

ITEM: 6.8	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A192/24
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Report Date: Friday, January 31, 2025

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Forestry	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
Agent	Peter Giordano	1405 Cornwall Rd. Unit 4 Oakville L6J 7T5	01/29/2025	Applicant Presentation

BACKGROUND (SCHEDULE D, IF REQUIRED)	
<small>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</small>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
A026/23	Approved COA; April 23, 2023

ADJOURNMENT HISTORY	
<small>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</small>	
Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A192/24

CITY WARD #:	1
APPLICANT:	Linda Holt
AGENT:	Rebecca Muise & Peter Giordano (David Small Designs)
PROPERTY:	56 Netherford Road, Maple
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	A026/23
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a proposed dwelling and cabana.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R1E(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.534 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A maximum lot coverage of 23% is required [Table 7-3].	To permit a maximum lot coverage of 27.45%
2	In any Residential zone, the maximum height of a residential accessory structure shall be 3.0 m. [Section 4.1.4.1].	To permit a maximum height of 3.81 metres for a residential accessory structure.

HEARING INFORMATION

DATE OF MEETING: Thursday, February 6, 2025

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive

LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

INTRODUCTION

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	January 23, 2025
Date Applicant Confirmed Posting of Sign:	January 13, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	Cabana was built 3.4m from int side yard setback. Original COA decision had the cabana at 4.3m from the int side yard
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
None	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

The applicant has already received a Grading Permit from Development Engineering.

Development Engineering Recommended Conditions of Approval:	None
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PARKS, FORESTRY & HORTICULTURE (PFH)

Forestry has no comment at this time.

PFH Recommended Conditions of Approval:	None
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DEVELOPMENT FINANCE

No comment no concerns.

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date.

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC)

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT

No comments received to date.

Fire Department Recommended Conditions of Approval:	None
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RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
	None	

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

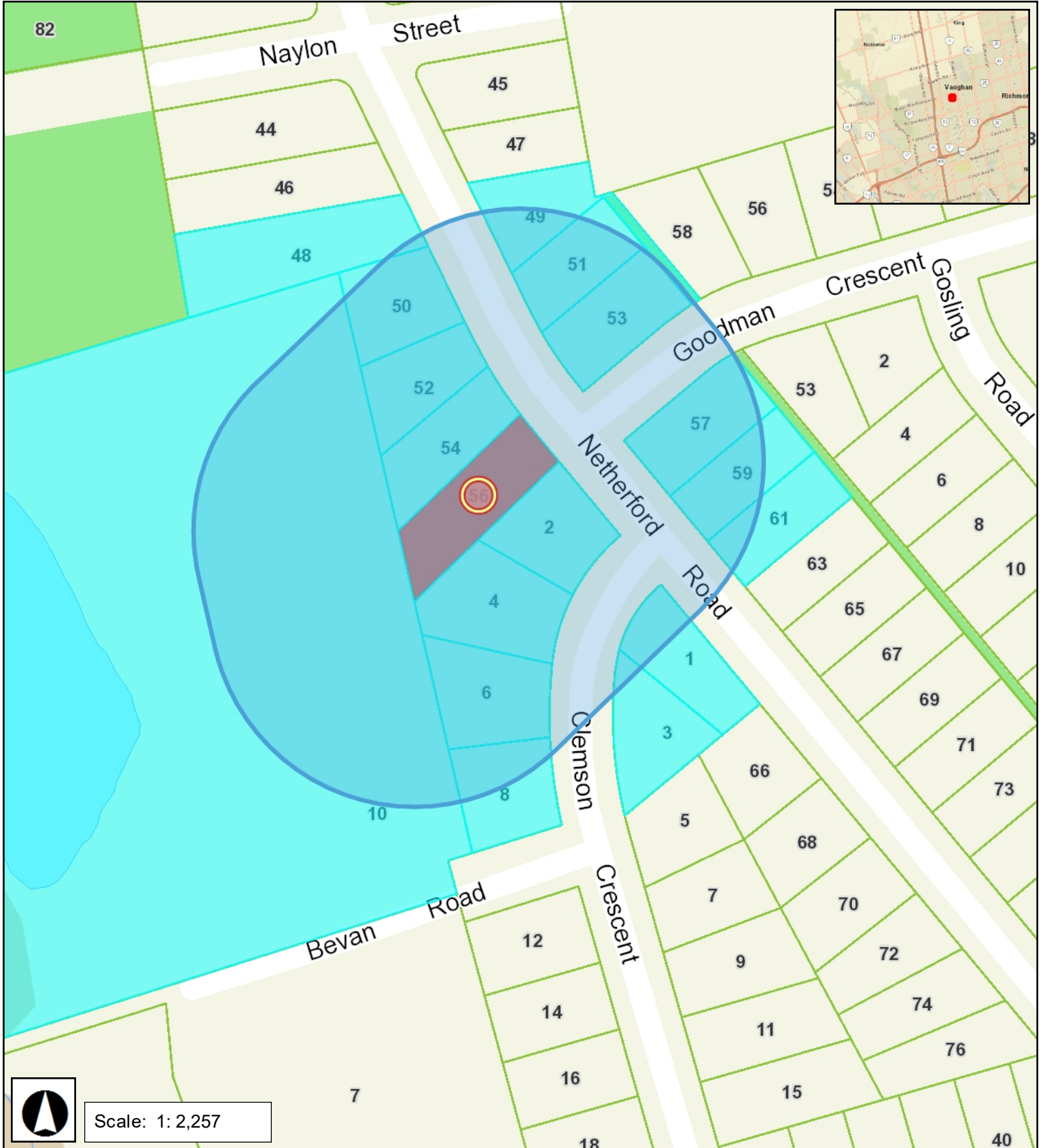
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

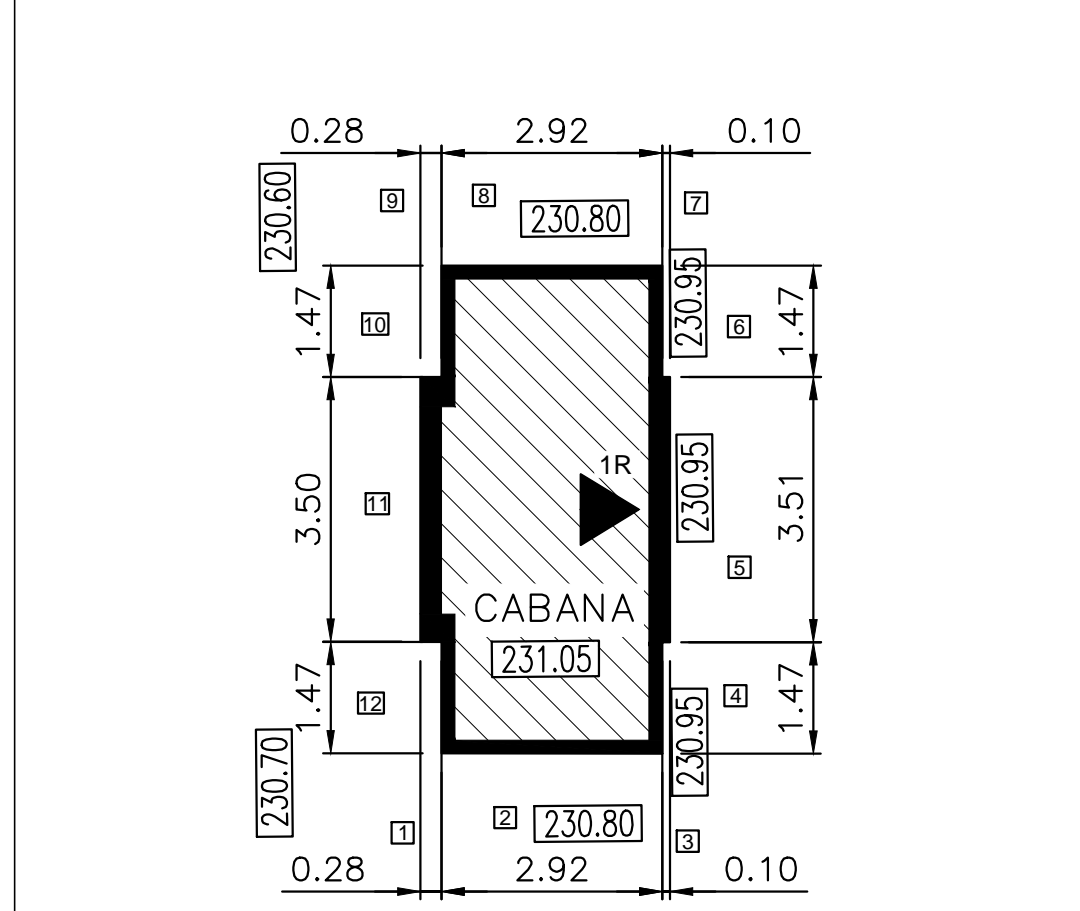
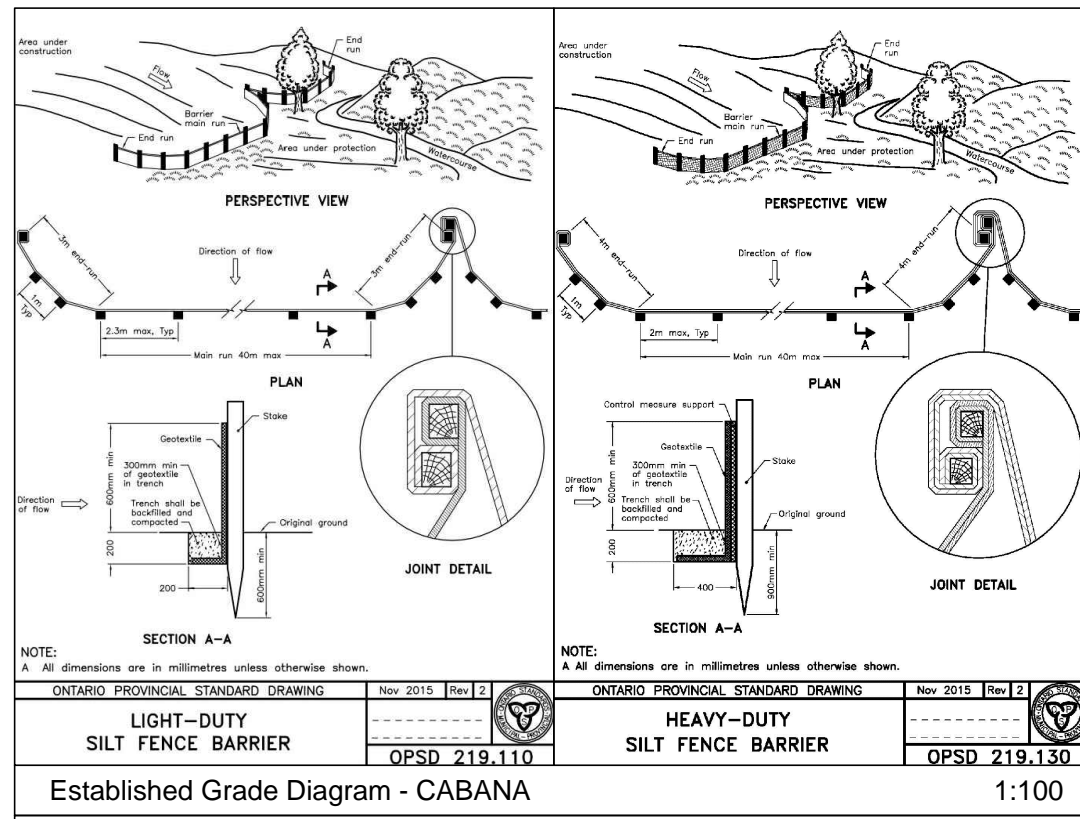
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

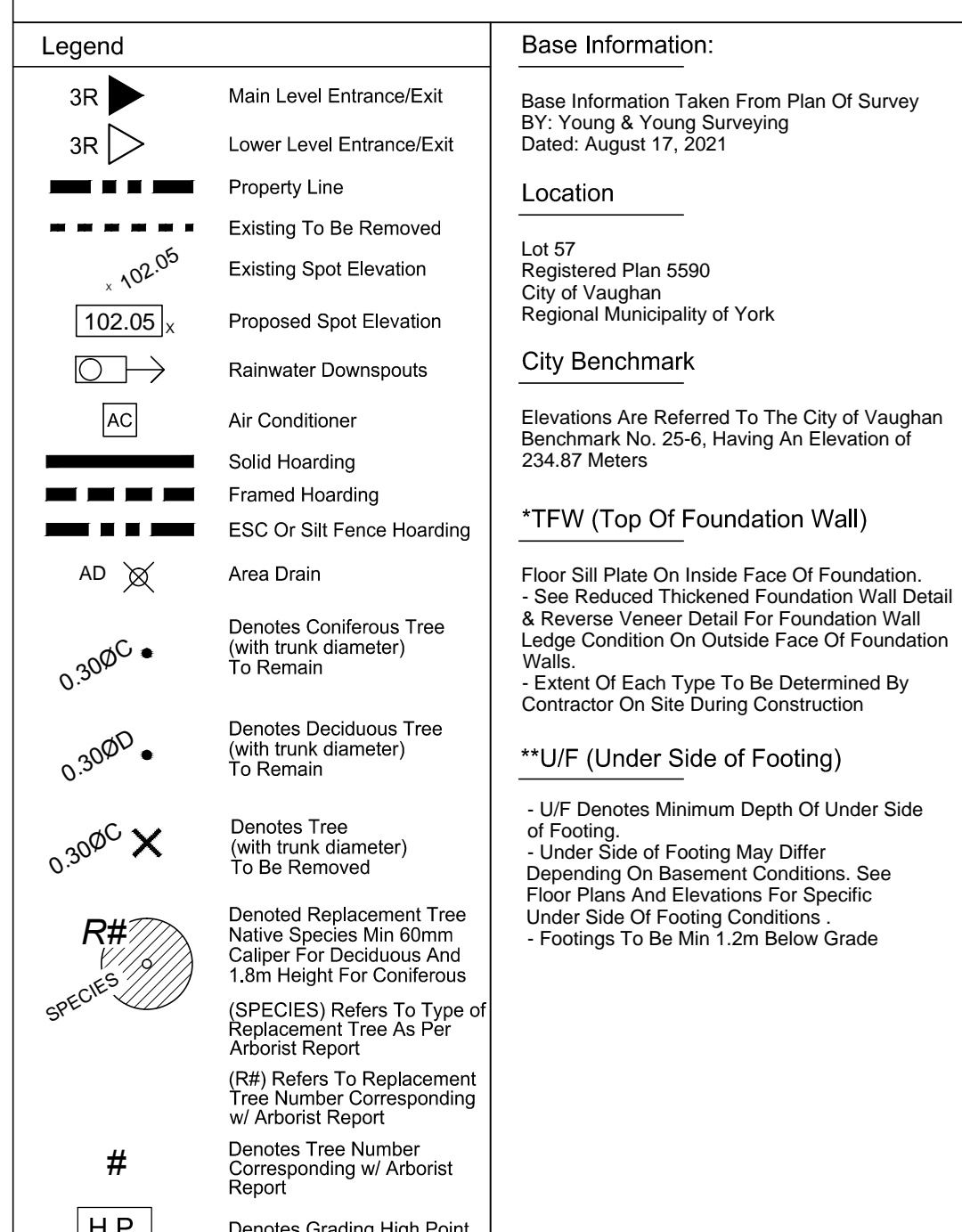
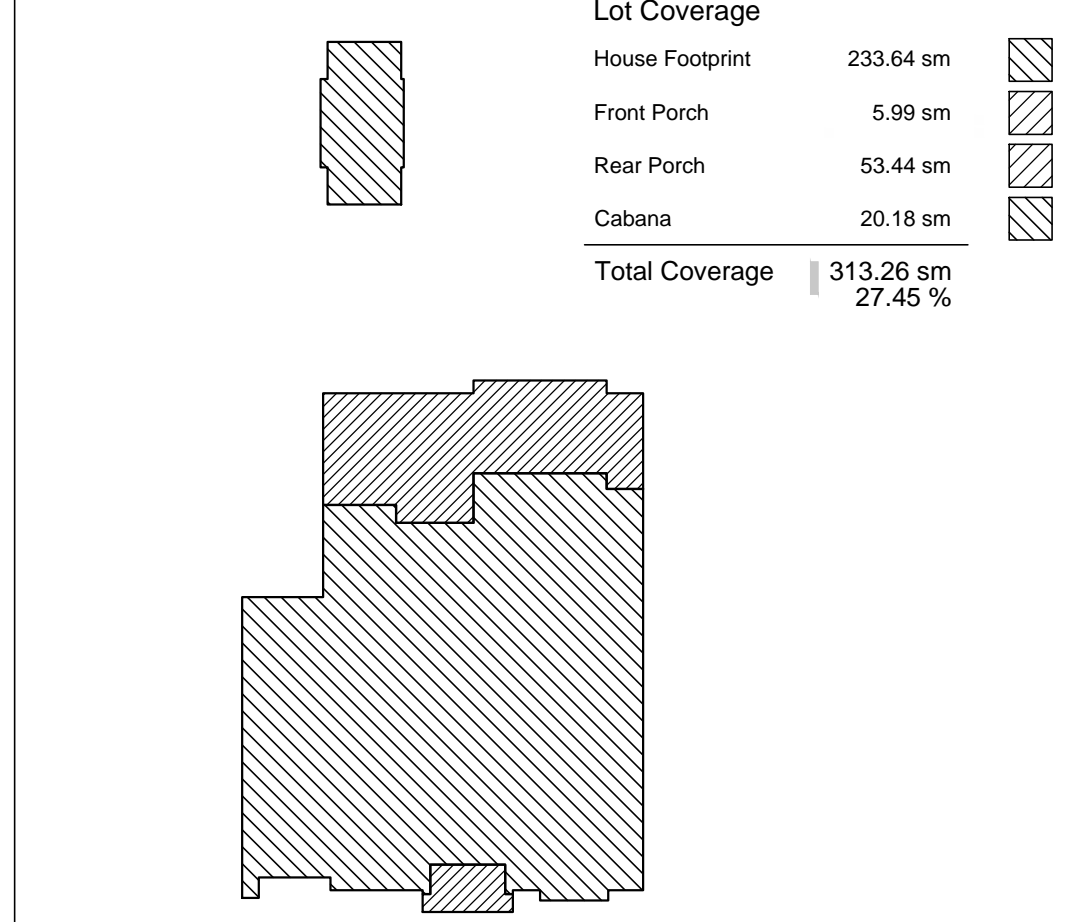
SCHEDULE A: DRAWINGS & PLANS





Wall No.	Wall Average Grade	Wall Length (m)	Product
1	230.75	0.28	64.61
2	230.80	2.92	673.94
3	230.85	0.10	23.09
4	230.95	1.47	339.50
5	230.95	3.51	810.63
6	230.95	1.47	339.50
7	230.87	0.10	23.09
8	230.80	2.92	673.94
9	230.78	0.28	64.62
10	230.76	1.47	339.22
11	230.73	3.50	807.56
12	230.70	1.47	339.13
Total	2769.89	19.49	4498.80

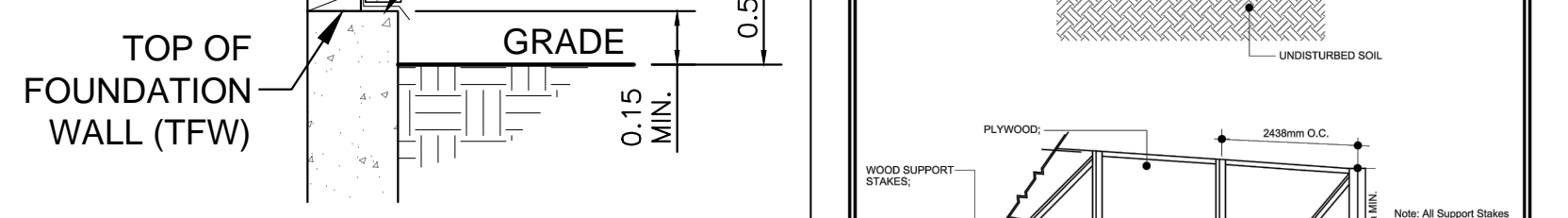
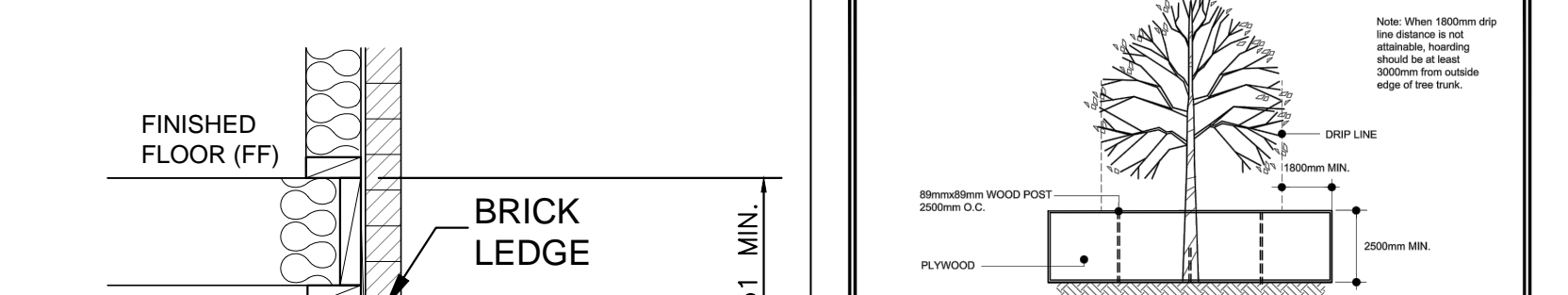
Established Grade = Total Product Divided By Total Wall Length = 230.83



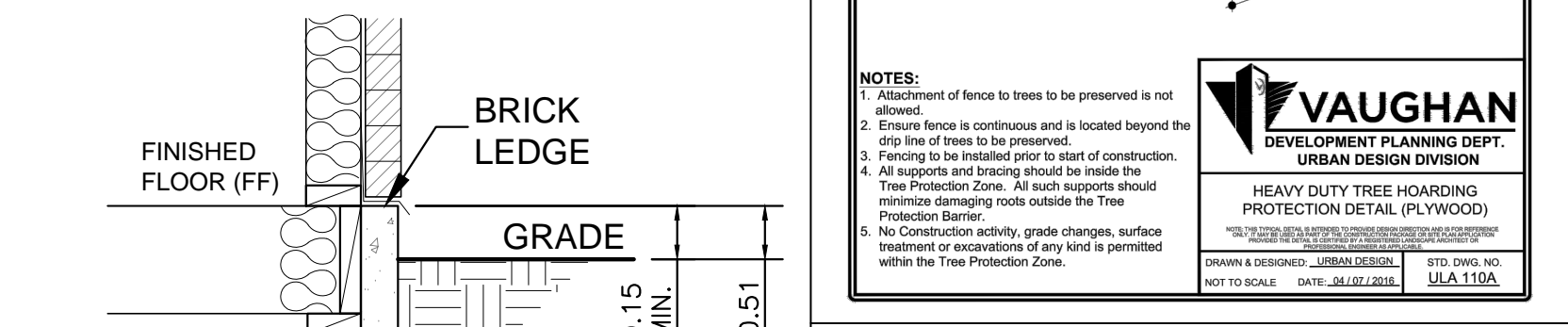
General Notes:
 1. Do Not Scale Drawings
 2. These Plans Are To Remain The Property Of The Designer And Must Be Returned Upon Request. These Plans Must Not Be Used In Any Other Location Without The Written Approval Of The Designer.
 3. All Works To Be In Accordance With The Ontario Building Code And All Code References Refer To O.B.C. 2012 Division V

ESC Notes:
 a. The Contractor is Ultimately Responsible For Controlling Sediment & Erosion Within The Construction Site For The Total Period Of The Construction. The Sediment Laden Water Will Not Be Allowed To Discharge To The Lake.
 b. An After Hours Contact Number Is To Be Provided On-Site For Emergencies. All The Plans Should Have Name And Contact Info Of The Person Responsible For ESC Measures.
 c. Any Sediment Spill From The Site Must Be Reported To Ministry Of Environment And Climate Change (Call Spill Action Center At 1 800 268 6060).
 d. All Activities, Including Maintenance Procedure Shall Be Controlled To Prevent The Entry Of Petroleum Products, Debris, Rubble, Concrete Or Other Deteriorous Substances Into Water. Vehicular Maintenance Shall Be Conducted 30 M From The Water.
 e. Any Operation That Creates Dust, Such As Stone Cutting, Concrete Cutting, Shall Be Carried Out Away From The Water.
 f. Maintain Temporary Erosion Control And Pollution Control Features Installed Under This Contract. Erosion And Sediment Controls Methods Are To Be Continuously Evaluated And Upgrades Are To Be Implemented, When Necessary.
 g. All Temporary Oil Or Dirt Stockpiles Are To Be Provided With Necessary Sediment And Erosion Control Features, Including Seeding If Anticipated To Be Stored More Than One Month.
 h. Additional Erosion And Sediment Control Materials (I.E. Silt Fence, Straw Bales, Clear Stones, Etc) Are To Be Kept On Site For Emergencies And Repairs.
 i. Erosion And Sediment Controls Methods Are To Be Continuously Evaluated; And Upgrades Are To Be Implemented, When Necessary.

