

<b>ITEM: 6.5</b>	<b>REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A187/24</b>
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Report Date: Friday, January 31, 2025

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Forestry	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

**PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)**

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
Applicant			01/02/2025	Application Cover Letter
Applicant			01/02/2025	Planning Justification Report

<b>BACKGROUND (SCHEDULE D, IF REQUIRED)</b>	
<small>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</small>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
A318/22	Approved; COA; March 2, 2023
A168/23	Approved; COA; November 16, 2023

<b>ADJOURNMENT HISTORY</b>	
<small>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</small>	
Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
N/A	N/A

<b>SCHEDULES</b>	
<b>Schedule A</b>	Drawings & Plans Submitted with the Application
<b>Schedule B</b>	Comments from Agencies, Building Standards & Development Planning
<b>Schedule C</b> (if required)	Public & Applicant Correspondence
<b>Schedule D</b> (if required)	Background



## MINOR VARIANCE APPLICATION FILE NUMBER A187/24

<b>CITY WARD #:</b>	4
<b>APPLICANT:</b>	Peter Cortellucci (Rutherford Land Development Corp.)
<b>AGENT:</b>	Nicole Sgrignuoli & Antonio Martino
<b>PROPERTY:</b>	10 Abeja Street, Tower A1, Concord
<b>ZONING DESIGNATION:</b>	See below.
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	City of Vaughan Official Plan 2010 ('VOP 2010'): "High-Rise Mixed-Use" by Volume 2, Section 11.7 Vaughan Mills Centre Secondary Plan
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	19T-18V001, DA.19.010, A318/22, A168/23, 19CDM-24V007
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to permit reduced parking requirements onsite to facilitate the Phase 1 Development (19CDM-24V007) which includes three high-rise residential towers with ground floor retail and community space. Relief is also required to facilitate related Site Plan Application DA.19.010.

The following variances have been requested from the City's Zoning By-law:

**The subject lands are zoned RA3, Apartment Residential Zone and subject to the provisions of Exception 9(1488) under Zoning By-law 1-88, as amended.**

#	Zoning By-law 1-88	Variance requested
1	A minimum parking space dimension of 2.7m x 5.7m is required. [9(1488)]	To permit a maximum of 4 parking spaces with the minimum dimensions of 2.5m x 5.7m in the locations identified on the attached plan.

### HEARING INFORMATION

**DATE OF MEETING:** Thursday, February 6, 2025  
**TIME:** 6:00 p.m.  
**MEETING LOCATION:** Vaughan City Hall, Woodbridge Room (2<sup>nd</sup> Floor), 2141 Major Mackenzie Drive  
**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

#### PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

If you would like to submit written comments, please quote file number above and submit by mail or email to:

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to [cofa@vaughan.ca](mailto:cofa@vaughan.ca) no later than NOON on the last business day before the meeting.

**THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

### INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

## INTRODUCTION

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

## COMMITTEE OF ADJUSTMENT

<b>Date Public Notice Mailed:</b>	January 23, 2025
<b>Date Applicant Confirmed Posting of Sign:</b>	January 6, 2025
<b>Applicant Justification for Variances:</b> <small>*As provided in Application Form</small>	Additional residential parking spaces
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b> <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
<b>COMMENTS:</b>	
None	
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None

## BUILDING STANDARDS (ZONING)

<b>**See Schedule B for Building Standards (Zoning) Comments</b>	
<b>Building Standards Recommended Conditions of Approval:</b>	None

## DEVELOPMENT PLANNING

<b>**See Schedule B for Development Planning Comments.</b>	
<b>Development Planning Recommended Conditions of Approval:</b>	None

## DEVELOPMENT ENGINEERING

<a href="#">Link to Grading Permit</a> <a href="#">Link to Pool Permit</a> <a href="#">Link to Curb Curt Permit</a> <a href="#">Link Culvert Installation</a>	
Development Engineering does not object to Minor Variance A187/24.	
<b>Development Engineering Recommended Conditions of Approval:</b>	None

## PARKS, FORESTRY & HORTICULTURE (PFH)

Forestry has no comment.	
<b>PFH Recommended Conditions of Approval:</b>	None

## DEVELOPMENT FINANCE

No comment no concerns.	
<b>Development Finance Recommended Conditions of Approval:</b>	None

## BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date.	
<b>BCLPS Recommended Conditions of Approval:</b>	None

### BUILDING INSPECTION (SEPTIC)

No comments received to date.

