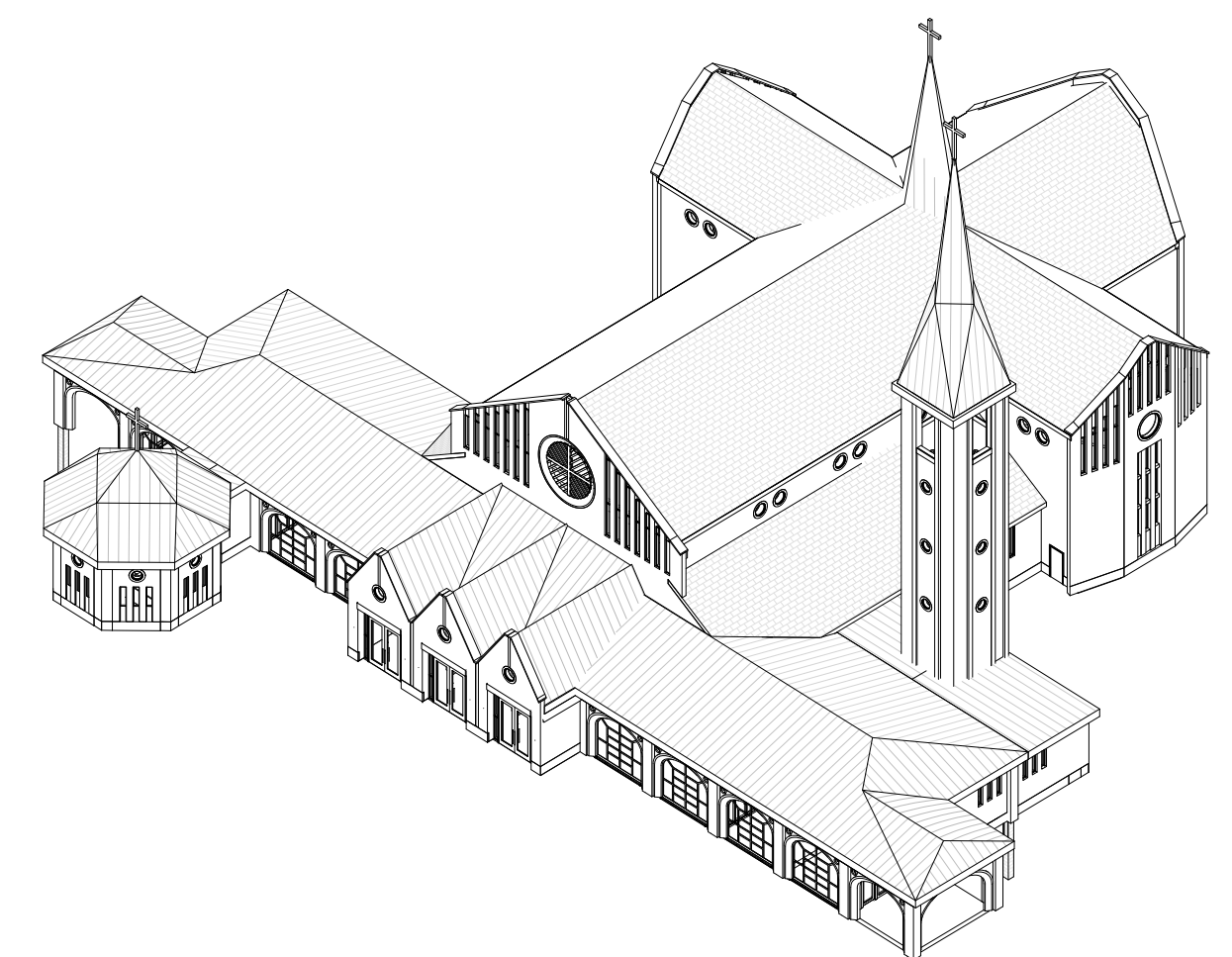
3 View From North West 2
 A-1.3a



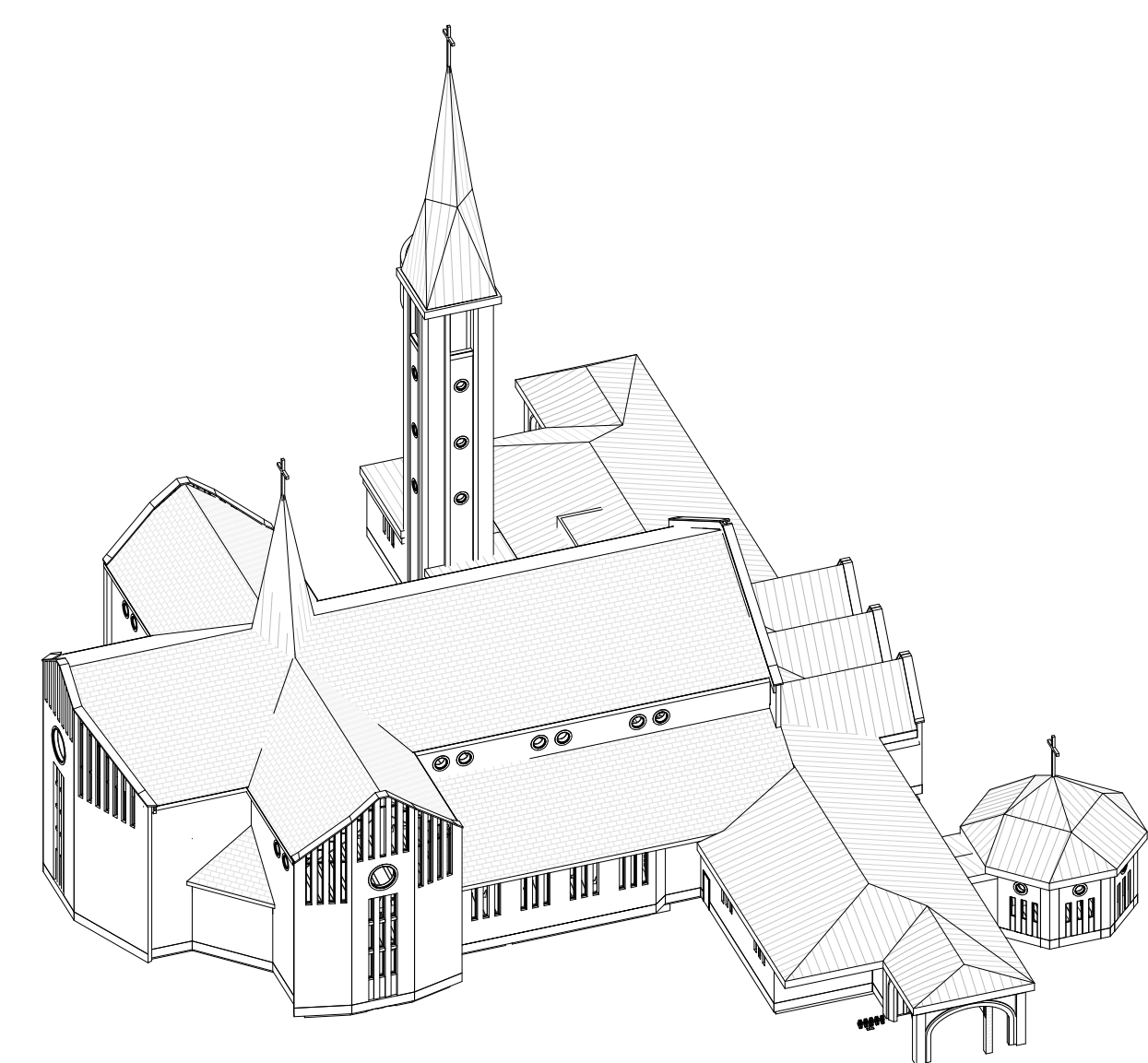
2 View From North West 1
 A-1.3a



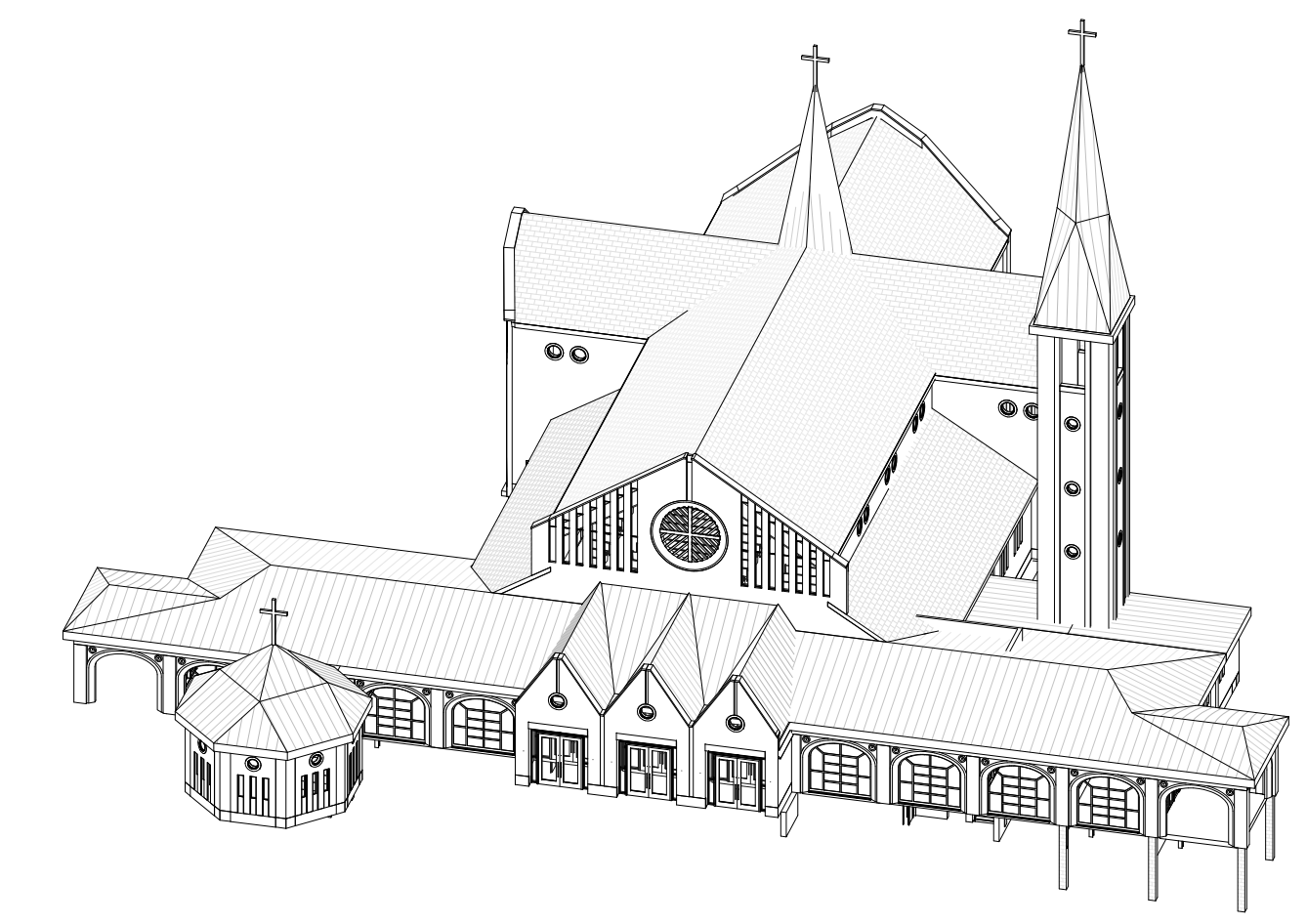
6 View From South East
 A-1.3a



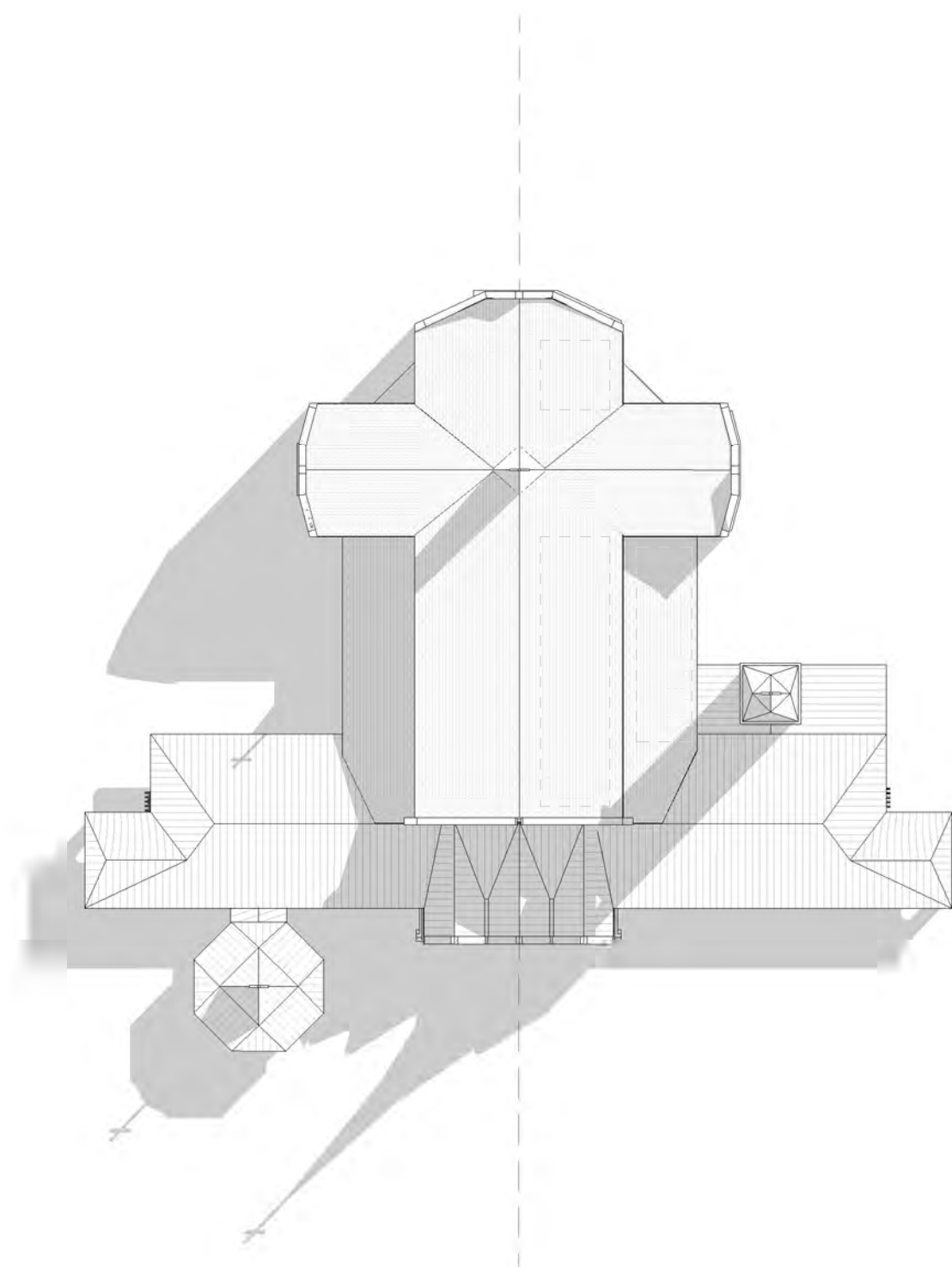
5 View From South West
 A-1.3a



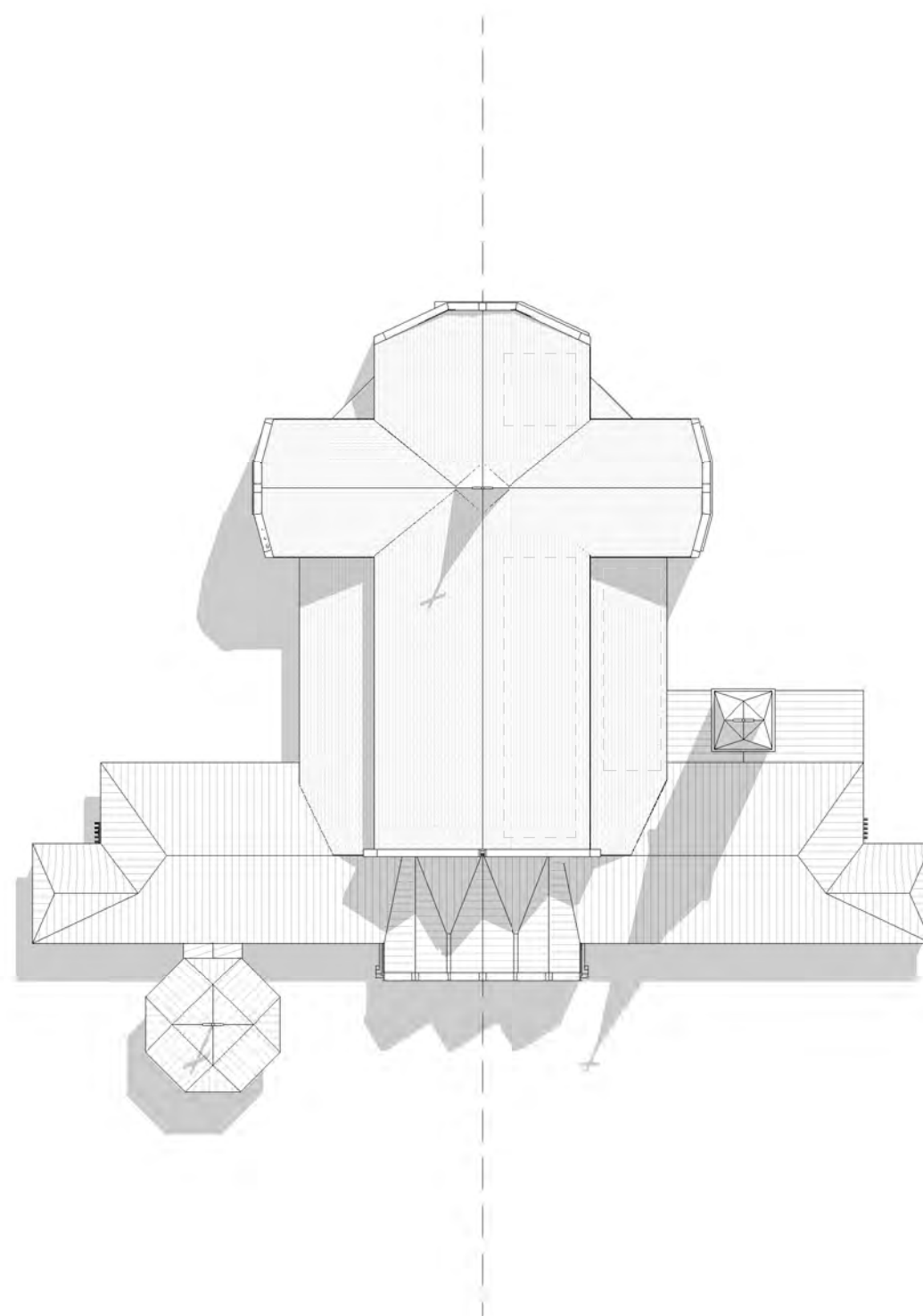
1 View From North East
 A-1.3a



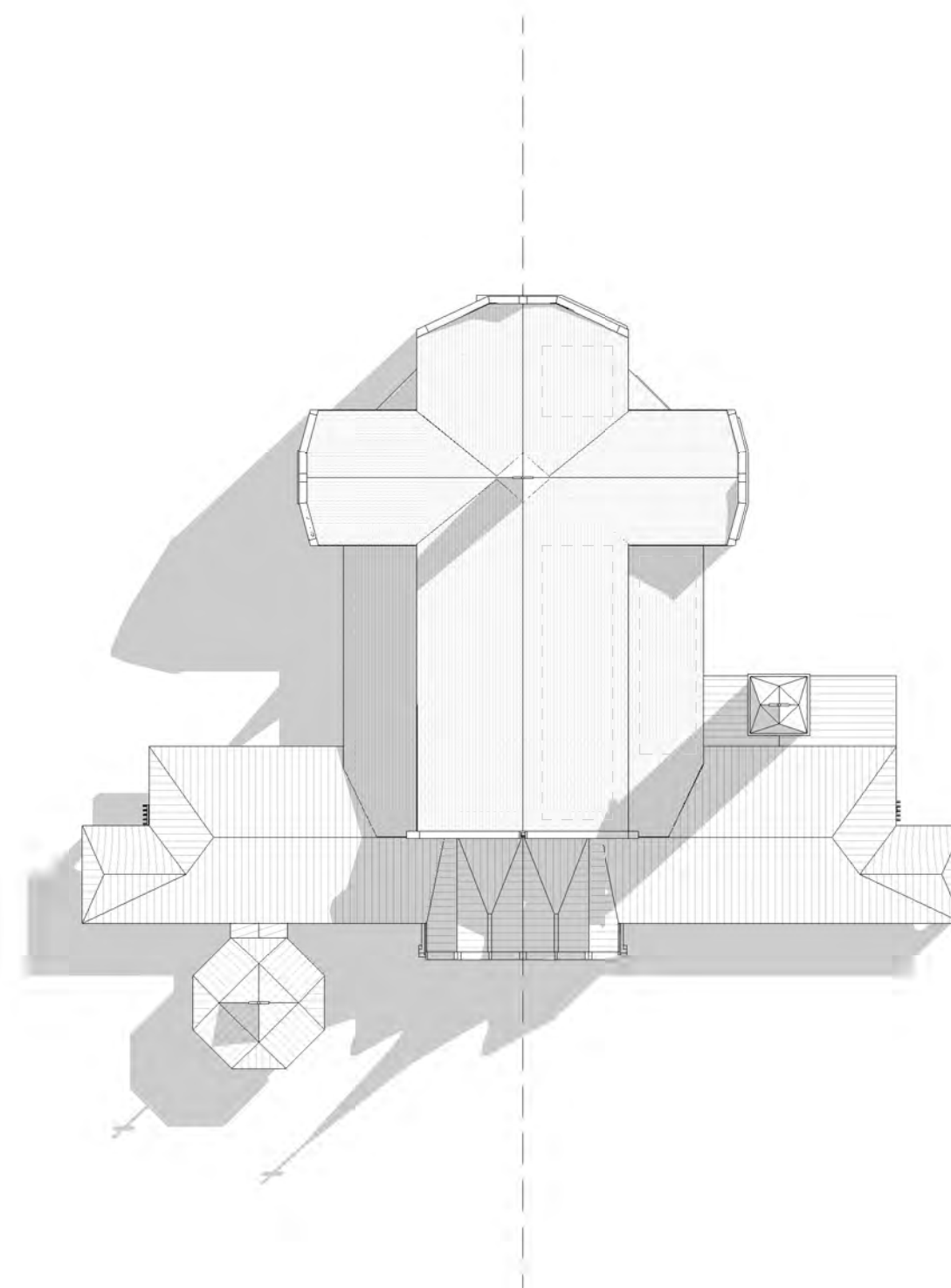
4 View From West
 A-1.3a



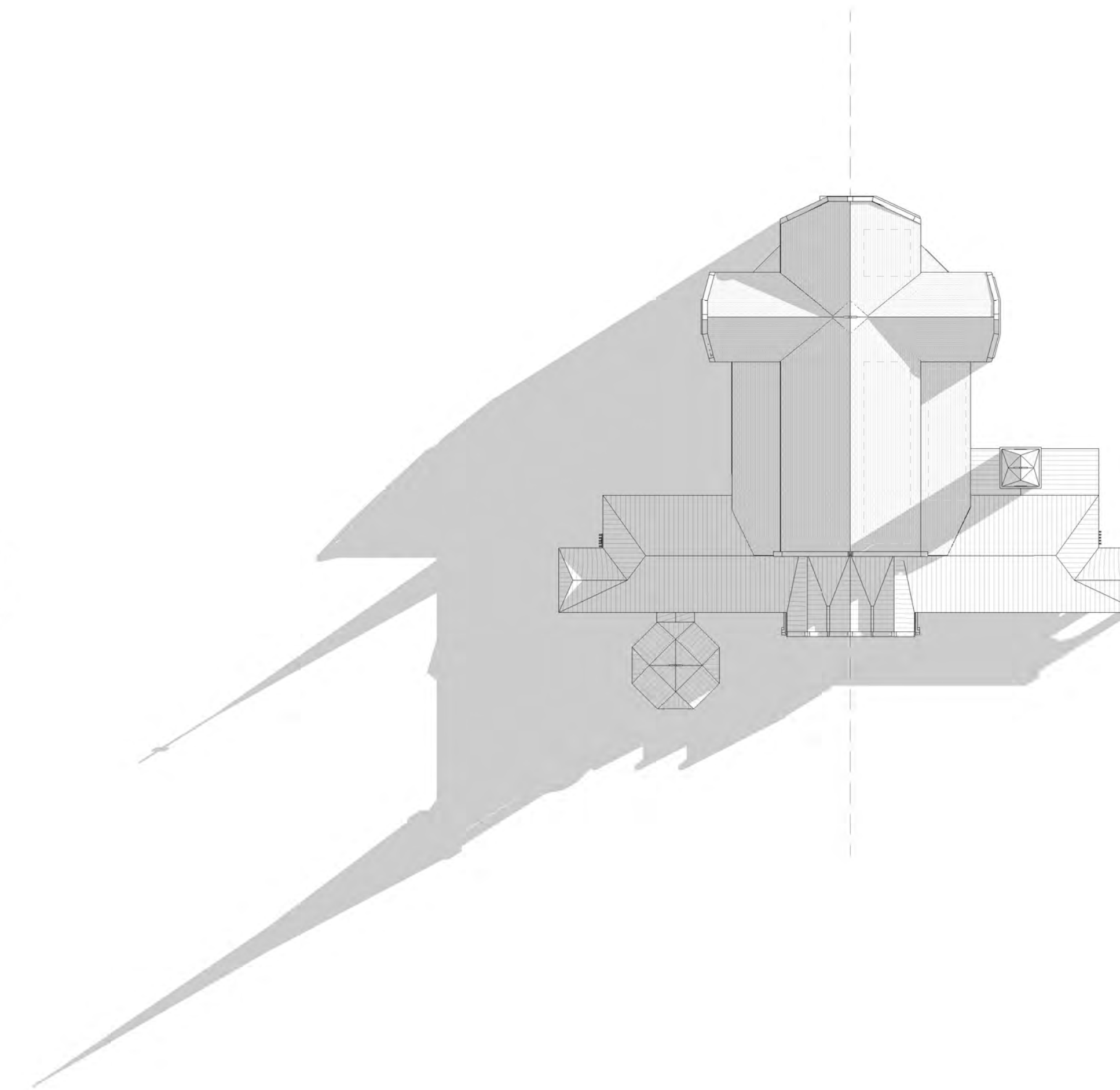
1 Spring Equinox Solar Study
A-1.4 March 20th 10am



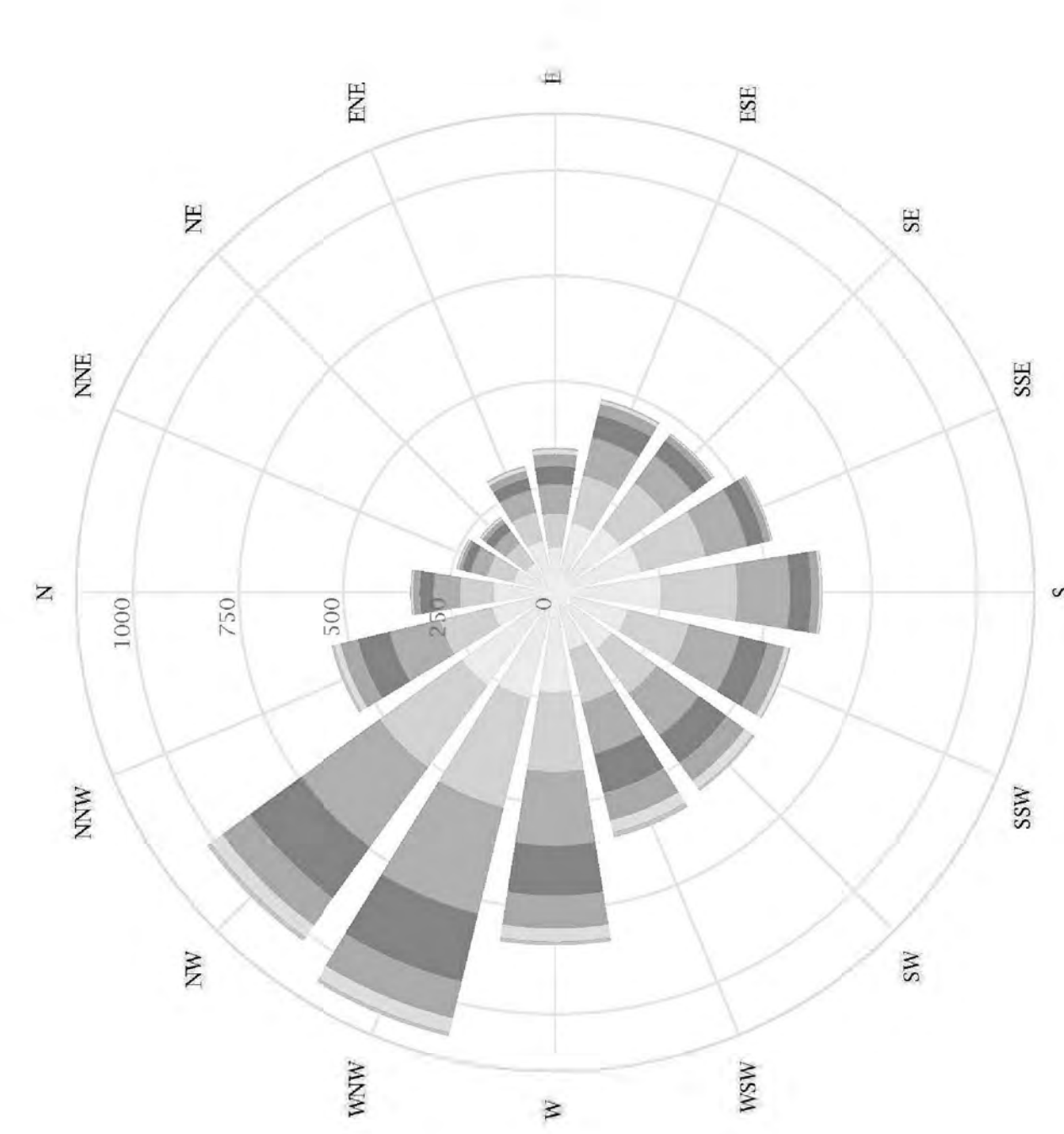
2 Summer Solstice Solar Study
A-1.4 June 21st 10am