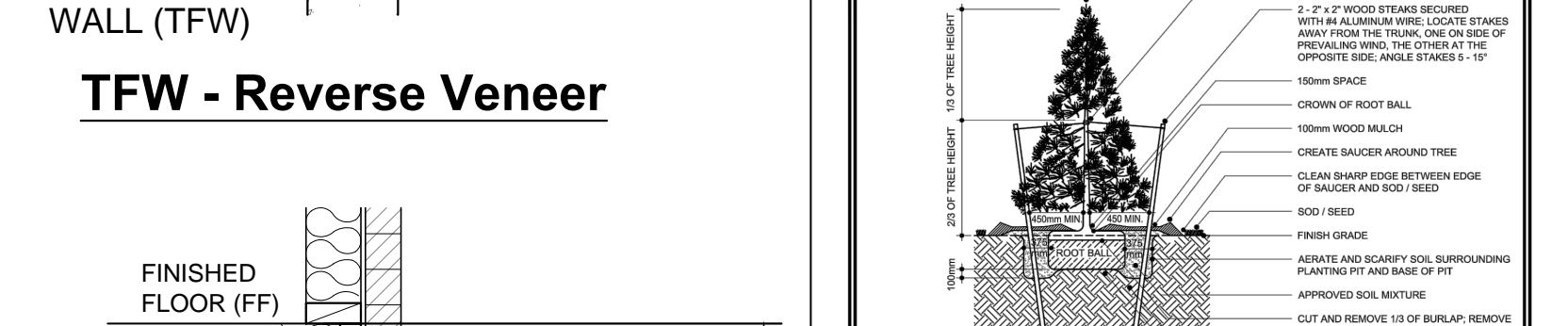
Top of Foundation Wall Conditions 1:20



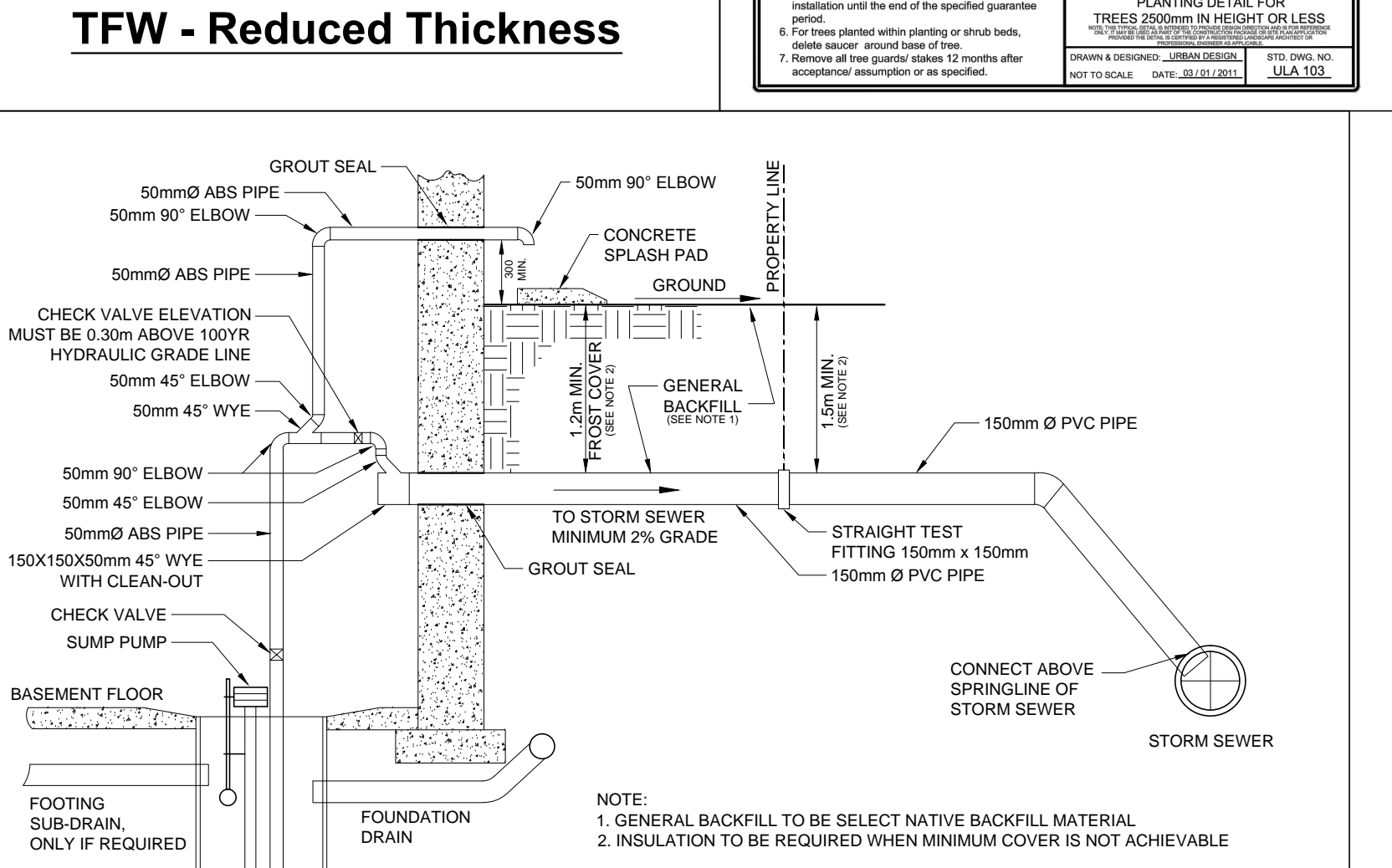
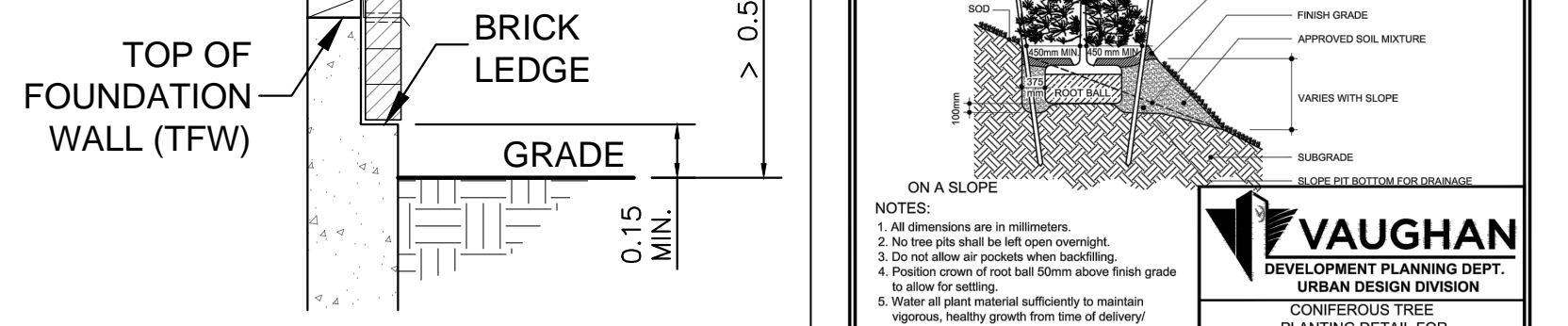
TFW - Typ. Condition



TFW - Reverse Veneer

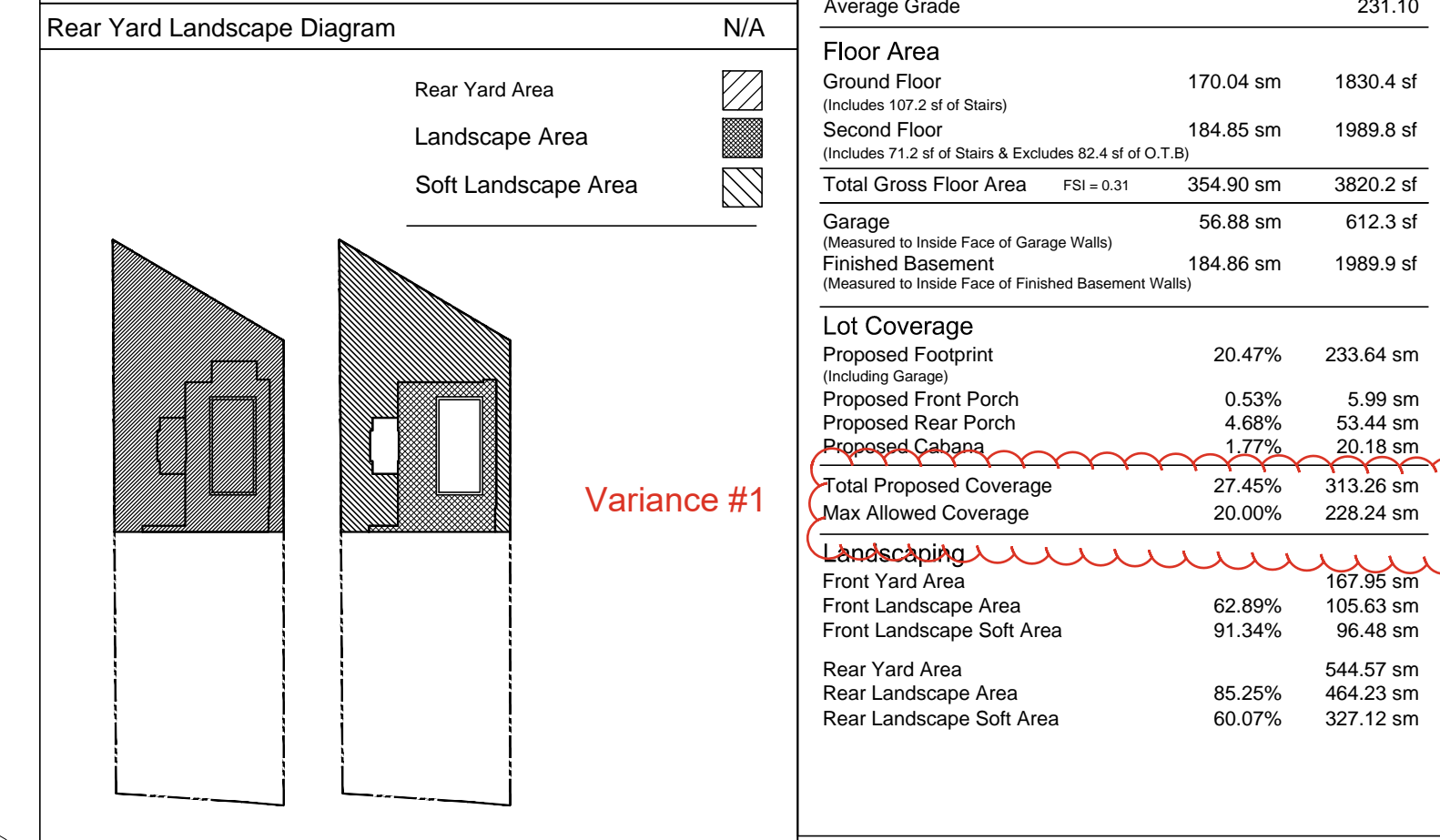
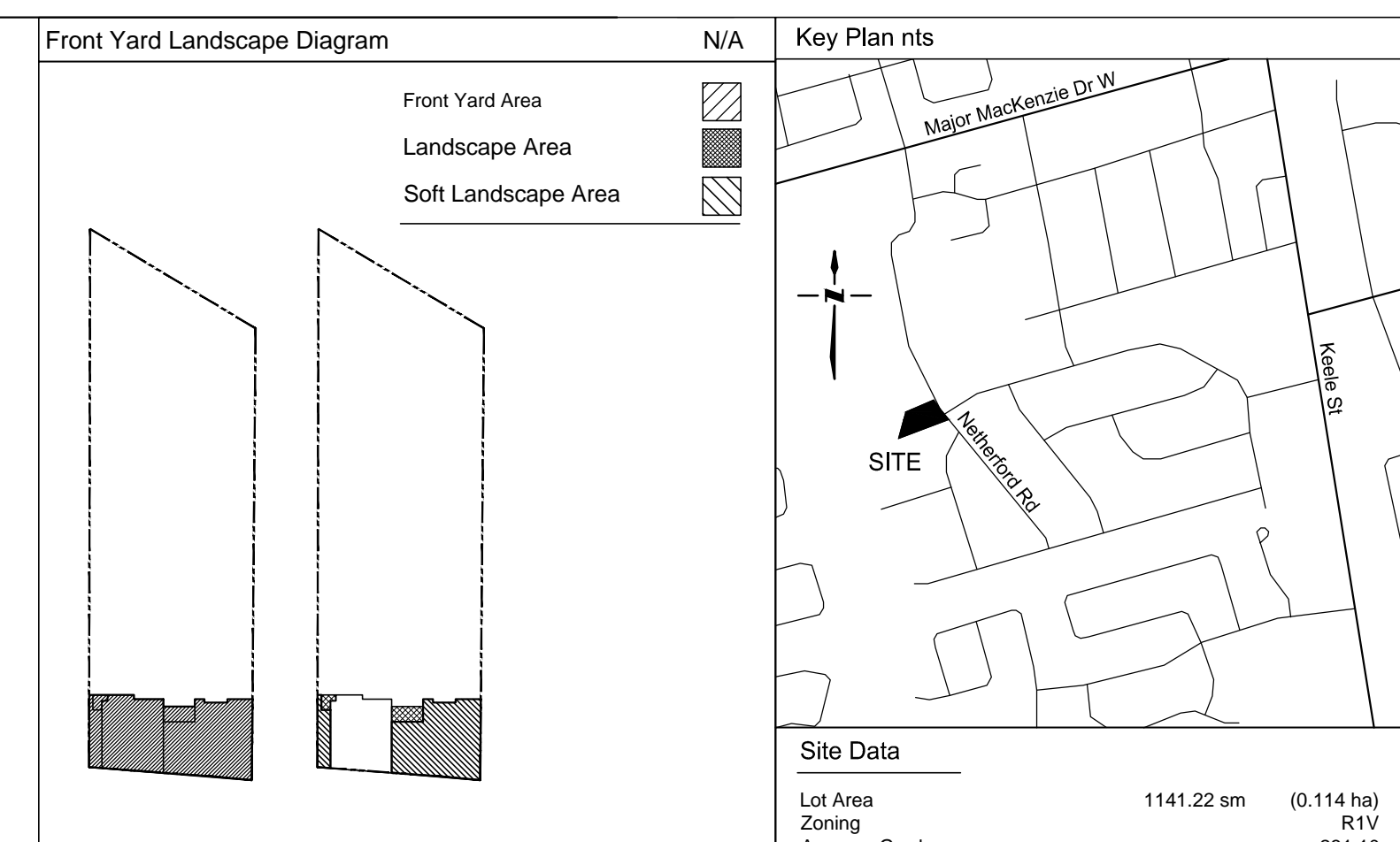
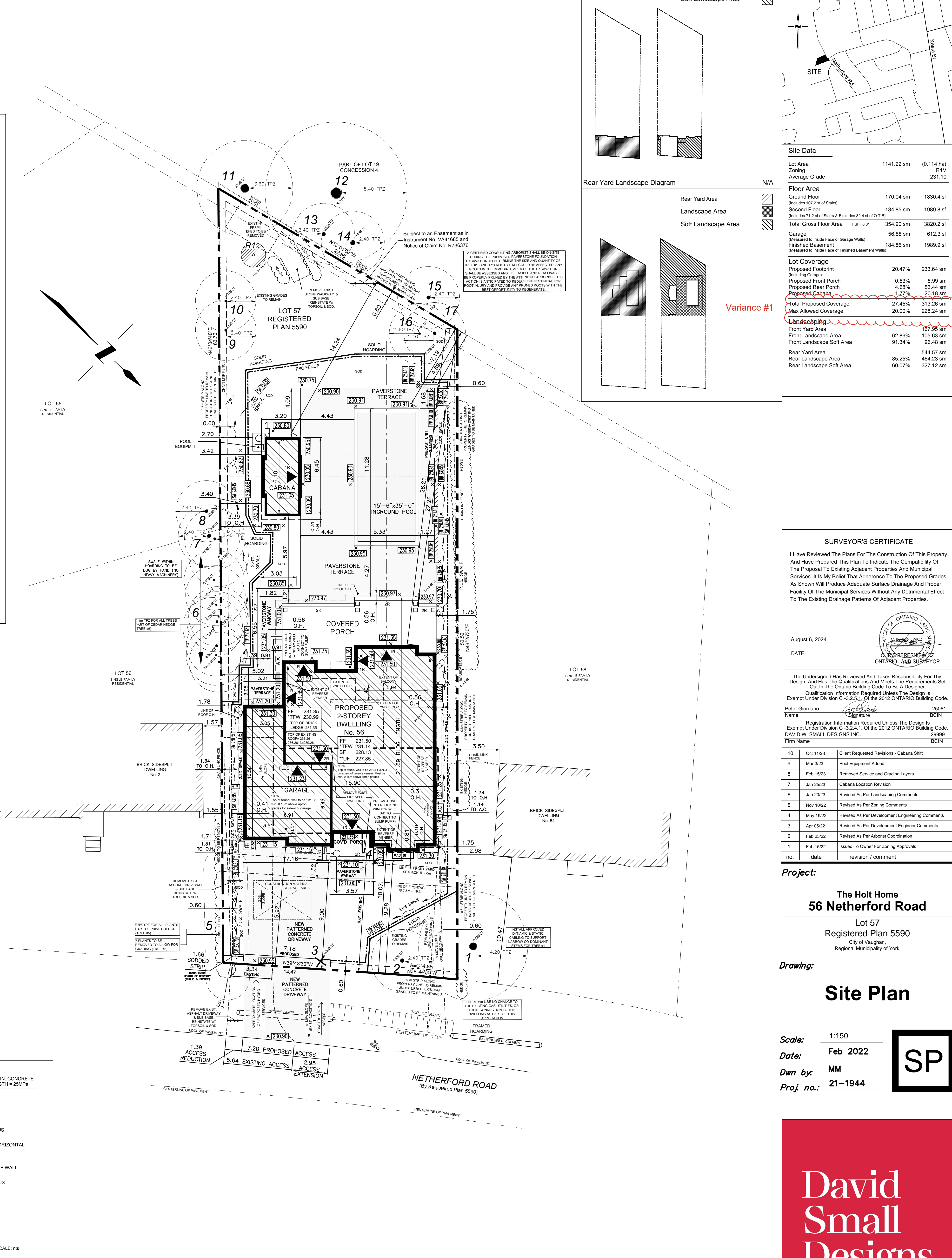
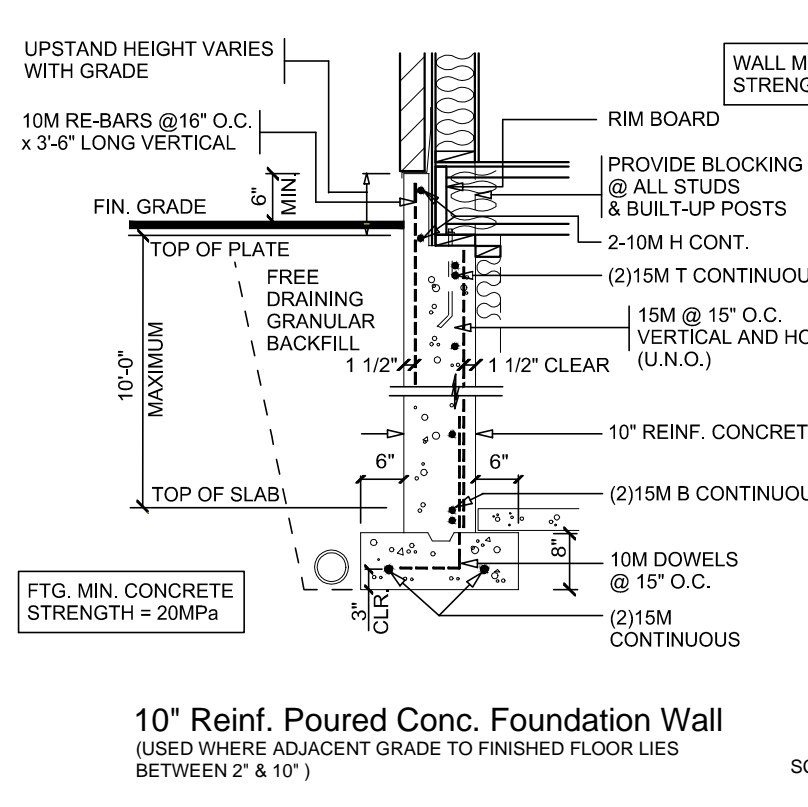
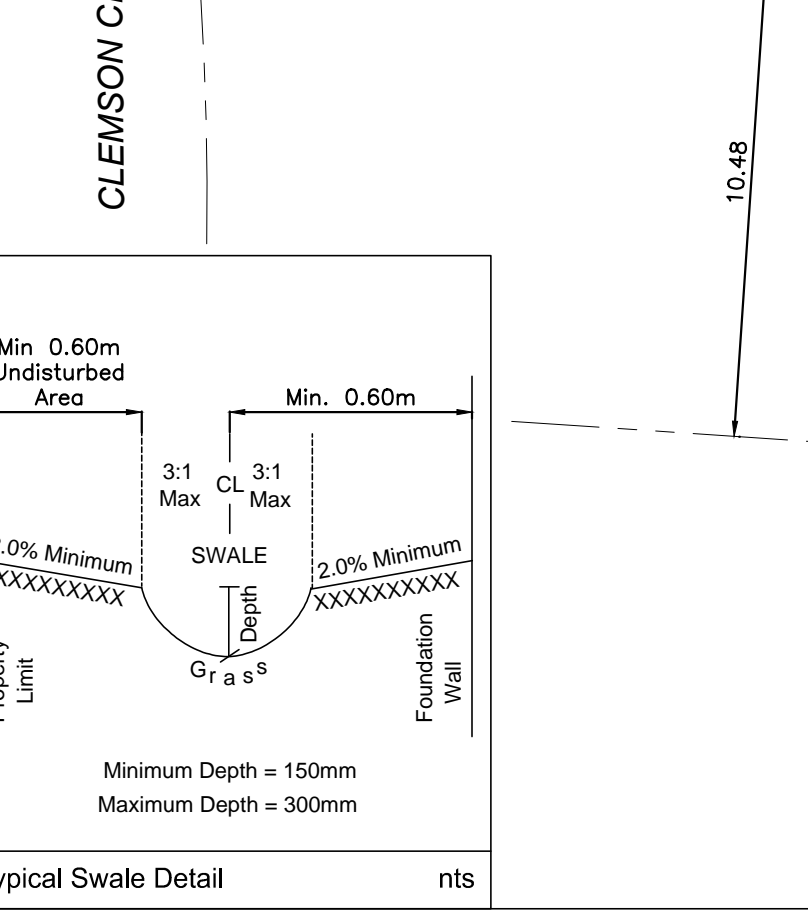
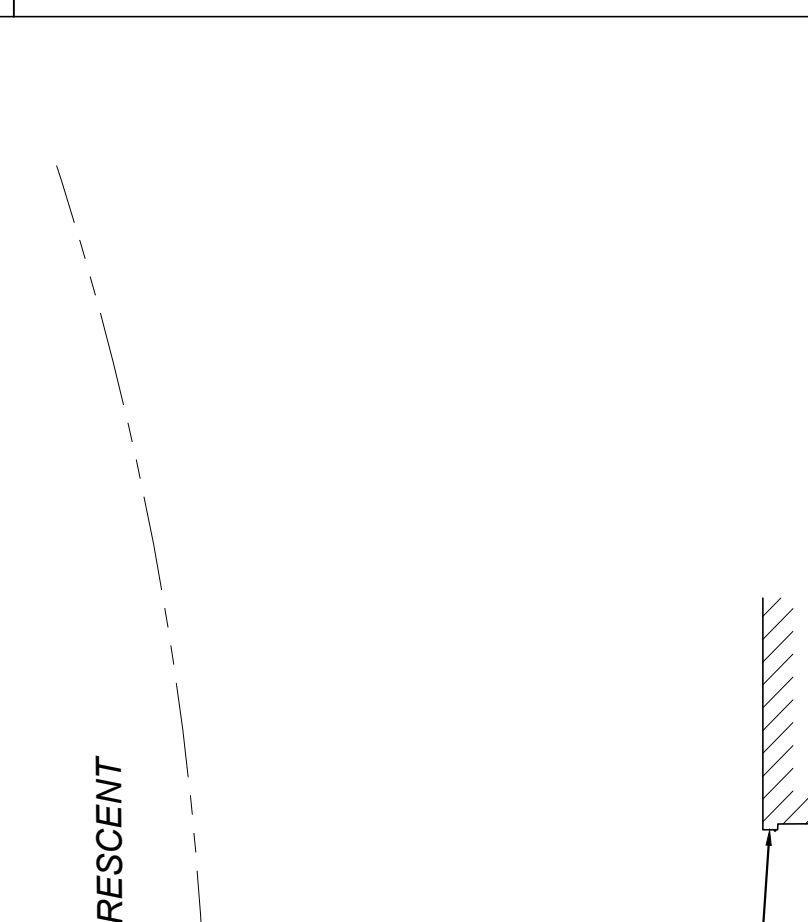
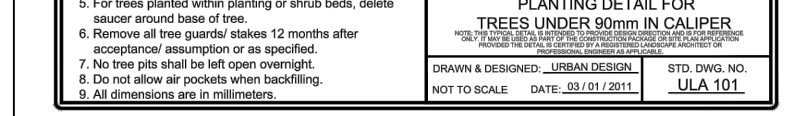
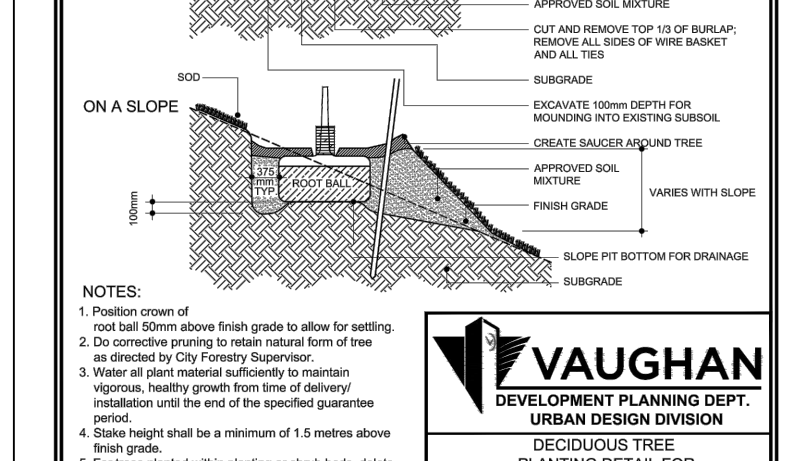
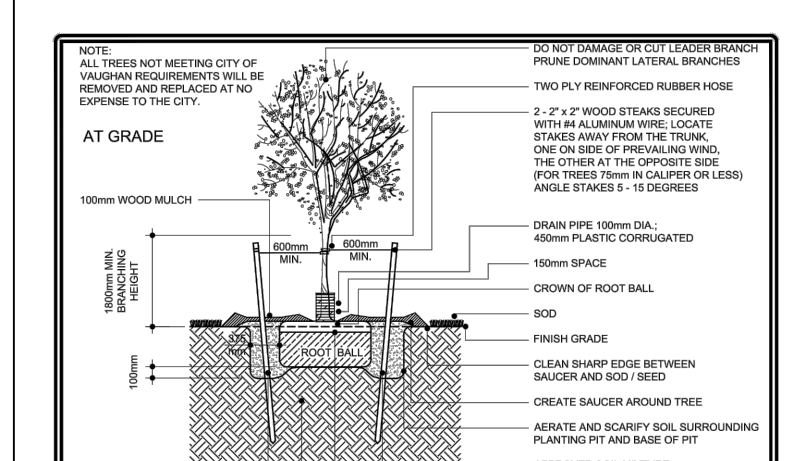
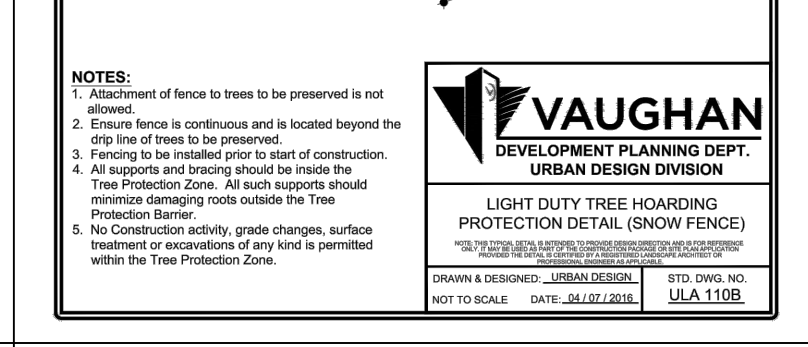
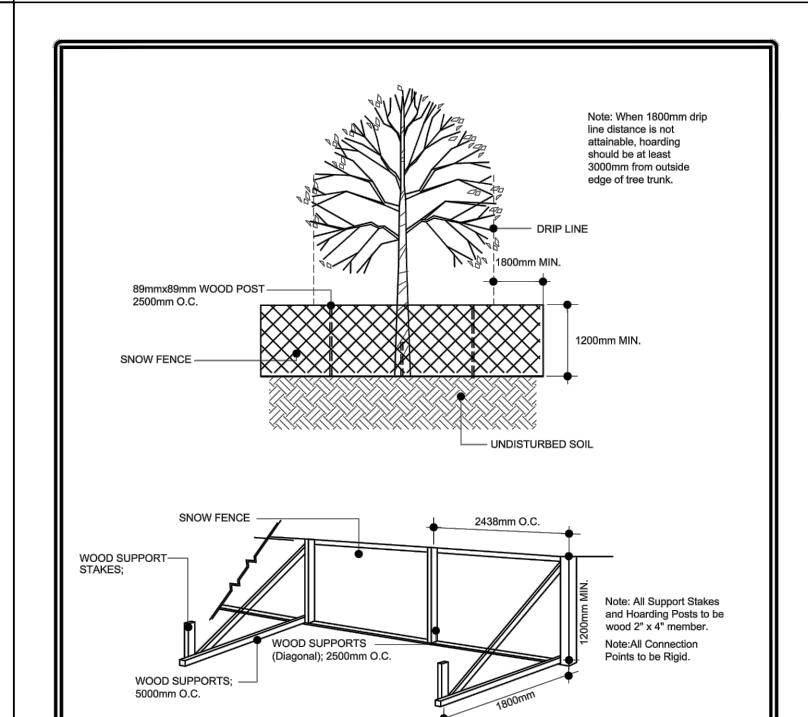


TFW - Reduced Thickness



CITY OF VAUGHAN
 DEVELOPMENT/ TRANSPORTATION ENGINEERING DEPARTMENT
 LOT GRADING NOTES

- All Site Plans, Drawings And Construction Shall Comply With The City Of Vaughan Lot Grading Criteria, City Of Vaughan Engineering Standards, And Applicable Provincial Standards, The Ontario Building Code, Subdivision Agreement And By-Law 1-88 Unless Otherwise Approved.
- Approval Of This Site Plan Does Not Release The Submitter/Applicant/Owner Of Their Responsibilities To Ensure The Proposed Drainage Works Are Compatible With The Overall Drainage Within The Subdivision. Proposed Lot Drainage Shall Not Adversely Affect Adjacent Properties.
- Alterations To Existing Grades Shall Not Be Permitted Within 600mm OF Lot Lines Unless Specifically Approved As Part Of This Permit. The Approved Grading/Drainage Pattern For This Lot/Block Shall Be Maintained And Alterations Not Approved As Part Of This Permit Shall Be Restored By The Submitter/Applicant/Owner To The Satisfaction Of The City Of Vaughan.
- Sedimentation/Siltation Control Measures Shall Be Installed Prior To Construction And Offset A Minimum Of 600mm From Lot Lines. These Measures Shall Be Maintained In Order To Prevent Adversely Affecting Adjacent Properties. Refer To Attached Sample Drawing.
- Sanitary And Storm Inlets Elevation Shall Be Shown On Main Lateral Connection And At Property Line. City Engineering Department/York Region Approval Is Required For Sanitary, Storm And Water Box Location And Installation To The Lot Line Prior To Construction.
- Water, Storm And Sanitary Lines That Are To Be Reused Or Decommissioned Are To Be Identified On The Drawing.
- Downspouts Of Rain Water Leaders Shall Discharge Onto Splash Pads And Drain Towards The Street. Splash Pads Shall Outlet Over Sodded Land Where Possible To Encourage Infiltration Of Surface Runoff.
- High Point On Split Lot Driveway To Be A Minimum Of 2.0m Behind Front Downspout Location To Ensure Drainage Outlets To Street.
- Top Of Foundation Walls, Exterior Cladding, Window And Door Sills Shall Be A Minimum Of 150mm Above Finished Grade.
- The Designer/Consultant/Engineer/Architect Is Responsible To Ensure That Height, Thickness, Lateral Bracing, Etc. Of All Foundation Walls Conform To Obs. Obs Subsection 9.1.4.4 Shall Apply.
- All Front And Rear Yards Shall Be Graded At A 2% - 5% Gradient Within 5m Of The Building.
- Drainage Swales Shall Be Graded With A 2% - 4% Gradient. Desirable Swale Depth Is 250mm. Minimum Swale Depth Is 150mm. Maximum Swale Depth Is Variable And Depends On Location And Safety Considerations, But Must Not Exceed 300mm.
- Centerline Of Swales Shall Be Located 600mm From Lot Lines Unless Otherwise Approved.
- Centerline Of Swales Must Not Be Located Within 1.0m From Any Foundation Wall.
- Artificial Embankments Or Retaining Walls Shall Not Be Permitted Unless Approved As Part Of This Permit. The Maximum Embankment Slope Shall Be 3:1 (Horizontal To Vertical) With A Maximum Grade Differential Of 600mm.
- Proposed Retaining Walls Are To Be Constructed In Accordance With The City Of Vaughan Lot Grading Criteria And By-Law 1-88. Retaining Walls Exceeding 1.0 Meter In Height Shall Be Designed, Inspected And Certified By A Professional Engineer And Shall Be Served By Guards Or Otherwise Treated To Reduce Any Public Hazards. Retaining Walls Shall Be Constructed Of Stone, Precast Blocks Or Concrete. A Retaining Wall Which Exceeds 1.0 Meter In Height Must Be Back From The Nearest Property Line Or Distance Equal To Its Height.
- Driveway Grades Shall Be 1.0% - 1.5% And Compatible With Approved Sidewalk Grades. Boulevard Grades Shall Be 2% - 5%.
- Driveways Shall Be A Minimum Of 1.0m From Any Tree, Catch Basin Or Above Ground Utility Or Other Obstruction.
- Water Service Slope Are To Be Located In The Grass Portion Of The Front Yard. As Per City Of Vaughan Standard 1-1.
- Driveways, Curb Cuts And Driveway Culverts Shall Be Located, Approved And Constructed In Accordance With The Requirements Of The City Engineering Department, York Region And By-Law 1-88. A Separate Permit Is Required From The City Engineering/Public Works Department For Curb Cuts And Or Proposed Culverts.
- Footings Constructed Next To Catch Basin Lead Pipe Or Other Municipal Service Shall Be Inspected Below Lead Pipe Excavation. Footings Must Be Constructed On Undisturbed Soil Or Soil Consolidation Verification Required.
- If The Proposed Construction Is In An Area Of Fill A Professional Engineer Is To Inspect The Excavation And Certify The Stability And Bearing Capacity Of The Soil Prior To Construction.
- Prior To Letter Of Credit Release The Owner Shall Submit An As-built Survey Illustrating Both Proposed And As Constructed Grade Elevations. A Storm Water Management Report Authored By A Professional Engineer Or Lot Grading Certification By A Professional Engineer Or Ontario Land Surveyor Shall Be Submitted To The City Upon Their Request.
- Post Construction Flows, From A 5 Year Storm Frequency, Shall Not Exceed The Flow For Preconstruction Conditions. For The Same Storm, Unless It Is Demonstrated To The Satisfaction Of The City That Uncontrolled Flows Will Not Adversely Affect The Existing Drainage Patterns, (These Flows Shall Be Computed Using The Rational Method Only).
- The Building Shall Be Located On The Building Site Graded So That Water Will Not Accumulate At Or Near The Building And Will Not Adversely Affect Adjacent Properties. Obs 9.14.6.1 (1)
- Tree Approval Required Where Grade Changes Will Occur That Affect Regulated Areas: Existing Natural Or Artificial Watercourse, Open Channel, Swale Or Ditch Used To Drain Land.
- Driveway To Be Interlocking Stone Or Patterned Concrete. Asphalt Driveway Is Not Permitted. (Amended For 65m-378)



Lot Area	1141.22 sm	(0.114 ha)
Zoning	R1V	
Average Grade		231.10

Ground Floor	170.04 sm	1830.4 sf
Second Floor	184.85 sm	1989.8 sf
Total Gross Floor Area	354.90 sm	3820.2 sf
Garage	56.88 sm	612.3 sf
Finished Basement	184.86 sm	1989.9 sf

Proposed Footprint	20.47%	233.64 sf
Proposed Front Porch	0.53%	5.99 sm
Proposed Rear Porch	4.88%	53.44 sm
Proposed Cabana	1.72%	20.18 sm
Total Proposed Coverage	27.49%	313.26 sm
Max Allowed Coverage	20.00%	228.24 sm

Front Yard Area	62.89%	167.95 sm
Front Landscape Area	105.63 sm	
Front Landscape Soft Area	91.34%	96.48 sm
Rear Yard Area	544.57 sm	
Rear Landscape Area	85.25%	464.23 sm
Rear Landscape Soft Area	60.07%	327.12 sm

Variance #1

SURVEYOR'S CERTIFICATE
 I Have Reviewed The Plans For The Construction Of This Property And Have Prepared This Plan To Indicate The Compatibility Of The Proposed To Existing Adjacent Properties And Municipal Services. It Is My Belief That Adherence To The Proposed Grades As Shown Will Produce Adequate Surface Drainage And Proper Facility Of The Municipal Services Without Any Detrimental Effect To The Existing Drainage Patterns Of Adjacent Properties.

August 6, 2024
 DATE

The Undersigned Has Reviewed And Takes Responsibility For This Design, And Has The Qualifications And Meets The Requirements Set Out In The Ontario Building Code To Be A Designer. Qualification Information Required Unless The Design Is Exempt Under Division C-3.2.5.1. Of The 2012 ONTARIO Building Code.
 Peter Gordano 25061 BCIN
 Registration Information Required Unless The Design Is Exempt Under Division C-3.2.4.1. Of The 2012 ONTARIO Building Code.
 DAVID W. SMALL DESIGNS INC. 29999 BCIN
 Firm Name

10	Oct 11/23	Client Requested Revision - Cabana Shift
9	Mar 3/23	Pool Equipment Added
8	Feb 15/23	Removed Service and Grading Layers
7	Jan 25/23	Cabana Location Revision
6	Jan 20/23	Revised As Per Landscaping Comments
5	Nov 10/22	Revised As Per Zoning Comments
4	May 19/22	Revised As Per Development Engineering Comments
3	Apr 05/22	Revised As Per Development Engineering Comments
2	Feb 25/22	Revised As Per Arborist Coordination
1	Feb 15/22	Issued To Owner For Zoning Approvals
no.	date	revision / comment

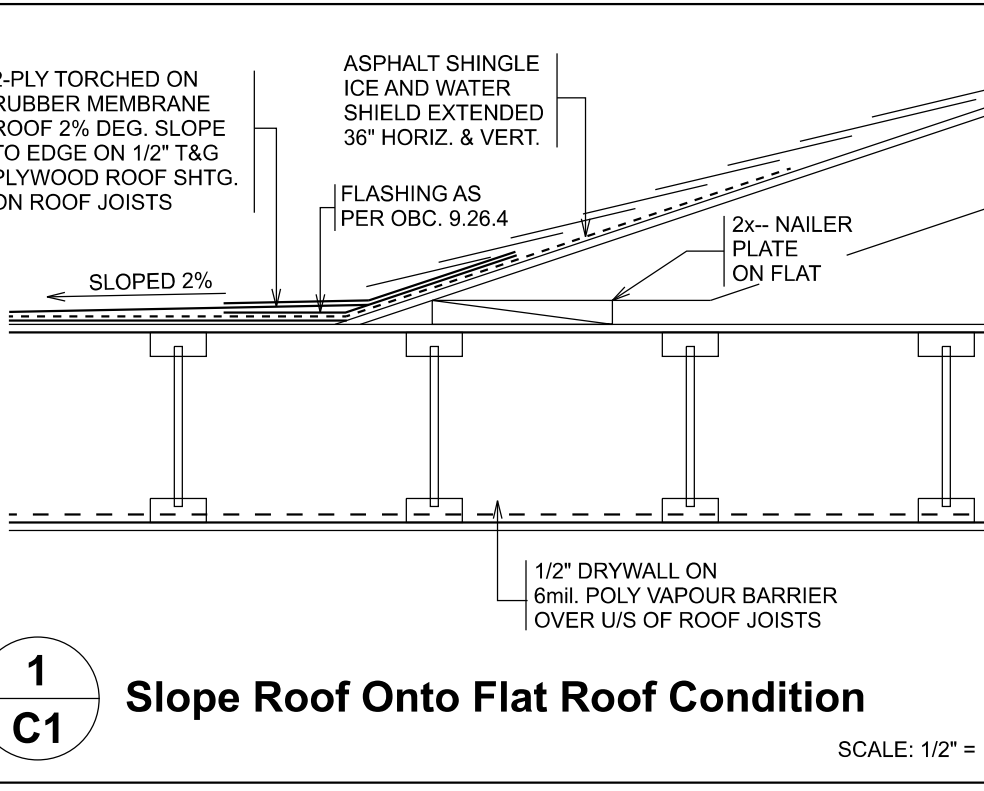
Project:
 The Holt Home
 56 Netherford Road
 Lot 57
 Registered Plan 5590
 City of Vaughan,
 Regional Municipality of York

Drawing:
 Scale: 1:150
 Date: Feb 2022
 Dwn by: MM
 Proj. no.: 21-1944



Elevation Notes

- ② Prefinished 'natural' wood siding to comply with ONT. Reg. 332/12 subsection 9.27.6. Lumber-siding and table 9.27.5.4.
- ② Blocking or furring for the attachment of siding to comply with 9.27.5.2 and 9.27.5.3, and as per manufacturer's specifications
- ③ All stucco to be DuROCK® EIFS PU C.C.S. exterior insulation and finish system CCMC 1269R approved - install as per OBC 9.28. and manufacturer's specifications - note use 'Polar Bear' by DuROCK for air/moisture barrier below stucco in place of Tyvek or equivalent product specified for all walls not clad in stucco
- Note: All over-hangs are 4" inset from stone facing on ground floors (typical)
- Note: Refer to roof plan for all roof slopes and overhang info
- A Stepped footing per OBC 9.15.3.9.
- B Glazing to be tempered glass (if operable window provide opening restrictor) - Comply with OBC 9.8.8.1(5) and (6)



Exterior Colours & Materials Chart

EXTERIOR FEATURE	PRODUCT DETAILS
NATURAL STONE	Rustic Cedar (Limestone) - Dimensional
BRICK	Cushwa Brick, Stonewall
SMOOTH STONE	Indiana Limestone, Standard Buff Alt. Option: Precast Concrete, Buff Tone
STONE TRIM, SILLS, SURROUNDS & LINTELS	Indiana Limestone, Standard Buff Alt. Option: Precast Concrete, Buff Tone
STUCCO	Benjamin Moore, Silver Satin, OC-26
DARK TRIM, BRACKETS & DECORATIVE VENTS	Benjamin Moore, Black Beauty, 2128-10
ACM PANELS	Alumtech Bond, ACM, Colour: Metallic Grey
ALUMINUM EAVES & FASCIA	Gentek, Black
ASPHALT SHINGLES	Certaainted, Landmark, Colonial Slate
METAL ROOFING	Black
WINDOW FRAMES	Black
FRONT DOOR	Stain Finish: Minwax, Coffee
GARAGE DOOR	Stain Finish: Minwax, Coffee
COVD PORCH POSTS	Benjamin Moore, Black Beauty, 2128-10

NOTE: ALL MATERIALS AND COLOURS ARE SUBJECT TO CLIENT'S PHYSICAL SAMPLE REVIEW TO CONFIRM DESIRED FINISH

Schedules

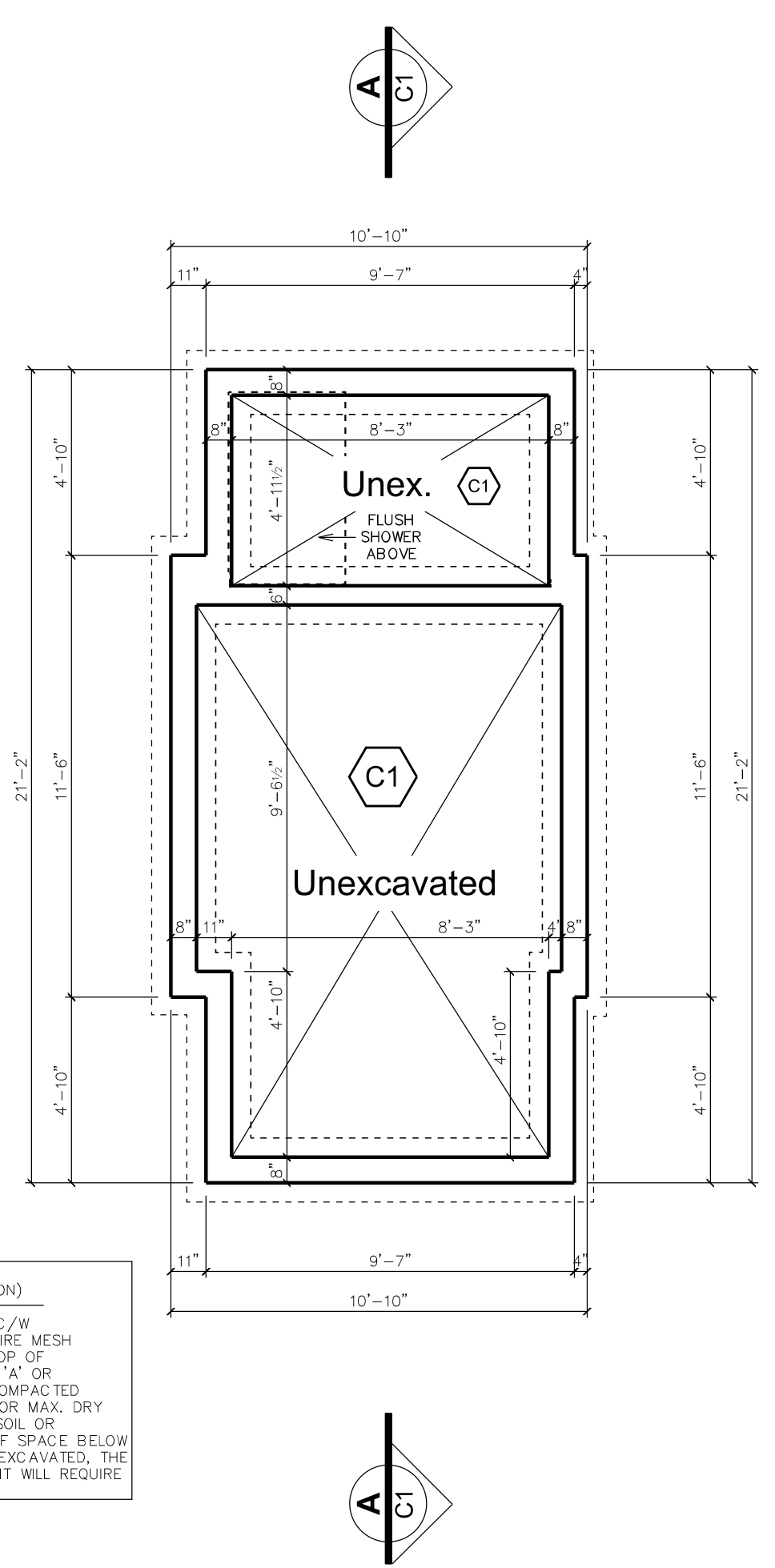
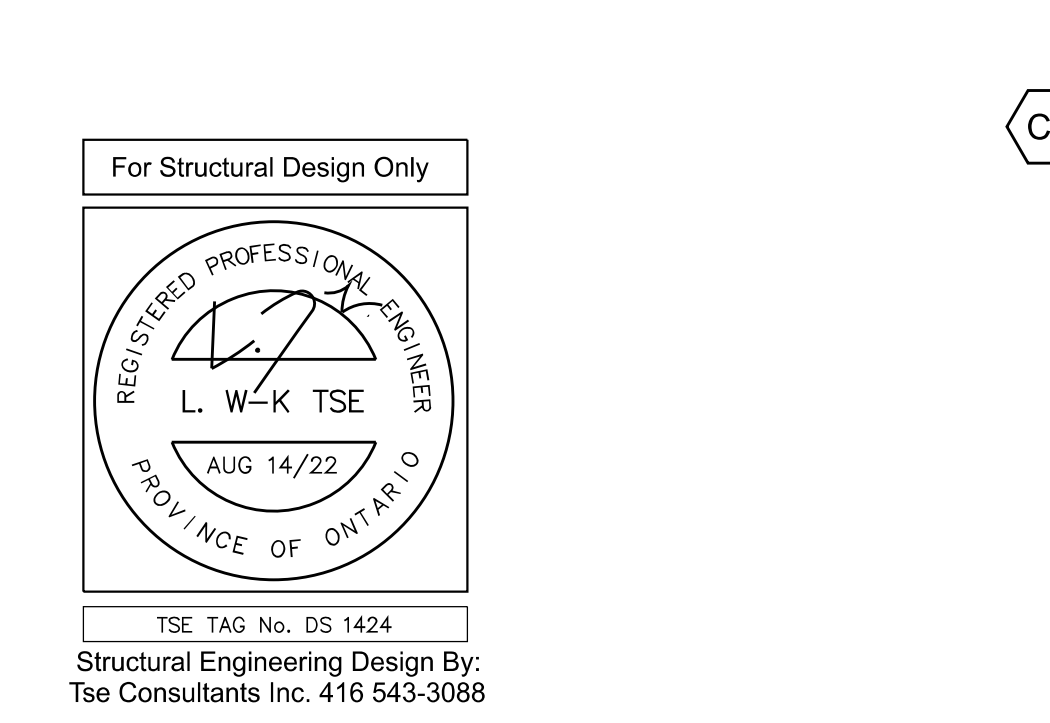
Wood Lintels / Beams					
B1 2-2x8	B7 2-2x12	B13 1-9.5" LVL	B19 1-14" LVL	Note: where solid (1) piece lumber shown - do not substitute multiple ply	
B2 3-2x8	B8 3-2x12	B14 2-8.5" LVL	B20 2-14" LVL		
B3 4-2x8 Bolted	B9 4-2x12 Bolted	B15 3-9.5" LVL	B21 3-14" LVL		
B4 2-2x10	B10 1-7.25" LVL	B16 1-11.88" LVL	B22 2-16" LVL		
B5 3-2x10	B11 2-7.25" LVL	B17 2-11.88" LVL	B23 2-16" LVL		
B6 4-2x10 Bolted	B12 3-7.25" LVL	B18 3-11.88" LVL	B24 3-16" LVL		