3 Fall Equinox Solar Study
A-1.4 September 20th 10am



4 Winter Solstice Solar Study
A-1.4 December 21st 10am



Wind Rose for St. Andre Bessette Church Location

ABBREVIATIONS LEGENDS

REVISIONS:

REV. NO.	DESCRIPTION	DRAWN	DATE
4	Issued for Site Plan Revisions	MH	Nov 29 2019
3	Issued for Site Plan Application	MH	Oct 10 2018
2	Printing Class 17 Cost Estimate	MH	Feb 20 2018
1	Concept Design	MH	Jan 4 2018

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TITLE: Sustainability Diagrams
SCALE: DRAWN: MH/JM
DATE: 29-Nov-2019 CHECKED: JL
REV. NO. 4
FILE No. DA. 18. 099
SP. 18. V. 0290



PROJECT: St Andre Bessette Parish Roman Catholic Church
1061 Major Mackenzie Drive West, Maple Ontario Canada

ARCHITECTS: LOH
LOH ARCHITECTS & ASSOCIATES INC.
67 Lombard Street
Toronto Ontario M5C 1M2 CANADA
T: 416.690.3212
Loharchitects.ca



Paul Didar Architect Inc.
222 Kingston Avenue, Suite 260
Toronto, Ontario M8V 3W7
Phone: 416-928-1041
pdaarchinc.com

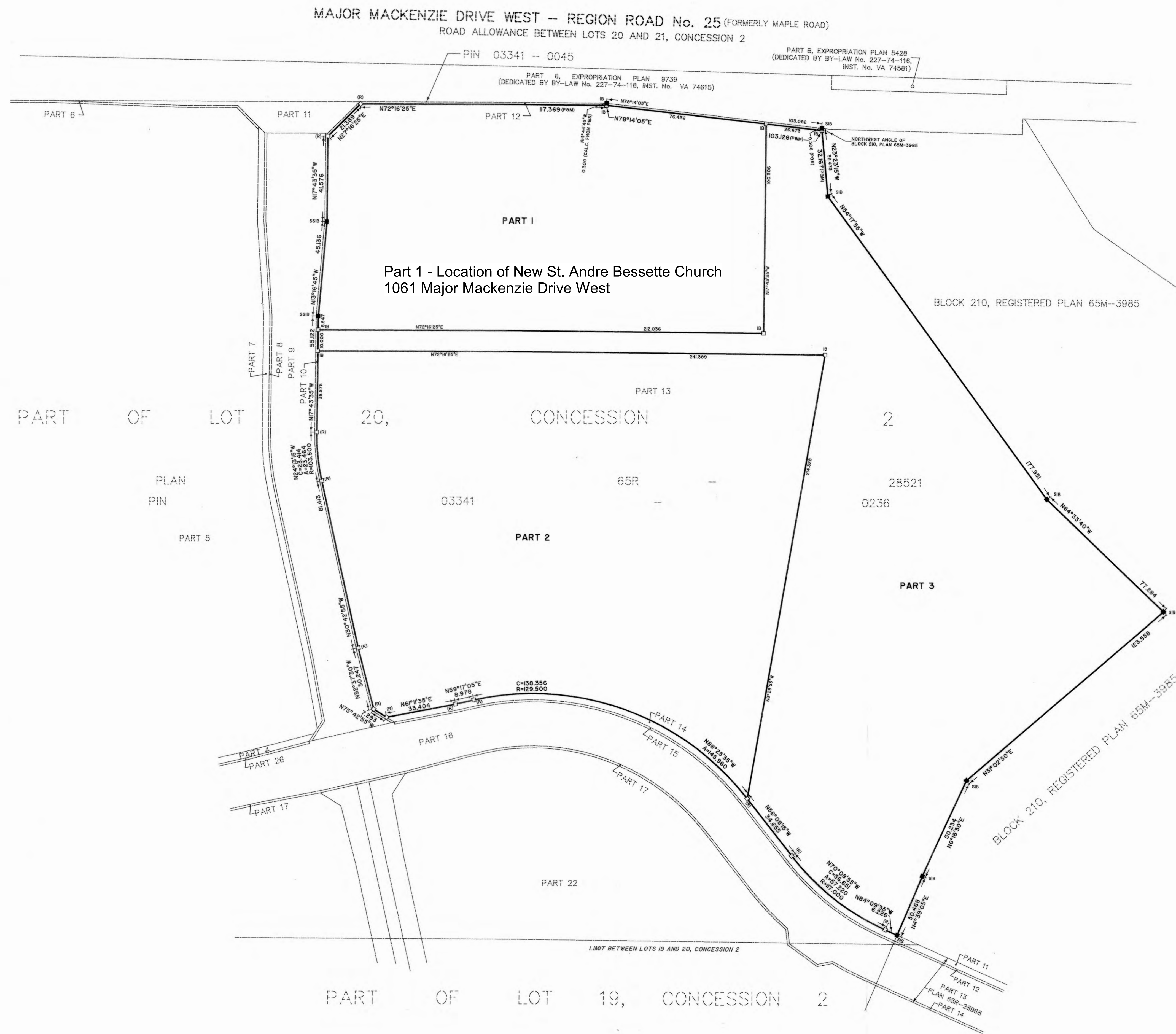
OWNER: Roman Catholic Episcopal Corporation for the Diocese of Toronto in Canada
1155 Yonge Street
Toronto, Ontario M4T 1W2

DRAWING NO.:

A-1.4

ST. ANDRE BESSETTE PARISH CHURCH

METRIC: DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.



I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

PLAN 65R-30297

RECEIVED AND DEPOSITED

DATE SEPTEMBER 17, 2007. DATE SEPTEMBER 18, 2007

DAN DZALDOV
ONTARIO LAND SURVEYOR

E. CAROL MARTIN
ASST. DEP. LAND REGISTRAR FOR THE LAND TITLES DIVISION OF YORK REGION No. 65

SCHEDULE

PART	PART OF LOT	CONCESSION	PART OF PIN	AREA (m ²)
1				22256.7
2	20	2	03341-0236	37742.1
3				37455.8

PLAN OF SURVEY OF
PART OF LOT 20
CONCESSION 2
(GEOGRAPHIC TOWNSHIP OF VAUGHAN, COUNTY OF YORK)
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK
SCALE: 1 : 1000

SCHAEFFER & DZALDOV LIMITED

ABBREVIATIONS

LEGENDS

REVISIONS:

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NOTES

■ DENOTES FOUND MONUMENT

□ PLANTED MONUMENT

SIB STANDARD IRON BAR

SSIB SHORT STANDARD IRON BAR

IB IRON BAR

922 SCHAEFFER & DZALDOV LIMITED, O.L.S.

R FOUND IRON (922), REPLACED WITH SSIB

P PLAN 65R-28521

M MEASURED

S SET

ALL FOUND MONUMENTS ARE NUMBERED 922.

BEARINGS SHOWN HEREON ARE GRID BEARINGS DERIVED FROM THE 47M COORDINATE SYSTEM NAD 83, ZONE 17, CENTRAL MERIDIAN 8° WEST LONGITUDE USING HORIZONTAL CONTROL MONUMENTS HAVING PUBLISHED VALUES AS FOLLOWS:

HCM 10598012 NORTHING 4857608.667, EASTING 622478.869

HCM 10598018 NORTHING 4855633.999, EASTING 623054.357.

DISTANCES SHOWN ON THIS PLAN ARE GROUND DISTANCES.

ALL PARTS 0.30 METRE WIDE HAVE BEEN EXAGGERATED FOR CLARITY.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.

2. THE SURVEY WAS COMPLETED ON THE 31st DAY OF AUGUST, 2007.

DATE: SEPTEMBER 5, 2007.

DAN DZALDOV
ONTARIO LAND SURVEYOR

SCHAEFFER & DZALDOV LIMITED
ONTARIO LAND SURVEYORS

64 JARDIN DRIVE CONCORD, ONTARIO L4K 3P3 TEL: (416) 997-0101

DRAWN ACAD/LW CHECKED WMF SCALE 1:1000 JOB NO. 03-563-13



TITLE: Legal Survey Key Plan

SCALE: 1 : 1000 DRAWN: Author

DATE: 29-Nov-2019 CHECKED: Checker

REV. NO.

FILE No. DA. 18. 099

SP. 18. V. 0290



PROJECT: St Andre Bessette Parish Roman Catholic Church
1061 Major Mackenzie Drive West, Maple Ontario Canada

ARCHITECTS: LOH
LOH ARCHITECTS & ASSOCIATES INC.
67 Lombard Street
Toronto Ontario M5C 1M2 CANADA
T: 416.690.3212
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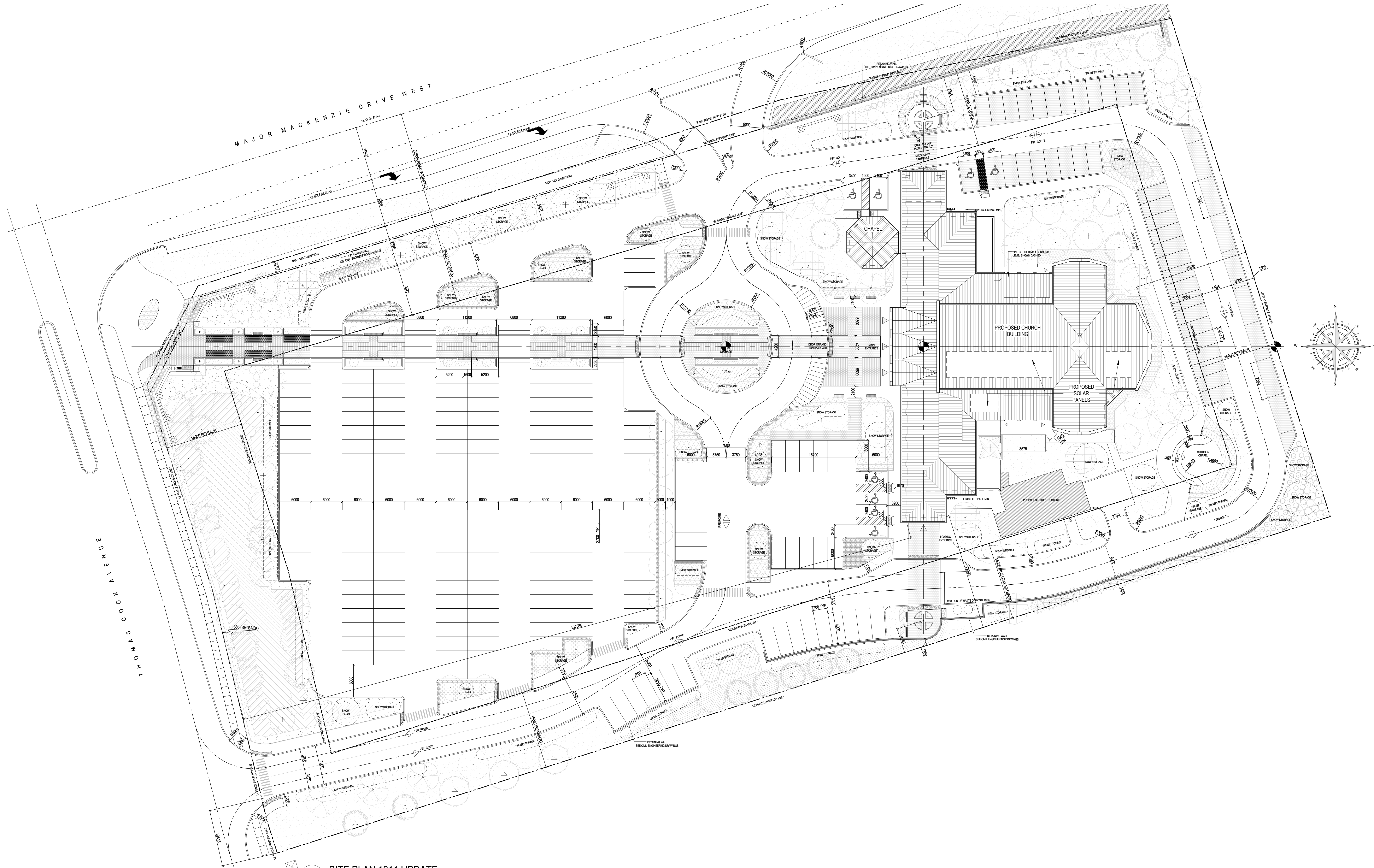
OWNER: Roman Catholic Episcopal Corporation for the Diocese of Toronto in Canada
1155 Yonge Street
Toronto, Ontario M4T 1W2

DRAWING NO.:

A-1.5

1 Legal Survey Plan
A-1.5 1 : 1000

ST. ANDRE BESSETTE PARISH CHURCH



SITE PLANNING STATISTICS:

Saint Andre Bessette Church Address: 1075 Major Mackenzie Drive West, Vaughan, Ontario L6A 3P2
Zoning and Land Use: 8.2 Agricultural Use and Related Commercial
Relevant Documents: Official Plan Amendment (OPA) and Zoning By-Law 1-88 Vaughan Official Plan 2010
Ontario Land Registry summary and site exception 9025 2006-7

Building Site Coverage: 20% Maximum
Landscape Site Coverage: 40% Maximum
Minimum Frontage: 100 meters (20 meters for Institutional Uses)
Lot Area: 5.5 Acres (2.28 Ha)
Minimum Yard Set-back: 15 Meters front yard
 15 Meters rear yard
 15 Meters interior side yard
 15 Meters exterior side yard
 11 Meters maximum above established grade

Height Limit:

Building Capacity:
 Church Assembly Hall: 800 Seats
 Chapel: 69 Seats
Total: 869 Seats

Zoning Lot Areas Summary:

Building Gross Floor Area (GFA) Total: 2,275 Square Meters (24,488 Square Feet)
Lot Area (Acres) Total: 21,818 Square Meters (5.39 Acres with York Region road reduction)

Parking Spaces Minimum Required by Zoning:
 Calculations for non-residential parking based on By-law 1-88 and 11 parking spaces per 100 square meters of gross floor area.
 (2,275 m² / 100) x 11 spaces = 251 required parking spaces.

Parking Required Minimum: 251 Spaces
Spaces Above Requirement: 1 Space
Total Car Parking Spaces: 252 Spaces
 (Standard parking space dimensions: 2.7 M x 6.0 M)
 (Standard parallel parking space dimensions: 2.7 M x 7.3 M)
 (Standard parallel parking and space dimensions: 2.7 M x 6.7 M)
 (Standard two-way drive aisle dimensions range: 4.4 M x 7.5 M)
 (Standard two-way drive aisle dimension provided: 6.0 M)

Accessible Spaces Minimum Required by Zoning:

Calculations under By-law 1-88 for accessible spaces based on 2% of the total number of parking spaces (252 x 0.02 = 5) plus 2 spaces in equal to 8 handicap accessible spaces. The 8 spaces are included within the total number of parking spaces = 252.

4 Type-A Accessible Parking Spaces Required: 4 Van Spaces
 (Type-A Space: 3.4 M x 6.0 M abuts 1.5 M Access Aisle)
4 Type-B Accessible Parking Spaces Required: 4 Car Spaces
 (Type-B Space: 2.4 M x 6.0 M abuts 1.5 M Access Aisle)
Total Car Accessible Spaces: 8 Spaces

Bicycle Spaces Minimum Required by Zoning:

Calculations under By-law 1-88 for bicycle parking is equal to 1 space per 100 m² of GFA. Includer with the ratio of 0.4 for short term and 0.06 for long term bicycle spaces.

Short term bicycle spaces: 10 Spaces (2,275 m² / 100) x 0.4 = 10 Bicycles
Long-term bicycle spaces: 2 Spaces (2,275 m² / 100) x 0.06 = 2 Bicycles
Total Bicycle Spaces: 12 Spaces

Lot Coverage Calculations:
 Calculations based on By-law 1-88 with maximum 20% Building Coverage and 40% Landscape Coverage

Lot Area: 21,818 Square Meters
Building Area: 2,275 Square Meters
Building Site Coverage: 10.4 %
Lot Frontage: 209 Meters
Lot Depth: 109 Meters
Building Height: 13.5 Meters above established grade
Landscape Site Coverage: 40.5 % = (9,040 m² / 22,331 m²) x 100

Total Gross Floor Area (GFA) Summary:

No.	Name	Area (m ²)	Area (ft ²)
1.1	Sanctuary, Confession, Nave and Support Spaces	880 m ²	9450 ft ²
1.2	Narthex, Offices, and Support Spaces	785 m ²	8450 ft ²
1.3	St. Joseph's Chapel	76 m ²	818 ft ²
1.4	Basement (Unfinished space)	429 m ²	4618 ft ²
1.5	Mezzanine Level	66 m ²	712 ft ²
	Sub-total	2,275 m ²	24,488 ft ²
2.1	Future Rectory First Floor	118 m ²	1281 ft ²
2.2	Future Rectory Second Floor	120 m ²	1292 ft ²
2.3	Parking Garage (2 Spaces)	239 m ²	2,573 ft ²
	Sub-total	477 m ²	5,146 ft ²
	Total Gross Floor Area:	2,752 m²	29,634 ft²

Zoning Minor Variances:

Zoning & By-laws	Zoning Requirement:	Zoning Minor Variance:
1. Access to York Regional Road - Major Mackenzie Drive	No access permitted from Regional Road with exceptions.	Regional road RRO using urban cross section.
2. Building Height Increase from 11 Meters Maximum:	11 Meters Maximum	15 Meters above established grade (the calculated building height is 13.5 meters above established grade).
3. Landscape Set-back Distance from Property Lines:	North: 6.0 Meters East: 2.4 Meters South: 2.4 Meters West: 6.0 Meters	5.135 Meters 1.425 Meters 1.190 Meters 6.0 Meters
4. Civil Engineering Retaining Wall:	South: 2.4 Meters	Retaining wall is 2.75 meters in height. Located 1.0 meter from property line at single point, tapers away beyond this point to a lower height in each direction.
5. Accessory Building - Church Spire & Bell Tower:	Exempt	No Variance Required for Accessory Church Buildings.
6. Accessory Building - Church Rectory:	Exempt	No Variance Required for Accessory Church Buildings.

No.	DESCRIPTION	DRWN	DATE
4	ISSUED FOR SITE PLAN REAPPLICATION 4	AR	05 NOV 2024
3	ISSUED FOR SITE PLAN APPLICATION 3	CC	29 NOV 2023
2	ISSUED FOR SITE PLAN APPLICATION 2	MH	29 NOV 2019
1	ISSUED FOR SITE PLAN APPLICATION 1	MH	19 OCT 2018

REVISIONS

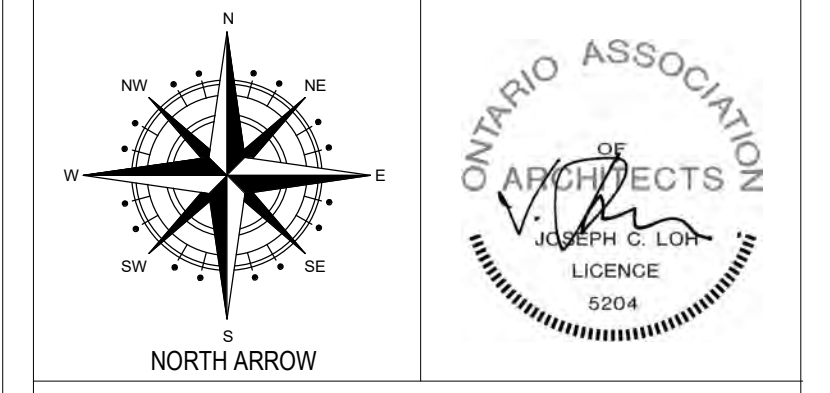
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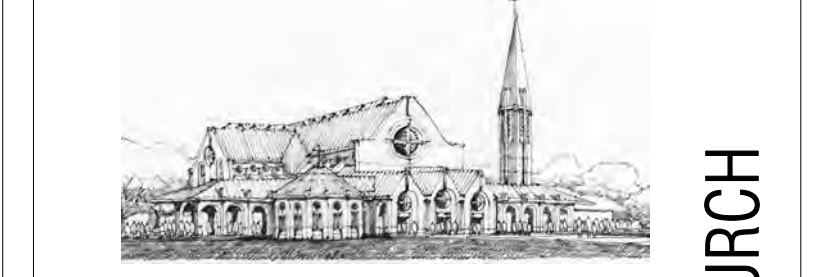
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TITLE: SITE PLAN

SCALE: 1 : 300
DATE: 05-Nov-2024
REV. No. 4
FILE No. DA. 18. 099
SP. 18. V. 0290



PROJECT: St Andre Bessette Parish Roman Catholic Church
 1075 Major Mackenzie Drive West, Maple Ontario Canada

ARCHITECTS: LOH ARCHITECTS & ASSOCIATES INC.
 67 Lombard Street
 Toronto Ontario M5C 1M2 CANADA
 T: 416.690.3212
 Loharchitects.ca

pda Paul Didar Architect Inc.
 222 Bimington Avenue, Suite 260
 Toronto, Ontario M8V 3W7
 Phone: 416-928-1041
 pdaarch.com

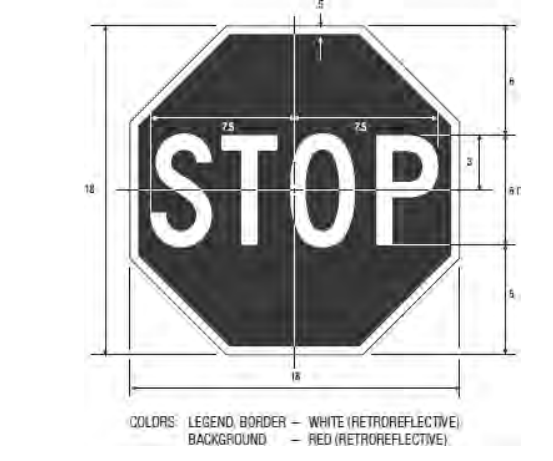
OWNER: Roman Catholic Episcopal Corporation for the Diocese of Toronto in Canada
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DRAWING NO.: A-1.7

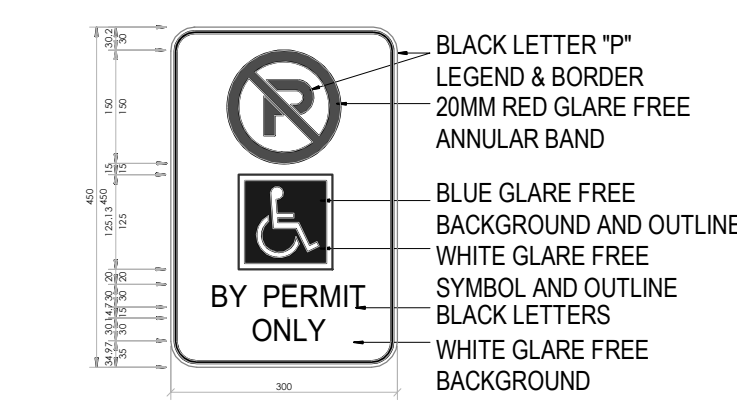
- STAY RIGHT
- ⊘ STOP SIGN
- ⊘ YIELD SIGN
- ⊘ ACCESSIBLE PARKING SIGN
- ⊘ ONE WAY SIGN
- ⊘ NO PARKING SIGN WITH DIRECTIONS
- ⊘ FIRE HYDRANT
- ⊘ FIRE ROUTE
- PAINTED ONE WAY ARROW
- ▨ PAINTED LINE FOR STOP SIGN

GENERAL SIGNAGE NOTES:

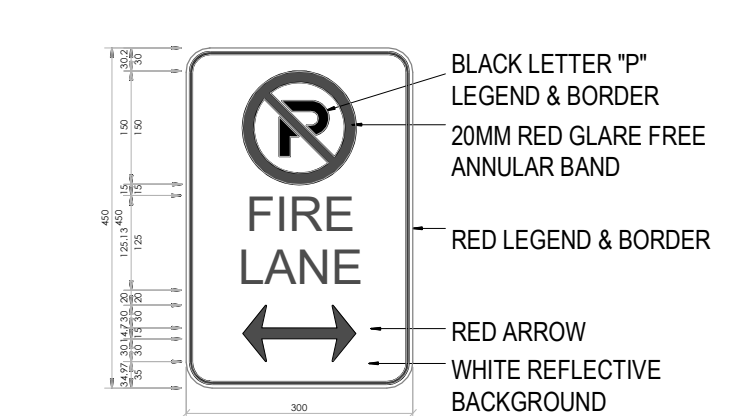
- ALL WAY FINDING AND WARNING SIGNS LOCATED WITHIN THE SITE ARE GLARE FREE, EASILY VISIBLE AND LEGIBLE (IE. SOLID OR MATTE BACKGROUND COLOUR WITH HIGH CONTRAST IN BRIGHTNESS BETWEEN THE SIGN'S CONTENT AND BACKGROUND).
- WAY-FINDING AND WARNING SIGNS WILL BE INSTALLED WITH BRAILLE AND LOCATED FOR EASY ACCESS AND RECOGNITION (IE. TACTILE INDICATORS ON THE GROUND IN PROXIMITY TO THE SIGN) FOR THOSE WITH VISUAL IMPAIRMENTS.