Columns / Posts					
P2 2-2x8	P4 4-2x8	P6 3-2x4	P8 5-2x4	P10 6x6	P12 4-2x8
P3 3-2x8	P5 5-2x8	P7 4-2x4	P9 4x4	P11 3-2x8	

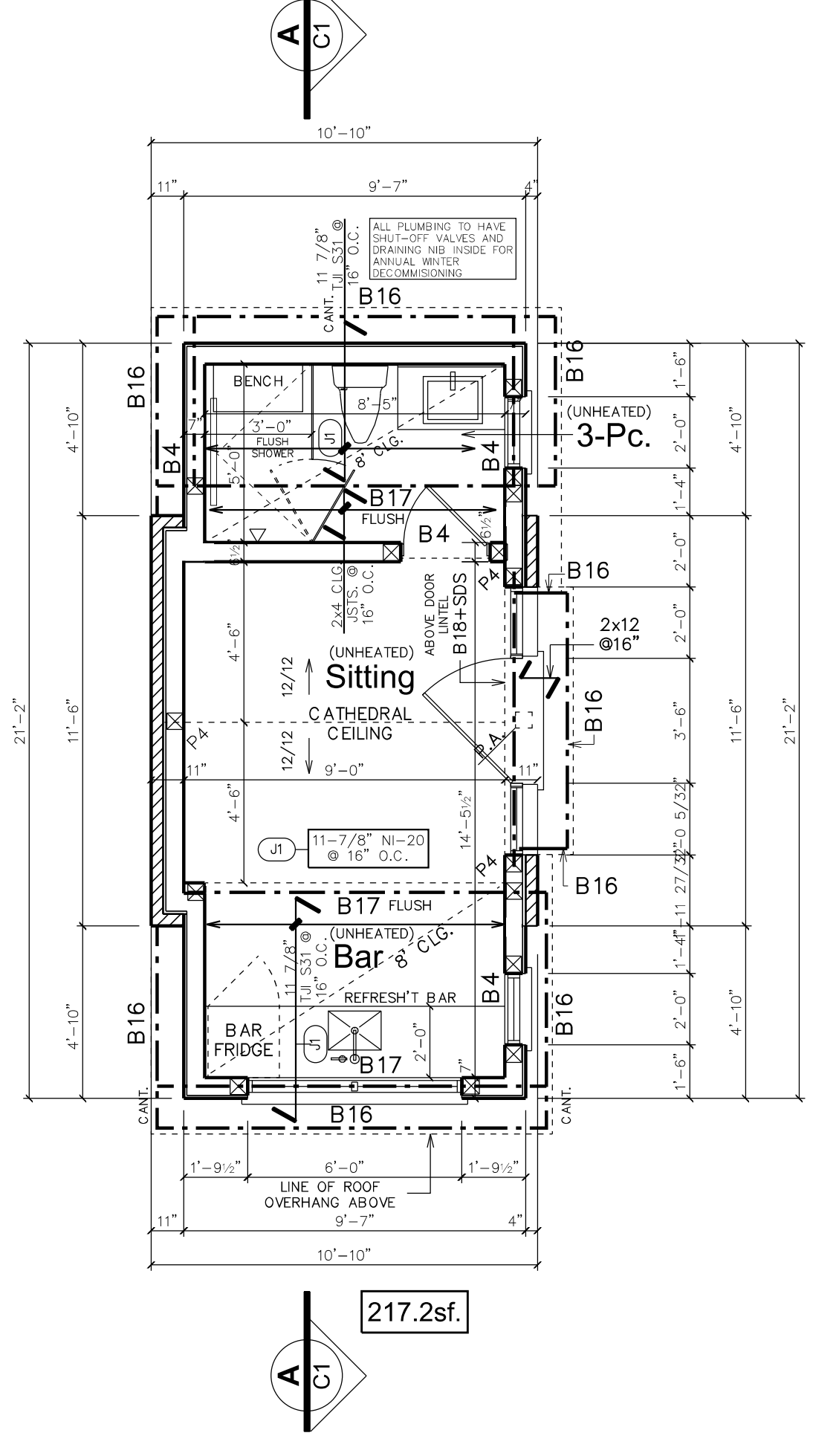
Steel Lintels					
L1 3.5" x 3.5" x 1/4"	L3 5" x 3.5" x 5/16"	L5 6" x 4" x 3/8"			
L2 5" x 3.5" x 1/4"	L4 5" x 3.5" x 3/8"	L6 7" x 4" x 1/2"			

Steel Plates					
WP1 = 6" x 5/8" x 10" + (2) 5/8" Diameter Anchor Bolts					
WP2 = 6" x 7/8" x 14" + (2) 3/4" Diameter Anchor Bolts					
WP3 = 11" x 11" x 11" + (2) 3/4" Diameter Anchor Bolts					

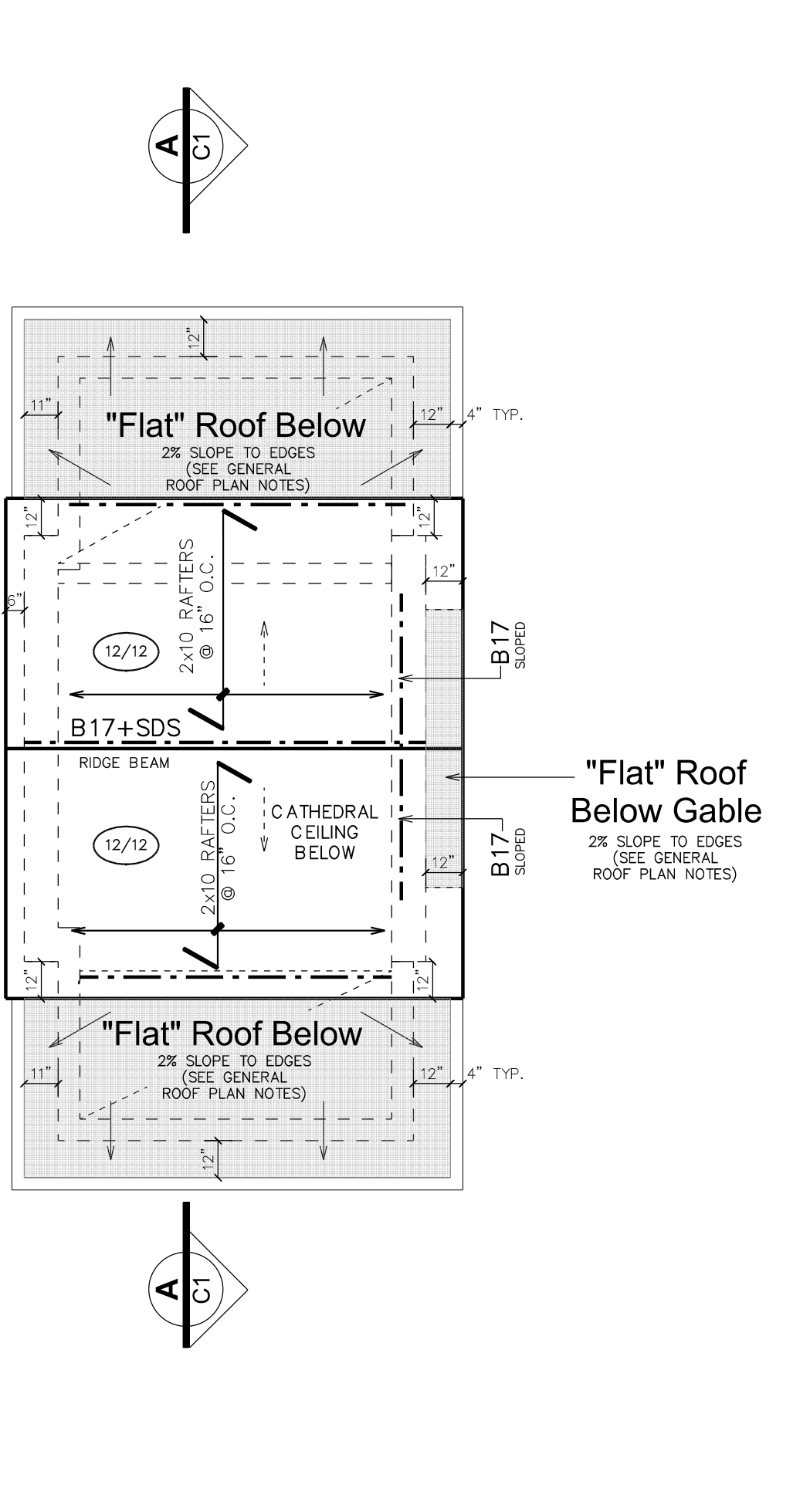
Concrete Footings					
F1 24" x 24" x 12" Deep	F6 54" x 54" x 18" Deep c/w 7-15M BEW				
F2 30" x 30" x 14" Deep	F7 60" x 60" x 18" Deep c/w 7-15M BEW				
F3 36" x 36" x 16" Deep	F8 66" x 66" x 20" Deep c/w 8-15M BEW				
F4 42" x 42" x 18" Deep c/w 5-15M BEW	F9 72" x 72" x 20" Deep c/w 10-15M BEW				
F5 48" x 48" x 18" Deep c/w 5-15M BEW	F10 78" x 78" x 22" Deep c/w 11-15M BEW				



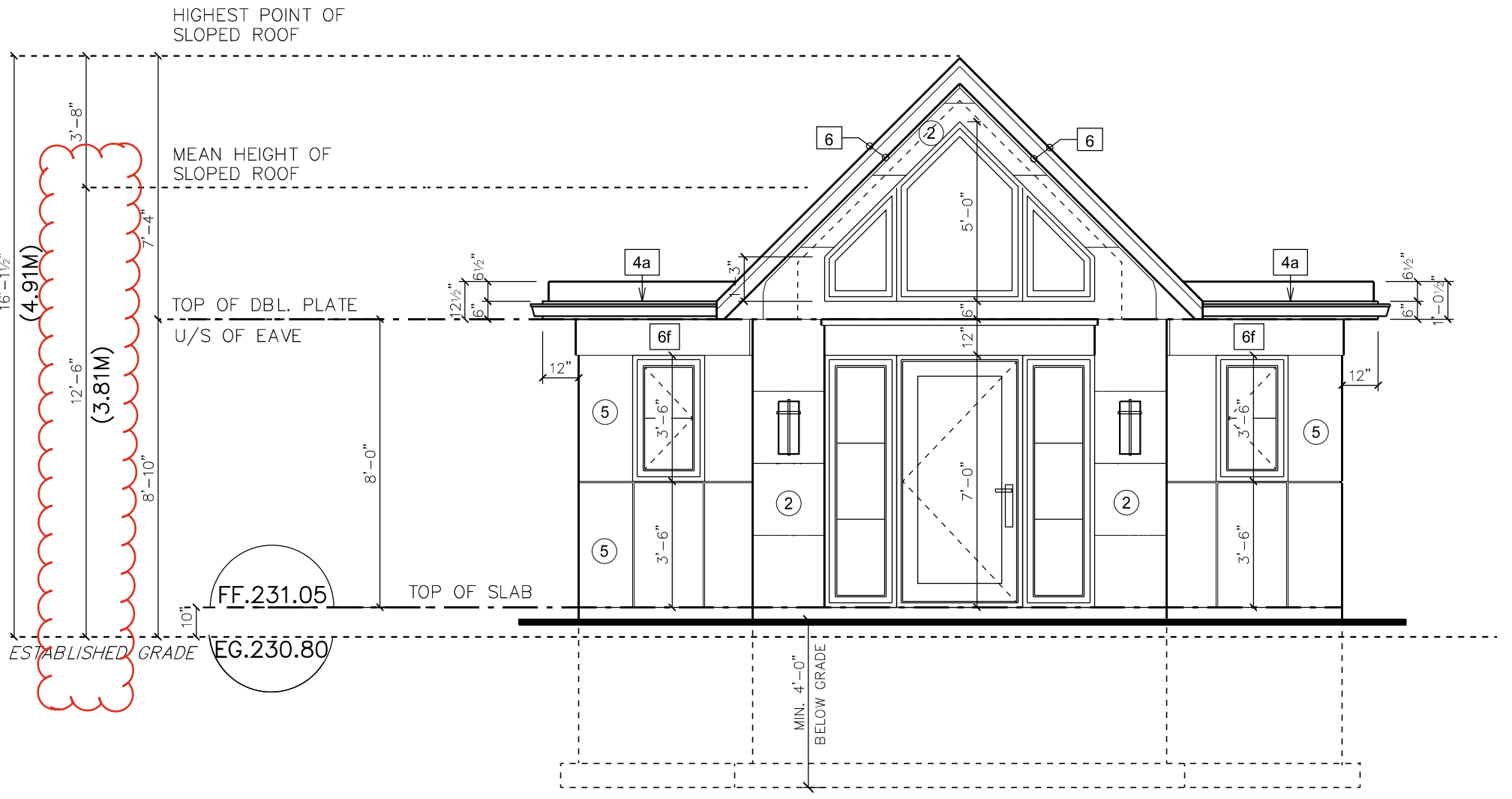
Foundation Plan



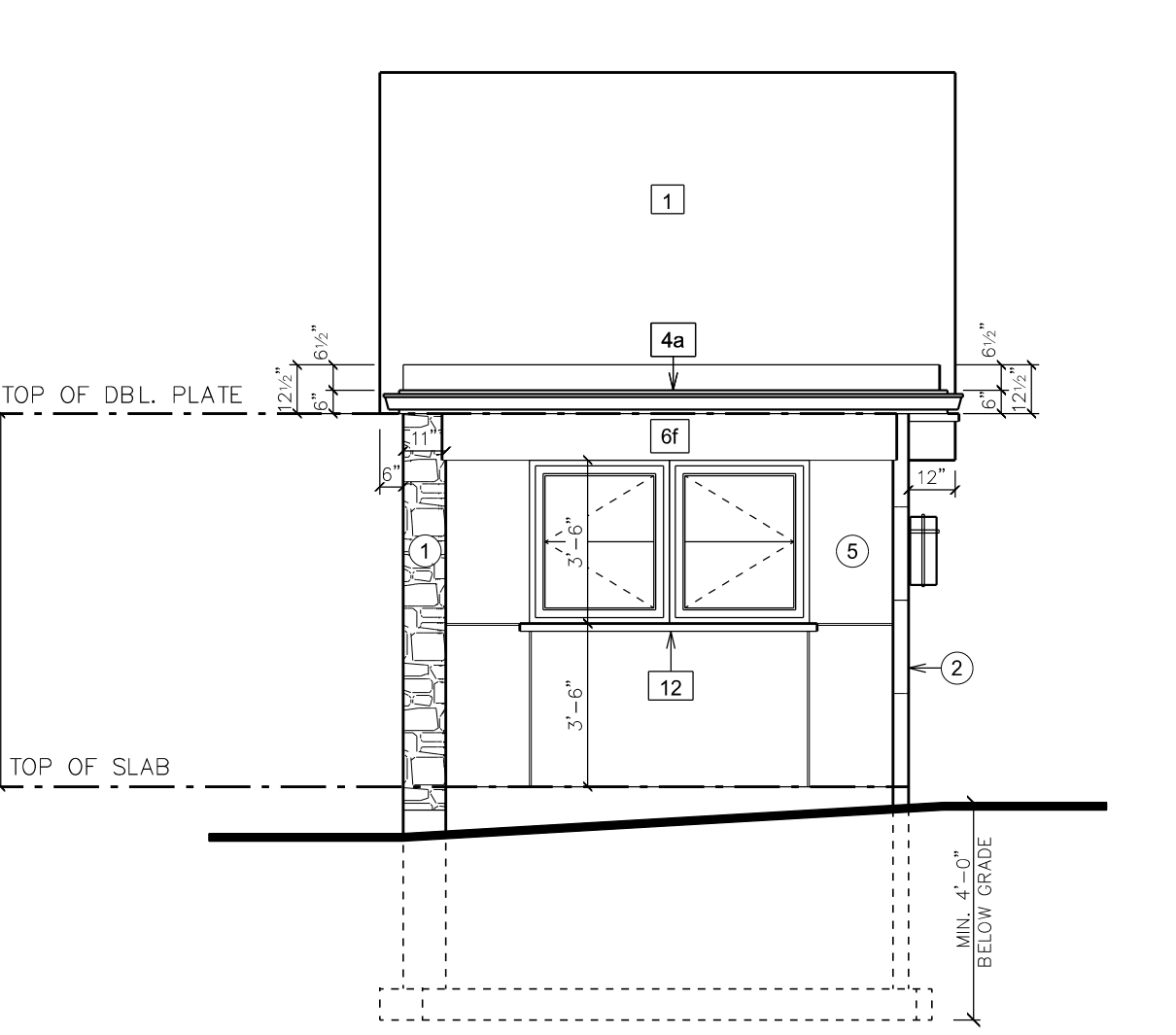
Ground Floor Plan



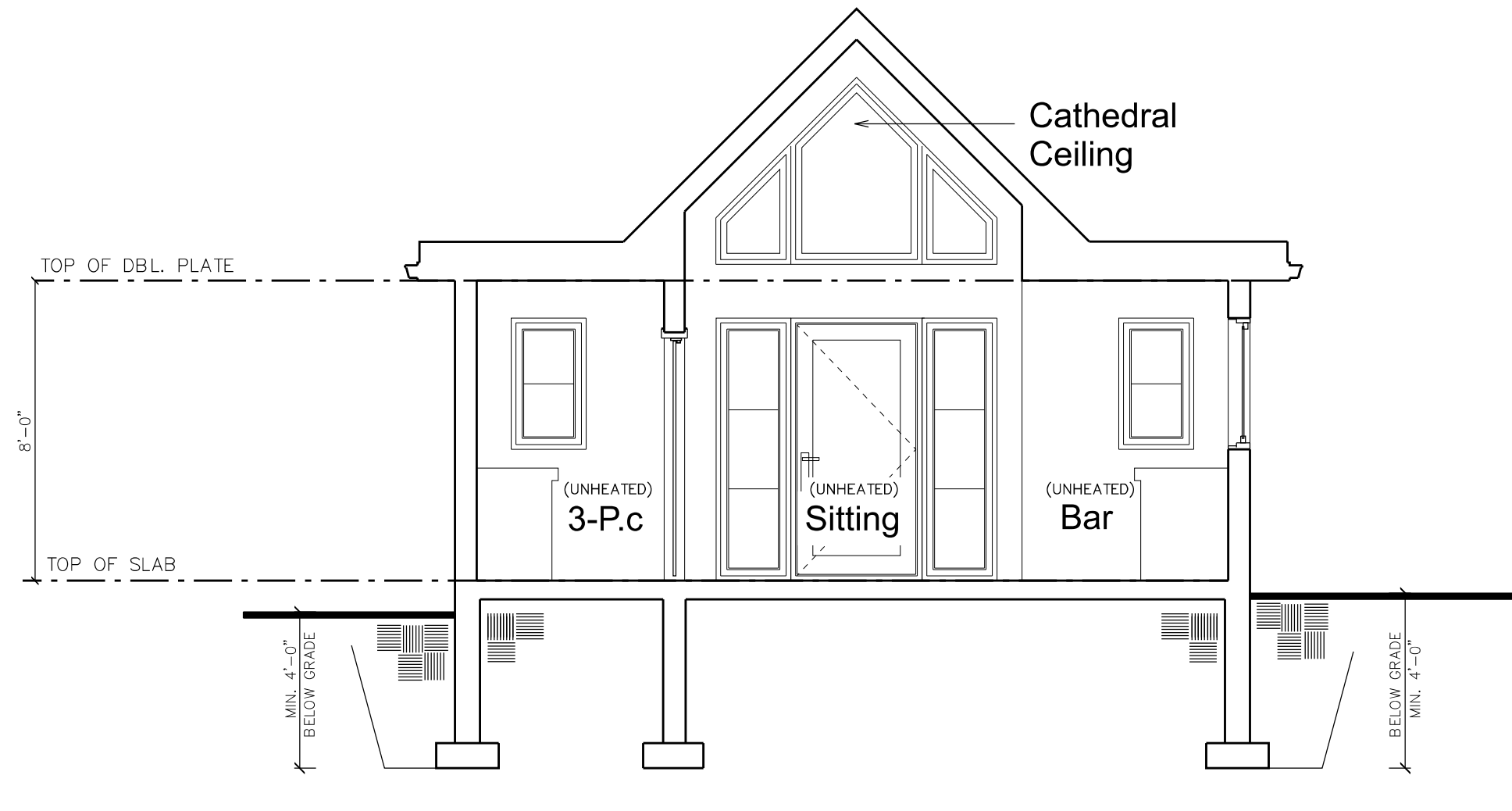
Roof Plan



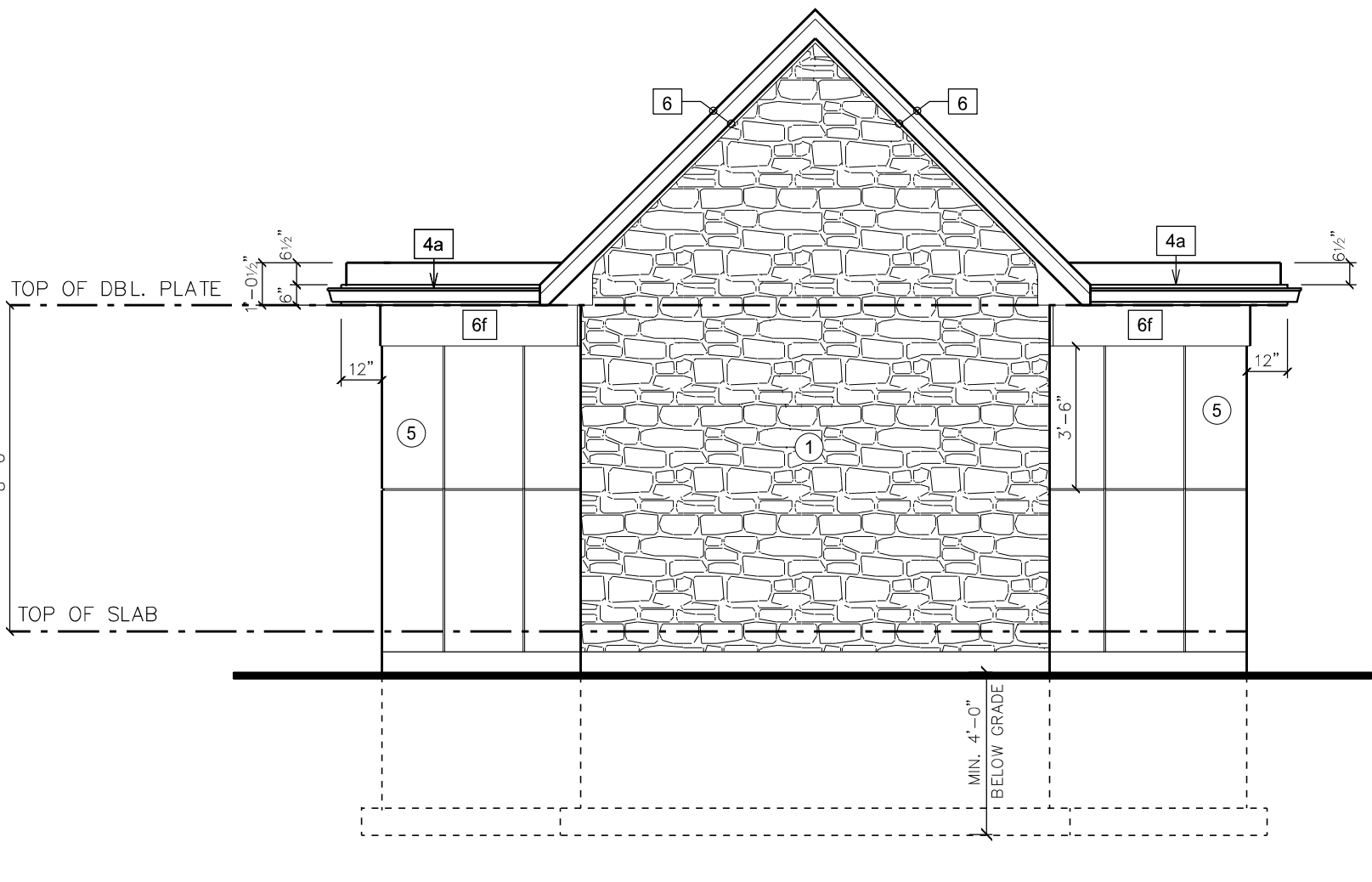
Front (North-West) Elevation



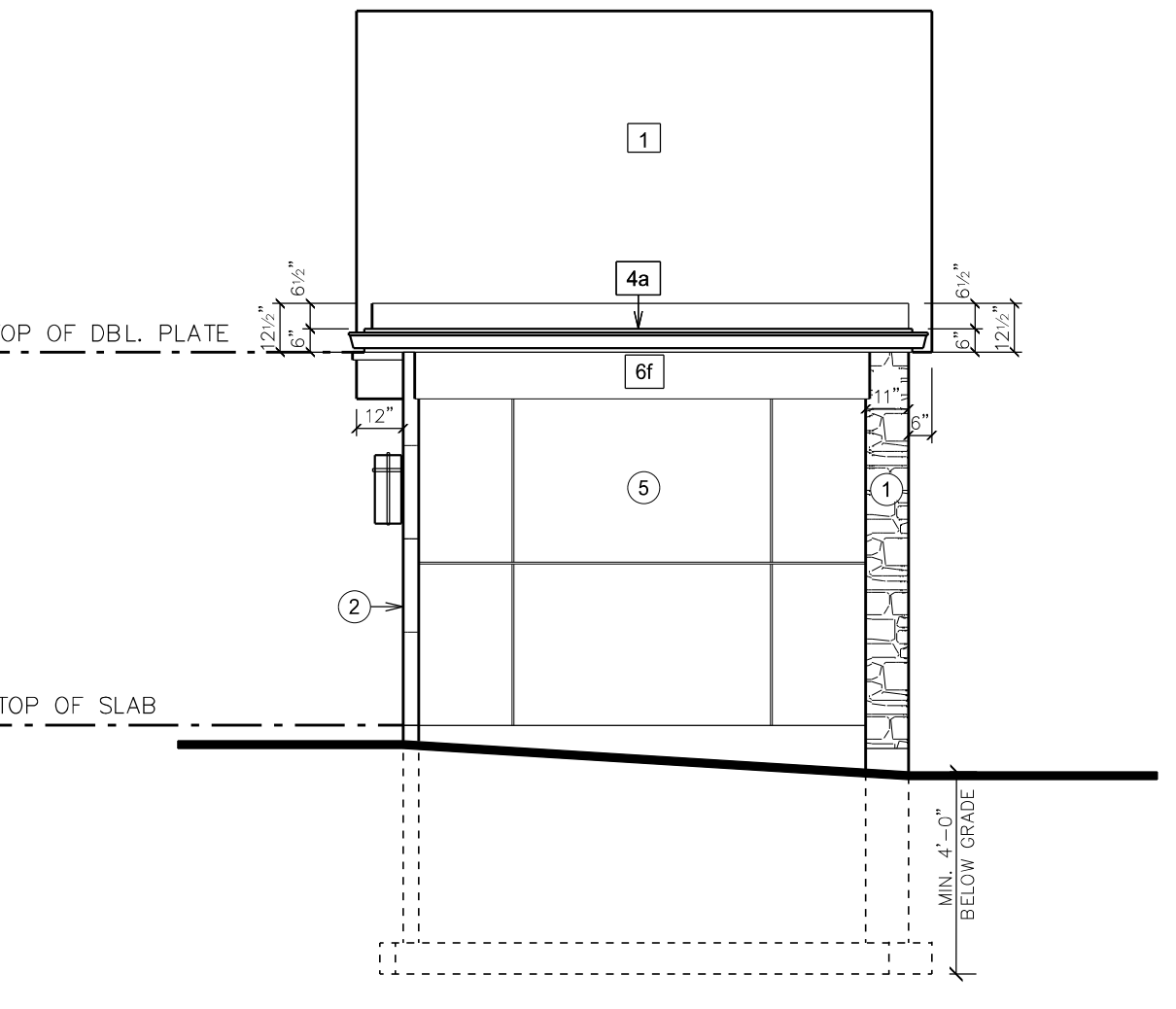
Right-Side (South-West) Elevation



Section A-A



Rear (South-East) Elevation



Left-Side (North-East) Elevation

Drawing Legend

- 1.0 Materials**
 - ① Natural Stone
 - ② Cut Stone
 - ⑤ ACM Panel
- 2.0 Roofing**
 - 1 40 Year Asphalt Shingles
 - 2 2-Ply Torch On Rubber Membrane Roof Sloped To 2% To Outside Edge On 1/2" Plywood Roof Sheathing On Roof Trusses/Joists
- 3.0 Trim, Cornice, Moulding, & Gutter Notes**
 - 4a 12" Wide Prefinished Aluminum Fascia c/w Starter Strip & Drip Edge 1"x12" Base Fascia Board 1"x6" Flat Stock 5" Square Bent Prefinished Aluminum Eaves Trough
 - 6r 12" Flat Aluminum Trim
 - 12 2" Aluminum Sill w/ 2" Projection

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. Qualification information required unless the design is exempt under Division C - 3.2.1.1. of the 2012 Ontario Building Code.

Peter Giordano
Name: [Signature] 2061 BCN
Registration information required unless the design is exempt under Division C - 3.2.4.1. of the 2012 Ontario Building Code.
David W. Small Designs Inc. 2000 BCN
Firm Name: [Signature]

no.	date	revision / comment
4	Jun 07/23	Revisions As Per City Comments
3	Mar 22/23	Cabana Revisions
2	Aug 15/22	Coordination With PEng - TSE Consultants
1	Feb 15/22	Issued To Owner For Zoning Approvals

Project:
The Holt Home
56 Netherford Road
Lot 57
Registered Plan 5590
City of Vaughan
Regional Municipality of York

Cabana
Scale: 1/4" = 1'-0"
Date: Feb 2022
Dwn by: C/J/NM/BS
Proj. no.: 21-1944

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: December 12th 2024

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A192-24**

Related Files:

Applicant: David Small Designs

Location 56 Netherford Road



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

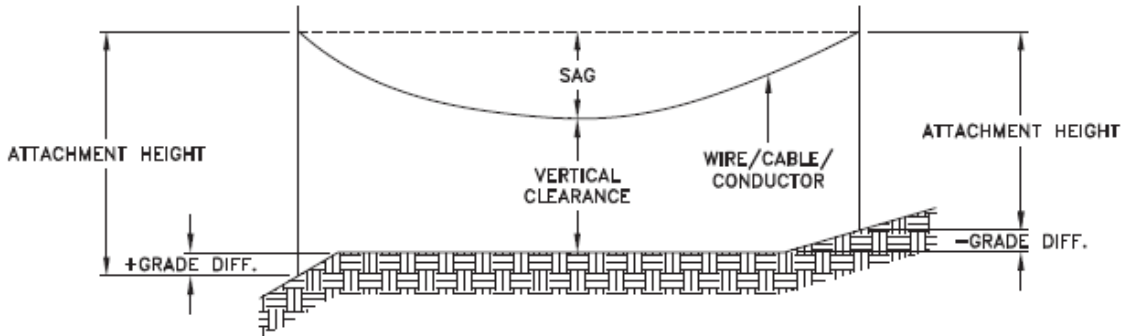
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

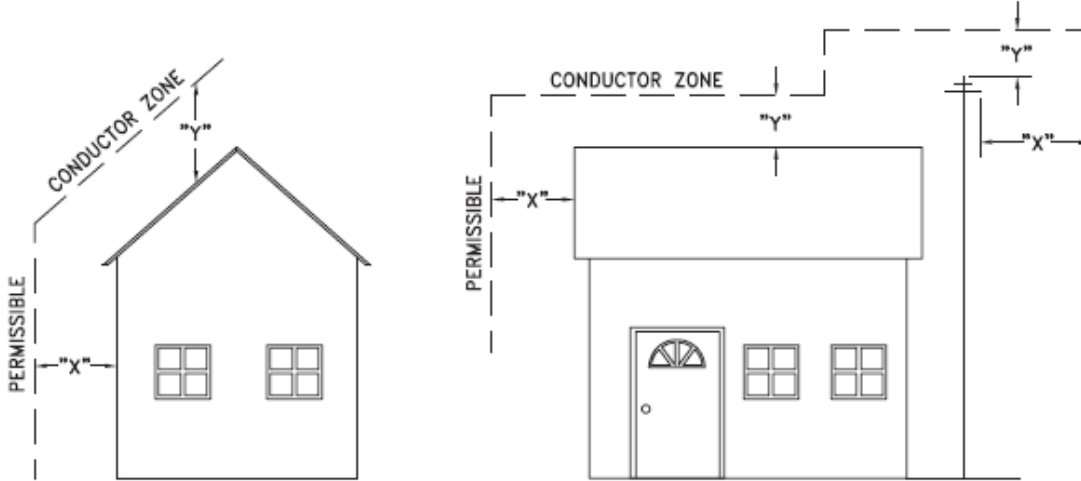
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Gregory Seganfredo, Building Standards Department
Date: November 28, 2024
Applicant: David Small Designs
Location: 56 Netherford Road
 PLAN RP5590 Lot 57
File No.(s): A192/24

Zoning Classification:

The subject lands are zoned R1E(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.534 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A maximum lot coverage of 23% is required [Table 7-3].	To permit a maximum lot coverage of 27.45%
2	In any Residential zone, the maximum height of a residential accessory structure shall be 3.0 m. [Section 4.1.4.1].	To permit a maximum height of 3.81 metres for a residential accessory structure.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file.

Building Permit(s) Issued:

Building Permit No. 22-137149 for Single Detached Dwelling - New, Issue Date: (Not Yet Issued)

Building Permit No. 22-142966 for Shed/Gazebo - New, Issue Date: (Not Yet Issued)

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development and Parks Planning
Date: January 24, 2025
Name of Owner: Linda Holt
Location: 56 Netherford Road, Maple
File No.(s): A192/24

Proposed Variance(s) (By-law 001-2021):

1. To permit a maximum lot coverage of 27.45%.
2. To permit a maximum height of 3.81 m for a residential accessory structure.

By-Law Requirement(s) (By-law 001-2021):

1. A maximum lot coverage of 23% is required.
2. In any residential zone, the maximum height of a residential accessory structure shall be 3.0 m.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:Background

The Committee of Adjustment approved Minor Variance Application, File A026/23, to permit the construction of a new detached dwelling on the Subject Lands. The variances approved through the application included increase to the lot coverage, increase to the maximum building height, and increase to the maximum height for a residential accessory structure.

Analysis

The Owners are seeking relief to permit the construction of a new detached dwelling, with the above noted variances.

The Development and Parks Planning Department has no objections to Variance 1 to permit a total lot coverage of 27.45%, whereas the Zoning By-law permits a maximum of 23%. The proposed dwelling and garage area accounts for 20.47% of the total lot coverage. The remaining lot coverage breakdown includes 0.53% for the front porch, 4.68% for the rear porch, and 1.77% for the cabana. In 2004 a comprehensive study and review of the redevelopment of specific established neighbourhoods was conducted. The review included the neighbourhood containing the Subject Lands. The study established development criteria which included a maximum 23% lot coverage for 2-storey detached dwellings. The coverage relates to the enclosed space of and attached to a dwelling. Additional lot coverage for accessory structures and unclosed porches and decks may be considered through site specific analysis. The lot coverage of the proposed two-storey dwelling meets the 23% lot coverage allowance per the study, and the additional lot coverage proposed is associated with the covered but unenclosed front porch and rear porch, and proposed cabana in the rear yard.

The Development and Parks Planning Department has no objection to Variance 2 to permit a residential accessory structure (cabana) to have a maximum height of 3.81 m. The cabana will be constructed in the southeast portion of the rear yard and complies with all setback requirements on the By-law. The addition 0.81 m in height is minimal in nature and is not anticipated to have any adverse massing impacts to the neighbouring properties.

An Arborist Report prepared by Welwyn Consulting, dated February 22, 2022, was submitted in support of the Application. The Forestry Department has reviewed the proposal and have no objections.

Accordingly, the Development and Parks Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development and Parks Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None.

Comments Prepared by:

Alyssa Pangilinan, Planner 1
Janany Nagulan, Senior Planner

From: [Cameron McDonald](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A192/24 - 56 NETHERFORD ROAD - CITY OF VAUGHAN, REQUEST FOR COMMENTS - COMMITTEE OF ADJUSTMENT
Date: Friday, December 6, 2024 12:24:51 PM
Attachments: [image002.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from the TRCA.

Based on the above, we have no comments/requirements.

Regards,

Cameron McDonald

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:(437)880-1925)

E: cameron.mcdonald@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



From: [Development Services](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A192/24 - 56 NETHERFORD ROAD - CITY OF VAUGHAN, REQUEST FOR COMMENTS - COMMITTEE OF ADJUSTMENT
Date: Wednesday, December 4, 2024 4:18:35 PM
Attachments: [image001.png](#)
[image003.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hi there,

The Region has completed its review of minor variance application A192/24 and has no comment. Please provide a copy of the notice of decision for our records.

Many thanks,

Christine Meehan, B.U.R.Pl., B. B. A | Planner (Intake Lead), Economic and Development Services Branch, Corporate Services Department

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 | christine.meehan@york.ca | www.york.ca

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Our Mission: **Working together to serve our thriving communities – today and tomorrow**

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Agent	Peter Giordano	1405 Cornwall Rd. Unit 4 Oakville L6J 7T5	01/29/2025	Applicant Presentation

56 NETHERFORD ROAD

Maple, ONTARIO

FILE No. CAV A192/24

COA HEARING DATE – February 6th, 2025

LOT 57 Registered Plan 5590

Authorized Agent – David Small Designs

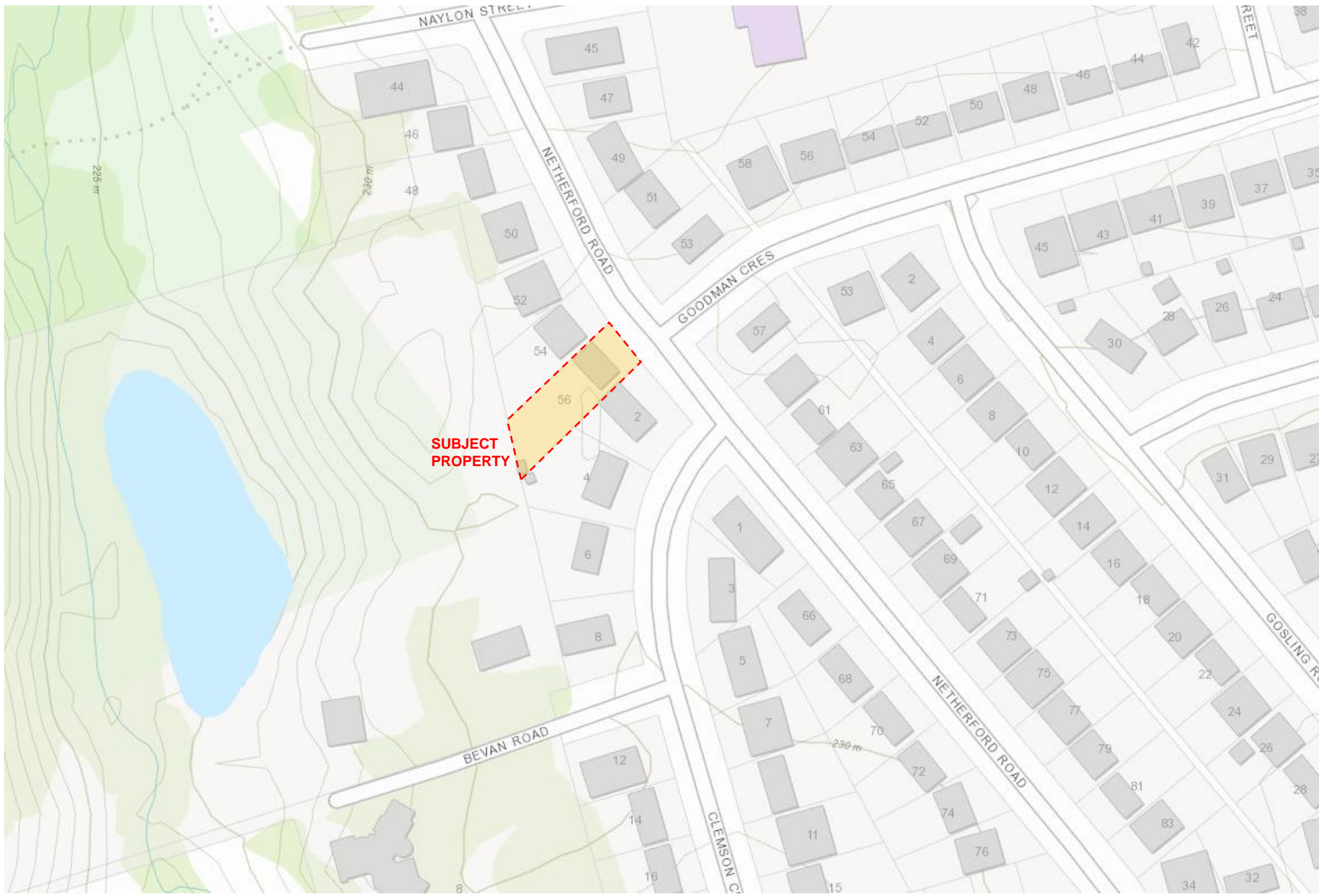
Representative – Peter Giordano

On behalf of the Owners Linda Holt

*** - NO CHANGE TO ORIGINALLY APPROVED CABAN OR POOL SIZE
ONLY THE SIDE YARD SETBACK IS DIFFERENT BUT NOT A VARIANCE ITEM**



#	Zoning By-law 001-2021	Variance requested
1	A maximum lot coverage of 23% is required [Table 7-3].	To permit a maximum lot coverage of 27.45%
2	A maximum height of 8.5 metres is required [Section 4.5.1.b.]	To permit a maximum height of 9.08 metres for the dwelling.
3	In any Residential zone, the maximum height of a residential accessory structure shall be 3.0 m. [Section 4.1.4.1].	To permit a maximum height of 3.81 metres for a residential accessory structure.



CONTEXT MAP

Naylon Parkette



#48

#50

#52

#54

#56

SUBJECT
PROPERTY

#2

#4

#6

#505

Goodman Crescent

Gosling Rd

Netherford Rd

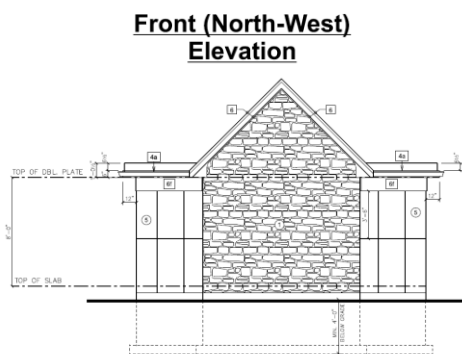
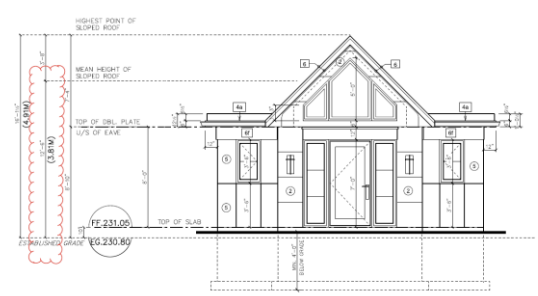
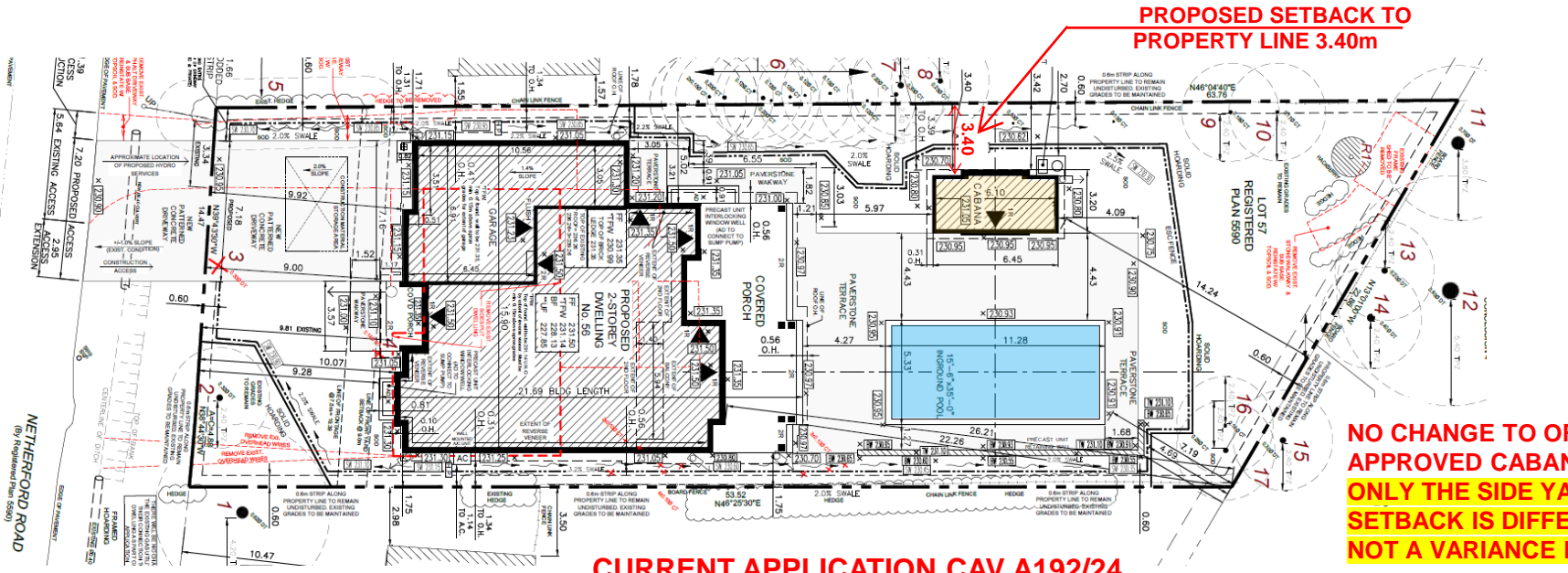
Goodman Crescent

Clemson Crescent

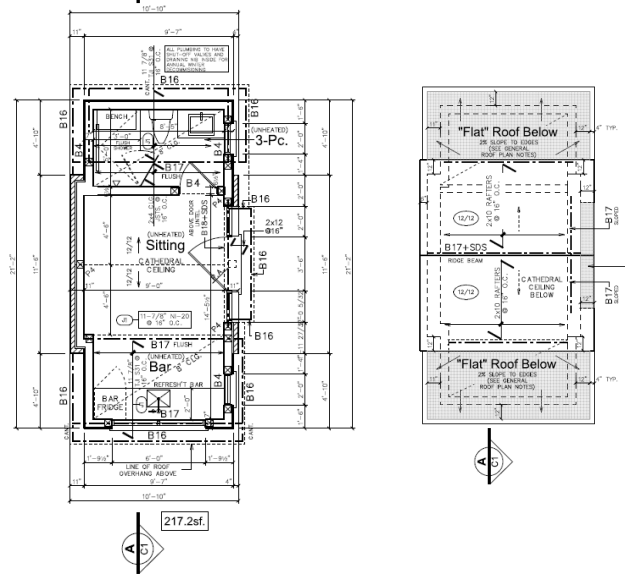
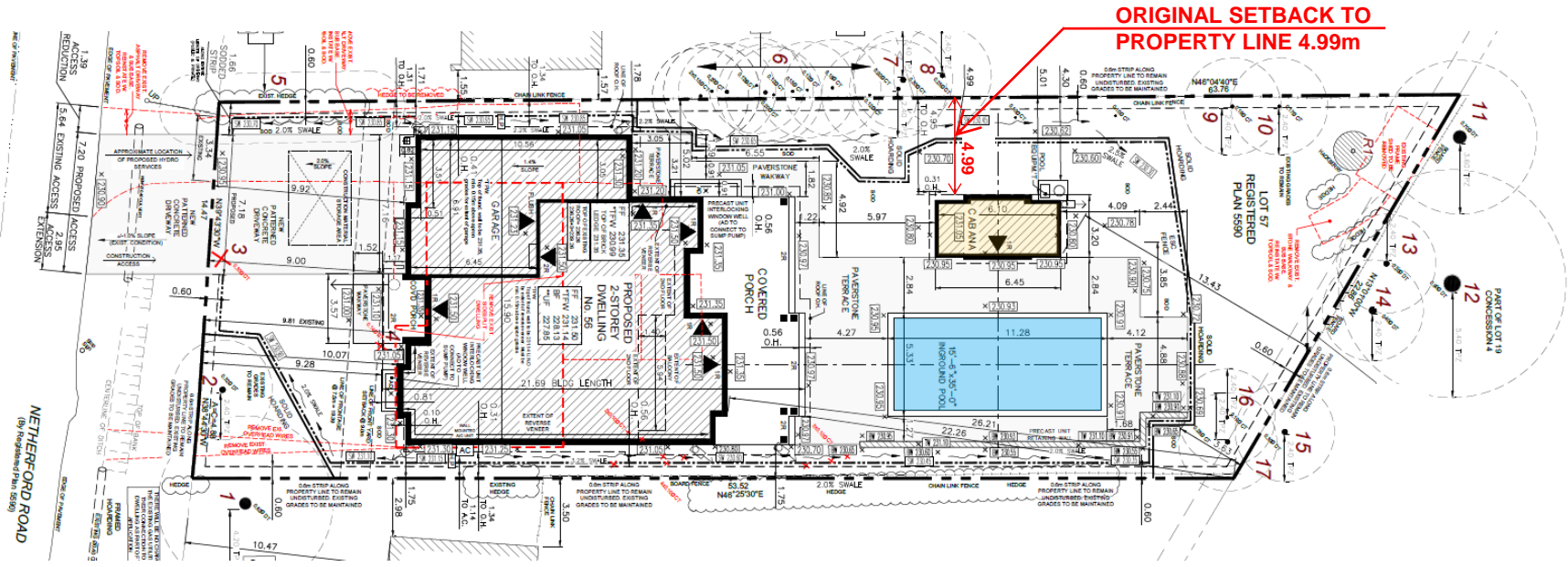
Netherford Rd

Page #

AERIAL MAP



NO CHANGE TO ORIGINALLY APPROVED CABAN OR POOL
ONLY THE SIDE YARD SETBACK IS DIFFERENT BUT NOT A VARIANCE ITEM



APPROVAL COMPARISON

PREVIOUS vs CURRENT



#2
CLEMSON

SUBJECT
PROPERTY



SUBJECT PROPERTY – REAR
YARD LOOKING REAR LEFT



#54

SUBJECT
PROPERTY



SUBJECT PROPERTY – REAR
YARD LOOKING RIGHT



SUBJECT PROPERTY – REAR
YARD LOOKING RIGHT

SCHEDULE D: BACKGROUND

Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
A026/23	Approved by COA

NOTICE OF DECISION
MINOR VARIANCE APPLICATION A026/23
Section 45 of the Planning Act, R.S.O, 1990, c.P.13

DATE OF HEARING:	April 24, 2023
APPLICANT:	Linda Holt
AGENT:	Rebecca Muise, David Small Designs
PROPERTY:	56 Netherford Road, Maple
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a proposed single family dwelling (with attached garage and covered porch), cabana, and swimming pool.