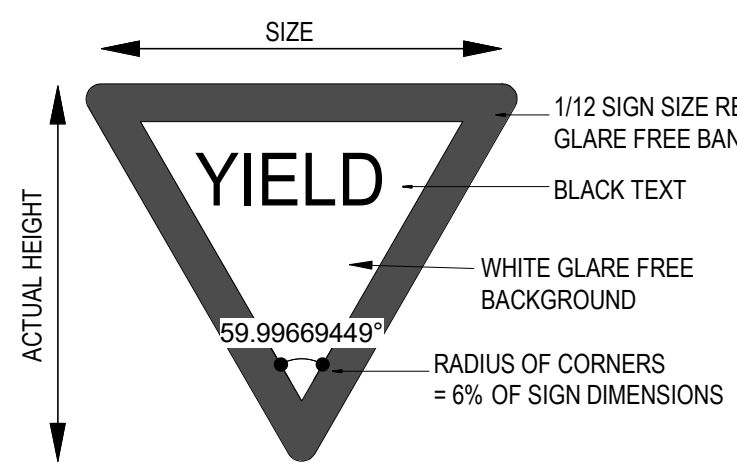
5 STOP SIGN
A-1.8 SCALE: 1:10



4 ACCESSIBLE PARKING SIGNAGE
A-1.8 SCALE: 1:10

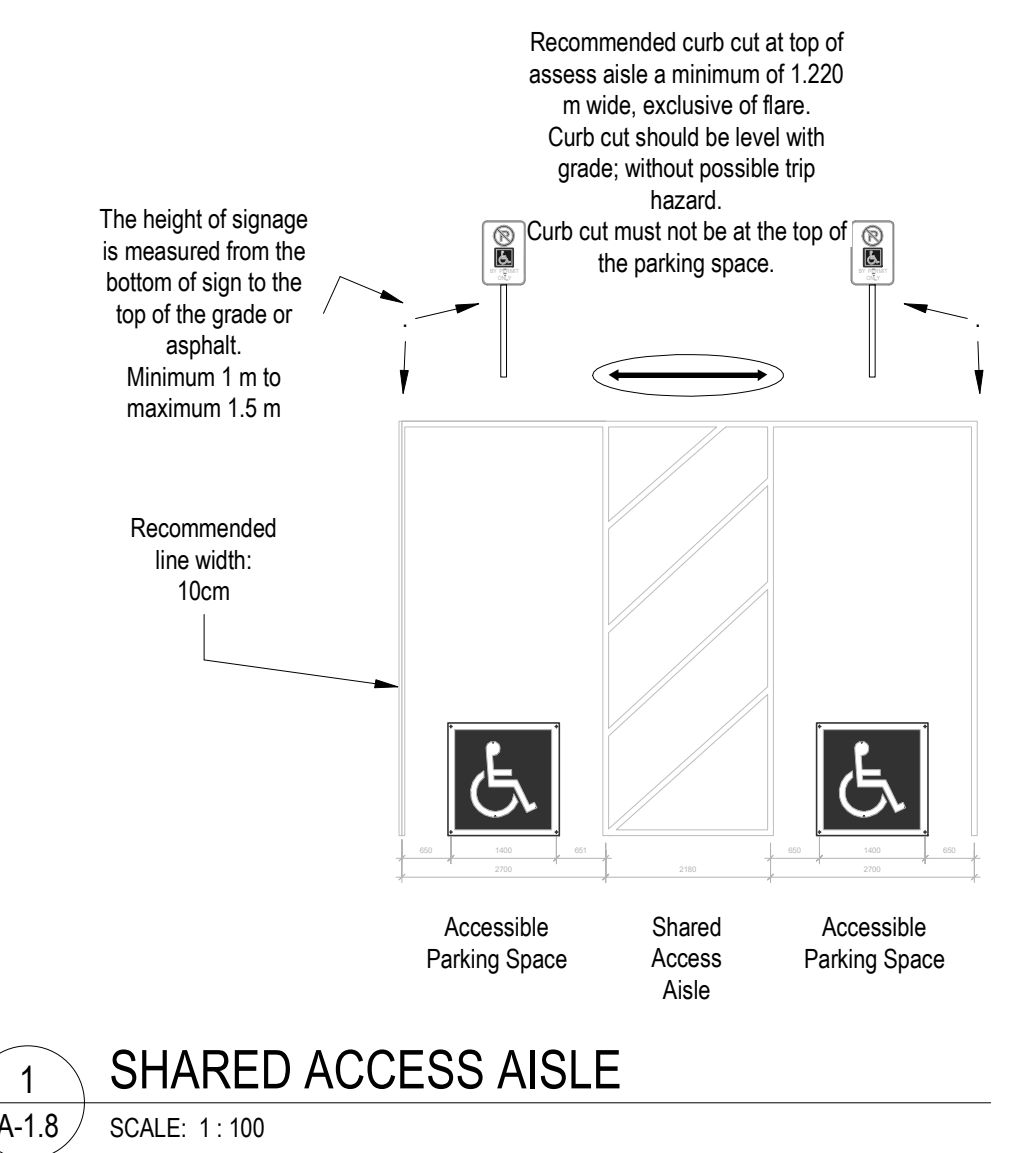


3 NO PARKING FIRE ROUTE SIGNAGE
A-1.8 SCALE: 1:10

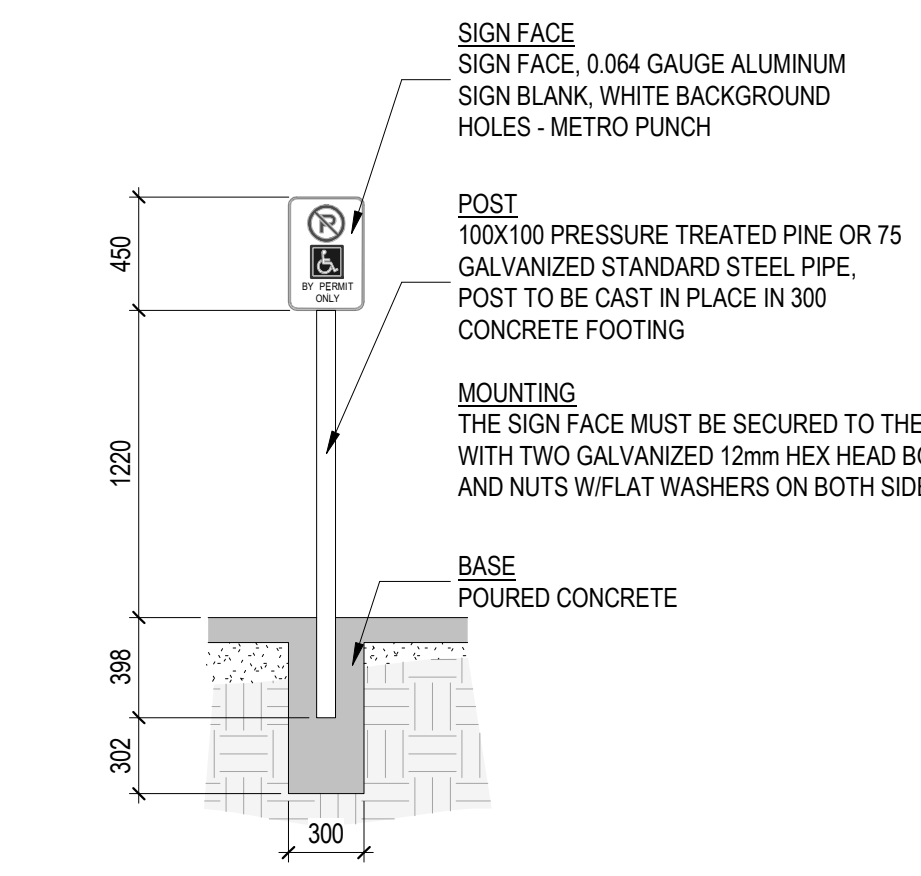


SIGN SIZE	ACTUAL HEIGHT
30" X 30" X 30"	24.5"
36" X 36" X 36"	29.2"
48" X 48" X 48"	38.6"

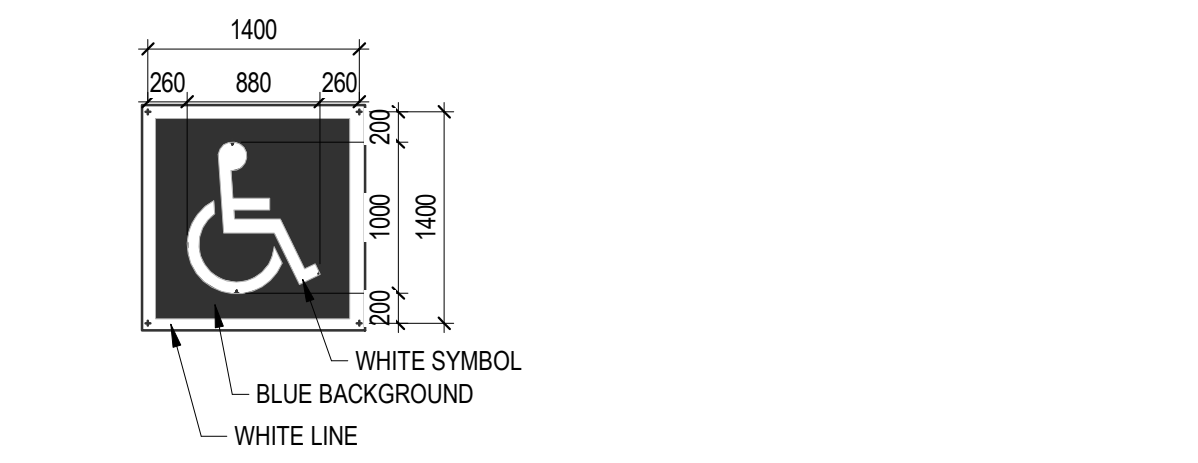
2 YIELD SIGNAGE
A-1.8 SCALE: 1:10



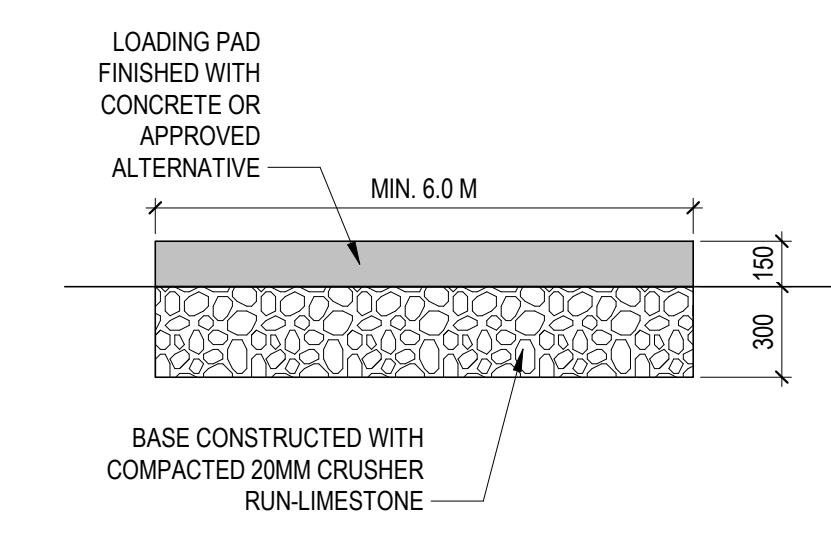
1 SHARED ACCESS AISLE
A-1.8 SCALE: 1:100



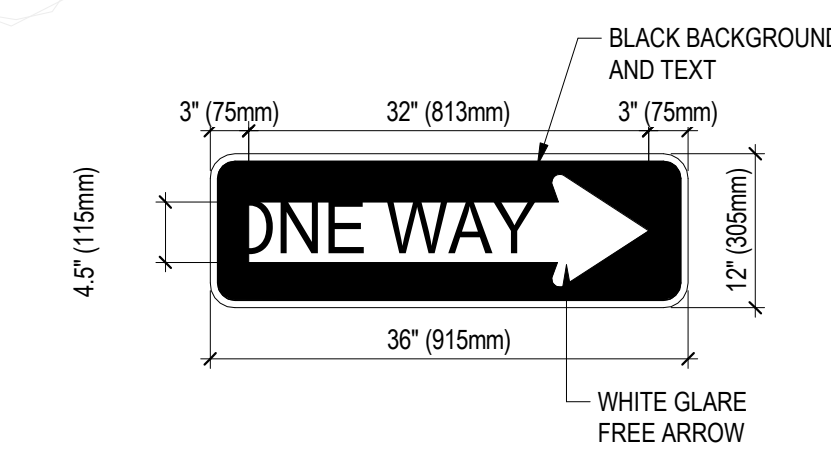
6 ACCESSIBLE SIGN
A-1.8 SCALE: 1:30



7 ACCESSIBLE PARKING SIGN PAVEMENT MARKING
A-1.8 SCALE: 1:50



8 LOADING PAD
A-1.8 SCALE: 1:25



9 ONE WAY SIGN
A-1.8 SCALE: 1:10

10 SITE PLAN 1911 SIGNAGE PLAN
A-1.8 SCALE: 1:300

No.	DESCRIPTION	DRWN	DATE
4	ISSUED FOR SITE PLAN REAPPLICATION 4	AR	05 NOV 2024
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REVISIONS

DESCRIPTION

DRWN

DATE

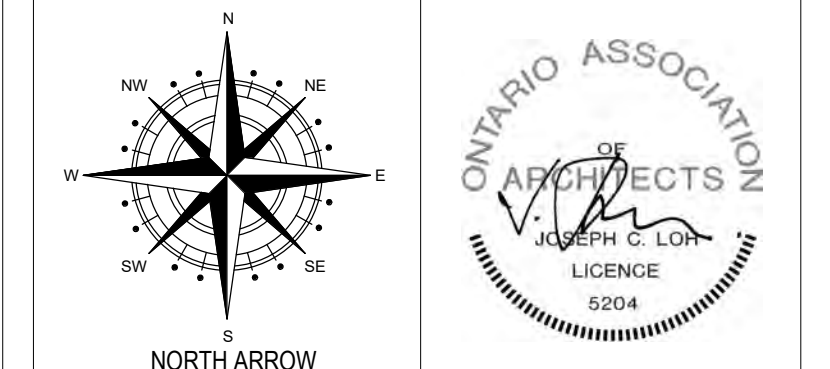
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TITLE: SITE SIGNAGE PLAN

SCALE: As indicated
DATE: 05-Nov-2024
REV. No. 4
FILE No. DA. 18. 099
SP. 18. V. 0290



PROJECT: St Andre Bessette Parish Roman Catholic Church
1075 Major Mackenzie Drive West, Maple Ontario Canada

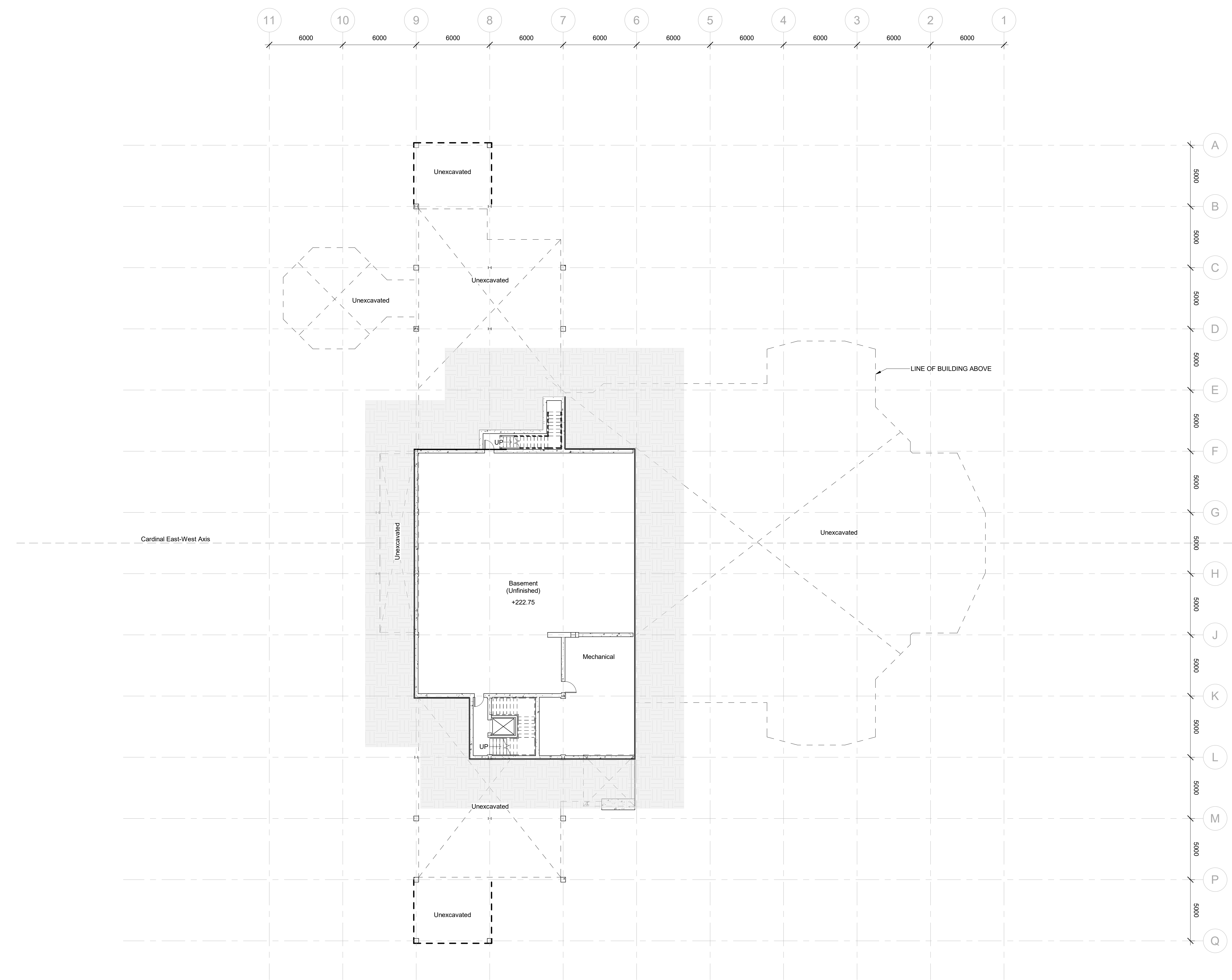
ARCHITECTS: LQH ARCHITECTS & ASSOCIATES INC.
67 Lombard Street Toronto Ontario M5C 1M2 CANADA
T: 416.690.3212 Lqharchitects.ca

pda Paul Dikar Architect Inc.
222 Kingston Avenue, Suite 260 Toronto, Ontario M8V 3W7
Phone: 416-928-1041 pdarchinc.com

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1155 Yonge Street Toronto, Ontario M4T 1W2

DRAWING NO.: A-1.8

Printed on: 11/8/2024 12:48:09 PM



1 Basement Level
A-2.1 1 : 150

ABBREVIATIONS LEGENDS

REVISIONS:

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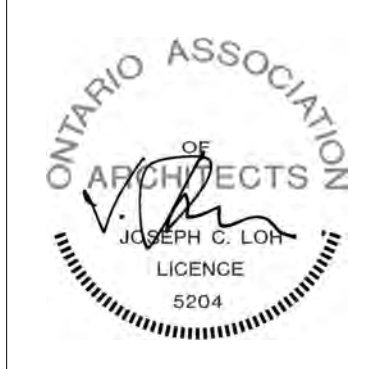
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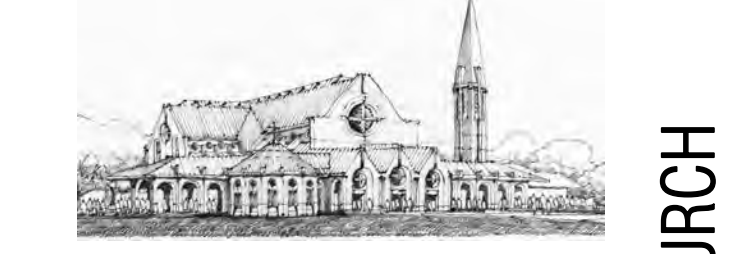
TITLE: **Basement Level Plan**

SCALE: 1 : 150 DRAWN: MH/JM

DATE: 29-Nov-2019 CHECKED: JL

REV. NO. 4

FILE No. DA. 18. 099
 SP. 18. V. 0290



PROJECT: **St Andre Bessette Parish Roman Catholic Church**
 1061 Major Mackenzie Drive West, Maple
 Ontario Canada

ARCHITECTS: **LOH**
 LOH ARCHITECTS & ASSOCIATES INC.
 67 Lombard Street
 Toronto Ontario M5C 1M2 CANADA
 T: 416.690.3212
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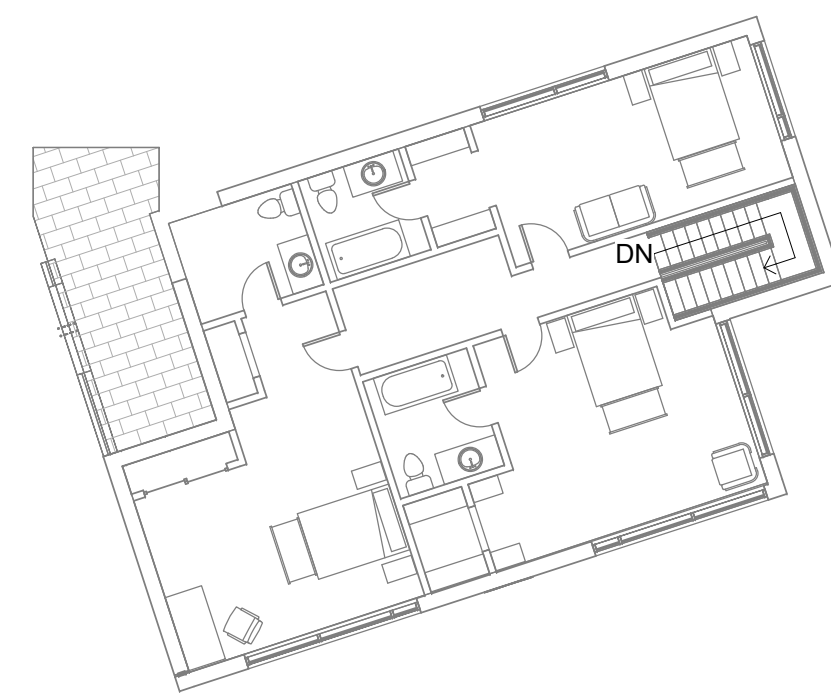
pda
 Paul Didar Architect Inc.
 222 Basington Avenue, Suite 260
 Toronto, Ontario M8V 3W7
 Phone: 416-928-1041
 pdaarchinc.com

OWNER: Roman Catholic Episcopal Corporation for the Diocese of Toronto in Canada
 1155 Yonge Street
 Toronto, Ontario M4T 1W2

DRAWING NO.:

A-2.1

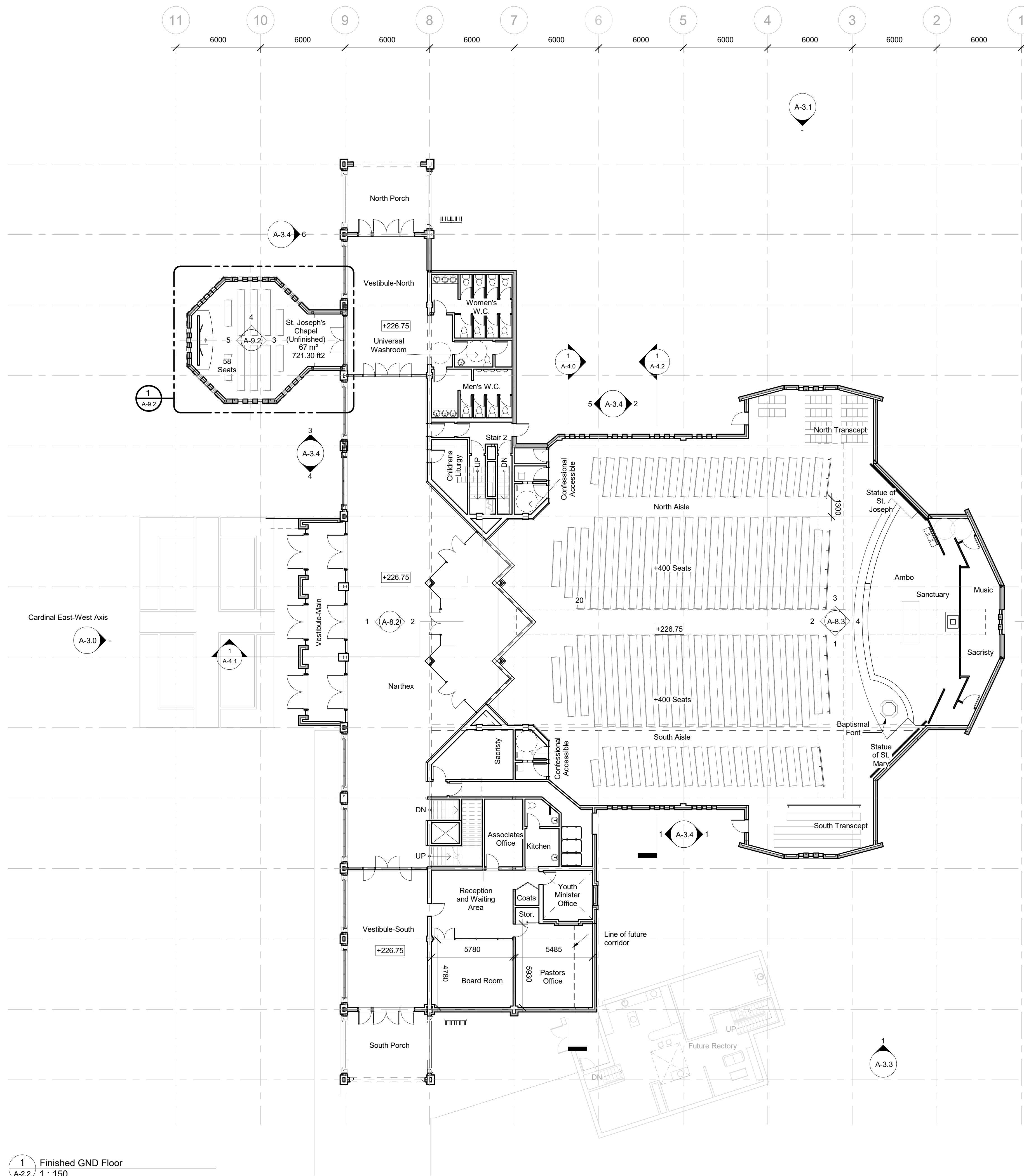
ST. ANDRE BESSETTE PARISH CHURCH



2 Rectory Second Floor Level
A-2.2 1: 150

St. Andre Bessette Church Gross Building Area			
No.	Name	Area Sq.m	Area Sq.ft
Non-Residential			
1.1	SAB Church, Nave and Sanctuary	889 m ²	9568 SF
1.2	Narthex, Offices and Vestibules	785 m ²	8450 SF
1.3	St. Joseph's Chapel	76 m ²	815 SF
1.4	Basement (unfinished space)	429 m ²	4619 SF
1.5	Mezzanine	96 m ²	1034 SF
		2275 m ²	24486 SF
Residential			
2.1	Future Rectory First Floor	119 m ²	1286 SF
2.2	Future Rectory Second Floor	120 m ²	1287 SF
		239 m ²	2573 SF
Total Gross Floor Area		2514 m ²	27059 SF

St. Andre Bessette Church Architectural Room Program			
Number	Name	Area Sq.m	Area Sq.ft
	SPIRE	9 m ²	95 ft ²
001	Basement (Unfinished)	0 m ²	0 ft ²
002	Mechanical	0 m ²	0 ft ²
100	Nave	811 m ²	8734 ft ²
101	Narthex	231 m ²	2485 ft ²
102	St. Joseph's Chapel (Unfinished)	67 m ²	721 ft ²
103	Vestibule-North	56 m ²	602 ft ²
104	Vestibule-Main	37 m ²	400 ft ²
105	Vestibule-South	56 m ²	603 ft ²
106	Sacristy	13 m ²	142 ft ²
107	Sacristy	17 m ²	186 ft ²
108	Confessional Accessible	7 m ²	77 ft ²
109	Confessional Accessible	7 m ²	78 ft ²
110	Pastors Office	32 m ²	350 ft ²
111	Reception and Waiting Area	30 m ²	327 ft ²
112	Associates Office	13 m ²	141 ft ²
113	Kitchen	7 m ²	70 ft ²
114	Servery	0 m ²	0 ft ²
115	Coats	2 m ²	18 ft ²
116	Youth Minister Office	13 m ²	135 ft ²
117	Board Room	28 m ²	299 ft ²
118	Music	13 m ²	144 ft ²
119	Storage	0 m ²	0 ft ²
120	Stair 1	14 m ²	151 ft ²
121	Stair 2	7 m ²	76 ft ²
122	Childrens Liturgy	10 m ²	113 ft ²
123	Men's W.C.	19 m ²	204 ft ²
124	Women's W.C.	22 m ²	233 ft ²
125	Universal Washroom	5 m ²	56 ft ²
126	Office W.C.	0 m ²	0 ft ²
128	Stor.	2 m ²	18 ft ²
201	Mezzanine	84 m ²	902 ft ²
Grand total: 32		1613 m ²	17360 ft ²



1 Finished GND Floor
A-2.2 1: 150

ABBREVIATIONS LEGENDS

REVISIONS:

REV. NO.	DESCRIPTION	DRAWN	DATE
1	Issued for Site Plan Application	MH	Nov 29 2019
2	Issued for Pricing Class 'C' Cost Estimate	MH	Dec 19 2019
3	Pricing Class 'C' Cost Estimate	MH	Feb 20 2019
4	Concept Design	MH	Jan 4 2018

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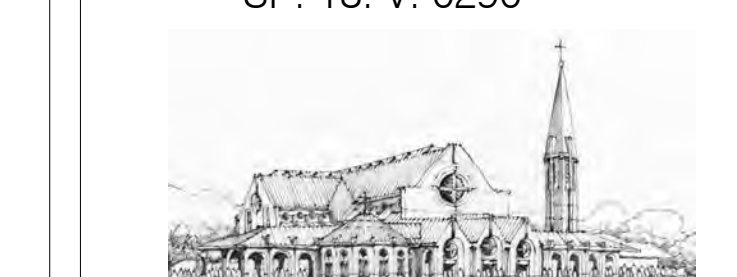
TITLE: Ground Level Plan

SCALE: 1: 150 **DRAWN:** MH/JM

DATE: 29-Nov-2019 **CHECKED:** JL

REV. NO.: 4

FILE No.: DA. 18. 099
SP. 18. V. 0290



PROJECT: St Andre Bessette Parish Roman Catholic Church
1061 Major Mackenzie Drive West, Maple Ontario Canada

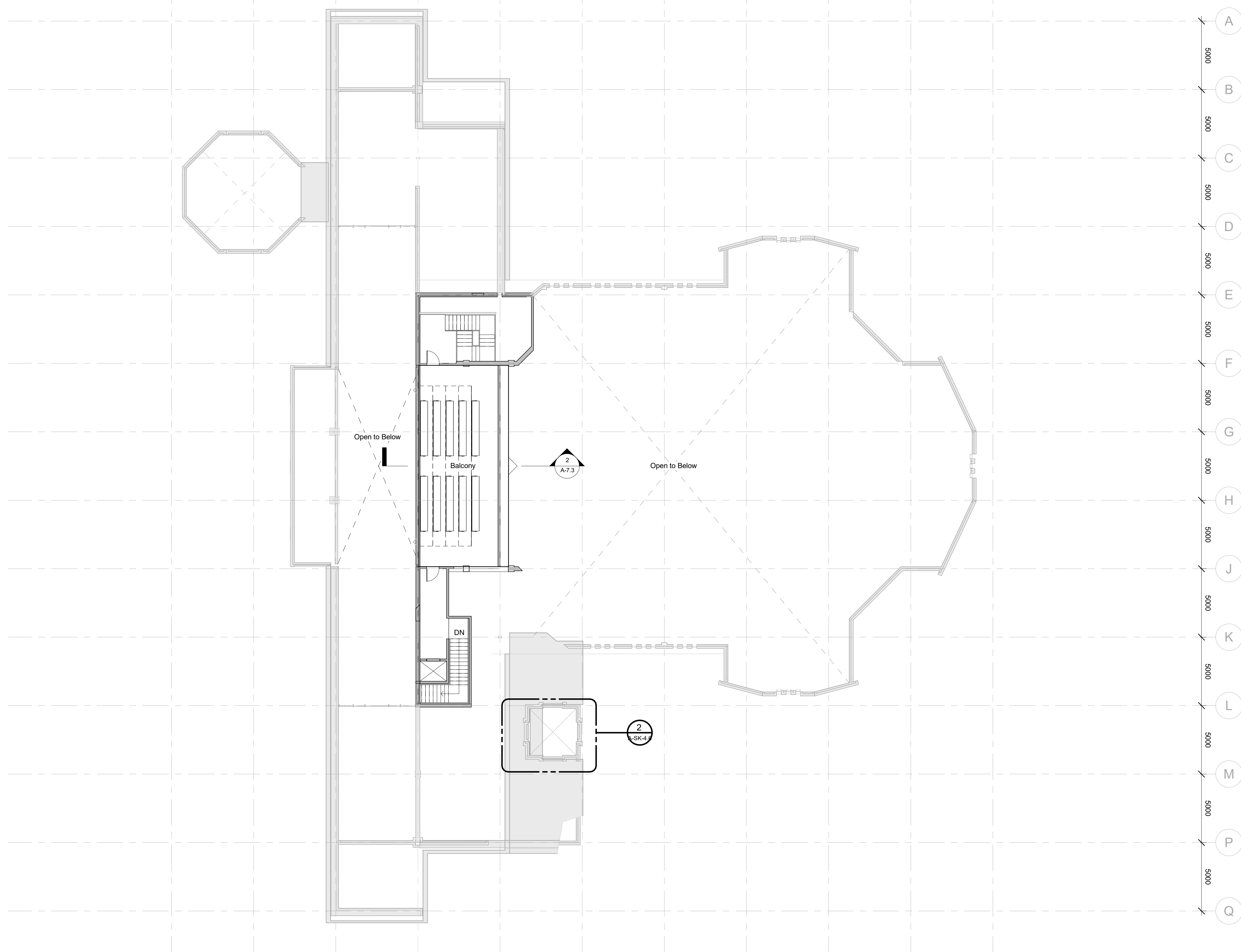
ARCHITECTS: Loh Architects & Associates Inc.
67 Lombard Street
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T: 416.690.3212
Loharchitects.ca