The following variances are being requested from the City's Zoning By-law:

The subject lands are zoned R1E(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.534 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A maximum lot coverage of 23% is required [Table 7-3].	To permit a maximum lot coverage of 27.45%
2	A maximum height of 8.5 metres is required [Section 4.5.1.b.]	To permit a maximum height of 9.08 metres for the dwelling.
3	In any Residential zone, the maximum height of a residential accessory structure shall be 3.0 m. [Section 4.1.4.1].	To permit a maximum height of 3.81 metres for a residential accessory structure.

Having regard to the requirements of Section 45 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, including the written and oral submissions related to the application, it is the decision of the Committee:

THAT Application No. **A026/23** for 56 Netherford Road, Maple be **APPROVED**, in accordance with the drawings and plans submitted with the application and subject to the following conditions:

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
<p>All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.</p> <p>It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart below for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.</p>		
1	Development Engineering Rex.bondad@vaughan.ca	The Owner / Applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading Division of the City's Development Engineering Department for final Lot Grading and/or Servicing Permit prior to any work being

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
		undertaken on the property. Please visit the Grading Permit page at City of Vaughan website to learn how to apply for the Grading Permit. If you have any questions about Grading Permit, please contact the Development Engineering Department by email at DEPermits@vaughan.ca.
2	Parks, Forestry and Horticulture Operations zachary.quizzetti@vaughan.ca	Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to any construction works on the subject property.

REASONS:

This application is approved, as it is the opinion of the Committee that, with the above noted conditions of approval, this application meets all four tests under Section 45(1) of the Planning Act:

1. The general intent and purpose of the by-law will be maintained.
2. The general intent and purpose of the official plan will be maintained.
3. The requested variance(s) is/are acceptable for the appropriate development of the subject lands.
4. The requested variance(s) is/are minor in nature.

PUBLIC WRITTEN & ORAL SUBMISSIONS

Public correspondence considered by the Committee of Adjustment in the making of this decision.

WRITTEN SUBMISSIONS:

Name	Address	Date Received (mm/dd/yyyy)	Summary
Gerry Schiller	unknown	04/19/2023	Lot coverage concern in general

ORAL SUBMISSIONS:

Name	Address	Submission (Hearing) Date (mm/dd/yyyy)	Summary
None			

In accordance with Procedural By-law 069-2019, public written submissions on an Application shall only be received by the Secretary Treasurer until **noon** on the last business day prior to the day of the scheduled Meeting.

WRITTEN SUBMISSIONS RECEIVED PAST DEADLINE:

Name	Address	Date Received (mm/dd/yyyy)	Summary
None			

IMPORTANT INFORMATION

Making any changes to your proposal/development after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings attached to this decision.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

MEMBERS PRESENT WHO CONCUR IN THIS DECISION:

<i>J. Kalpin</i>	<i>A. Perrella</i>	<i>M. Milunsky</i>
J. Kalpin Member	A. Perrella Chair	M. Milunsky Member
<i>S. Kerwin</i>		<i>B. Bell</i>
S. Kerwin Vice Chair		B. Bell Member

DATE OF HEARING:	April 24, 2023
DATE OF NOTICE:	April 27, 2023
LAST DAY FOR *APPEAL: *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	May 14, 2023 4:30 p.m.
<p>CERTIFICATION: I hereby certify that this is a true copy of the decision of the City of Vaughan’s Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application.</p> <p><i>Christine Vigneault</i></p> <p>Christine Vigneault Manager Development Services & Secretary Treasurer to the Committee of Adjustment</p>	

Appealing to The Ontario Land Tribunal
The *Planning Act*, R.S.O. 1990, as amended, Section 45

The applicant, the Minister or a **specified person** or public body that has an interest in the matter may within 20 days of the making of the decision appeal to the Tribunal against the decision of the committee by filing with the secretary-treasurer of the committee a notice of appeal setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the secretary-treasurer of the fee charged by the Tribunal as payable on an appeal from a committee of adjustment to the Tribunal.

When **no appeal is lodged** within twenty days after the giving of notice the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

Please email and courier all appeals and prescribed fees to:

Office of the City Clerk - Committee of Adjustment
2141 Major Mackenzie Drive
Vaughan Ontario, L6A 1T1
cofa@vaughan.ca

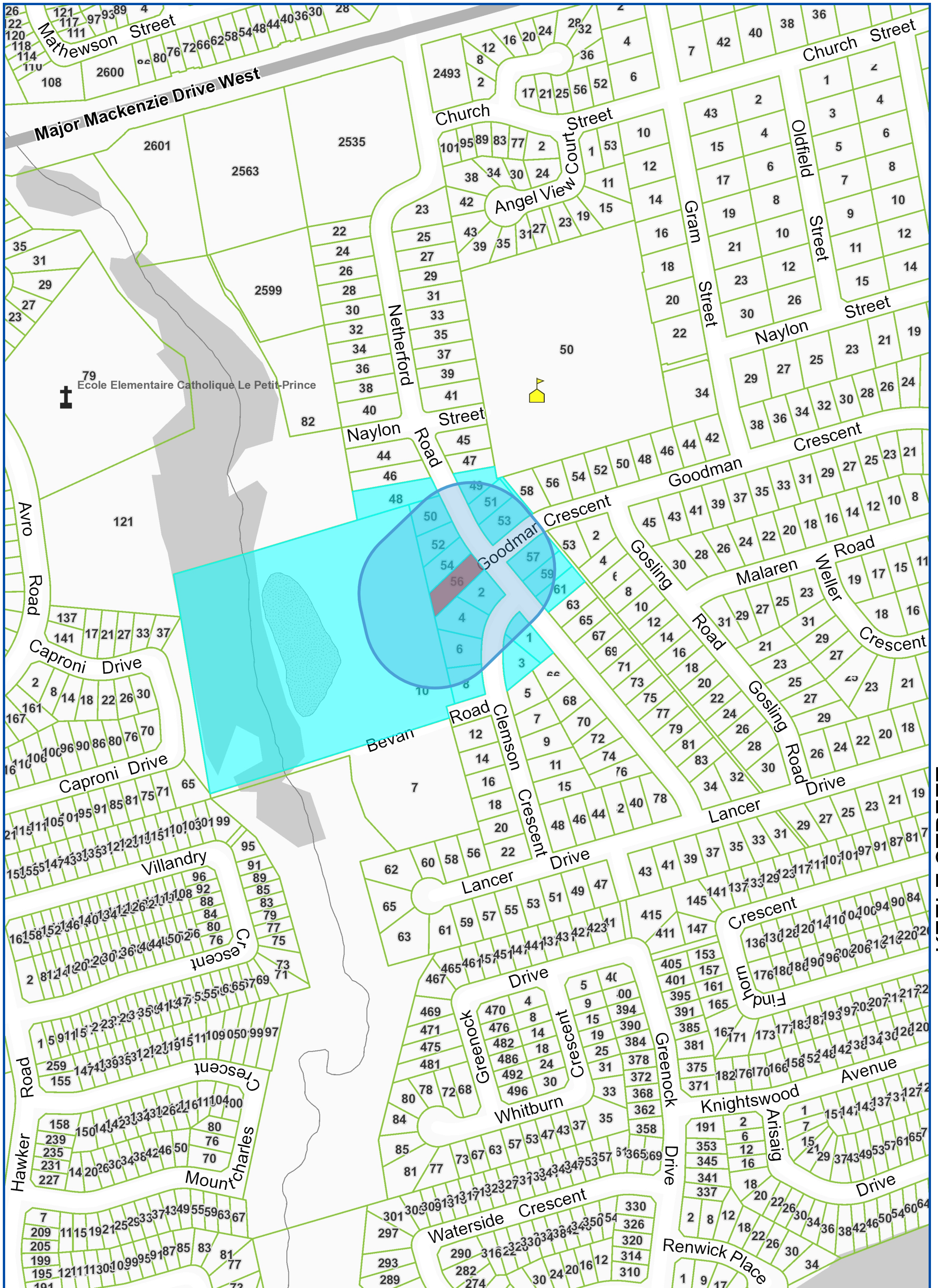
If you have questions regarding the appeal process, please email cofa@vaughan.ca

Appeal Fees & Forms

ONTARIO LAND TRIBUNAL (OLT): The OLT appeal fee is \$400 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The OLT Appeal Fee must be paid by certified cheque or money order payable to the “Minister of Finance”. OLT appeals must be filed with the Secretary Treasurer, City of Vaughan.

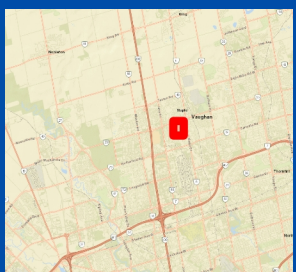
City of Vaughan OLT Processing Fee: [See Fee Schedule](#)

*Please note that all fees are subject to change.



KEELE STREET

Map Information:



Title:

56 Netherford Road, Maple

NOTIFICATION MAP - A026/23

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1: 4,514

0 0.07 km



Created By:

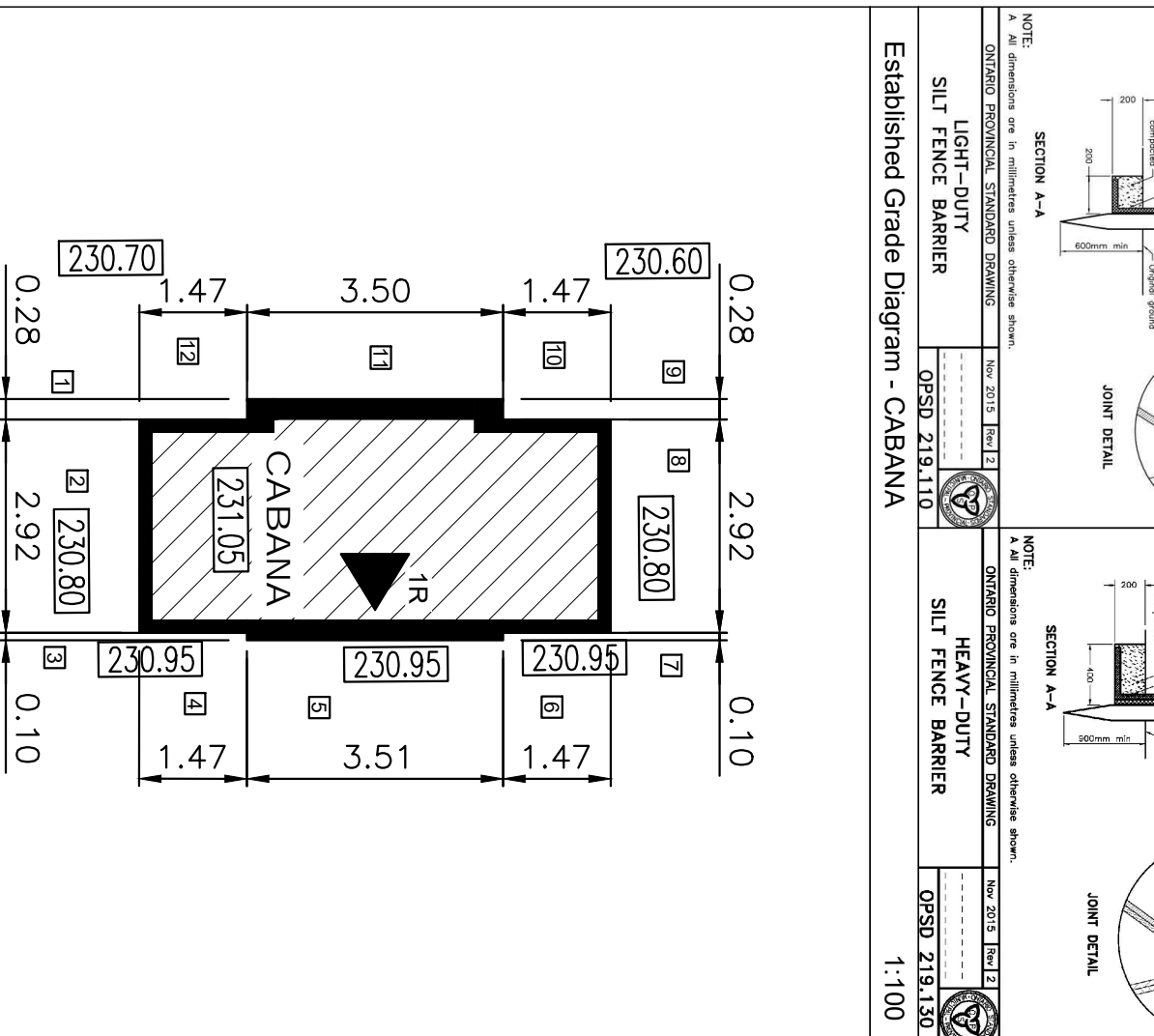
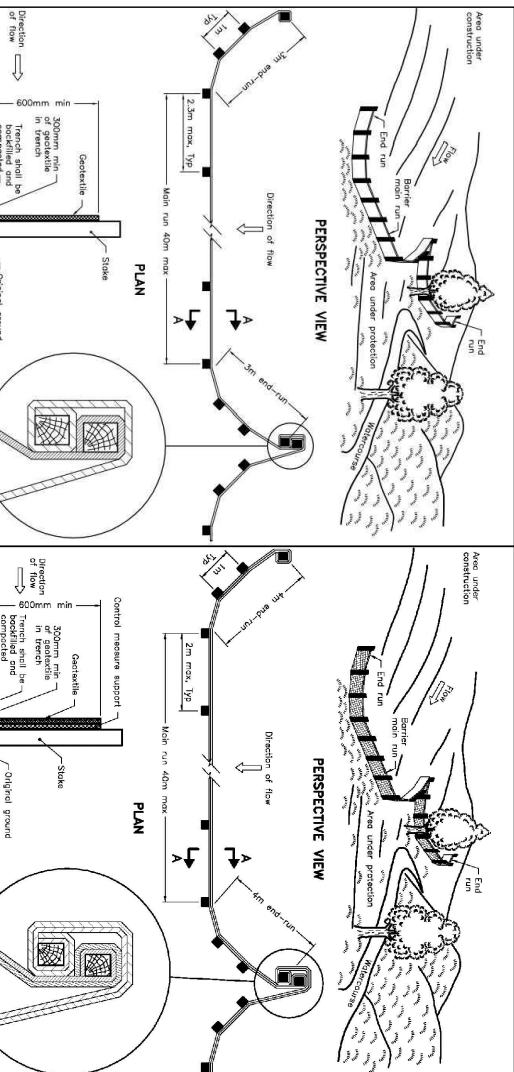
Infrastructure Delivery
Department
April 4, 2023 6:59 AM

Projection:

NAD 83
UTM Zone
17N

PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

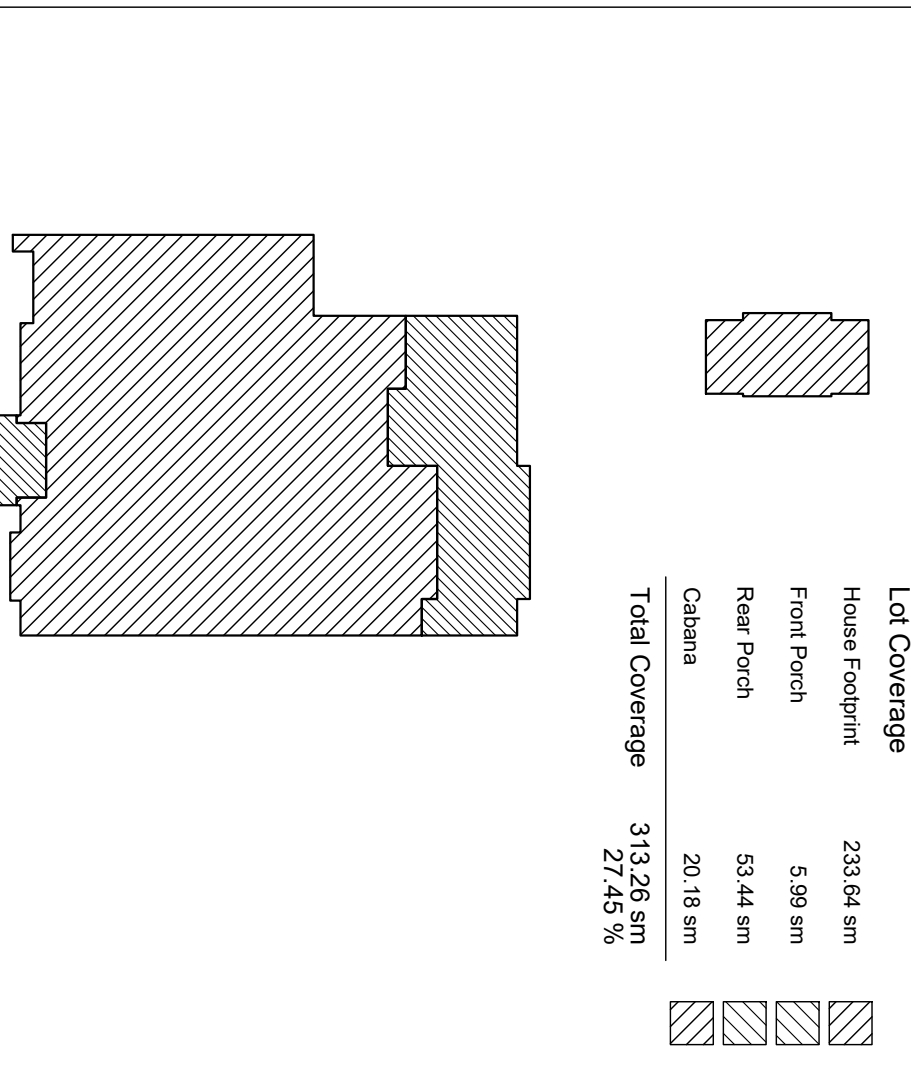
PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT



Wall No.	Wall Average Grade	Proposed
1	200.80	201.94
2	200.86	201.99
3	200.96	202.10
4	200.96	202.10
5	200.96	202.10
6	200.96	202.10
7	200.87	201.99
8	200.78	201.92
9	200.78	201.92
10	200.78	201.92
11	200.70	201.84
12	200.70	201.84
TOTAL	2709.89	4469.80

Established Grade = 2709.89
Total Proposed Grade By Total Wall Length = 4469.80

Lot Coverage Diagram	Lot Coverage
Hours Footprint	253.64 sqm
Front Porch	5.89 sqm
Rear Porch	54.44 sqm
CABANA	264.97 sqm
Total Coverage	319.28 sqm
	27.45 %



Legend

- 3R Main Level Elevation
- 3R Lower Level Elevation
- 3R Existing To Be Retained
- 3R Existing To Be Removed
- 3R Proposed Spot Elevation
- 3R Retained Downpour
- 3R At Contour
- 3R Solid Footing
- 3R Formed Footing
- 3R ESCO 318 Form Heading
- 3R Area Drain

Base Information:

Hours Footprint: 253.64 sqm
Front Porch: 5.89 sqm
Rear Porch: 54.44 sqm
CABANA: 264.97 sqm
Total Coverage: 319.28 sqm (27.45%)

Lot Coverage Diagram

Hours Footprint: 253.64 sqm
Front Porch: 5.89 sqm
Rear Porch: 54.44 sqm
CABANA: 264.97 sqm
Total Coverage: 319.28 sqm (27.45%)

Established Grade Diagram - CABANA

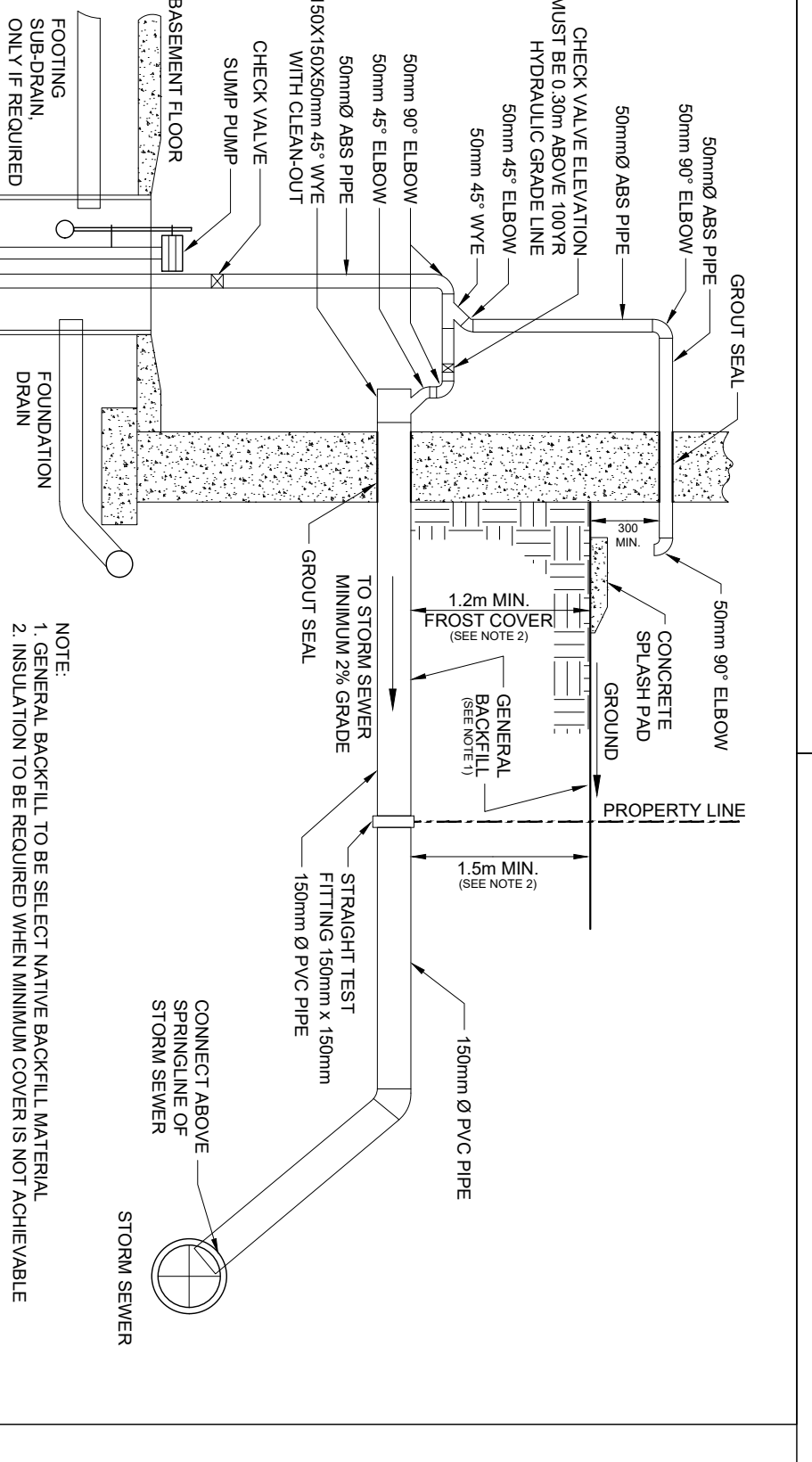
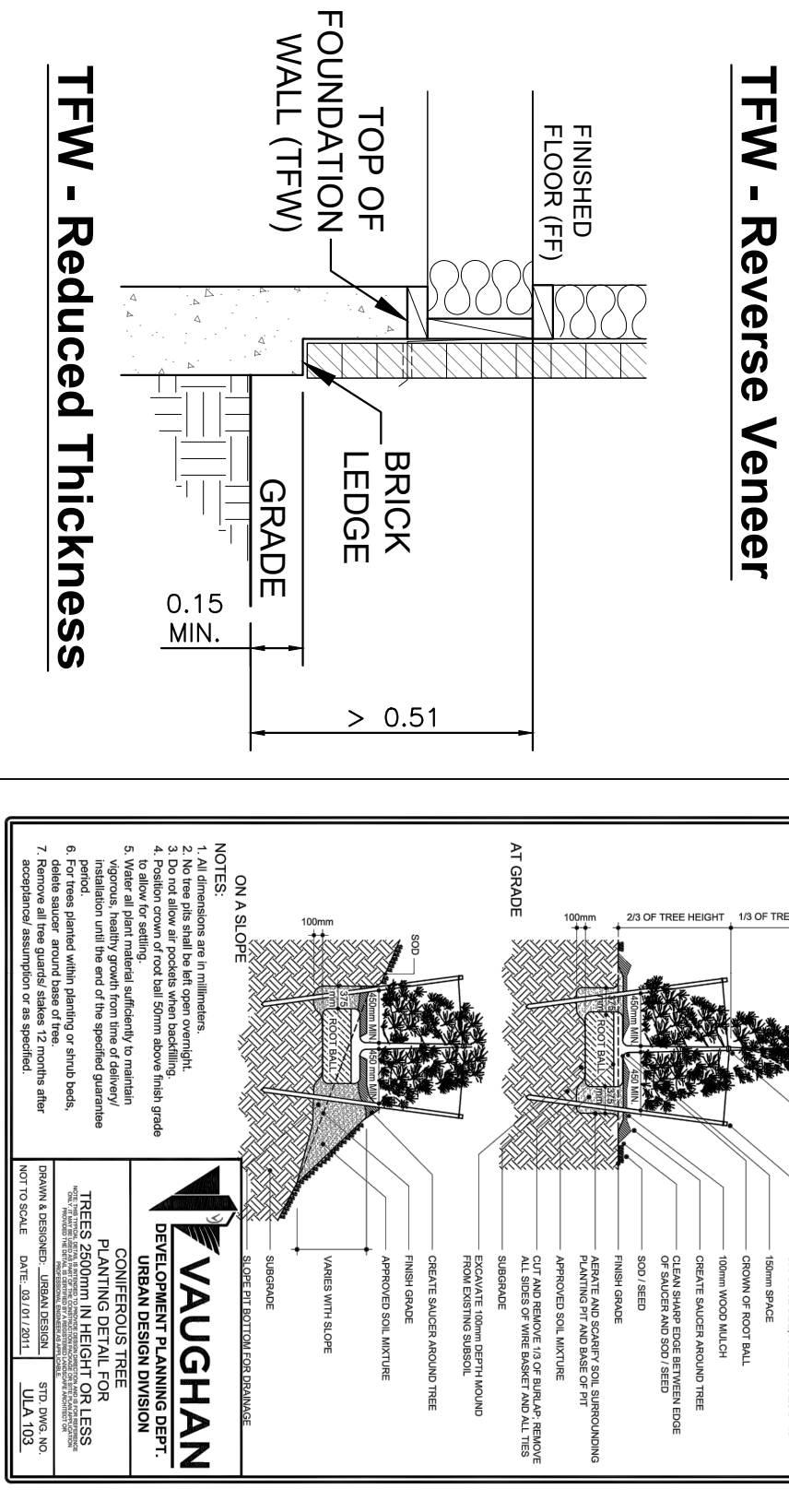
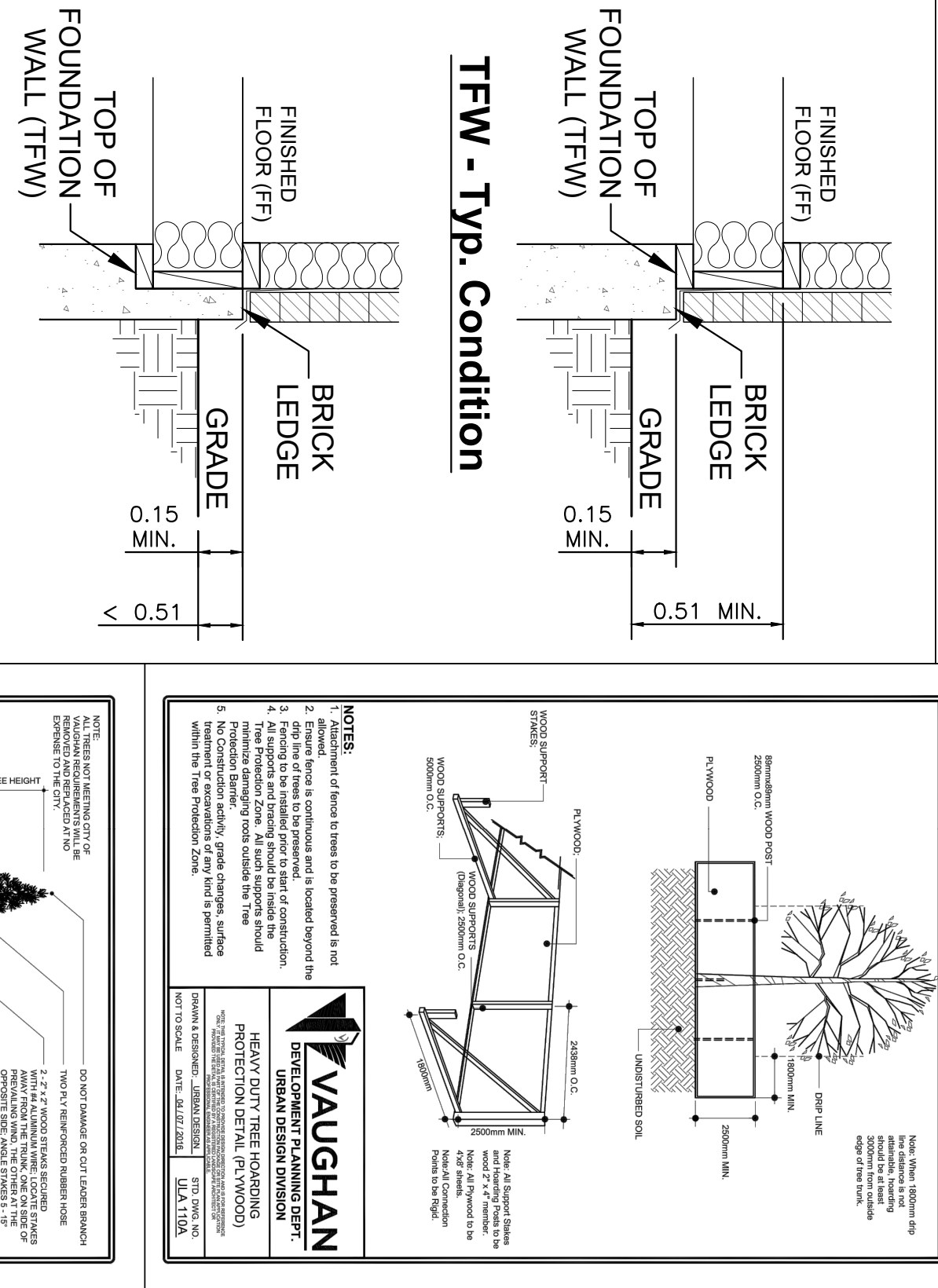
Established Grade = 2709.89
Total Proposed Grade By Total Wall Length = 4469.80

Lot Coverage Diagram

Hours Footprint: 253.64 sqm
Front Porch: 5.89 sqm
Rear Porch: 54.44 sqm
CABANA: 264.97 sqm
Total Coverage: 319.28 sqm (27.45%)

ESCO Notes:

- The Contractor is ultimately responsible for contacting Statens & Eason within the construction site for the total period of the construction. The Statens & Eason team should be contacted at least 14 days prior to the start of construction. At the time of contact, the Statens & Eason team should be provided with the following information:
 - Address: Statens & Eason should be contacted at least 14 days prior to the start of construction.
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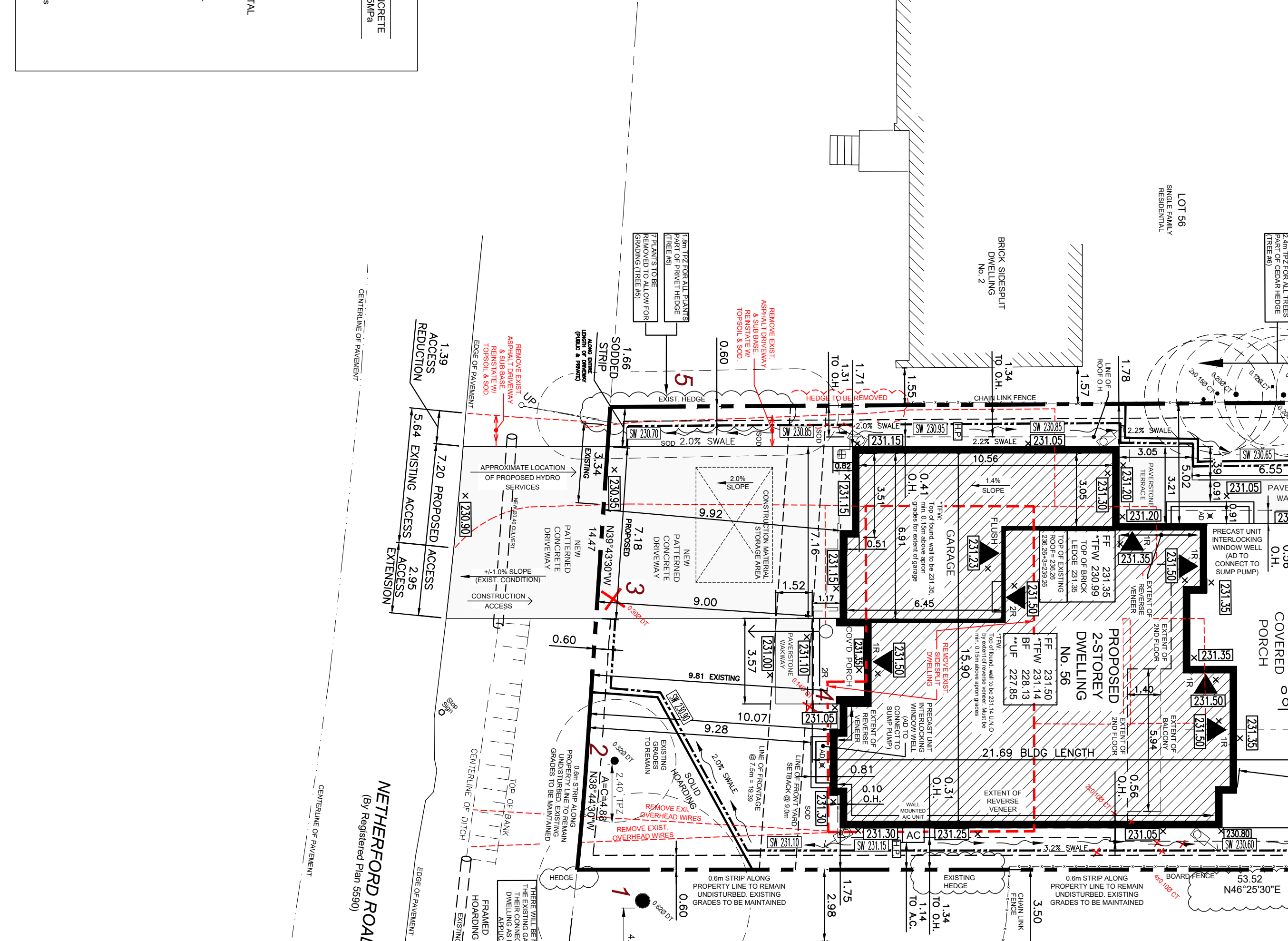
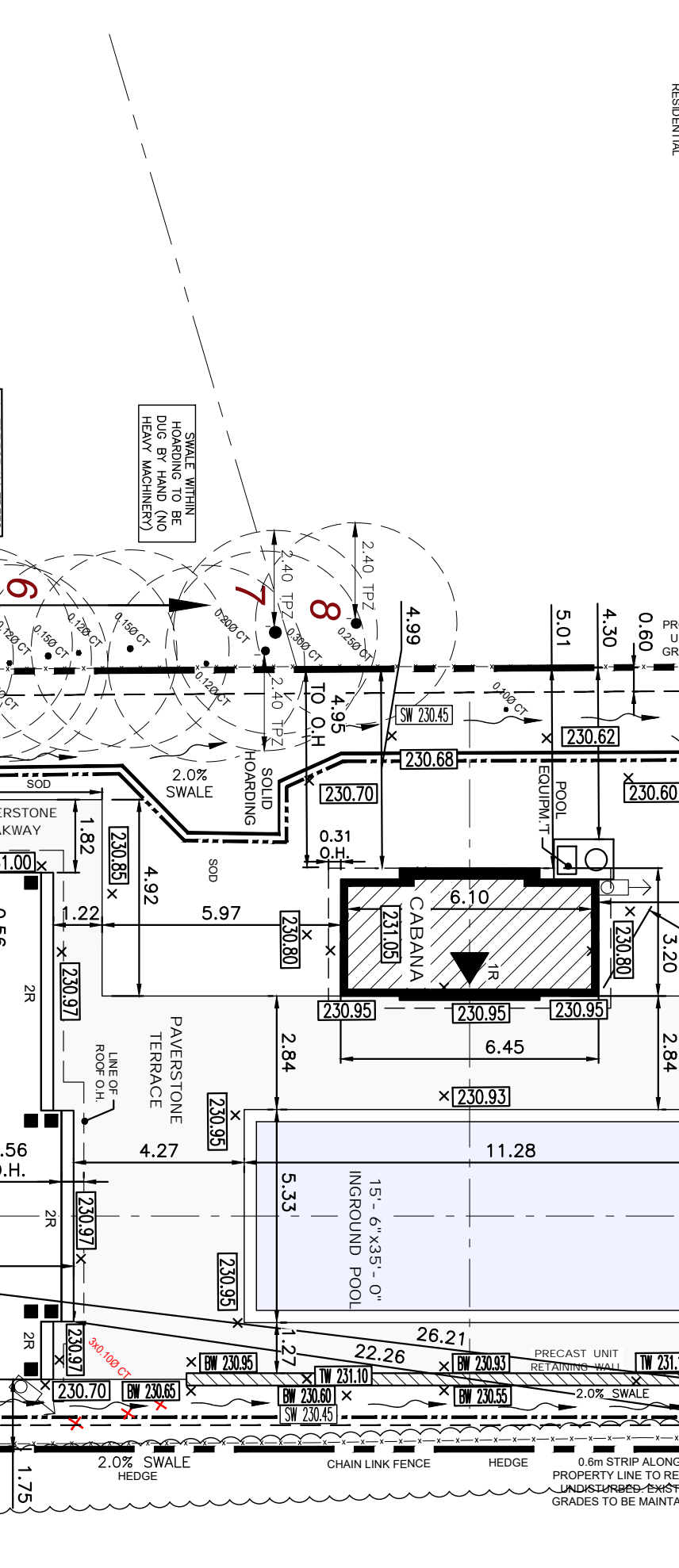
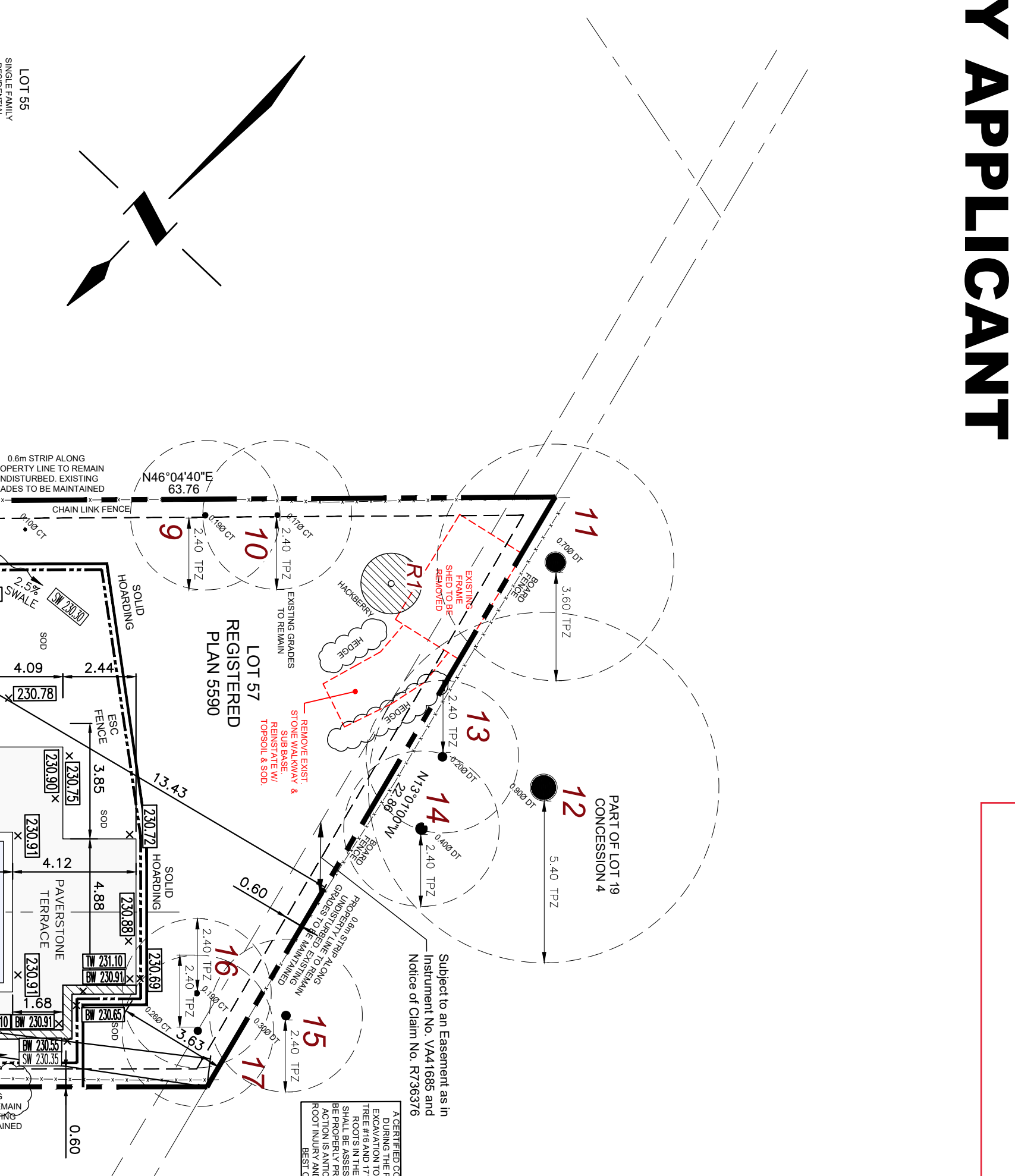
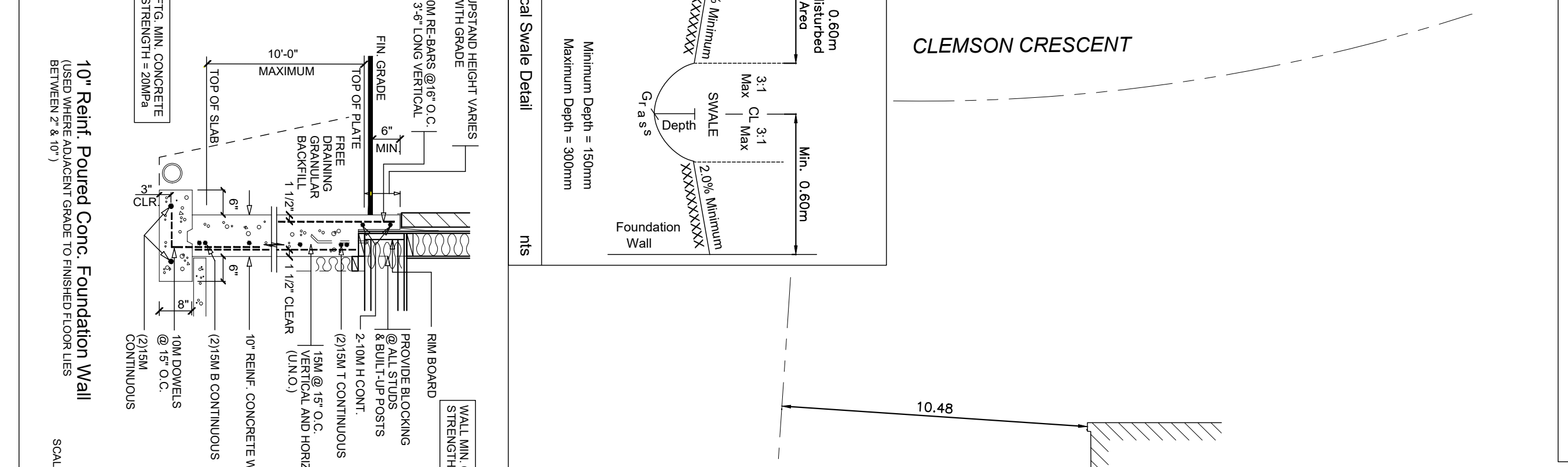
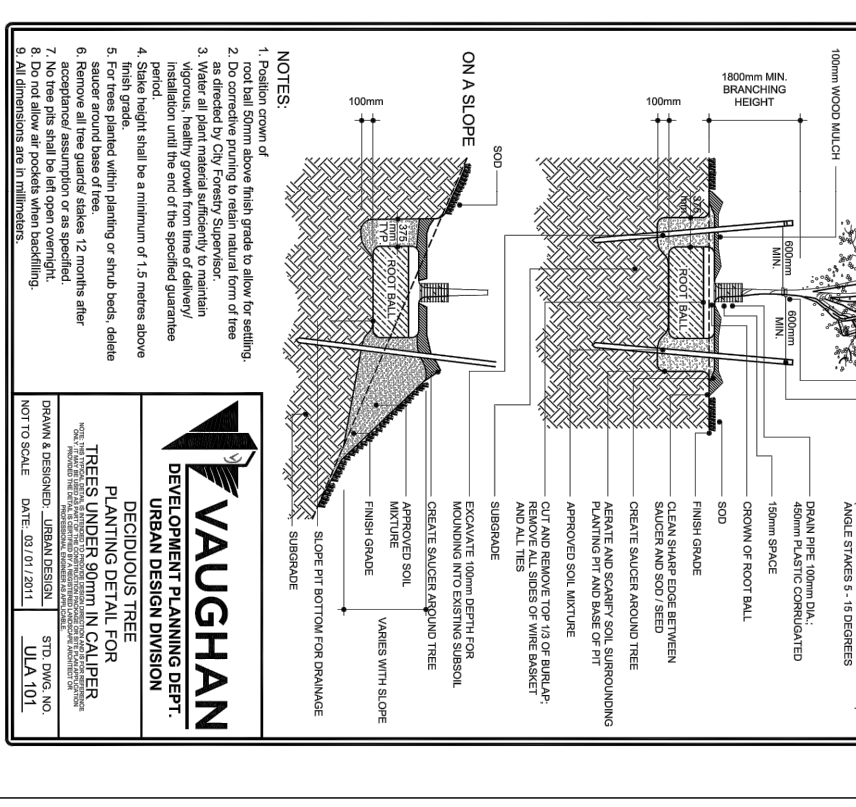
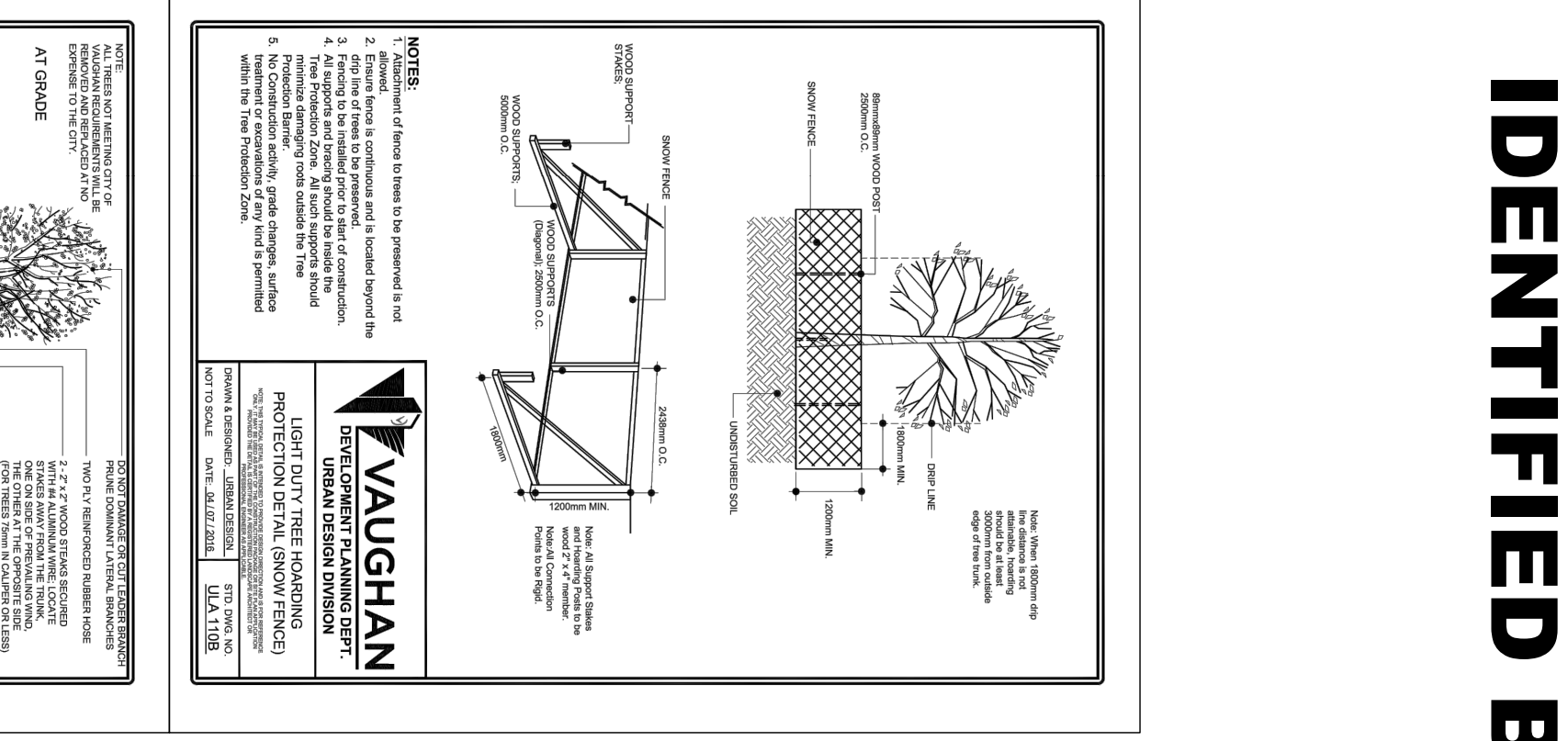
DEVELOPMENT TRANSPORTATION ENGINEERING DEPARTMENT