OWNER: Roman Catholic Episcopal Corporation for the Diocese of Toronto in Canada
1155 Yonge Street
Toronto, Ontario M4T 1W2

DRAWING NO.: A-2.2

ST. ANDRE BESSETTE PARISH CHURCH

11 10 9 8 7 6 5 4 3 2 1
6000 6000 6000 6000 6000 6000 6000 6000 6000 6000



1 Mezzanine Level
A-2.3 1:150

ABBREVIATIONS LEGENDS

REVISIONS:

REV. NO.	DESCRIPTION	DRAWN	DATE
4	Issued for Site Plan Revisions	MH	Nov 29 2019
3	Issued for Site Plan Application	MH	Oct 10 2018
2	Printing Class C Cost Estimate	MH	Feb 29 2018
1	Concept Design	MH	Jan 4 2018

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TITLE: Mezzanine Level Plan
SCALE: 1:150 DRAWN: MH/JM
DATE: 29-Nov-2019 CHECKED: JL
REV. NO. 4
FILE No. DA. 18. 099
SP. 18. V. 0290



PROJECT: St Andre Bessette Parish Roman Catholic Church
1061 Major Mackenzie Drive West, Maple Ontario Canada

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222 King Street East, Suite 260 Toronto, Ontario M5V 3W7
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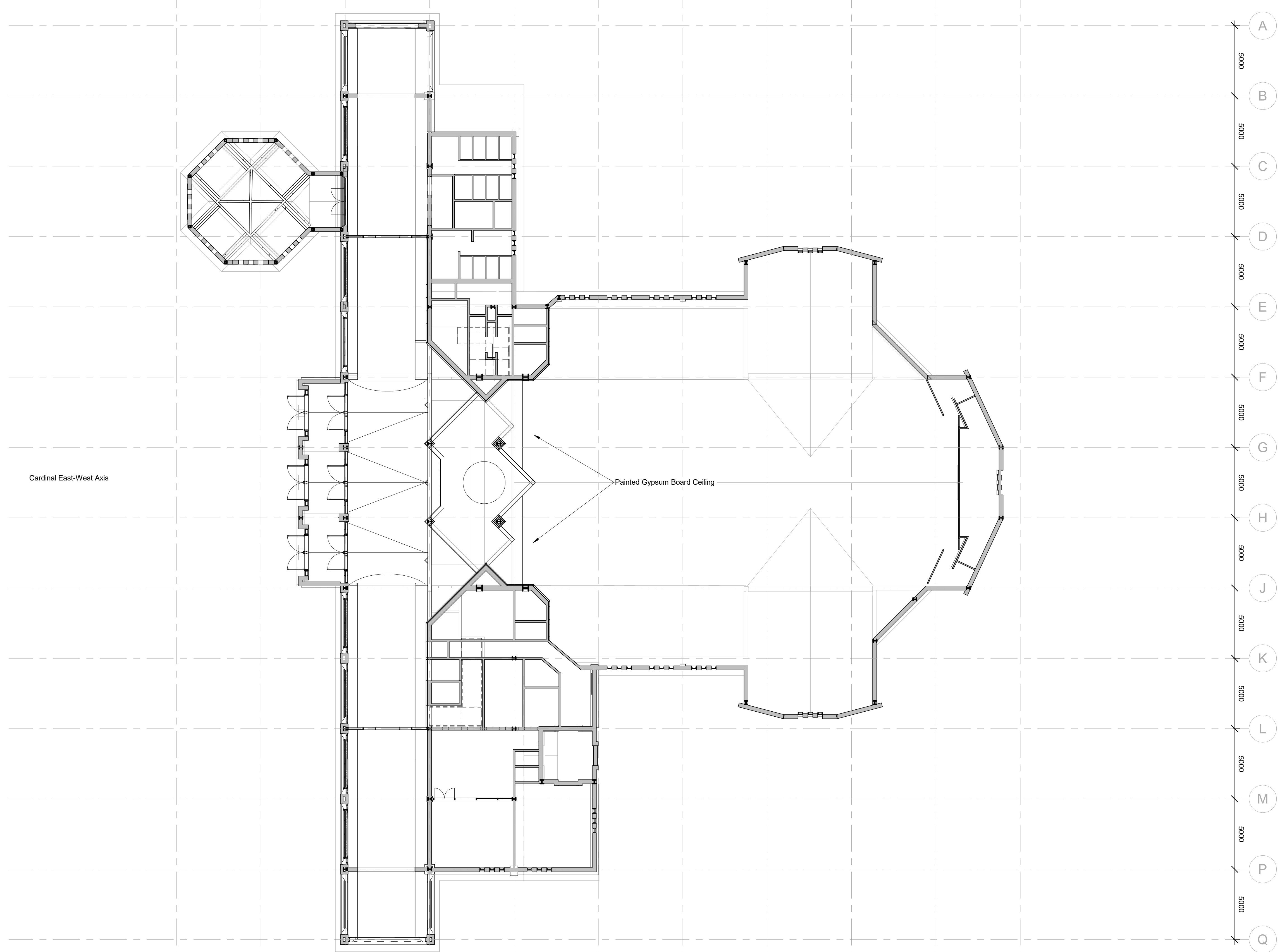
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1155 Yonge Street Toronto, Ontario M4T 1W2

DRAWING NO.:

A-2.3

ST. ANDRE BESSETTE PARISH CHURCH

11 10 9 8 7 6 5 4 3 2 1
6000 6000 6000 6000 6000 6000 6000 6000 6000 6000 6000



1 Reflected Ceiling Plan
A-2.4 1 : 150

ABBREVIATIONS LEGENDS

REVISIONS:

REV. NO.	DESCRIPTION	DRAWN	DATE
4	Issued for Site Plan Revisions	MH	Nov 29 2019
3	Issued for Site Plan Application	MH	Oct 10 2018
2	Pricing Class 'C' Cost Estimate	MH	Feb 20 2018
1	Concept Design	MH	Jan 4 2018

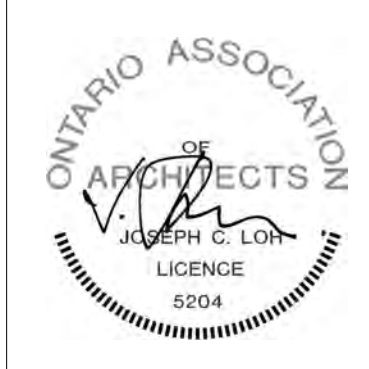
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TITLE: Ground Level Reflected Ceiling Plan

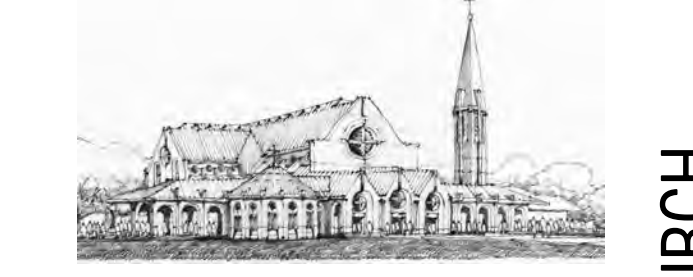
SCALE: 1 : 150 DRAWN: MH/JM

DATE: 29-Nov-2019 CHECKED: JL

REV. NO. 4

FILE No. DA. 18. 099

SP. 18. V. 0290



PROJECT: St Andre Bessette Parish Roman Catholic Church
1061 Major Mackenzie Drive West, Maple Ontario Canada

ARCHITECTS: LOH
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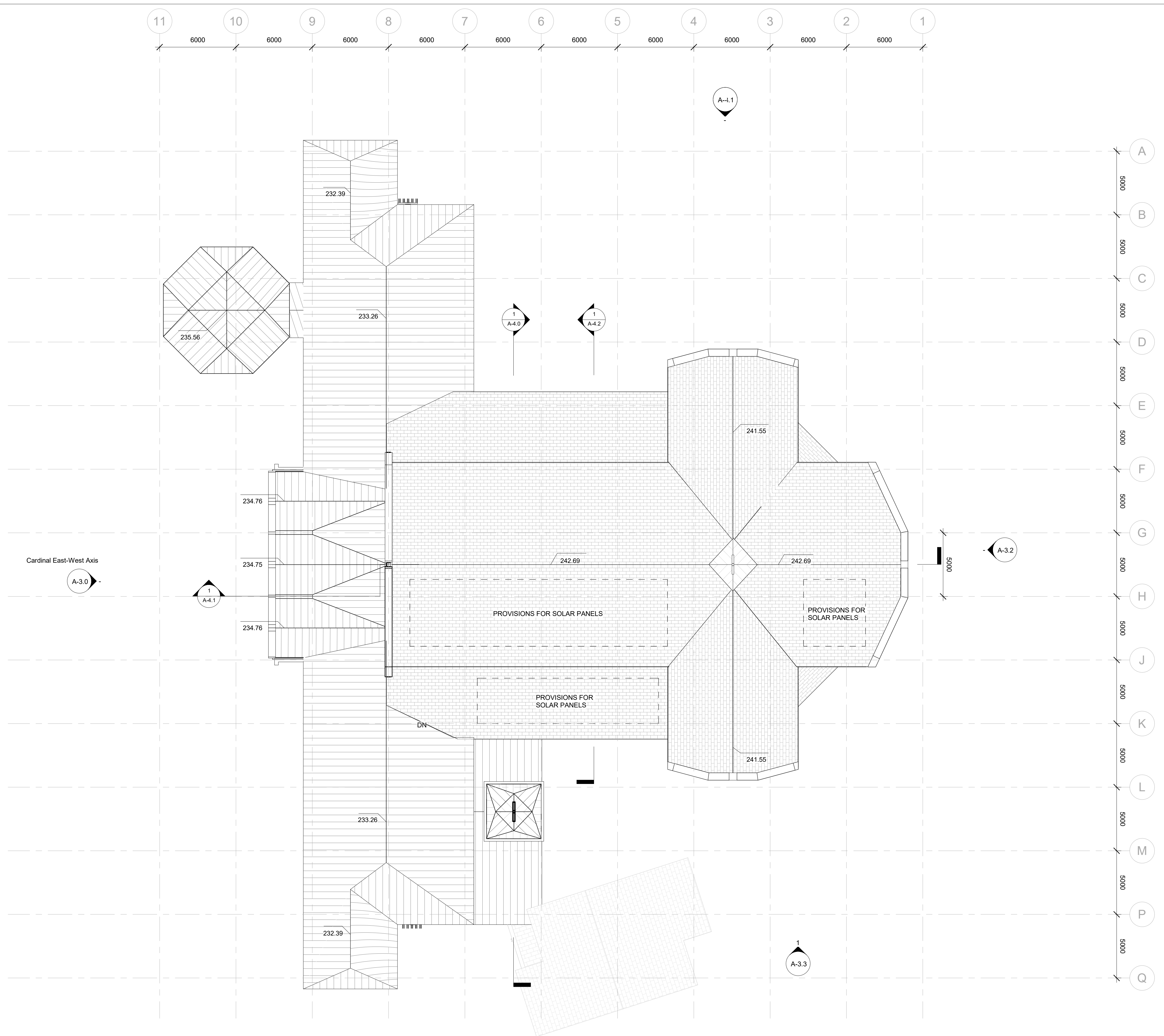
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Toronto, Ontario M5V 3W7
Phone: 416-928-1041
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1155 Yonge Street
Toronto, Ontario M4T 1W2

DRAWING NO.:

A-2.4

ST. ANDRE BESSETTE PARISH CHURCH



1 Roof Level
A-2.5 1 : 150

ABBREVIATIONS LEGENDS

REVISIONS:

REV. NO.	DESCRIPTION	DRAWN	DATE
1	Concept Design	MH	Jan 4 2018
2	Pricing Class 'C' Cost Estimate	MH	Feb 20 2018
3	Issued for Site Plan Revisions	MH	Nov 29 2019
4	Issued for Site Plan Application	MH	Dec 10 2019

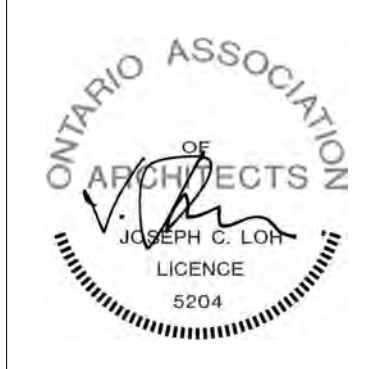
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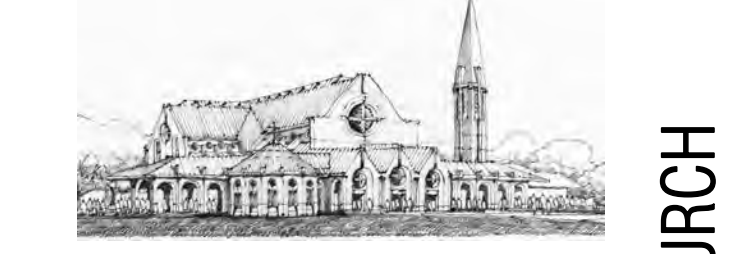
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TITLE: Roof Plan

SCALE: 1 : 150 DRAWN: MH/ JM
 DATE: 29-Nov-2019 CHECKED: JL
 REV. NO. 4
 FILE No. DA. 18. 099
 SP. 18. V. 0290



PROJECT: St Andre Bessette Parish Roman Catholic Church
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 Ontario Canada

ARCHITECTS: LOH
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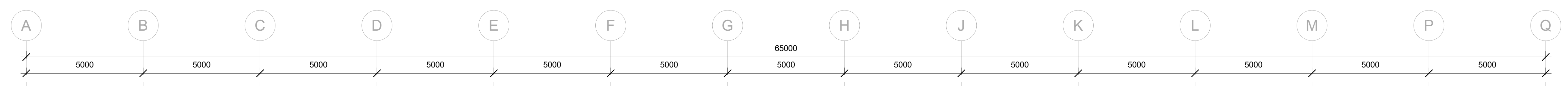
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DRAWING NO.:

A-2.5

ST. ANDRE BESSETTE PARISH CHURCH



MATERIAL LEGEND

- GL1 CLEAR VISION GLASS
- GL1A SPANDREL GLASS: DARK GREY
- GL2 DOUBLE GLAZED CLEAR GLASS
- PT1 PAINT: PEWTER METALLIC
- LV1 PREFINISHED ALUMINUM LOUVERS
- MT1 PREFINISHED METAL FLASHING
- MT2 PREFINISHED ALUMINUM MULLIONS
- MT5 PREFINISHED METAL PANELS
- PC1 PRECAST CONCRETE: COLOUR
- PC2 PRECAST BRICK CLADDING
- ST1 GRANITE: LABRADOR BLACK
- RF1 PREFINISHED ROOF SHINGLES
- RF2 PREFINISHED METAL STANDING SEAM ROOF
- W1 PRESSURE TREATED WOOD CROSS CLAD IN LEAD COATED COPPER
- PV1 PHOTOVOLTAIC POWERS

Established Grade Calculations

$$L = \frac{(\text{Start Elev.} + \text{End Elev.})}{2} \times \text{Length}$$

Length No.	Begin Elev.	End Elev.	Length	Total
1	226.75	226.6	10.65m	2414.09m
2	226.6	226.75	14.35m	3252.79m
3	226.75	226.75	15.00m	3401.25m
4	226.75	226.53	10.00m	2266.40m
5	226.53	226.44	5.00m	1132.42m
6	226.44	226.31	5.18m	1172.62m
			60.18m	13639.57m

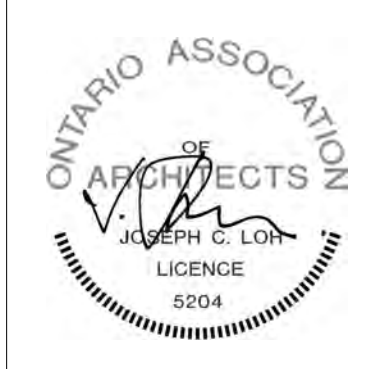
13,639.57 / 60.18 = 226.64
Established Grade = 226.64



REVISIONS:

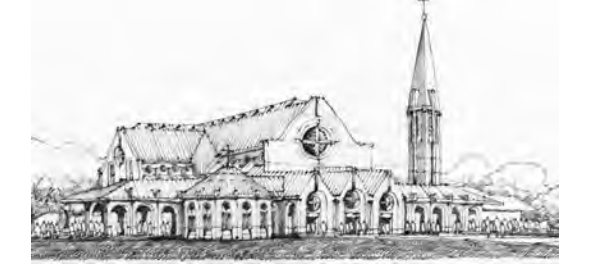
REV. NO.	DESCRIPTION	DRAWN	DATE
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TITLE: West Facade Elevation

SCALE: 1 : 100 DRAWN: MH/JM
 DATE: 29-Nov-2019 CHECKED: JL
 REV. NO. 4
 FILE No. DA. 18. 099
 SP. 18. V. 0290



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DRAWING NO.:

A-3.0

ST. ANDRE BESSETTE PARISH CHURCH

REVISIONS:

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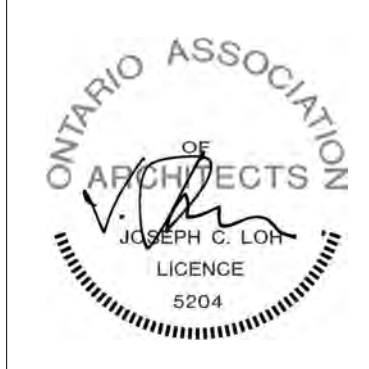
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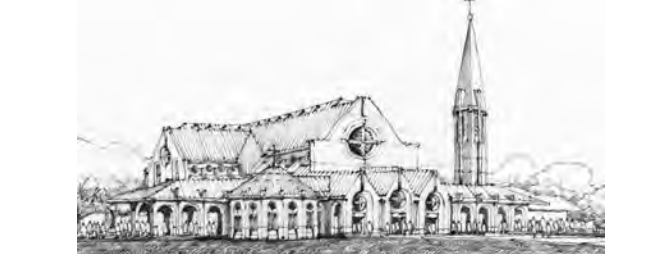
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TITLE: North Facade Elevation

SCALE: 1 : 100 DRAWN: MH/JM
 DATE: 29-Nov-2019 CHECKED: JL
 REV. NO. 4
 FILE No. DA. 18. 099
 SP. 18. V. 0290



PROJECT: St Andre Bessette Parish Roman Catholic Church
 1061 Major Mackenzie Drive West, Maple Ontario Canada

ARCHITECTS: Loh Architects & Associates Inc
 67 Lombard Street Toronto Ontario M5C 1M2 CANADA
 T: 416.690.3212 Loharchitects.ca

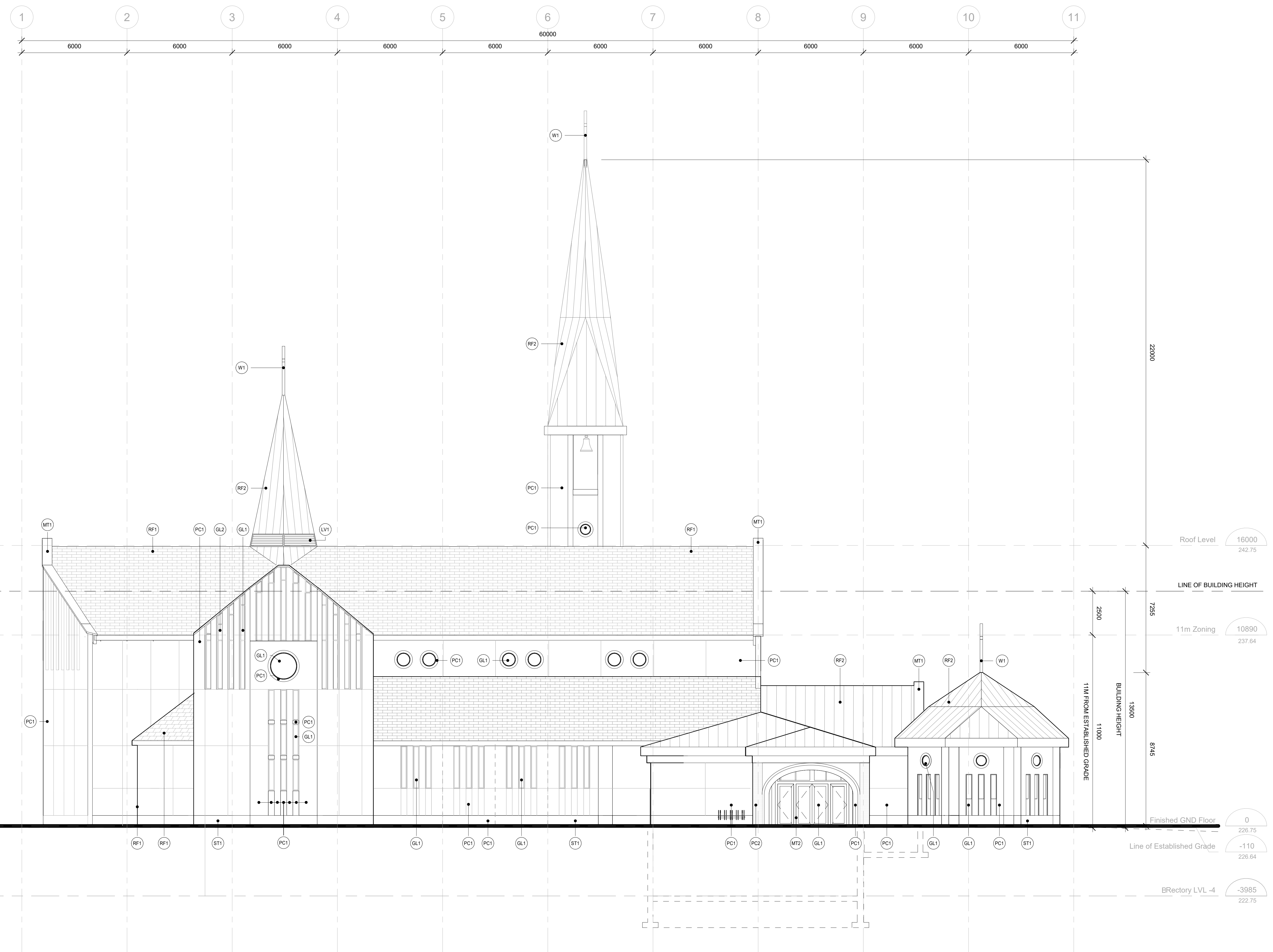
Paul Didar Architect Inc.
 222 Kingston Avenue, Suite 260 Toronto, Ontario M8V 3W7
 Phone: 416-928-1041 pdaarchinc.com

OWNER: Roman Catholic Episcopal Corporation for the Diocese of Toronto in Canada
 1155 Yonge Street Toronto, Ontario M4T 1W2

DRAWING NO.:

A-3.1

ST. ANDRE BESSETTE PARISH CHURCH



MATERIAL LEGEND

- GL1 CLEAR VISION GLASS
- GL1A SPANDREL GLASS: DARK GREY
- GL2 DOUBLE GLAZED CLEAR GLASS
- PT1 PAINT: PEWTER METALLIC
- LV1 PREFINISHED ALUMINUM LOUVERS
- MT1 PREFINISHED METAL FLASHING
- MT2 PREFINISHED ALUMINUM MULLIONS
- MT5 PREFINISHED METAL PANELS
- PC1 PRECAST CONCRETE: COLOUR
- PC2 PRECAST BRICK CLADDING
- ST1 GRANITE: LABRADOR BLACK
- RF1 PREFINISHED ROOF SHINGLES
- RF2 PREFINISHED METAL STANDING SEAM ROOF
- W1 PRESSURE TREATED WOOD CROSS CLAD IN LEAD COATED COPPER
- PV1 PHOTOVOLTAIC POWERS

Established Grade Calculations

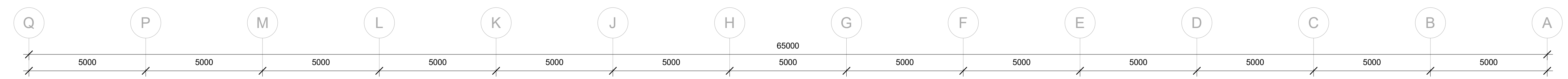
$$L = \frac{(\text{Start Elev.} + \text{End Elev.})}{2} \times \text{Length}$$

Length No.	Begin Elev.	End Elev.	Length	Total
1	226.75	226.6	10.65m	2414.09m
2	226.6	226.75	14.35m	3252.79m
3	226.75	226.75	15.00m	3401.25m
4	226.75	226.53	10.00m	2266.40m
5	226.53	226.44	5.00m	1132.42m
6	226.44	226.31	5.18m	1172.62m
			60.18m	13639.57m

$$13,639.57 / 60.18 = 226.64$$

Established Grade = 226.64

1 North Elevation (Major Mackenzie Drive West)
 A-3.1 1 : 100



MATERIAL LEGEND

- GL1 CLEAR VISION GLASS
- GL1A SPANDREL GLASS: DARK GREY
- GL2 DOUBLE GLAZED CLEAR GLASS
- PT1 PAINT: PEWTER METALLIC
- LV1 PREFINISHED ALUMINUM LOUVERS
- MT1 PREFINISHED METAL FLASHING
- MT2 PREFINISHED ALUMINUM MULLIONS
- MT5 PREFINISHED METAL PANELS
- PC1 PRECAST CONCRETE: COLOUR
- PC2 PRECAST BRICK CLADDING
- ST1 GRANITE: LABRADOR BLACK
- RF1 PREFINISHED ROOF SHINGLES
- RF2 PREFINISHED METAL STANDING SEAM ROOF
- W1 PRESSURE TREATED WOOD CROSS CLAD IN LEAD COATED COPPER
- PV1 PHOTOVOLTAIC POWERS

Established Grade Calculations

$$L = \frac{(\text{Start Elev.} + \text{End Elev.})}{2} \times \text{Length}$$

Calculation	Length No.	Begin Elev.	End Elev.	Length	Total
1	1	226.75	226.6	10.65m	2414.09m
2	2	226.6	226.75	14.35m	3252.79m
3	3	226.75	226.75	15.00m	3401.25m
4	4	226.75	226.53	10.00m	2266.40m
5	5	226.53	226.44	5.00m	1132.42m
6	6	226.44	226.31	5.18m	1172.62m
				60.18m	13639.57m

$$\frac{13,639.57}{60.18} = 226.64$$

Established Grade = 226.64



1 East Elevation (Don River Ravine)
A-3.2 1 : 100

REVISIONS:

REV. NO.	DESCRIPTION	DRAWN	DATE
1	Concept Design	MH	Jan 4 2018
2	Pricing Class 'C' Cost Estimate	MH	Feb 20 2018
3	Issued for Site Plan Approval	MH	Oct 10 2018
4	Issued for Site Plan Revisions	MH	Nov 29 2019

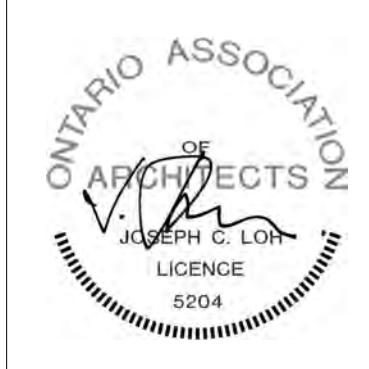
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TITLE: East Facade Elevation

SCALE: 1 : 100 DRAWN: MH/JM
DATE: 29-Nov-2019 CHECKED: JL
REV. NO. 4
FILE No. DA. 18. 099
SP. 18. V. 0290



PROJECT: St Andre Bessette Parish Roman Catholic Church
1061 Major Mackenzie Drive West, Maple
Ontario Canada

ARCHITECTS: LOH
LOH ARCHITECTS & Associates Inc
67 Lombard Street
Toronto Ontario M5C 1M2 CANADA
T: 416.690.3212
Loharchitects.ca



Paul Didar Architect Inc.
222 Kingston Avenue, Suite 260
Toronto, Ontario M5V 3W7
Phone: 416-928-1041
pdaarchinc.com

OWNER: Roman Catholic Episcopal Corporation for the Diocese of Toronto in Canada
1155 Yonge Street
Toronto, Ontario M4T 1W2

DRAWING NO.:

A-3.2

ST. ANDRE BESSETTE PARISH CHURCH

REVISIONS:

REV. NO.	DESCRIPTION	DRAWN	DATE
1	Concept Design	MH	Jun 4 2018
2	Pricing Class 'C' Cost Estimate	MH	Feb 20 2018
3	Issued for Site Plan Application	MH	Oct 10 2018
4	Issued for Site Plan Revisions	MH	Nov 29 2019

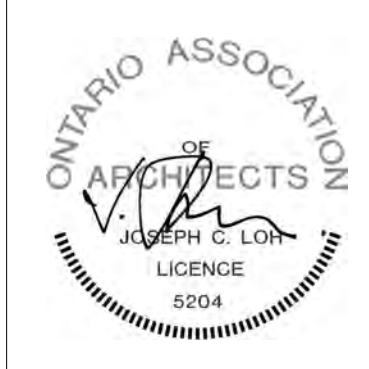
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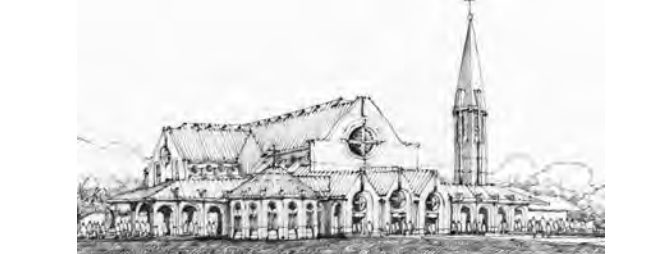
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TITLE: South Facade Elevation

SCALE: 1 : 100 DRAWN: MH/JM
 DATE: 29-Nov-2019 CHECKED: JL
 REV. NO.: 4
 FILE No. DA. 18. 099
 SP. 18. V. 0290



PROJECT: **St Andre Bessette Parish Roman Catholic Church**
 1061 Major Mackenzie Drive West, Maple
 Ontario Canada

ARCHITECTS: **LOH**
 LOH ARCHITECTS & ASSOCIATES INC.
 67 Lombard Street
 Toronto Ontario M5C 1M2 CANADA
 T: 416.690.3212
 Loharchitects.ca

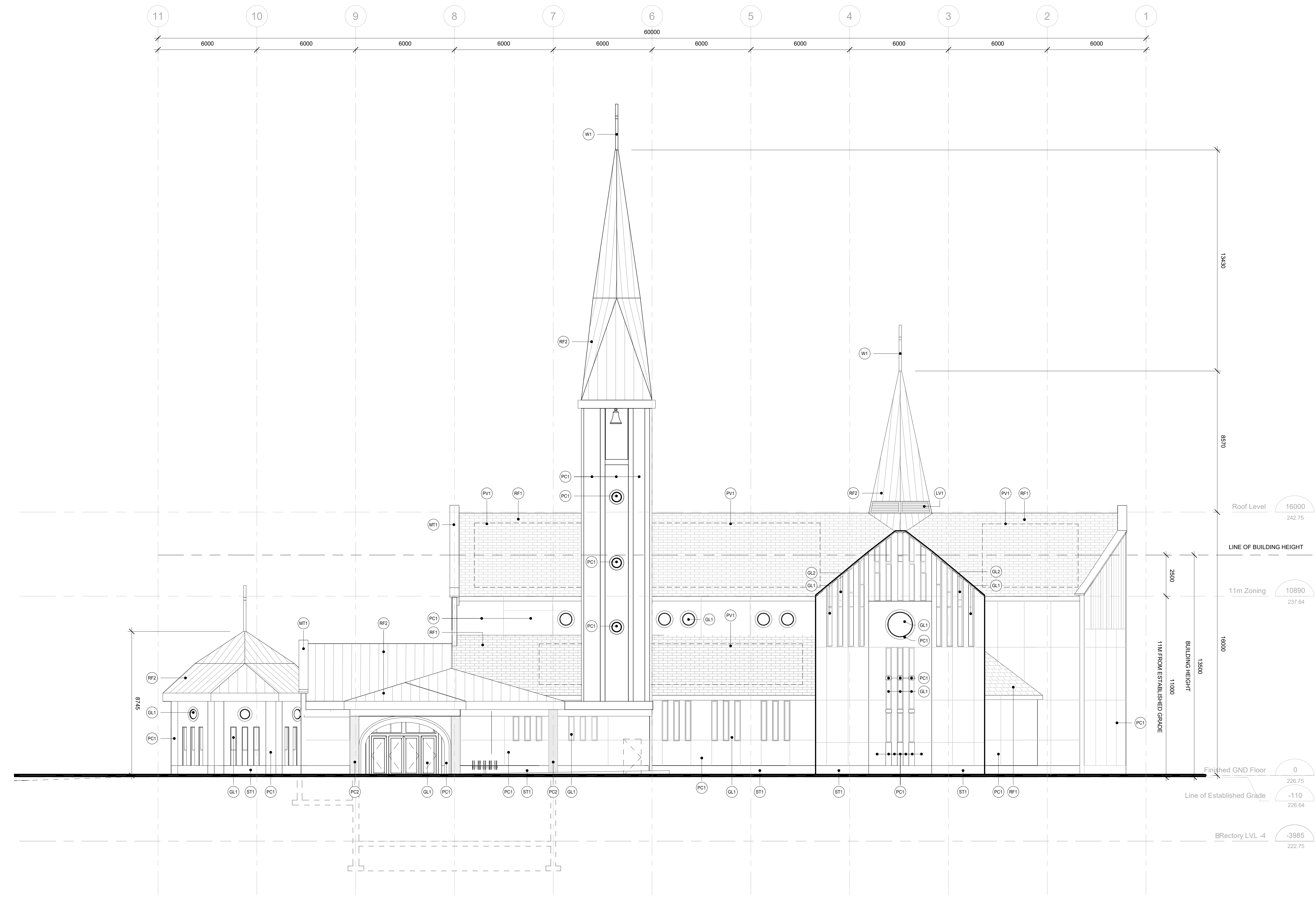
pda
 Paul Didar Architect Inc.
 222 Kingdon Avenue, Suite 260
 Toronto, Ontario M8V 3W7
 Phone: 416-928-1041
 pdaarchinc.com

OWNER: Roman Catholic Episcopal Corporation for the Diocese of Toronto in Canada
 1155 Yonge Street
 Toronto, Ontario M4T 1W2

DRAWING NO.:

A-3.3

ST. ANDRE BESSETTE PARISH CHURCH



MATERIAL LEGEND

- GL1 CLEAR VISION GLASS
- GL1A SPANDREL GLASS: DARK GREY
- GL2 DOUBLE GLAZED CLEAR GLASS
- PT1 PAINT: PEWTER METALLIC
- LV1 PREFINISHED ALUMINUM LOUVERS
- MT1 PREFINISHED METAL FLASHING
- MT2 PREFINISHED ALUMINUM MULLIONS
- MT5 PREFINISHED METAL PANELS
- PC1 PRECAST CONCRETE: COLOUR
- PC2 PRECAST BRICK CLADDING
- ST1 GRANITE: LABRADOR BLACK
- RF1 PREFINISHED ROOF SHINGLES
- RF2 PREFINISHED METAL STANDING SEAM ROOF
- W1 PRESSURE TREATED WOOD CROSS CLAD IN LEAD COATED COPPER
- PV1 PHOTOVOLTAIC POWERS

Established Grade Calculations

$$L = \frac{(\text{Start Elev.} + \text{End Elev.})}{2} \times \text{Length}$$

Length No.	Begin Elev.	End Elev.	Length	Total
1	226.75	226.6	10.65m	2414.09m
2	226.6	226.75	14.35m	3252.79m
3	226.75	226.75	15.00m	3401.25m
4	226.75	226.53	10.00m	2266.40m
5	226.53	226.44	5.00m	1132.42m
6	226.44	226.31	5.18m	1172.62m
			60.18m	13639.57m

13,639.57 / 60.18 = 226.64
 Established Grade = 226.64

1 South Elevation
 A-3.3 / 1 : 100

REVISIONS:

REV. NO.	DESCRIPTION	DRAWN	DATE
1	Concept Design	MH	Jun 4 2018
2	Pricing Class 'C' Cost Estimate	MH	Feb 20 2018
3	Issued for Site Plan Approval	MH	Oct 11 2018
4	Issued for Site Plan Revisions	MH	Nov 29 2019

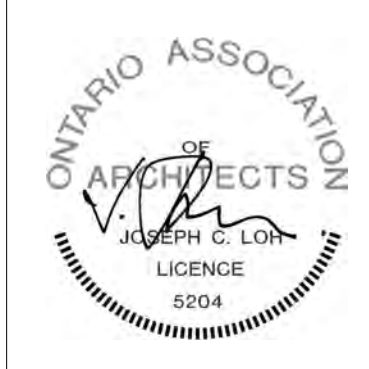
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TITLE: Hidden Elevations
SCALE: 1 : 100 **DRAWN:** MH/JM
DATE: 29-Nov-2019 **CHECKED:** JL
REV. NO.: 4
FILE No.: DA. 18. 099
SP. 18. V. 0290



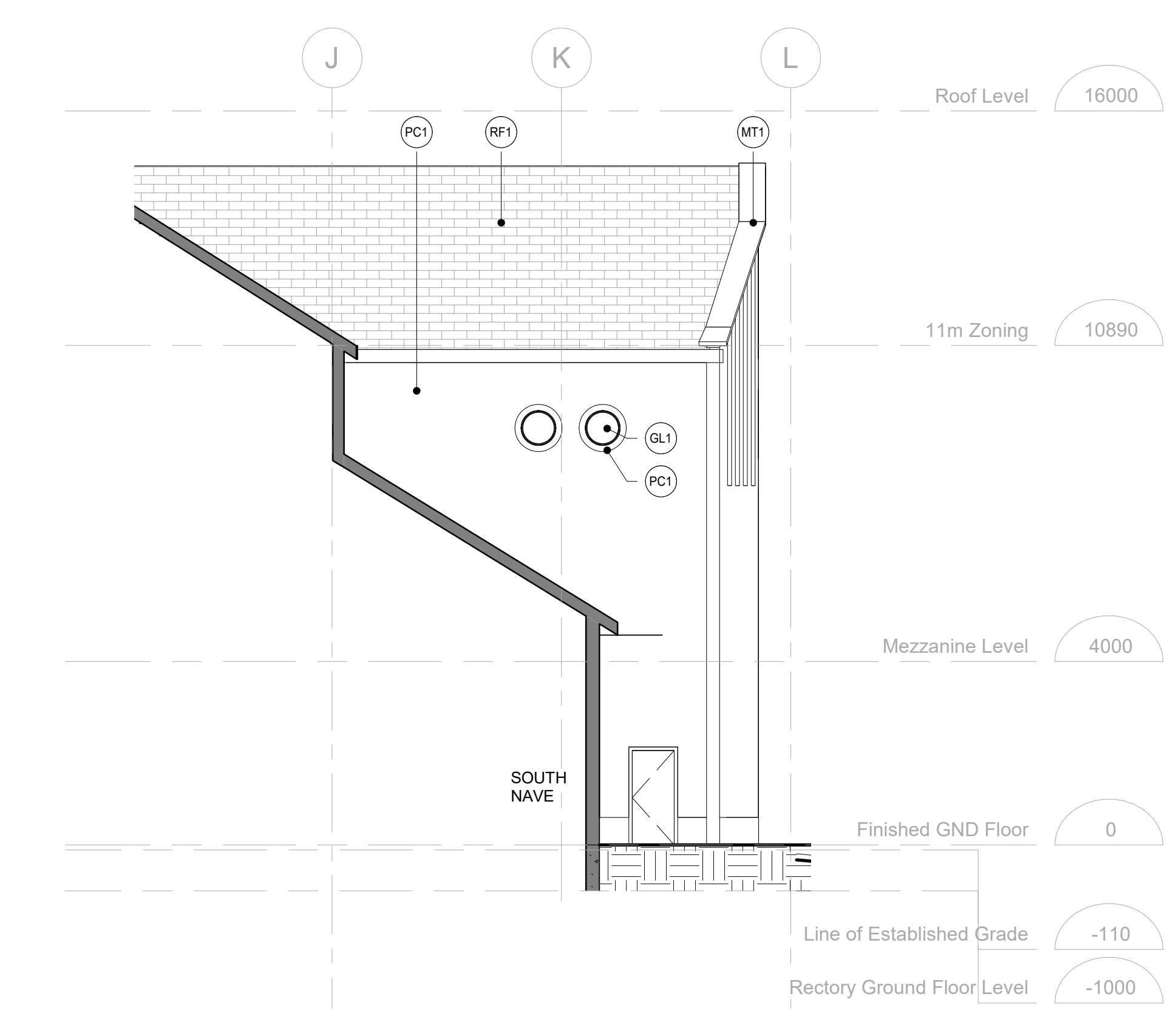
PROJECT: St Andre Bessette Parish Roman Catholic Church
 1061 Major Mackenzie Drive West, Maple Ontario Canada

ARCHITECTS: Loh Architects & Associates Inc.
 67 Lombard Street Toronto Ontario M5C 1M2 CANADA
 T: 416.690.3212 Loharchitects.ca

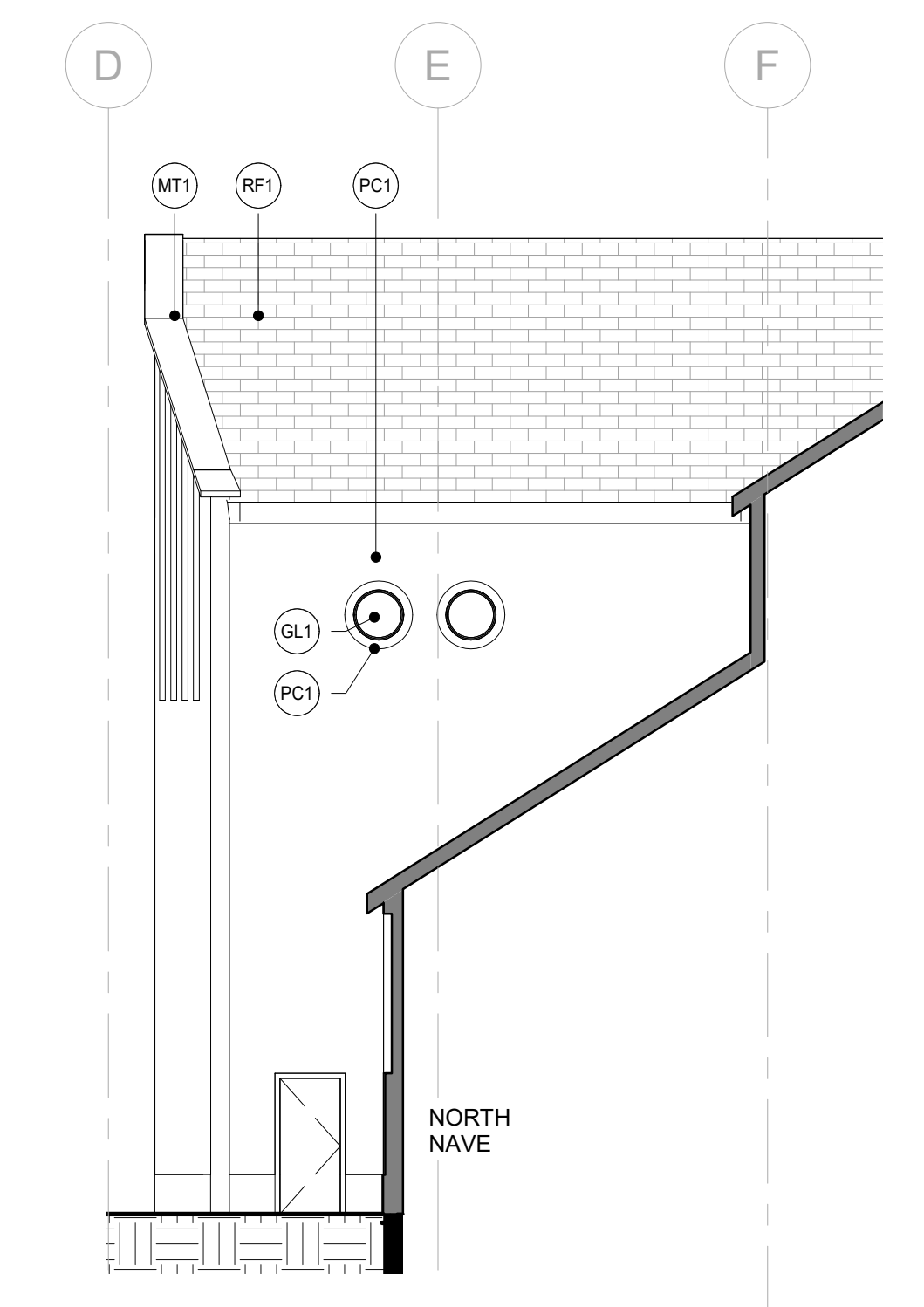
pda Paul Didar Architect Inc.
 222 Kingston Avenue, Suite 260 Toronto, Ontario M8V 3W7
 Phone: 416-928-1041 pdaarchinc.com

OWNER: Roman Catholic Episcopal Corporation for the Diocese of Toronto in Canada
 1155 Yonge Street Toronto, Ontario M4T 1W2

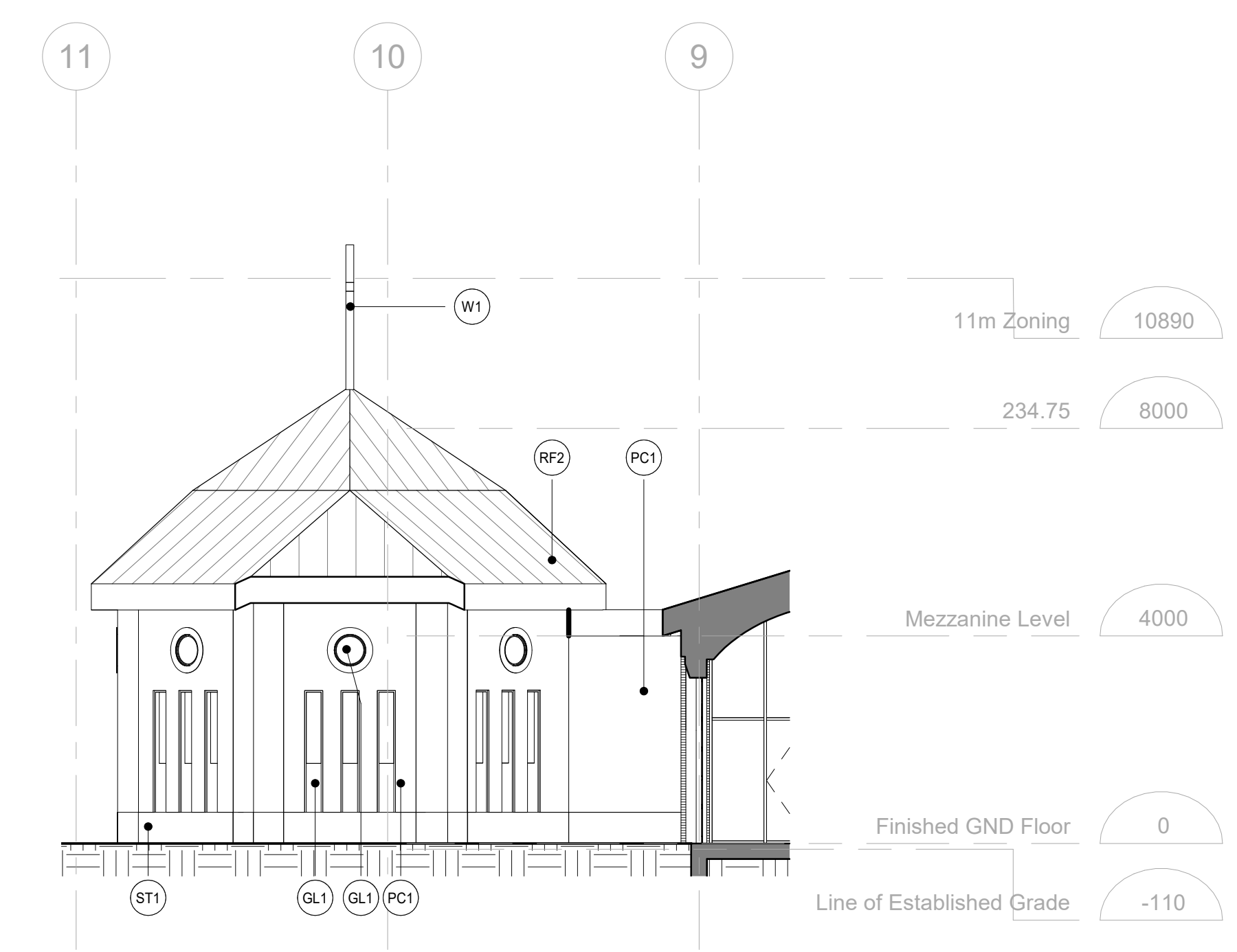
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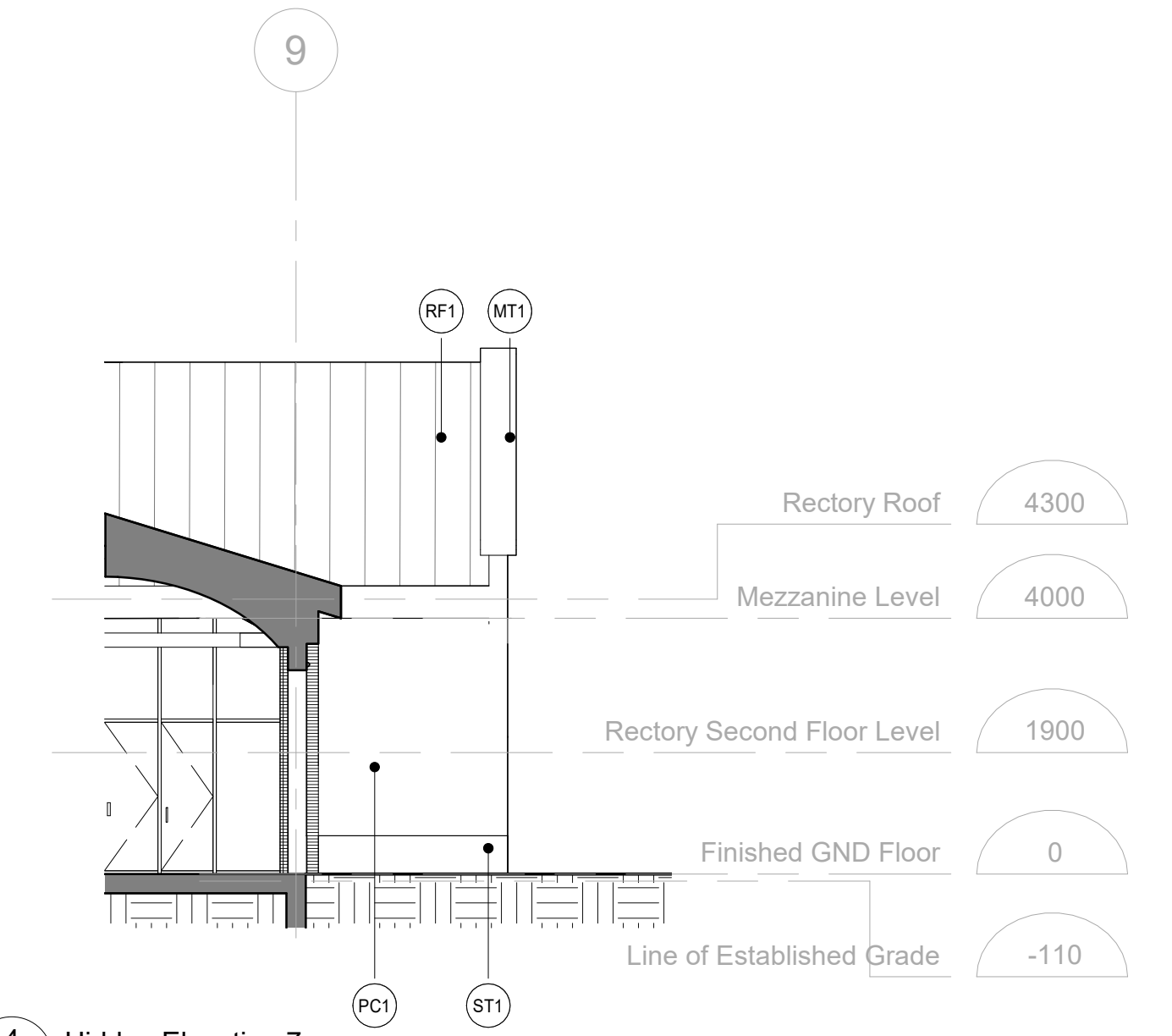
1 Hidden Elevation 2
 A-3.4 1 : 100



2 Hidden Elevation 3
 A-3.4 1 : 100



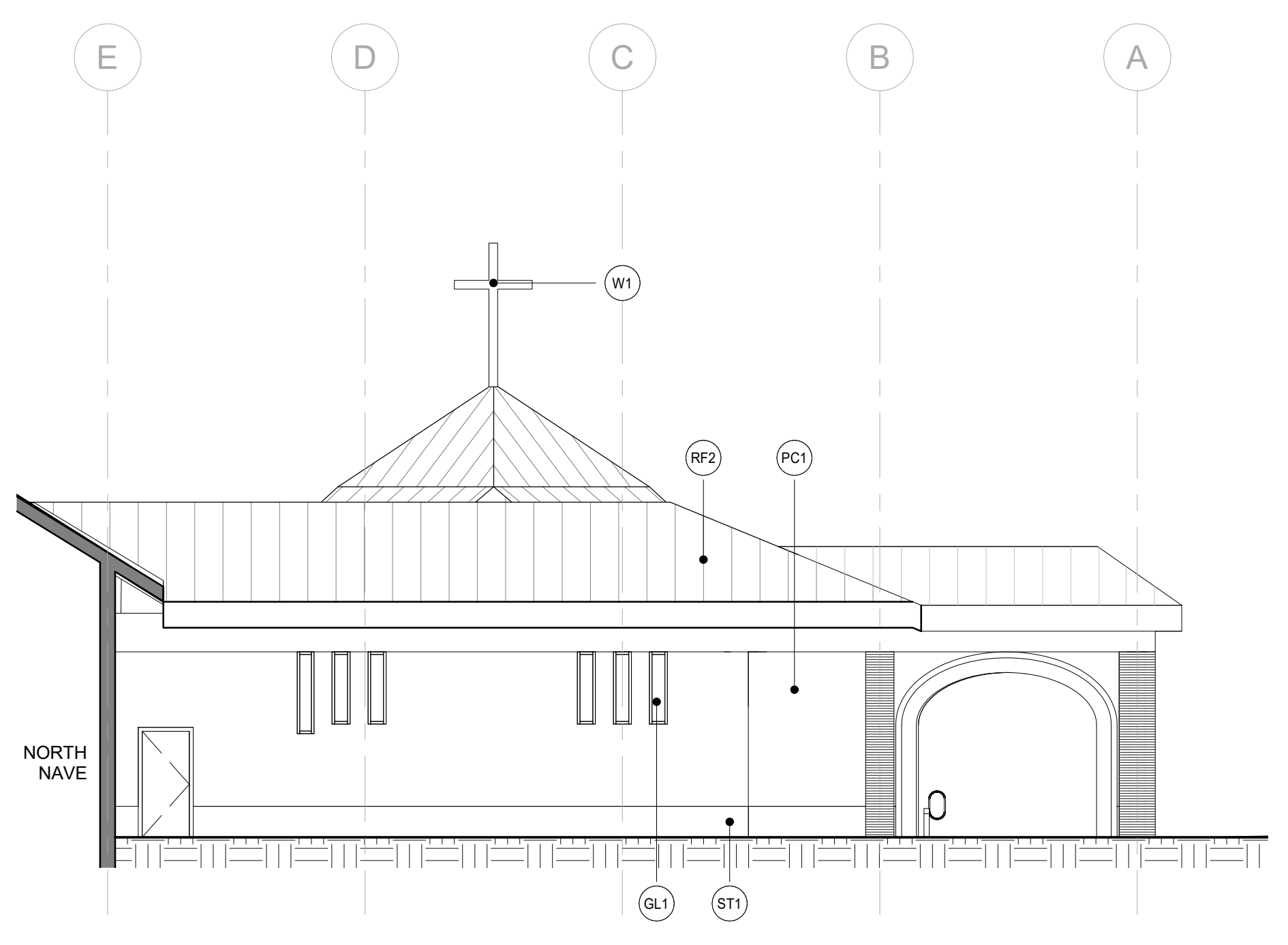
3 Hidden Elevation 6
 A-3.4 1 : 100



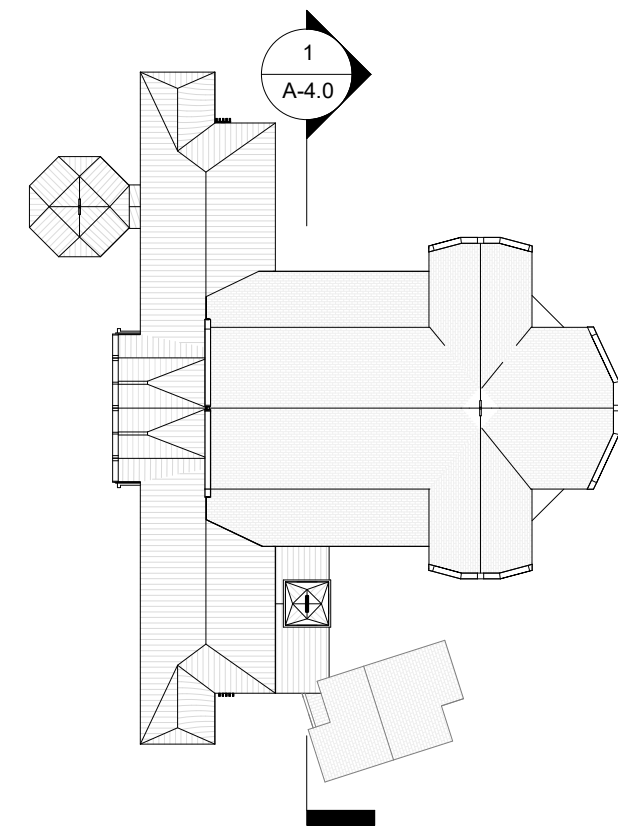
4 Hidden Elevation 7
 A-3.4 1 : 100



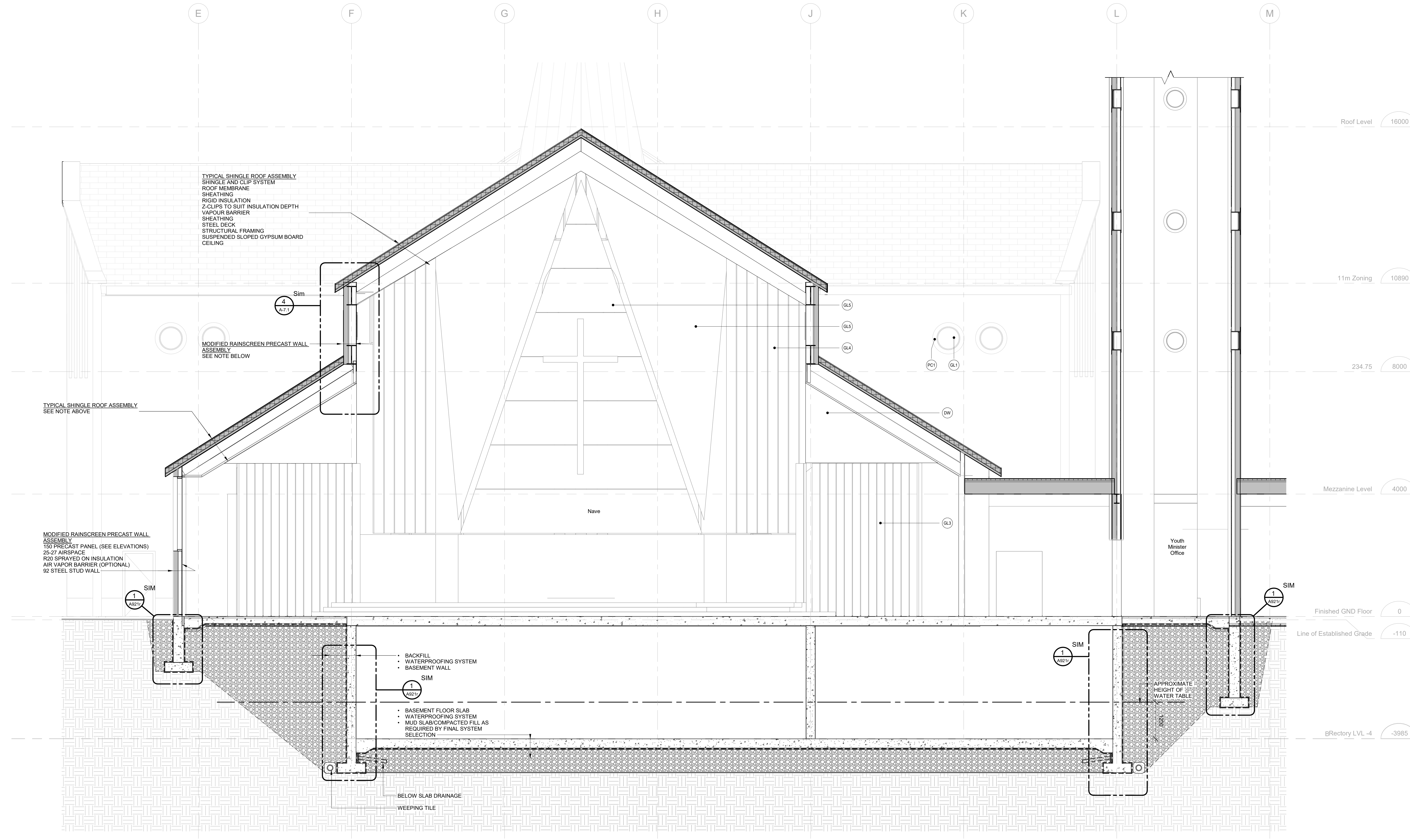
6 Hidden Elevation 5
 A-3.4 1 : 100



5 Hidden Elevation 4
 A-3.4 1 : 100



KEY PLAN



1 Nave North-South Through Basement Cut and Fill
 A-4.0 / 1:50

ABBREVIATIONS LEGENDS

REVISIONS:

REV. NO.	DESCRIPTION	DRAWN	DATE
4	Issued for Site Plan Revisions	MH	Nov 29 2019
3	Issued for Site Plan Application	MH	Oct 13 2018
2	Pricing Class 'C' Cost Estimate	MH	Feb 20 2018
1	Concept Design	MH	Jun 4 2018

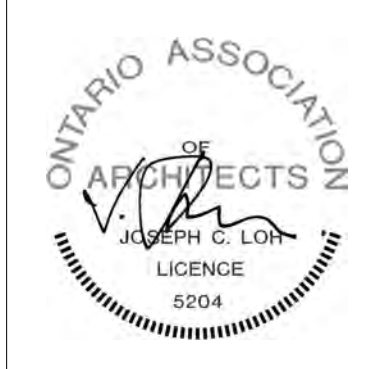
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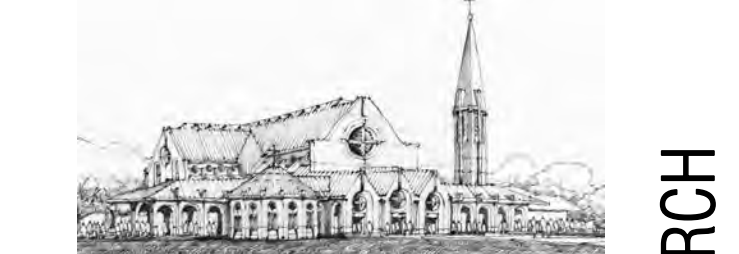
TITLE: Nave North-South at
 North Building Section

SCALE: As indicated **DRAWN:** MH/JM

DATE: 29-Nov-2019 **CHECKED:** JL

REV. NO.: 4

FILE No.: DA. 18. 099
 SP. 18. V. 0290



PROJECT: St Andre Bessette
 Parish Roman Catholic
 Church
 1061 Major Mackenzie Drive West, Maple
 Ontario Canada

ARCHITECTS: LOH
 LOH ARCHITECTS & ASSOCIATES INC.
 67 Lombard Street
 Toronto Ontario M5C 1M2 CANADA
 T: 416.690.3212
 Loharchitects.ca

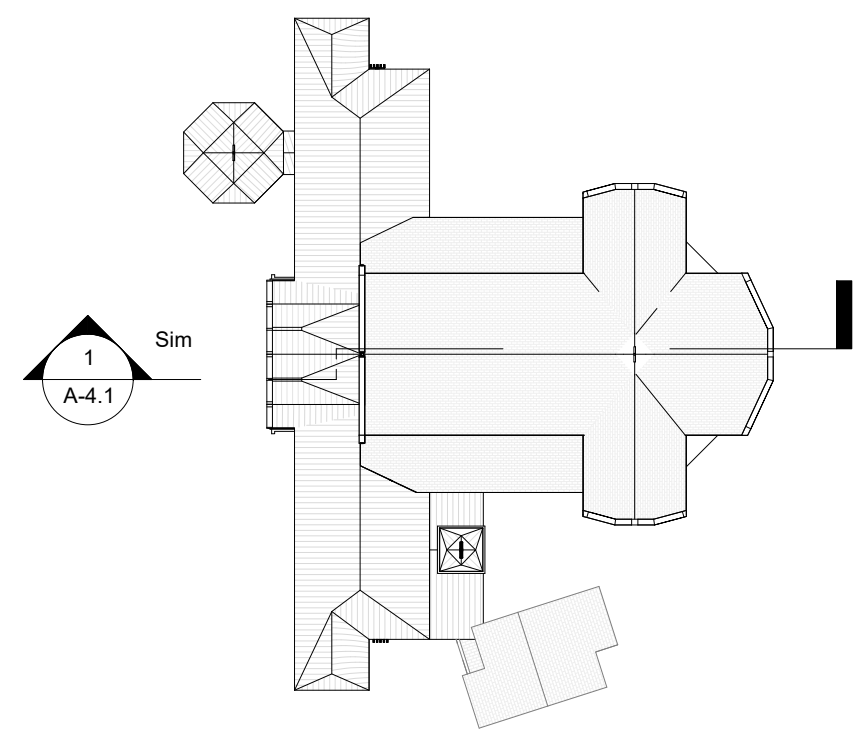
pda
 Paul Didar Architect Inc.
 222 Kingston Avenue, Suite 260
 Toronto, Ontario M8V 3W7
 Phone: 416-928-1041
 pdaarch.com

OWNER: Roman Catholic Episcopal Corporation for the
 Diocese of Toronto in Canada
 1155 Yonge Street
 Toronto, Ontario M4T 1W2

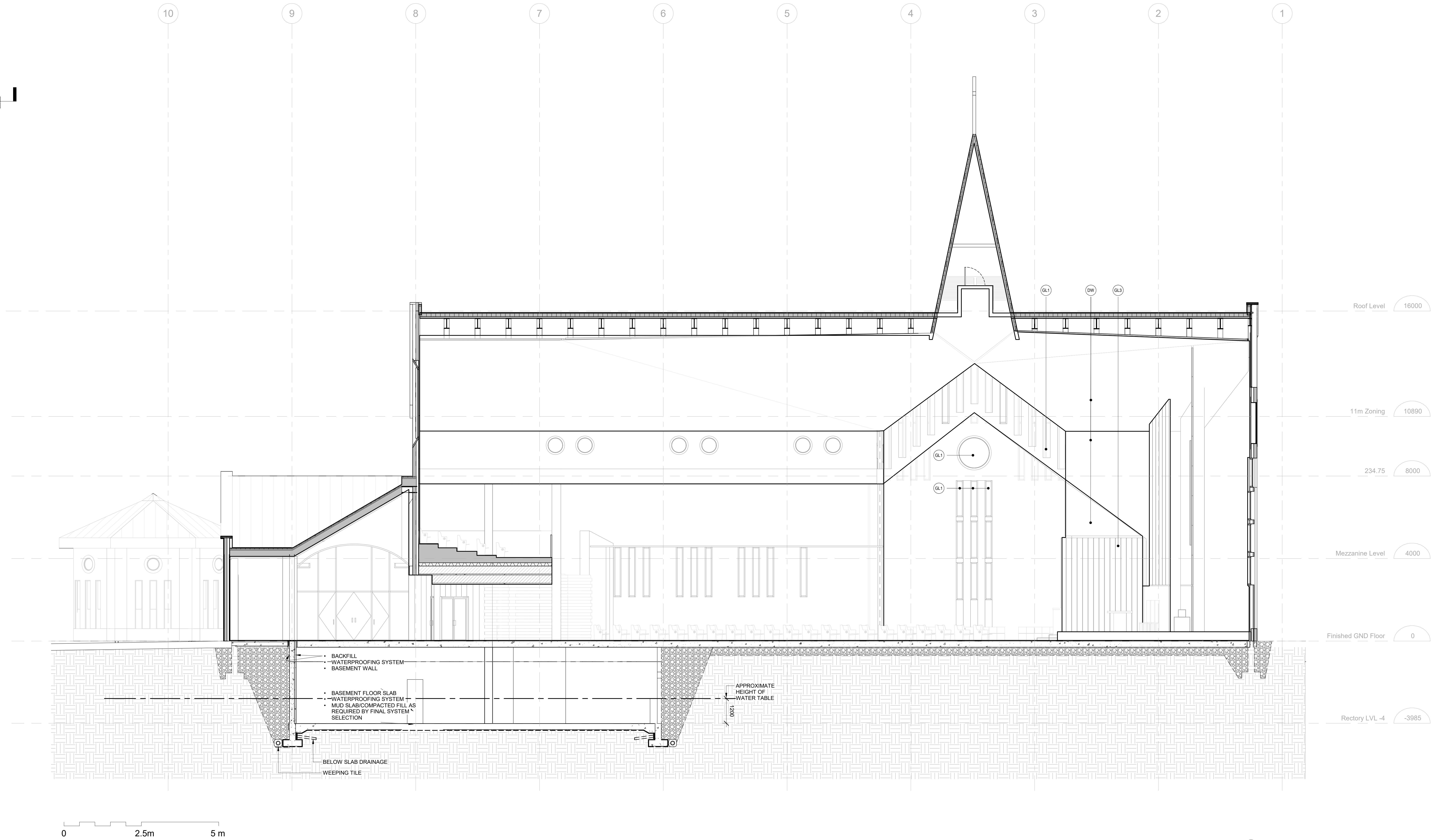
DRAWING NO.:

A-4.0

ST. ANDRE BESSETTE PARISH CHURCH



KEY PLAN



1 East-West Section
A-4.1 1 : 75

ABBREVIATIONS LEGENDS

REVISIONS:

REV. NO.	DESCRIPTION	DRAWN	DATE
4	Issued for Site Plan Revisions	MH	Nov 28 2019
3	Issued for Site Plan Application	MH	Oct 10 2018
2	Priority Class "C" Cost Estimate	MH	Feb 20 2018
1	Concept Design	MH	Jan 4 2018

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TITLE: Nave East-West Building Section

SCALE: As indicated DRAWN: MH/JM

DATE: 29-Nov-2019 CHECKED: JL

REV. NO. 4

FILE No. DA. 18. 099

SP. 18. V. 0290



PROJECT: St Andre Bessette Parish Roman Catholic Church
 1061 Major Mackenzie Drive West, Maple
 Ontario Canada

ARCHITECTS: **LOH**
 LOH ARCHITECTS & ASSOCIATES INC.
 67 Lombard Street
 Toronto Ontario M5C 1M2 CANADA
 T: 416.690.3212
 Loharchitects.ca

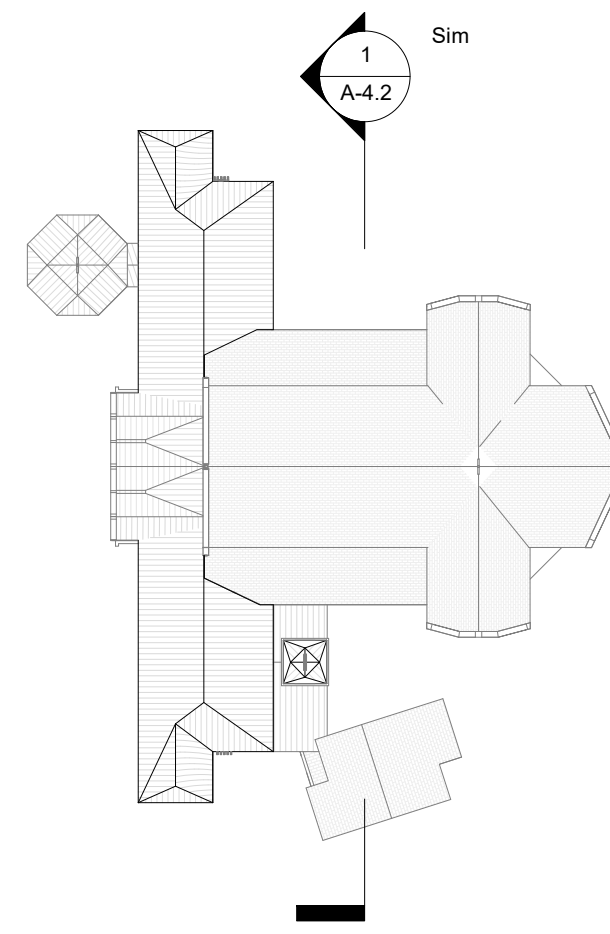
pda
 Paul Didar Architect Inc.
 222 Kensington Avenue, Suite 260
 Toronto, Ontario M8V 3W7
 Phone: 416-928-1041
 pdarchinc.com

OWNER: Roman Catholic Episcopal Corporation for the Diocese of Toronto in Canada
 1155 Yonge Street
 Toronto, Ontario M4T 1W2

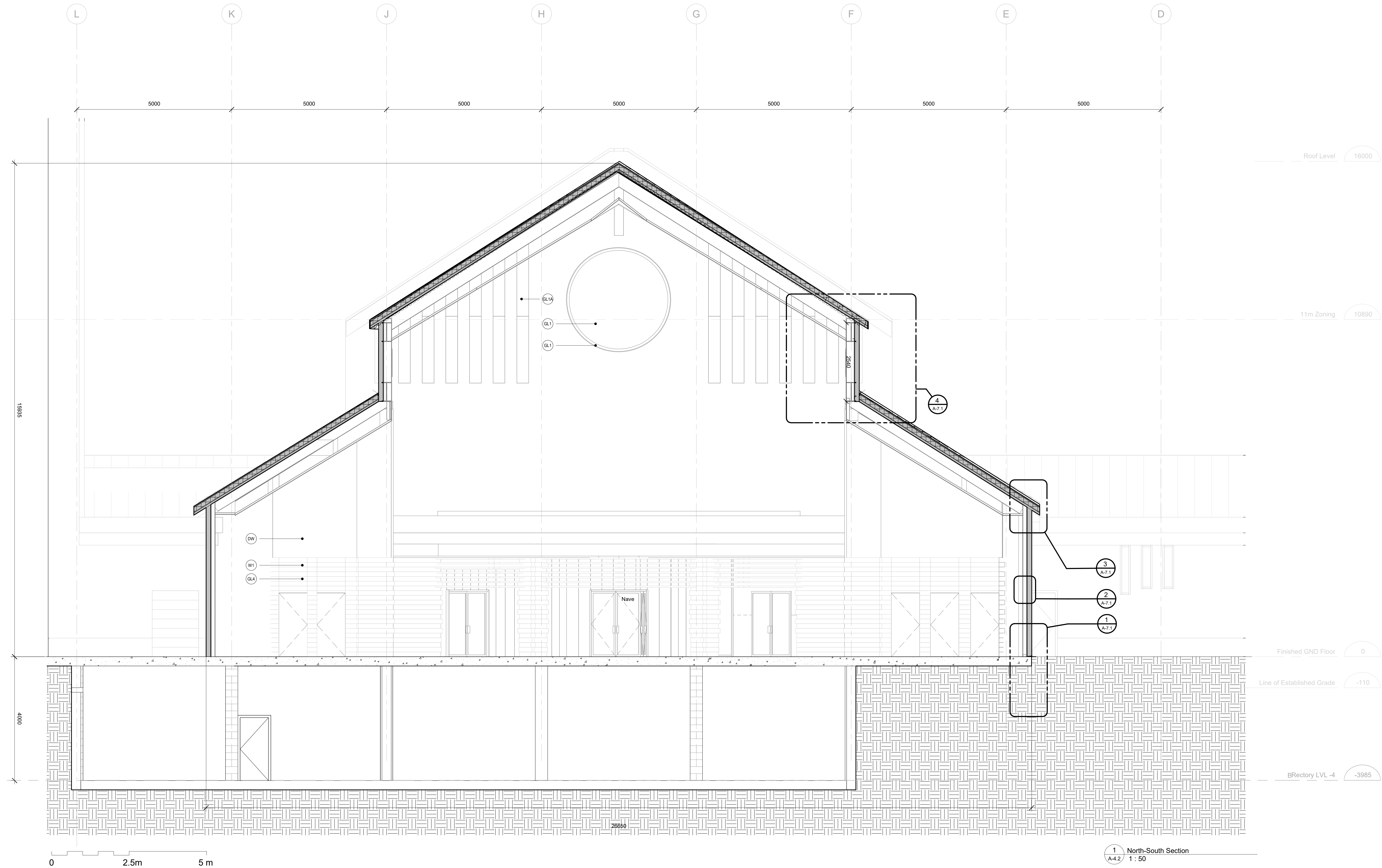
DRAWING NO.:

A-4.1

ST. ANDRE BESSETTE PARISH CHURCH



KEY PLAN



1 North-South Section
A-4.2 / 1 : 50

ABBREVIATIONS LEGENDS

REVISIONS:

REV. NO.	DESCRIPTION	DRAWN	DATE
4	Issued for Site Plan Revisions	MH	Nov 29 2019
3	Issued for Site Plan Application	MH	Oct 10 2019
2	Pricing Class 'C' Cost Estimate	MH	Feb 20 2018
1	Concept Design	MH	Jan 4 2018

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TITLE: Nave North-South Building Section

SCALE: As indicated DRAWN: MH/JM

DATE: 29-Nov-2019 CHECKED: JL

REV. NO.: 4

FILE No.: DA. 18. 099

SP. 18. V. 0290



PROJECT: St Andre Bessette Parish Roman Catholic Church
1061 Major Mackenzie Drive West, Maple Ontario Canada

ARCHITECTS: LOH
LOH ARCHITECTS & Associates Inc
67 Lombard Street
Toronto Ontario M5C 1M2 CANADA
T: 416.690.3212
Loharchitects.ca

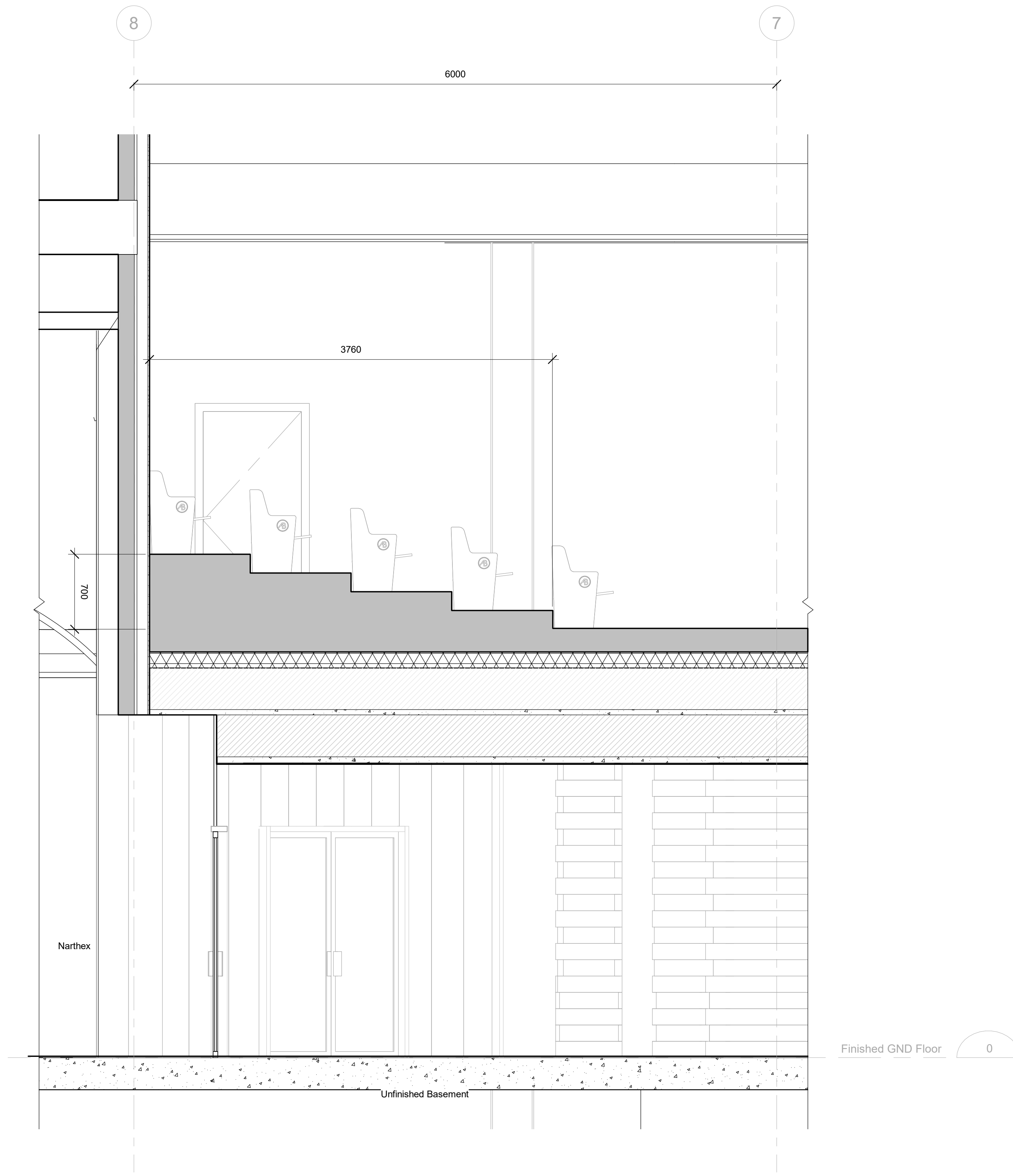
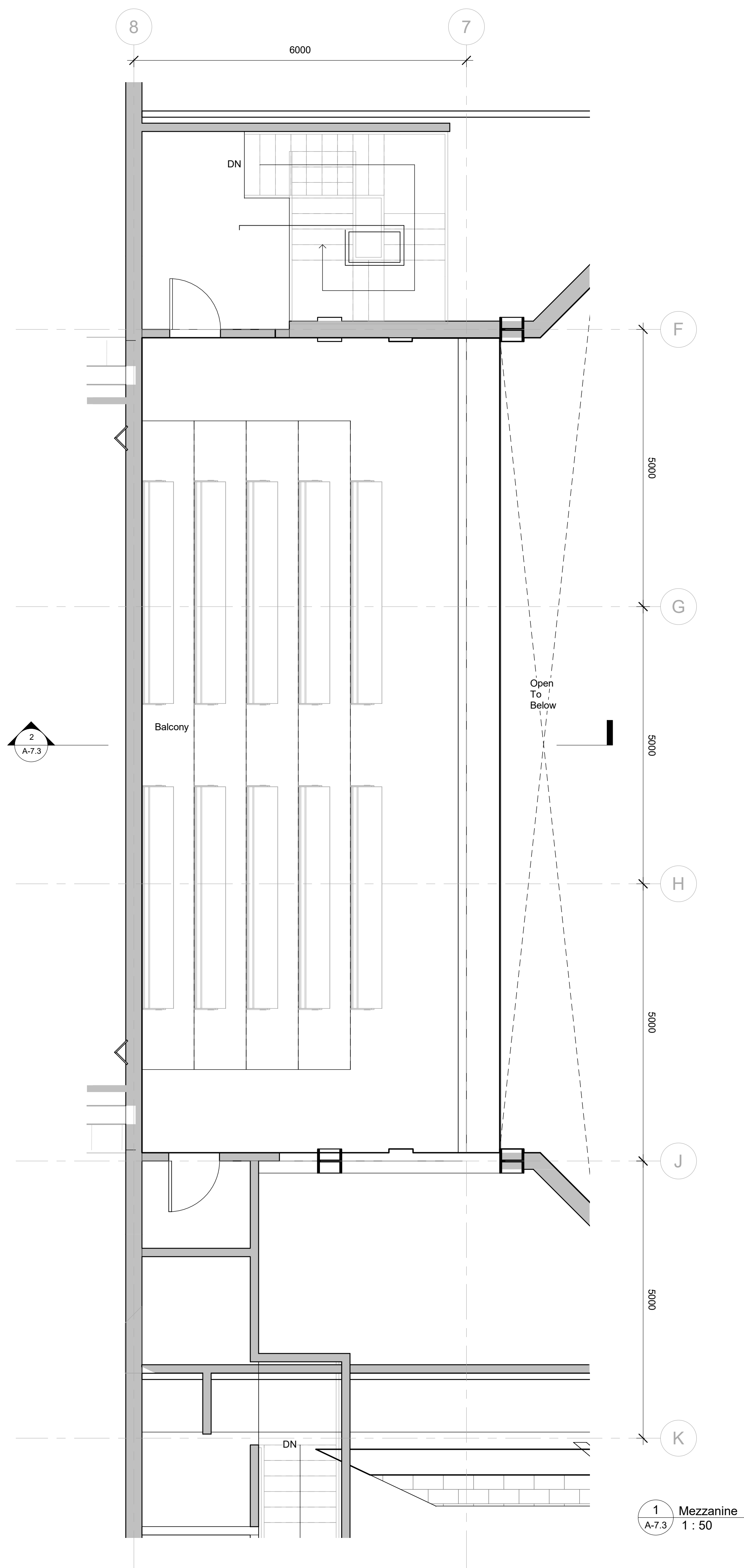
pda
Paul Didar Architect Inc.
222 Kingston Avenue, Suite 260
Toronto, Ontario M8V 3W7
Phone: 416-928-1041
pdaarchinc.com

OWNER: Roman Catholic Episcopal Corporation for the Diocese of Toronto in Canada
1155 Yonge Street
Toronto, Ontario M4T 1W2

DRAWING NO.:

A-4.2

ST. ANDRE BESSETTE PARISH CHURCH



ABBREVIATIONS LEGENDS

REVISIONS:

REV. NO.	DESCRIPTION	DRAWN	DATE
4	Issued for Site Plan Revisions	MH	Nov 29 2019
3	Issued for OIA Plan Applications	MH	Oct 11 2019
2	Pricing Check 'C' Cost Estimate	MH	Feb 20 2018
1	Concept Design	MH	Jan 4 2018

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TITLE: Mezzanine Plan & Section

SCALE: As indicated **DRAWN:** MH/JM

DATE: 29-Nov-2019 **CHECKED:** JL

REV. NO.: 4

FILE No.: DA. 18. 099

SP. 18. V. 0290



PROJECT: St Andre Bessette Parish Roman Catholic Church
 1061 Major Mackenzie Drive West, Maple
 Ontario Canada

ARCHITECTS: Loh Architects & Associates Inc.
 67 Lombard Street
 Toronto Ontario M5C 1M2 CANADA
 T: 416.690.3212
 Loharchitects.ca