CITY OF VAUGHAN

LOT GRADING NOTES

The following notes apply to the construction of the site as shown on the attached drawings:

- All Site Plans, Grading and Construction Plans shall comply with the City of Vaughan Land Grading, Erosion Control, and Stormwater Management By-Law 2018, as amended.
- Grading shall be based on the existing ground surface unless otherwise indicated.
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Key Plan

Site Data	Lot Area	Front Yard Area	Rear Yard Area
Lot Area	1141.22 sqm (0.114 ha)	170.04 sqm	1830.41 sqm
Front Yard Area	170.04 sqm	148.85 sqm	1899.81 sqm
Rear Yard Area	1830.41 sqm	342.90 sqm	3202.31 sqm
Soil Landscape Area	1830.41 sqm	184.86 sqm	1989.91 sqm
Soil Landscape Area	1830.41 sqm	184.86 sqm	1989.91 sqm

Variance requested

- A maximum lot coverage of 23% is required (Table 7.3-1).
Note: House footprint, including attached garage, is 20.47%.
- A maximum height of 8.5 metres is required (Section 4.3.1.b).
- In any Residential zone, the maximum height of a residential accessory structure shall be 3.0 m. (Section 4.1.4.1).

Site Plan

The Holt Home

56 Netherford Road

Lot 57

City of Vaughan

Registered Plan 5590

Regional Municipality of York

Scale: 1:150

Date: Feb 2022

DMN By: MM

Pol. no.: 21-1944

SP

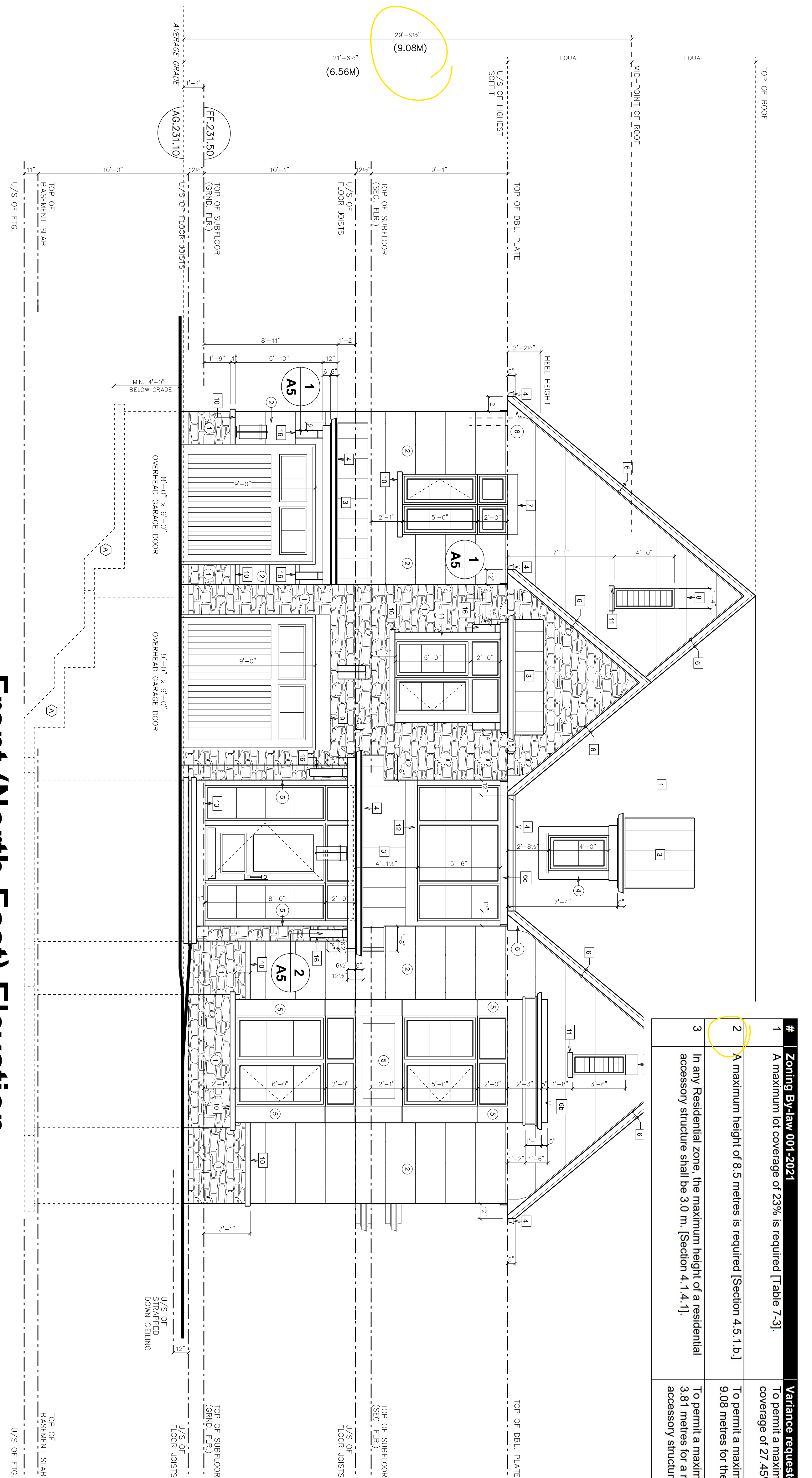
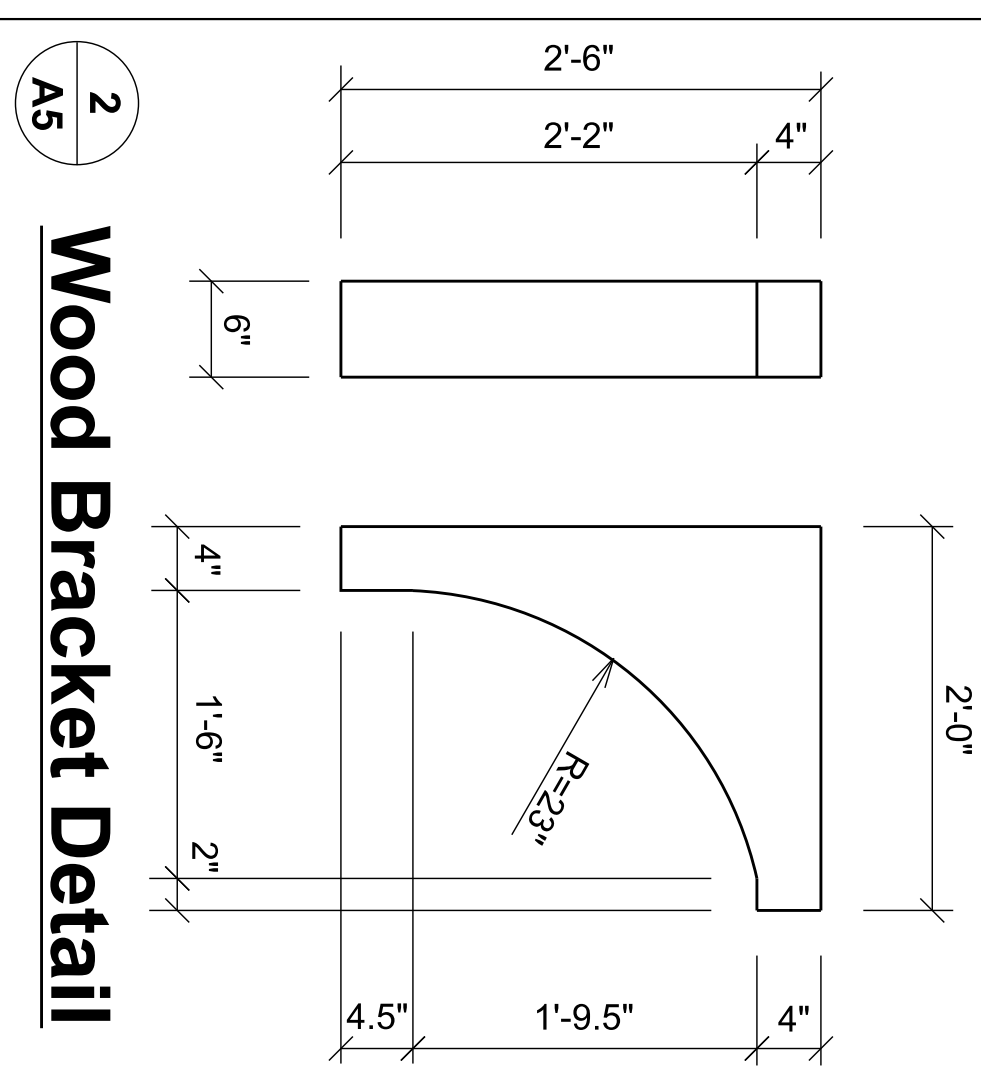
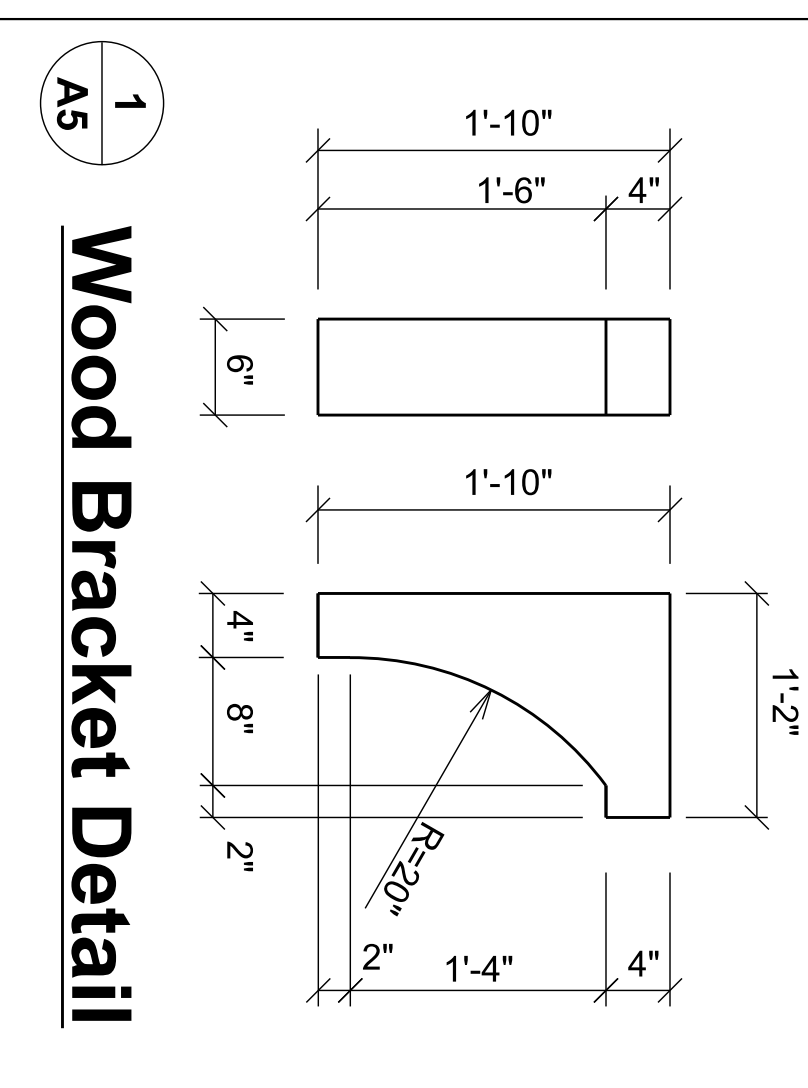
David Small Designs

PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

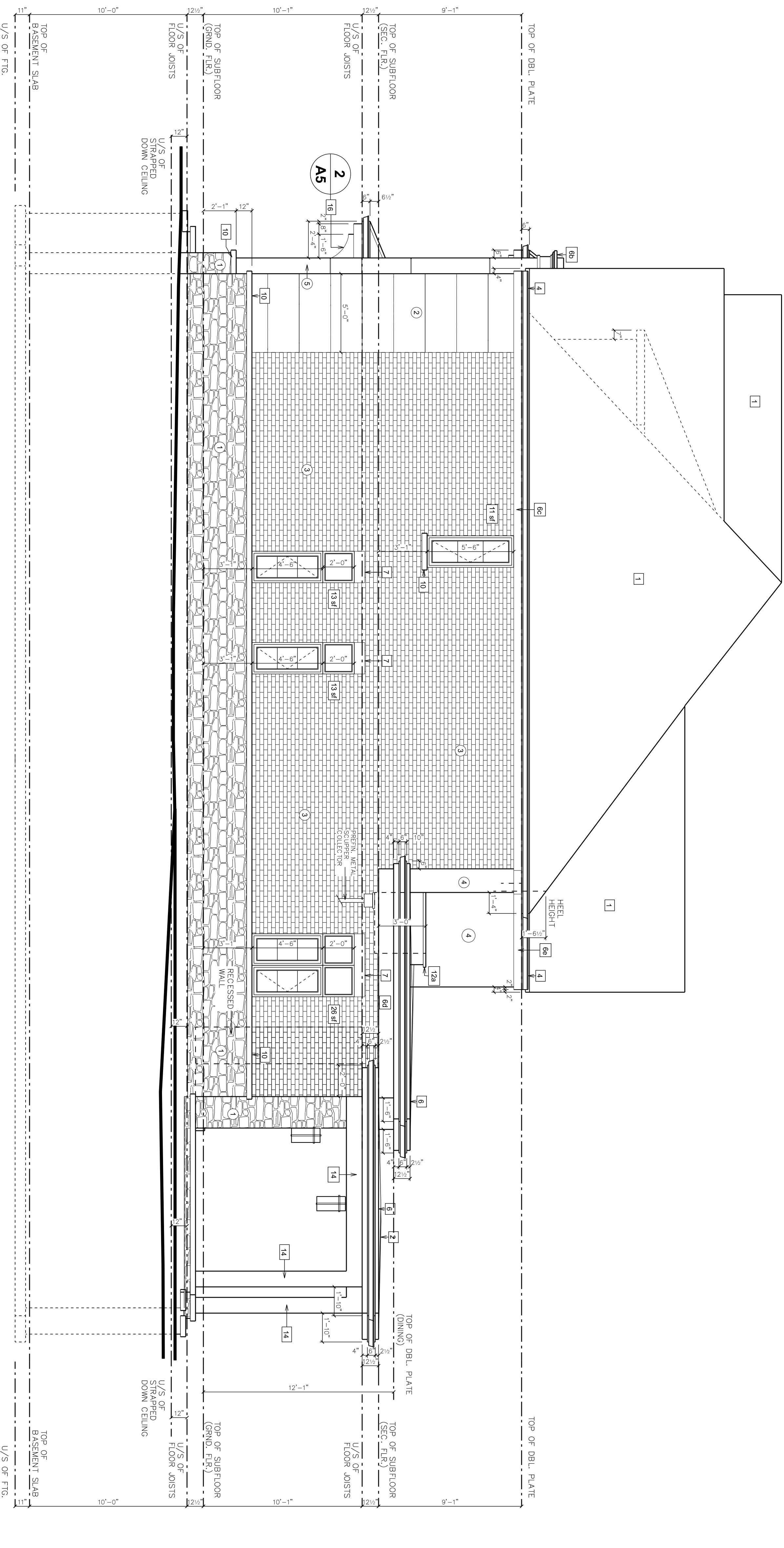
Elevation Notes	
1	Professional material wood siding to comply with ONT Reg. 332/12 subsection 9.27.6. Lumber-siding and table 9.27.5.4.
2	Spacing of framing for the attachment of siding to comply with 9.27.5.2 and 9.27.5.3 and per International Building Code.
3	All stucco to be DURECO ERS P.U.C.S. exterior insulation and finish system. Manufacturer's specifications must use "Pillar Board" by DURECO for adhesive barrier below stucco in place of Tyvek or equivalent product specified for all walls not clad in stucco. Note: All over-hangs are 4" reveal from stone footing on ground floors (typical). Note: Refer to roof plan for all roof slopes and overhang info.
A	Shipped roofing per OBC 9.15.3.9.
B	Gazing to be tempered glass (if strength window provide opening material) - comply with OBC 9.15.1 (5) and (5).
Unprotected Openings - Right Side Elevation	
Limiting Distance	1.55M
Wind Area	1179.24 (109.27 sqm)
Opening Area Allowed	73.9 (7.1%)
Opening Area Proposed	63 sf (5.35%)
Please Note: This Figure For % Openings Allowed Has Been Interpolated Based on O.B.C. Table 9.10.15.4 And Glazed Areas Were Used to Calculate Proposed Openings As Allowed By 9.10.15.4.	

Exterior Colours & Materials Chart	
EXTERIOR FEATURE	PRODUCT DETAILS
NATURAL STONE	Rustic Cedar (Limestone) - Dimensional
BRICK	Cashwa Brick, Stonewall
SMOOTH STONE	Indiana Limestone, Standard Buff All. Option: Precast Concrete, Buff tone
STONE TRIM, SILL, SURROUNDS & LINTELS	Indiana Limestone, Standard Buff All. Option: Precast Concrete, Buff tone
STUCCO	Benjamin Moore, Silver Satin, OC-26
DARK TRIM, BRACKETS & DECORATIVE VENTS	Benjamin Moore, Black Beauty, 2128-10
ACM PANELS	Alumtech Bond, ACM Colour: Metallic Grey
ALUMINIUM EWES & FASCIA	Genpak, Black
ASPHALT SHINGLES	Certified, Landmark, Colonial Slate
METAL ROOFING	Black
WINDOW FRAMES	Black
FRONT DOOR	Stain Finish, Mahogany, Cherry
GARAGE DOOR	Stain Finish, Mahogany, Cherry
COULD PORCH POSTS	Benjamin Moore, Black Beauty, 2128-10

NOTE: ALL MATERIALS AND COLOURS ARE SUBJECT TO CLIENT'S PHYSICAL SAMPLE REVIEW TO CONFIRM DESIRED FINISH.



Front (North-East) Elevation



Right-Side (North-West) Elevation

#	Zoning By-law 001-2021	Variance requested
1	A maximum lot coverage of 23% is required [Table 7.3].	To permit a maximum lot coverage of 27.45%
2	A maximum height of 8.5 metres is required [Section 4.5.1.b].	To permit a maximum height of 9.08 metres for the dwelling.
3	In any Residential zone, the maximum height of a residential accessory structure shall be 3.0 m. [Section 4.1.4.1].	To permit a maximum height of 3.01 metres for a residential accessory structure.

Drawing Legend	
1	Natural Stone
2	Oak Stone
3	Brick Veneer
4	Pigmented Epoxy Stucco
5	ACM Panel
6	Painted Metal Fascia
2.0 Roofing	
1	40 Year Asphalt Shingles
2	2-Ply Forced On Rubber Membrane Roof Sloped to 2% To Outside Edge On 12" Trusses Eave
3	Raised Sawn Prefinished Metal Roofing
3.0 Trim, Cornice, Moulding & Gutter Notes	
1	6" Square Bead Prefinished Aluminum Eaves Tough on 6" Prefinished Aluminum Fascia
2	6" Square Bead Prefinished Aluminum Eaves Tough on 6" Prefinished Aluminum Fascia Edge reveal
3	2" Aluminum Trim w/ 1" Projection
4	Sloped Aluminum Cap 2% w/ drip edge
5	6" Prefinished Wood Trim
6	12" Prefinished Wood Trim
7	12" Stucco Covered Trim
8	6" Call Stone Lintel
9	10" Call Stone Lintel
10	12" Call Stone Lintel
11	4" Call Stone Sill w/ 2" Projection
12	6" Call Stone Surround
13	2" Aluminum Sill w/ 2" Projection
14	2" Aluminum Capping w/ 2" Projection
15	7" Call Stone Step-Up
4.0 Railing & Post	
1	12x12" Crown Child Sill-Painted Wood Post
2	Frameless Tempered Glass Panels 1/2" Acrylic Film Double Glazed with Safety Interlayer
3	Shop Drawing To Inspector Prior To Installation To Ensure They Meet All Aspects Of OBC, S.B. & S.P. Of The Submittal
4	Sill-Painted Wood Bracket

The undersigned the reviewer and takes responsibility for the design, and the qualifications and the requirements set out in the drawing. I have reviewed the drawing and the information provided and I am satisfied that the design is in accordance with the requirements of the Building Code of Ontario and the requirements of the Building Code of Ontario. I have also reviewed the drawing and the information provided and I am satisfied that the design is in accordance with the requirements of the Building Code of Ontario and the requirements of the Building Code of Ontario.

Professional Information required under the Act is provided in the drawing. I am a member of the Ontario Association of Architects (OAA) and I am registered with the Ontario College of Architects (OCA). My registration number is 20241.

David Small
2024
2024
2024

Rev.	Date	Description
1	May 16/22	Issued as the Zoning Comments
2	May 16/22	Revised to comply with zoning approvals
3	May 16/22	Revised to comply with zoning approvals

The Holt Home
56 Netherford Road
Lot 57
Registered Plan 5590
City of Niagara, York
Regional Municipality of York

Front & Right-Side Elevations

Scale: 1/4"=1'-0"
Date: Feb 2022
DWG BY: C-J/MN
Prof. no.: 21-1944