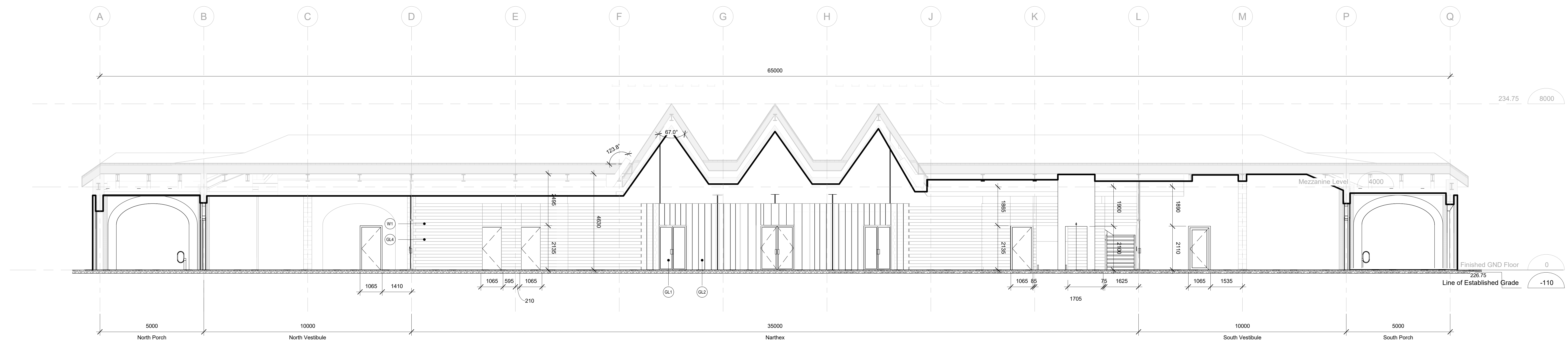
Paul Didar Architect Inc.
 222 Kingston Avenue, Suite 260
 Toronto, Ontario M8V 3W7
 Phone: 416-928-1041
 pdaarchinc.com

OWNER: Roman Catholic Episcopal Corporation for the Diocese of Toronto in Canada
 1155 Yonge Street
 Toronto, Ontario M4T 1W2

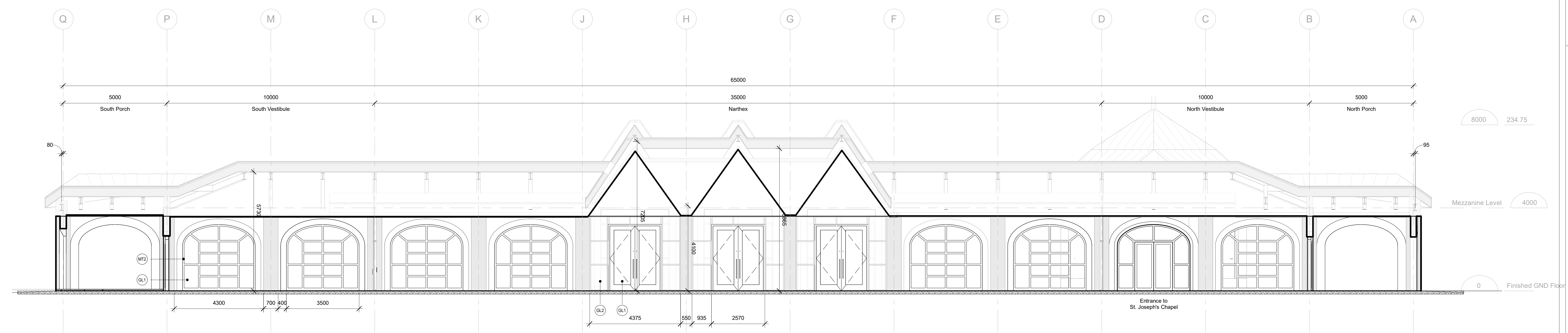
DRAWING NO.:

A-7.3

ST. ANDRE BESSETTE PARISH CHURCH



2 Interior Narthex West
A-8.2 1 : 75



1 Interior Narthex East
A-8.2 1 : 75

REVISIONS:

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1	Concept Design	MH	Jan 4 2018

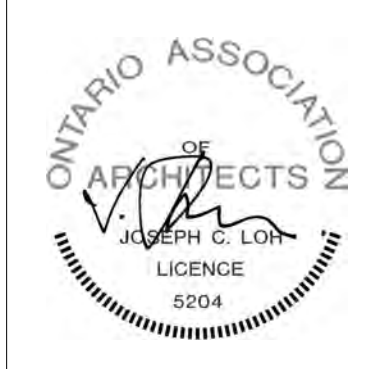
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TITLE: Narthex Interior Elevations
SCALE: 1 : 75 **DRAWN:** MH/JM
DATE: 29-Nov-2019 **CHECKED:** JL
REV. NO.: 4
FILE No.: DA. 18. 099
SP. 18. V. 0290



PROJECT: St Andre Bessette Parish Roman Catholic Church
 1061 Major Mackenzie Drive West, Maple Ontario Canada

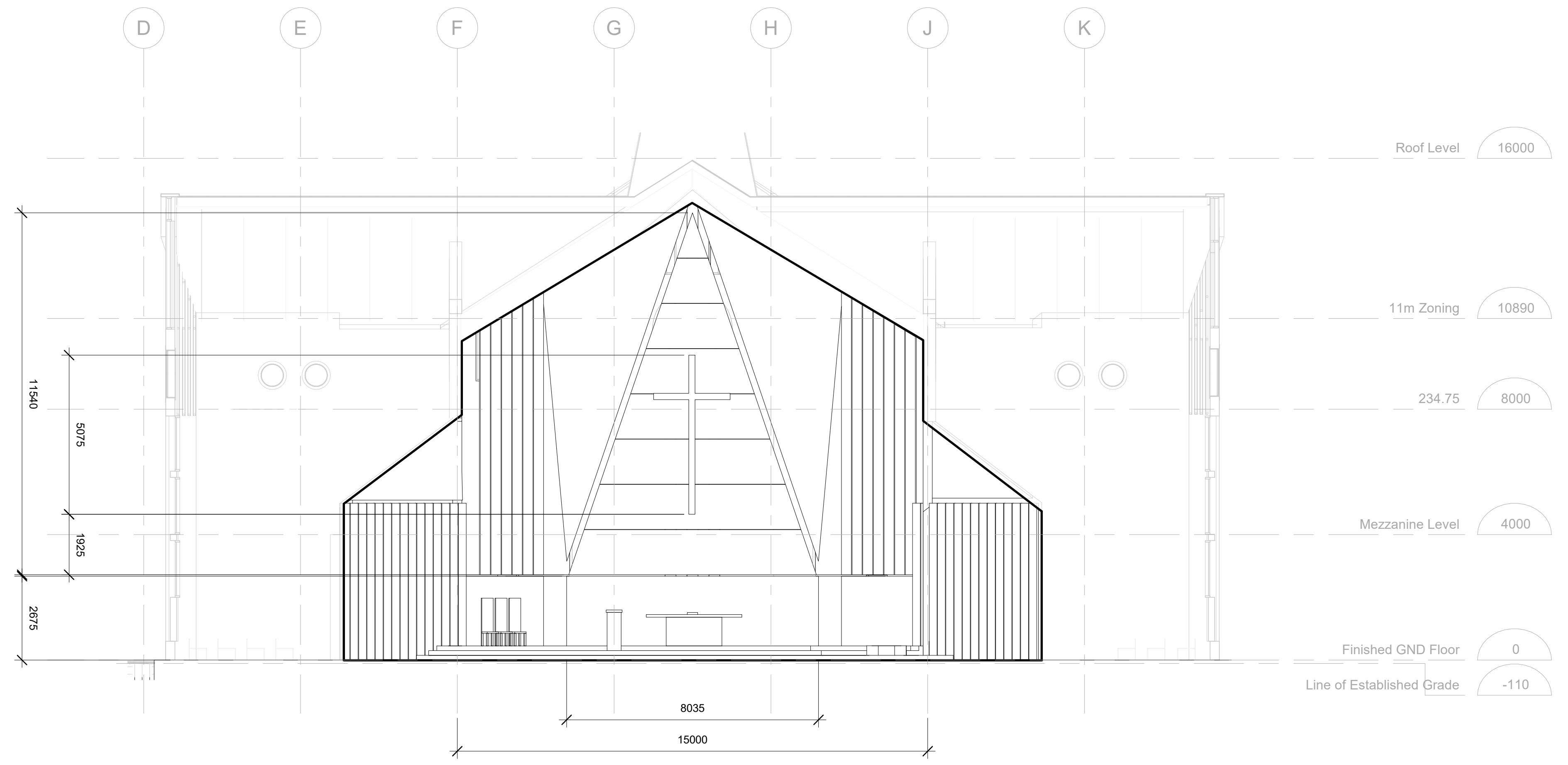
ARCHITECTS: LOH ARCHITECTS & ASSOCIATES INC.
 67 Lombard Street Toronto Ontario M5C 1M2 CANADA
 T: 416.690.3212 Loharchitects.ca

pda Paul Didar Architect Inc.
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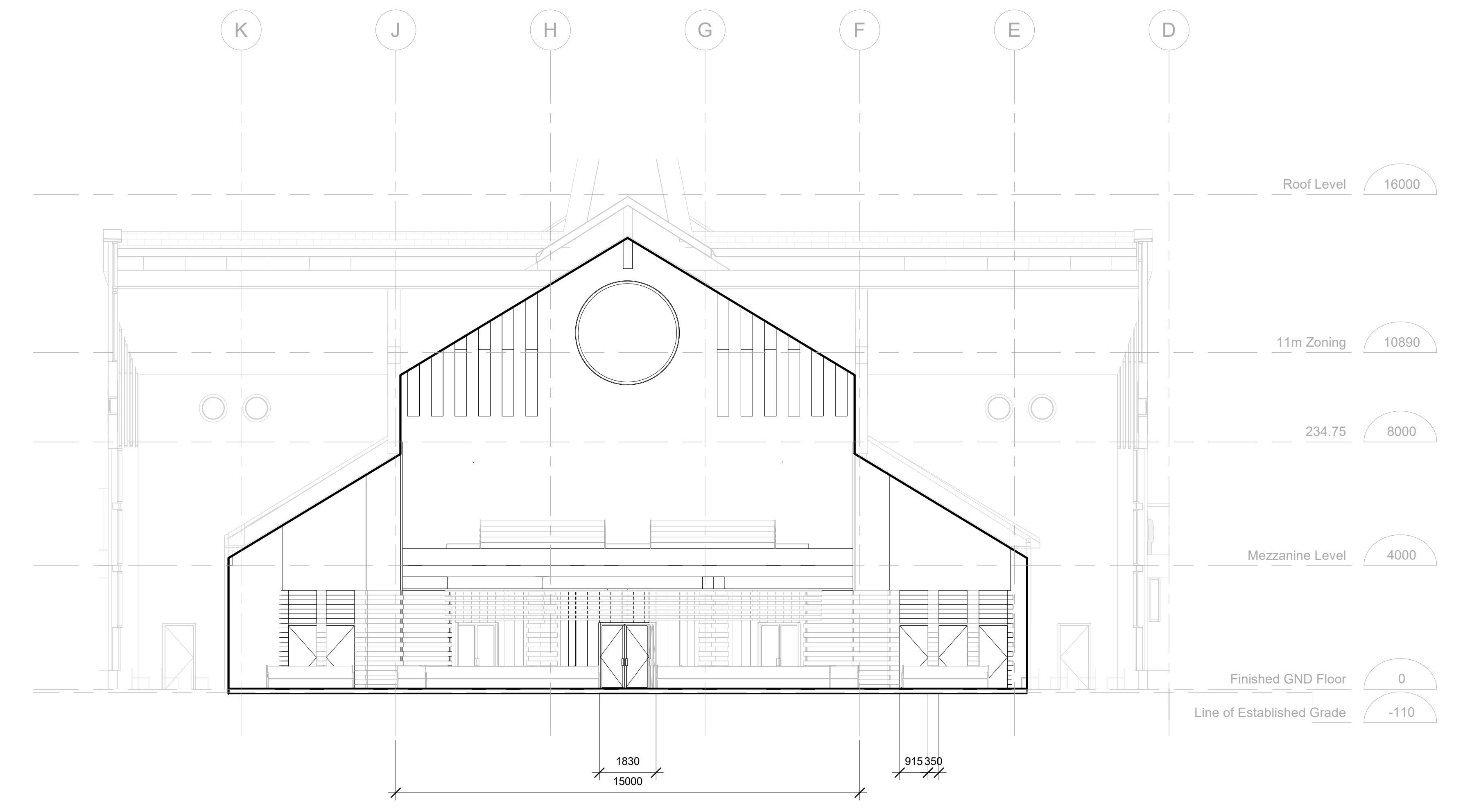
OWNER: Roman Catholic Episcopal Corporation for the Diocese of Toronto in Canada
 1155 Yonge Street Toronto, Ontario M4T 1W2

DRAWING NO.: A-8.2

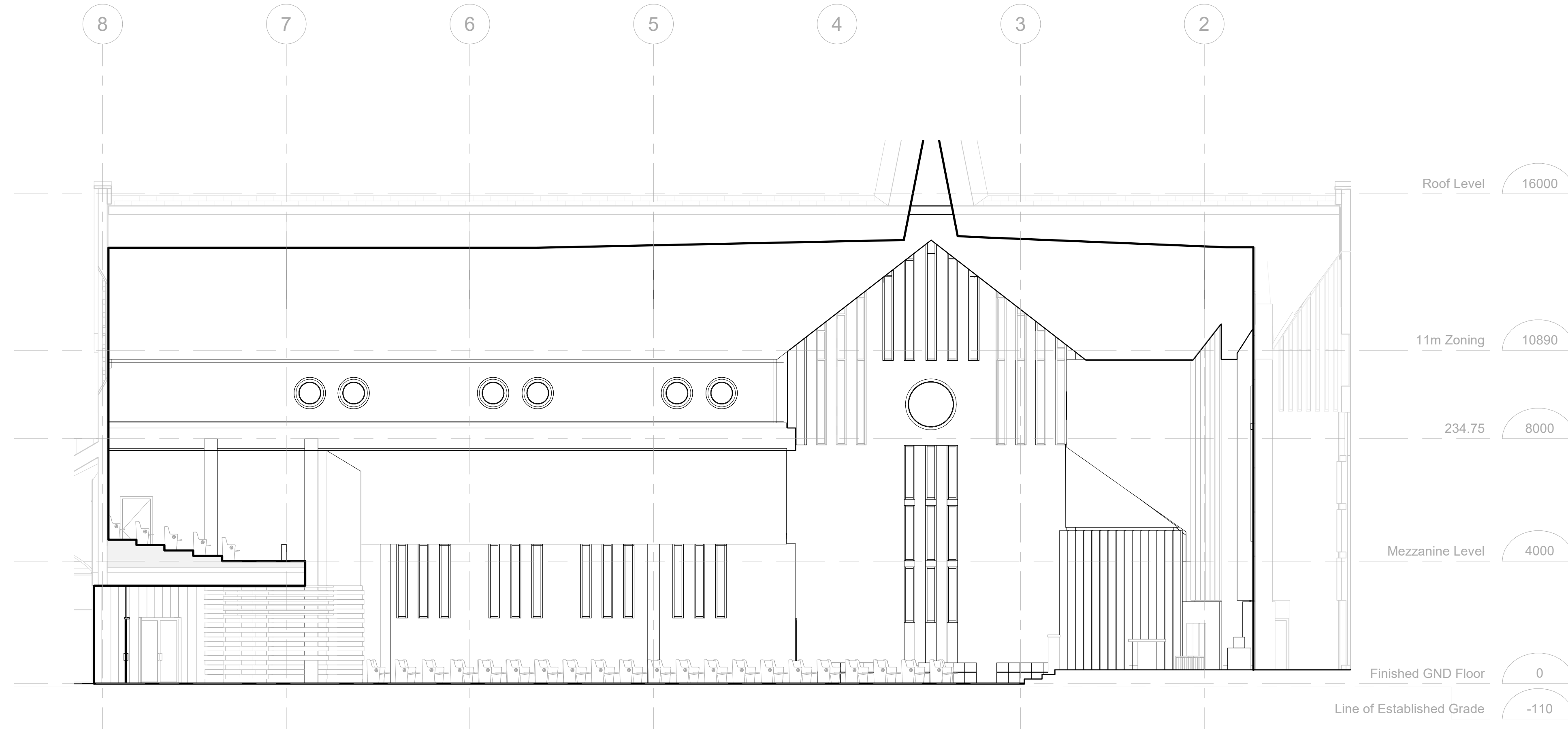
ST. ANDRE BESSETTE PARISH CHURCH



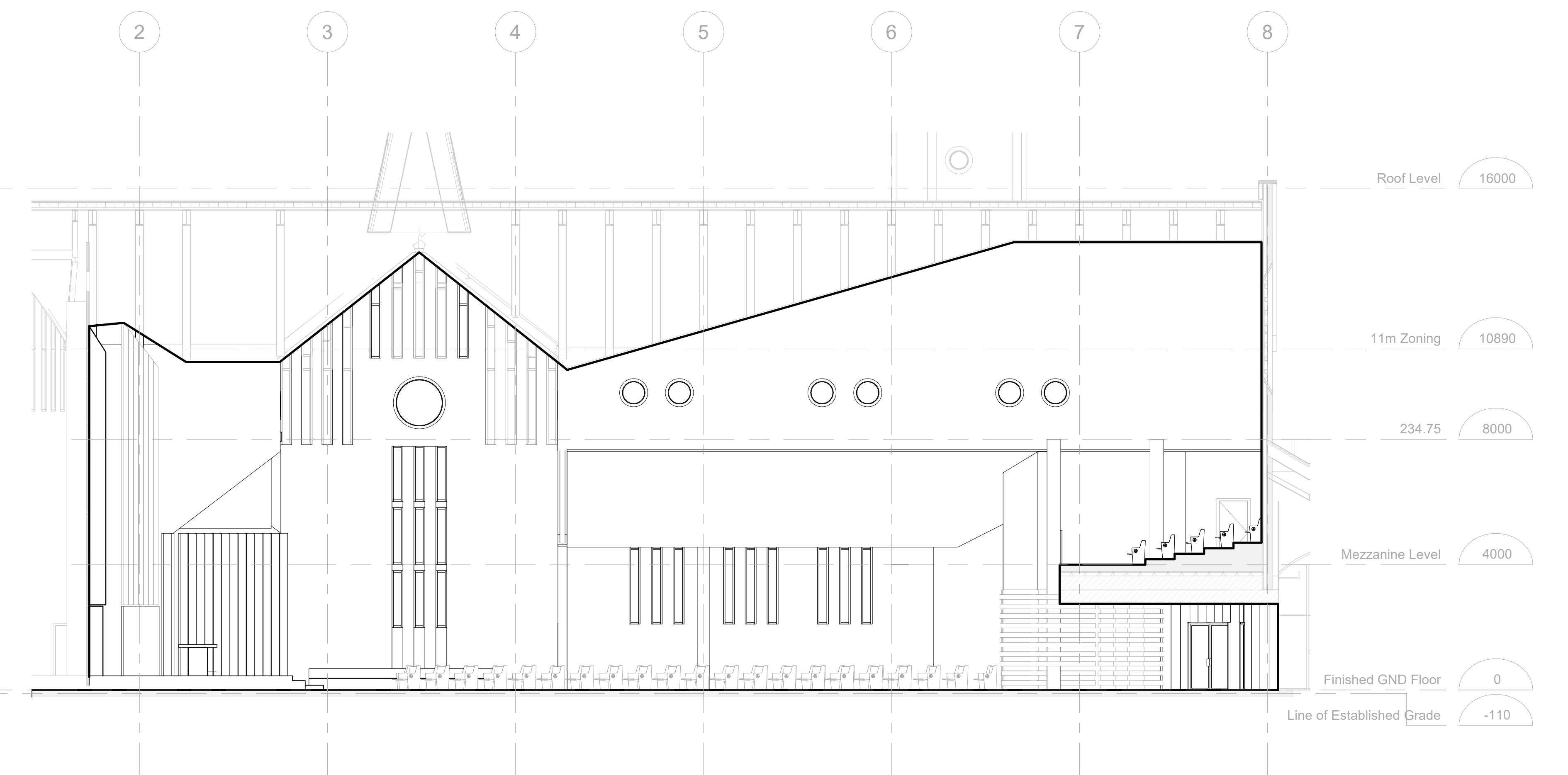
4 Elevation 2 - d
A-8.3 1 : 100



2 Elevation 2 - b
A-8.3 1 : 100



3 Elevation 2 - c
A-8.3 1 : 100



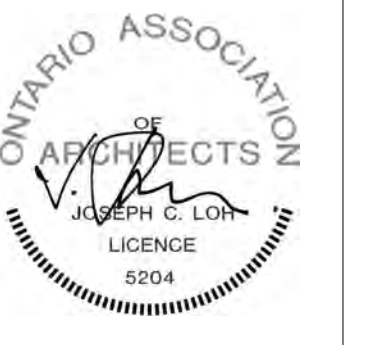
1 Elevation 2 - a
A-8.3 1 : 100

ABBREVIATIONS LEGENDS

REVISIONS:

REV. NO.	DESCRIPTION	DRAWN	DATE
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TITLE: Interior Elevation

SCALE: 1 : 100 DRAWN: Author

DATE: 29-Nov-2019 CHECKED: Checker

REV. NO. 4

FILE No. DA. 18. 099

SP. 18. V. 0290



PROJECT: St Andre Bessette Parish Roman Catholic Church
 1061 Major Mackenzie Drive West, Maple
 Ontario Canada

ARCHITECTS: Loh Architects & Associates Inc.
 67 Lombard Street
 Toronto Ontario M5C 1M2 CANADA
 T: 416.690.3212
 Loharchitects.ca

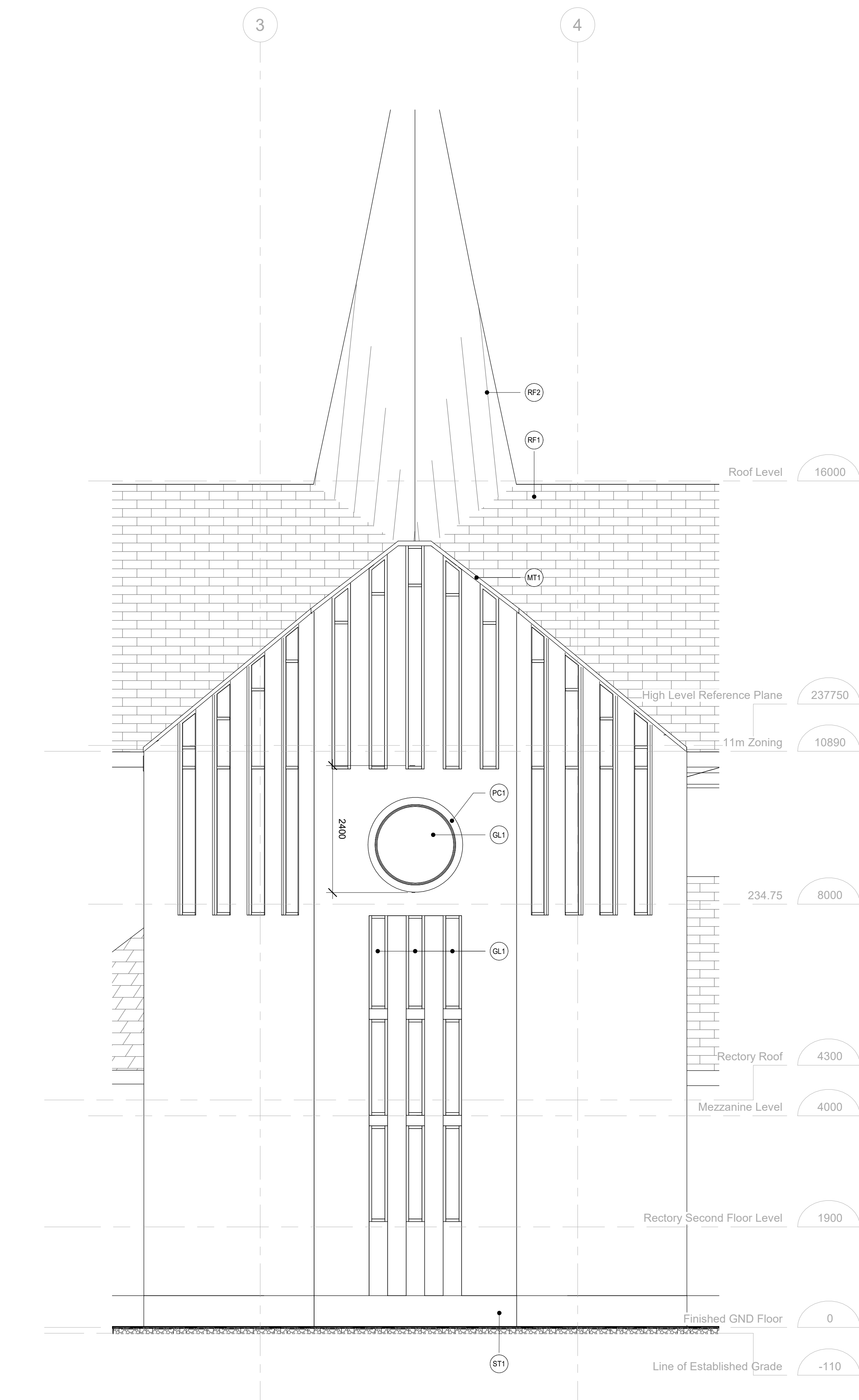
Paul Didar Architect Inc.
 222 Basington Avenue, Suite 260
 Toronto, Ontario M8V 3W7
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 pdarchinc.com

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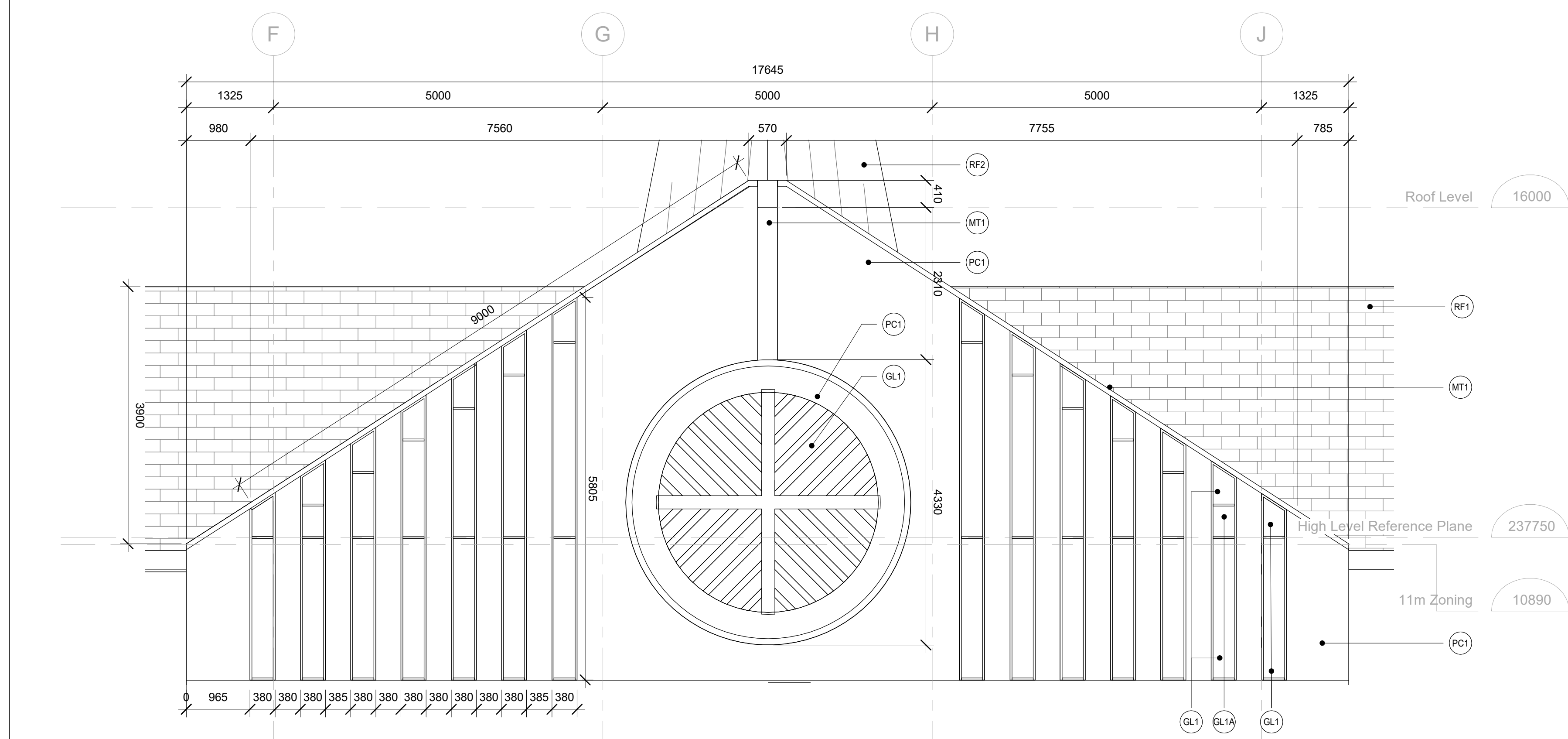
DRAWING NO.:

A-8.3

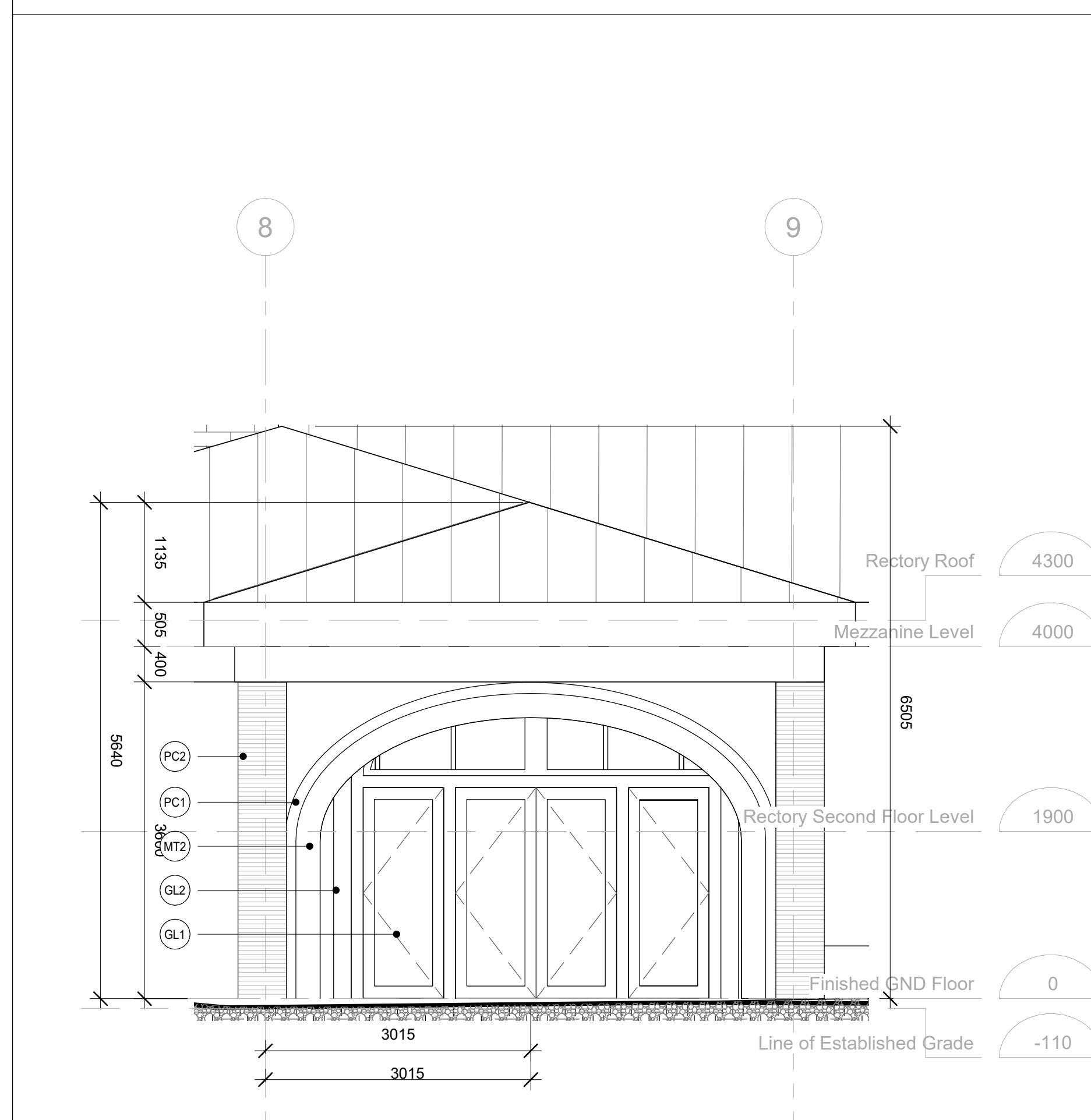
ST. ANDRE BESSETTE PARISH CHURCH



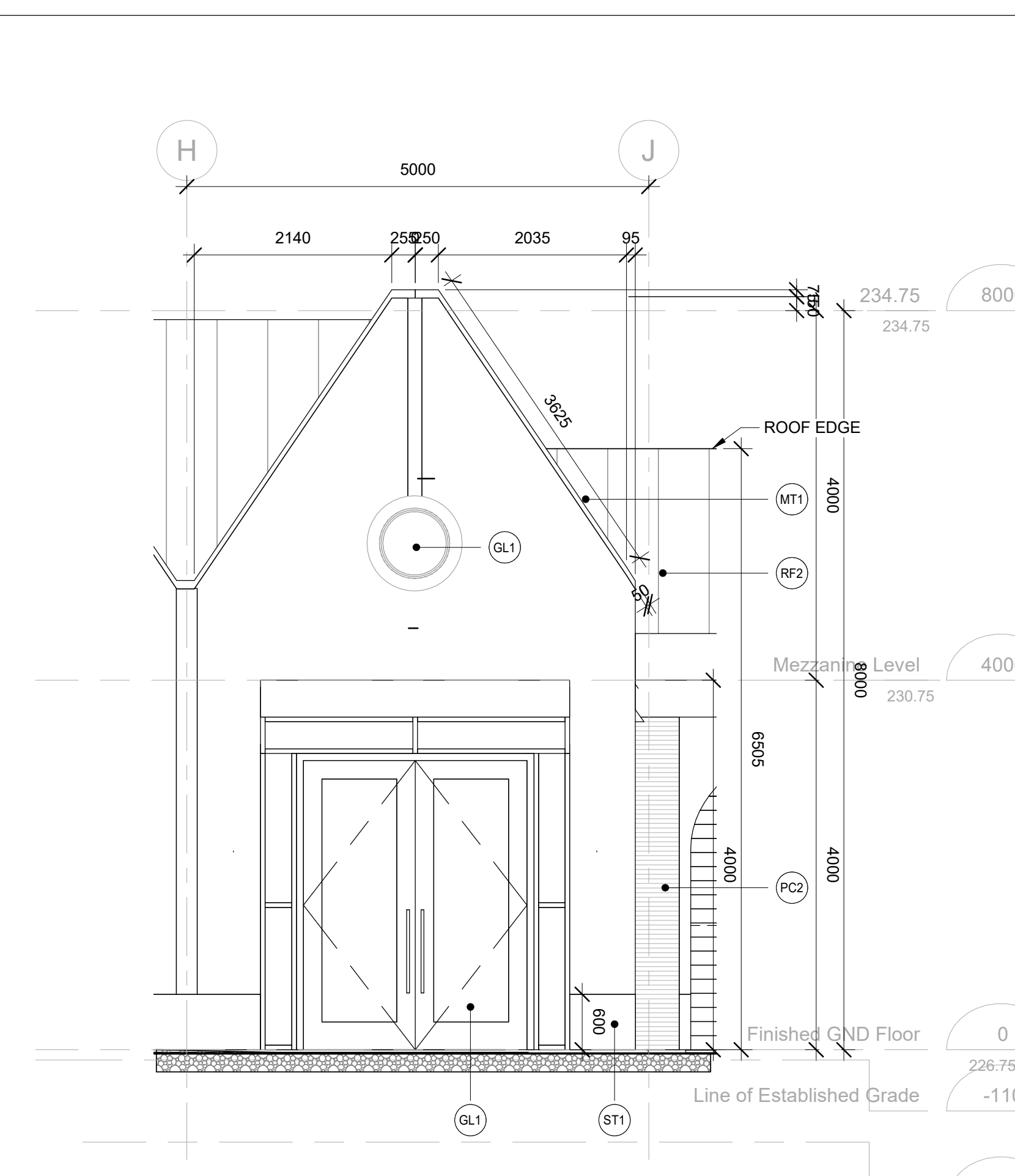
6 North Elevation Exterior Detail at Transcept Wall
A-9.1 1:50



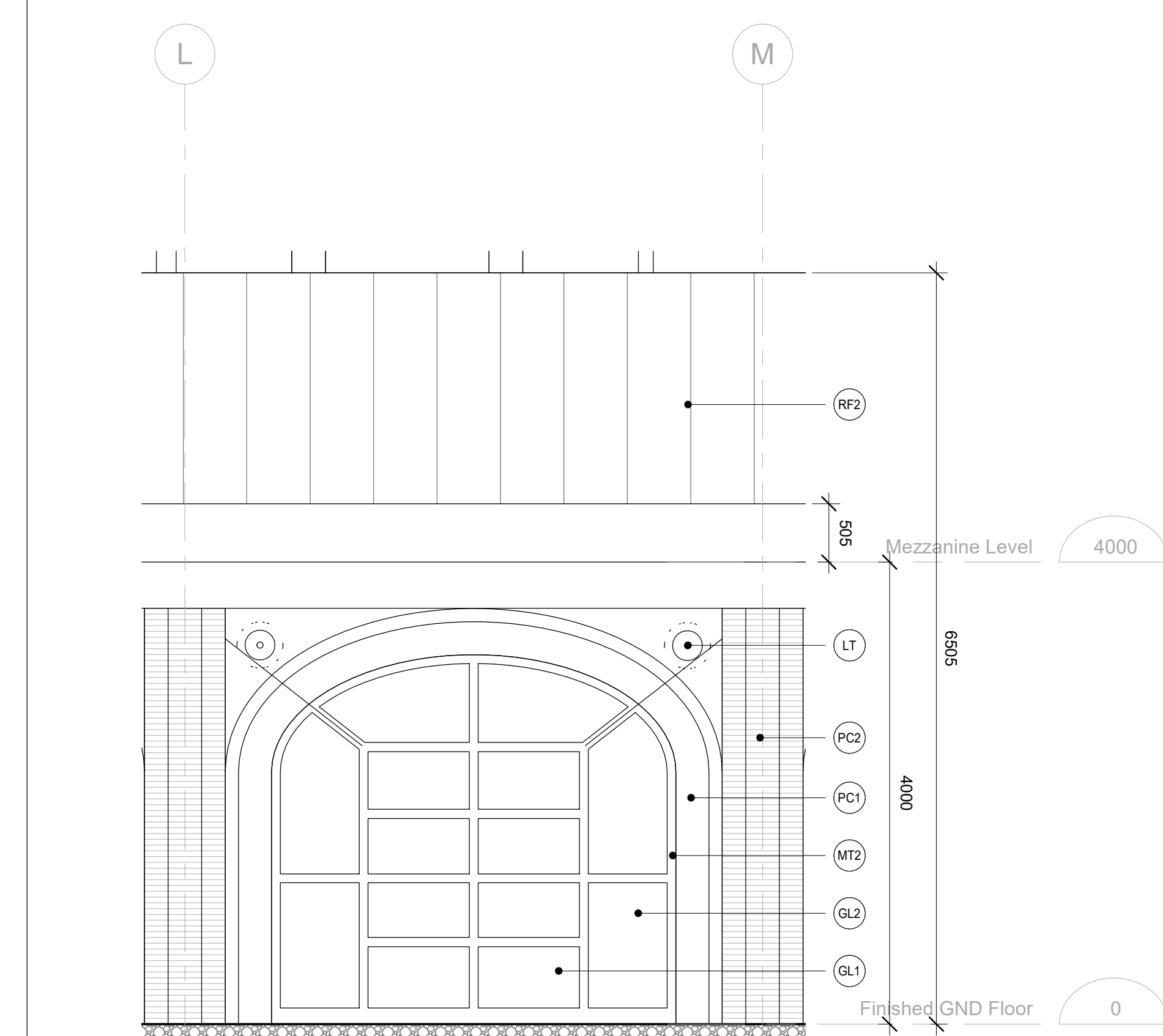
4 West Elevation - Main Hall Elevation Detail
A-9.1 1:50



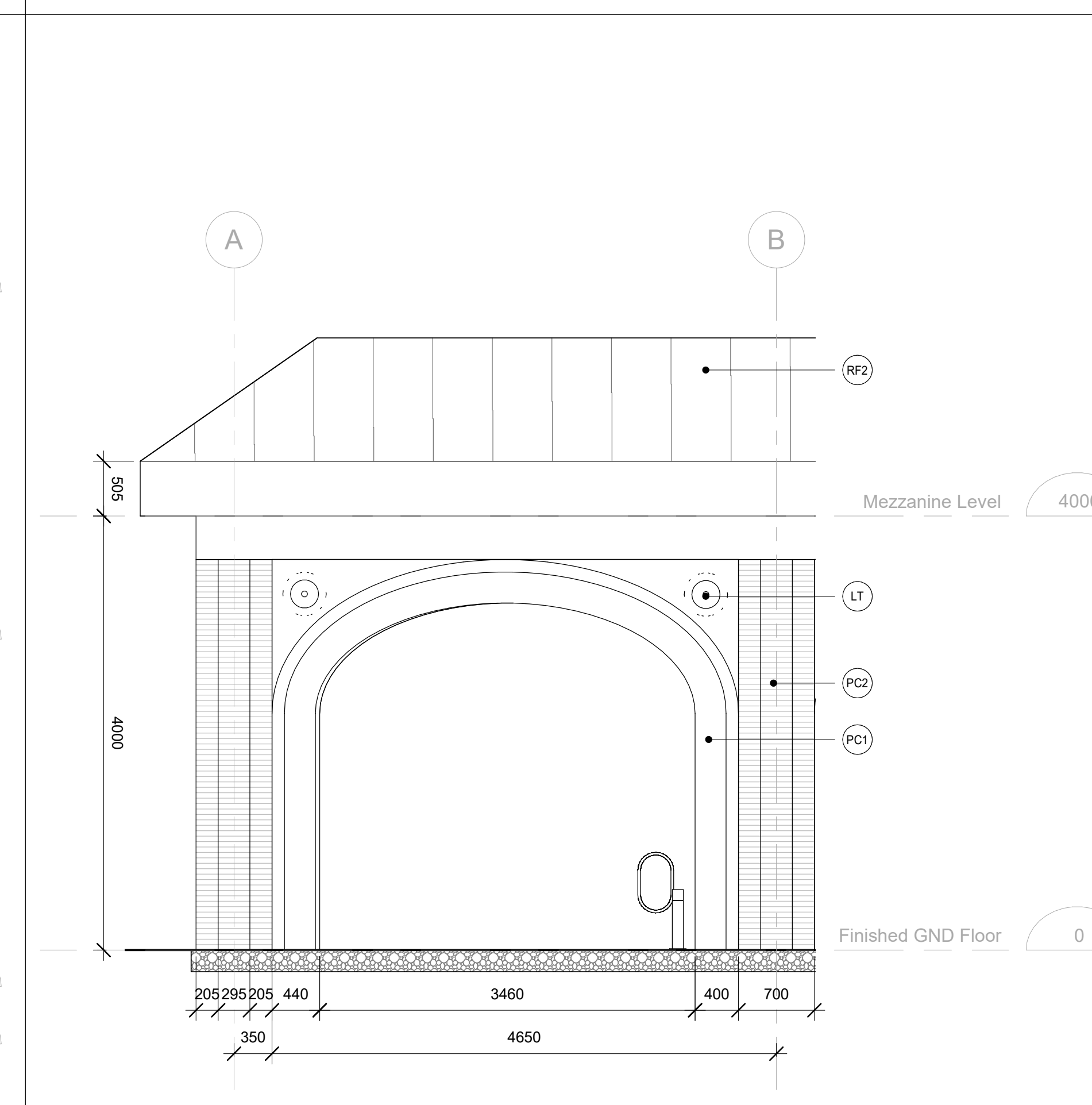
5 North Elevation Exterior Detail at Vestibule-North Entrance
A-9.1 1:50



3 Typical West Elevation Main Entrance Precast Facade Detail
A-9.1 1:50



1 Typical West Exterior Window Frame and Glazing
A-9.1 1:40



2 Typical West Exterior Precast Panel B
A-9.1 1:40

ABBREVIATIONS LEGENDS

REVISIONS:

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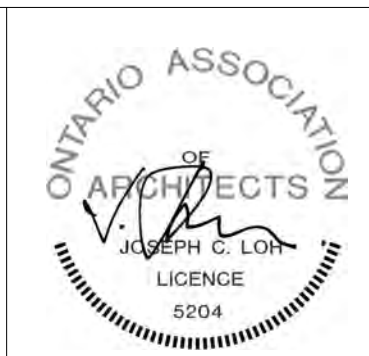
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TITLE: Typical West and East Exterior Details

SCALE: As indicated DRAWN: MH/JM

DATE: 29-Nov-2019 CHECKED: JL

REV. NO. 4

FILE No. DA. 18. 099

SP. 18. V. 0290



PROJECT: St Andre Bessette Parish Roman Catholic Church
1061 Major Mackenzie Drive West, Maple Ontario Canada

ARCHITECTS: Loh Architects & Associates Inc.
67 Lombard Street Toronto Ontario M5C 1M2 CANADA
T: 416.690.3212 Loharchitects.ca

Paul Didar Architect Inc.
222 Kingston Avenue, Suite 260 Toronto, Ontario M8V 3W7
Phone: 416-928-1041 pdaarchinc.com

OWNER: Roman Catholic Episcopal Corporation for the Diocese of Toronto in Canada
1155 Yonge Street Toronto, Ontario M4T 1W2

DRAWING NO.:

A-9.1

ST. ANDRE BESSETTE PARISH CHURCH

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions

To: Committee of Adjustment
From: Niloufar Youssefi, Building Standards Department
Date: January 16, 2025
Applicant: Humphries Planning Group Inc
Location: 2141 Major Mackenzie Drive
 CONC 3 Lot 20
File No.(s): A204/24

Zoning Classification:

The subject lands are zoned A – Agricultural Zone and subject to the provisions of Exception 9(925) under Zoning By-law 1-88, as amended.

Zoning By-law 1-88		Variance requested
1	A single family detached dwelling means a separate building containing only one (1) dwelling unit [Section 2.0, Definitions] .	To permit a single detached dwelling to be attached to the Church.
2	A maximum height of 11 m is required [Schedule A] .	To permit a maximum building height of 15 m .
3	A strip of land not less than 6.0 m in width shall be provided along a lot line which abuts a street line and shall be used for no other purpose than landscaping. This shall not prevent the provision of access driveways across the said strip [Section 3.13] .	To permit a strip of land not less than 4.6 m in width to be provided along a lot line which abuts a street line and shall be used for no other purpose than landscaping. This shall not prevent the provision of access driveways across the said strip

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

January 10, 2025.

PAR-DPP-2025-00486
Ex Ref. CFN 59065.35

SENT BY E-MAIL: Christine.Vigneault@vaughan.ca

Christine Vigneault
Secretary Treasurer
Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

Dear Christine:

**Re: Minor Variance Application A204/24
1075 Major Mackenzie Drive (previous address: 1061 Major Mackenzie Drive)
Part of Lot 20; Concession 2
City of Vaughan, Regional Municipality of York
Owner: Archdiocese of Toronto
Agent: Humphries Planning Group Inc**

This letter acknowledges receipt of the above-noted application circulated by the City of Vaughan. The materials were received by Toronto and Region Conservation Authority (TRCA) on January 6, 2025. TRCA staff have reviewed the application and offer the following comments for the consideration of the Committee of Adjustment.

Purpose of the Application

It is our understanding that the purpose of the above noted application is to request the following variance for lands:

Zoned A – Agricultural Zone under By-Law 001-2021, as amended:

1. To permit a place of worship;
2. To permit a single detached dwelling to be attached to the church;
3. To permit a minimum lot area of 21,818 sq.m;
4. To permit a maximum building height of 15.0 m; and,
5. To permit a retaining wall with the height of 2.75 m to be setback a minimum of 1.0 m from the interior lot line.

Zoned A – Agricultural Zone and subject to the provisions of Exception 9 (925) under Zoning By-law 1-88, as amended:

1. To permit a single detached dwelling to be attached to a church;
2. To permit a maximum building height of 15.0 m; and,
3. To permit a strip of land not less than 4.6 m in width to be provided along a lot line which abuts a street line and shall be used for no other purpose than landscaping. This shall not prevent the provision of access driveways across the said strip.

It is the understanding of TRCA staff that the noted variances are required to facilitate the construction of a proposed church building with an attached single-family dwelling.

Conservation Authorities Act

A portion of the subject lands is regulated by TRCA due to an unevaluated wetland. Any development or site alteration within TRCA's Regulated Area would be subject to a permit pursuant to Conservation Authorities Act – Section 28. Further details regarding TRCA's permitting requirements have been provided in Appendix 'A' for the proponent's reference.

Application-Specific Comments

TRCA has been involved in the review of Site Development Application DA.18.099 and has provided a letter of no objection to the Site Development Application's fourth submission on November 29, 2024. The materials submitted as part of this application are consistent with the materials submitted as part of Site Development Application DA.18.099.

As such, the TRCA has no objection to the requested variance.

Recommendation

Based on the comments noted above, TRCA has **no objection** to the approval of Minor Variance Application A204/24 subject to the following conditions:

1. That the applicant provides the required fee amount of \$1250.00 payable to the Toronto and Region Conservation Authority.
2. That the applicant obtains a permit for development activity on the subject property pursuant to Conservation Authorities Act – Section 28.

Fees

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$1250.00 (Minor Variance – Industrial/Commercial/Subdivision/Institutional - Minor) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

We thank you for the opportunity to review the subject application and provide our comments as per our commenting and regulatory role. We trust these comments are of assistance.

Should you have any questions, please contact Cameron McDonald, Planner I at 437-880-1925 or at cameron.mcdonald@trca.ca.

Sincerely,

Cameron McDonald

Cameron McDonald

Planner I

Development Planning and Permits | Development and Engineering Services

cameron.mcdonald@trca.ca, 437-880-1925

Appendix 'A': TRCA Permit Information

To initiate TRCA's permit application process, the following materials are required to be submitted:

1. Complete Application for Development, Interference with Wetlands & Alterations to Shorelines & Watercourses (Residential/Development Projects) (Pursuant to Conservation Authorities Act – Section 28). The application can be downloaded from the following website: <https://trcaca.s3.ca-central-1.amazonaws.com/app/uploads/2024/05/13102126/FA-TRCA-Development-Permit-Application-Form-UPDATED-May8-2024.pdf>
2. A digital copy of the following finalized plans/drawings are required:
 - Site Plan
 - Grading Plan
 - Servicing Plan
 - Erosion and Sediment Control Plan
 - Cross-sections & associated Details.
3. Stormwater Management Report
4. Permit review fee of \$7,380 (Works on Commercial, Industrial and Institutional Properties – Minor). TRCA's fee schedule can be found by visiting the following site: <https://trcaca.s3.ca-central-1.amazonaws.com/app/uploads/2024/05/24142621/EA-Planning-Infrastructure-Permitting-Fee-Schedule-2024-WEB.pdf>

From: [Hurst, Gabrielle](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A204/24 - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Wednesday, January 8, 2025 9:10:52 AM

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good morning,

The Regional Municipality of York has completed its review of the above minor variance. Please note that Major Mackenzie Drive is a Regional Road with a 45 metre Right-of-way. As such, all structures must be referenced 22.5 metres from the center line of construction.

Regards,

Gabrielle

Gabrielle Hurst MCIP, RPP | Associate Planner, Development Planning, Economic and Development Services Branch | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

Date: January 6th 2024

Attention: **Christine Vigneault**

RE: Request for Comments

File No.:

Related Files: **A204-24**

Applicant: Humphries Planning Group Inc

Location 2141 Major Mackenzie Drive



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

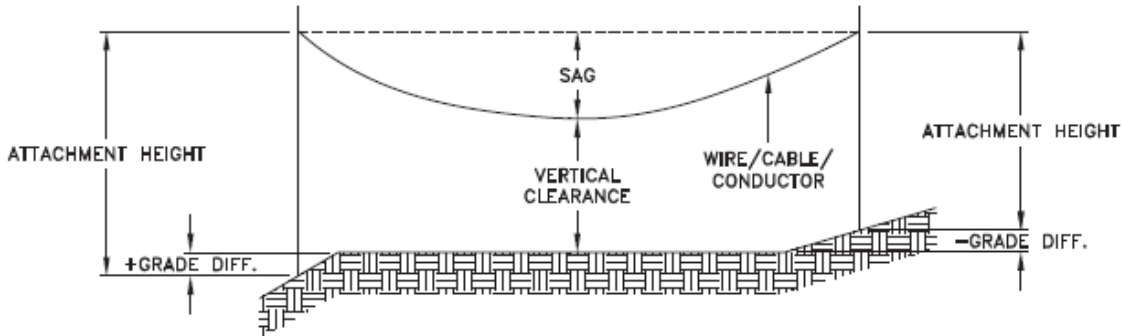
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

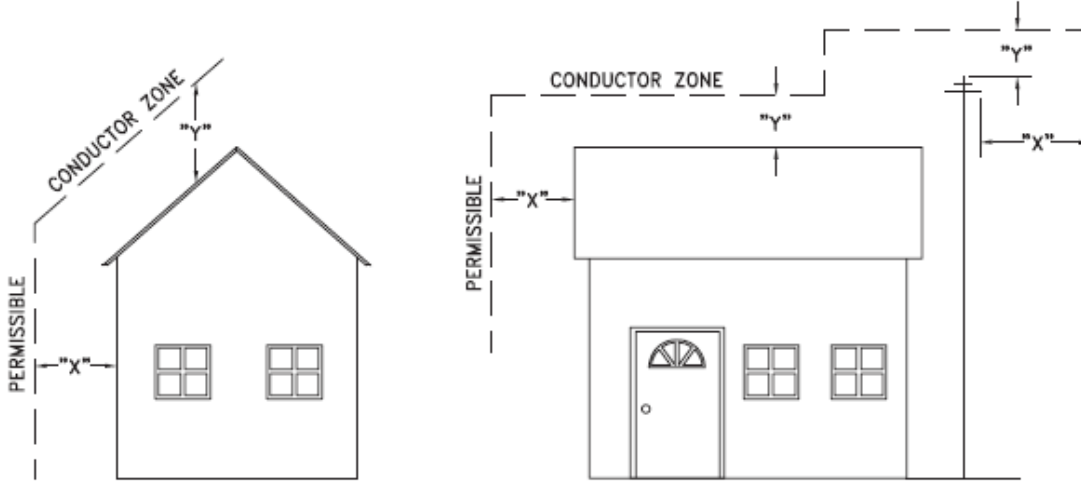
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			12/10/2024	Application Cover Letter

December 2, 2024
HPGI File: 24914

Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario
L6A 1T1

Attn: Committee of Adjustment

Re: Minor Variance Application
1061 Major Mackenzie Drive West, Maple
File No.: DA.18.099 & SP.18.V.0290

Humphries Planning Group Inc. ("HPGI") is the planning consultant for the Roman Catholic Episcopal Corporation for the Diocese of Toronto, in Canada ("Owner"), the owner of the lands located at 1061 Major Mackenzie Drive West, Maple ("Subject Site"). This correspondence formally submits a Minor Variance application to facilitate the proposed church building.

Property Description

The Subject Site is located south of Major Mackenzie Drive West and east of Thomas Cook Avenue. The site has approximately 209 m of frontage along Major Mackenzie Drive W, 109 m of depth and an area of approximately 21,818 sqm (2.17 ha). The site is currently vacant.

Land Use

The Subject Site is designated "Community Area" and within the Oak Ridges Moraine Conservation Plan Area per City of Vaughan Official Plan, Schedule 1 – Urban Structure. Schedule 13 – Land Use of the Official Plan further designates the site "Low-Rise Residential." The Subject Site is zoned 'A' – Agricultural subject to Exception 9(925) per the City of Vaughan Zoning By-law 1-88.

Proposal/ Requested Variances

The proposed development contemplates to a place of worship, further known as St. Andre Bessette Parish Roman Catholic Church. The subject application seeks to permit the following variances:

Variance #1: Per Zoning By-law 1-88, the maximum permitted building height is 11.0 m, whereas the proposed building height is 13.5 m. The peak of the sloped roof of the church building volume; the roof structure, exceeds the building height by not more than 4-meters. Further, the church steeple and the bell tower, as an accessory structure to the

church building, exceeds the maximum permitted building height.

Variance #2: Per Zoning By-law 1-88, a strip not less than 6.0 m in width shall be provided along a lot line which abuts a street line and shall be used for no other purpose than landscaping, whereas a minimum landscape strip width of 4.683 m is proposed. The paved parking area overlaps into the landscape buffer to maintain the necessary car parking count for the property. Also, to allow for secluded pedestrian reflection areas away from building located at north and south axis and to permit partially buried, concealed garbage pickup area

Variance #3: Per By-law 001-2021 a retaining wall shall provide a setback equal to the height or a setback for a retaining wall less than 1 m in height is permitted to at 0 m. Whereas, a setback of 0 m is proposed for a 1.83 m tall retaining wall and 1 m setback for a 2.42 m tall retaining wall. The retaining wall height is to maintain a level, accessible pedestrian walkway which necessitates a retaining wall adjacent to the south property boundary. Further, the retaining wall at the northeast corner of the site has a tall retaining wall required by the natural slope of the ravine lands adjacent to the property. It allows sufficient room to ensure no excavation, footings, or tiebacks overflow to public property. The civil engineering of the site grading requires site drainage to be contained within the site in the above two situations.

Variance #4: Per By-law 1-88, the rectory shall be detached from the church, whereas the proposed rectory is attached to the church. The functional programme of the church requires a direct interior connection (corridor) between the church and the rectory for building operation, maintenance and security reasons.

The requested variances to facilitate the development are appropriate for approval as they are considered minor with minimal impact to the area surrounding the Subject Site.

In support of the Minor Variance, the following materials are submitted:

Deliverable	Consultant	Date
Cover Letter	HPGI	Dec 2, 2024
Application Fee (\$1,742.50)	Owner	TBD
Site Plan	LOH	Nov 5, 2024
Authorization Form	Owner	May 14, 2024
Authorizing Statement	HPGI	Dec 4, 2024
Variance Chart	HPGI	Nov 18, 2024
Property Setbacks Chart	HPGI	Nov 28, 2024
Structure Size Chart	HPGI	Nov 28, 2024
Septic Form	HPGI	Dec 4, 2024
Sworn Declaration Form	Owner	Dec 3, 2024
Tree Declaration Form	HPGI	Dec 4, 2024

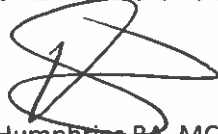
We trust that the above information and materials are sufficient for the purposes of

1061 Major Mackenzie Drive W
Minor Variance Application
Dec 2, 2024

Page 3 of 3

not hesitate to contact the undersigned.

Yours truly,
HUMPHRIES PLANNING GROUP INC.

A handwritten signature in black ink, consisting of several overlapping loops and a central vertical stroke, positioned above the typed name.

Rosemarie Humphries BA, MCIP, RPP
President

cc. *Roman Catholic Episcopal Corporation for the Diocese of Toronto*
LOH Architects & Associates Inc.

SCHEDULE D: BACKGROUND

Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A