**Building Inspection Recommended Conditions of Approval:**

None

### FIRE DEPARTMENT

No comments received to date.

**Fire Department Recommended Conditions of Approval:**

None

### RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
	None	

### IMPORTANT INFORMATION

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

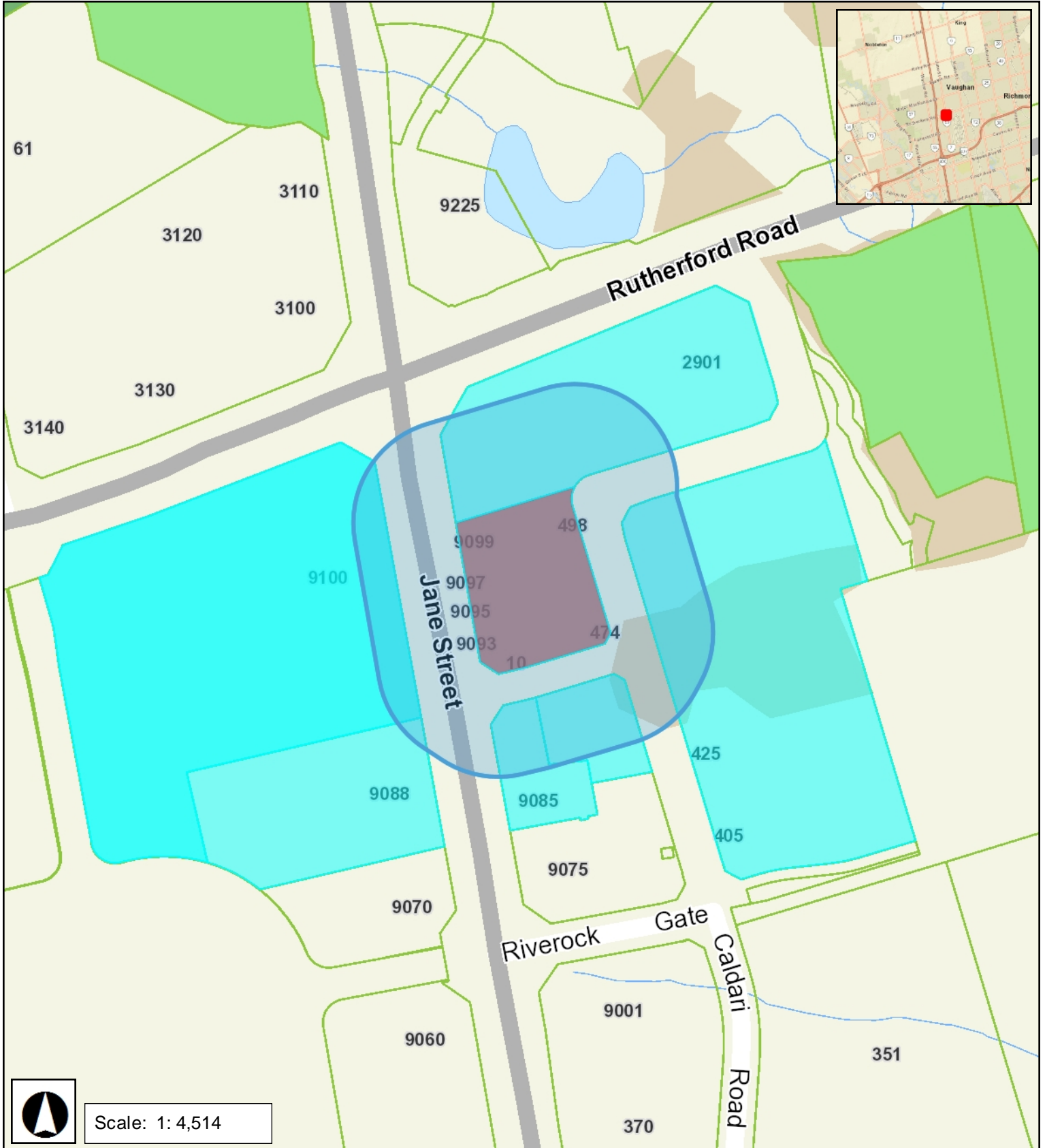
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

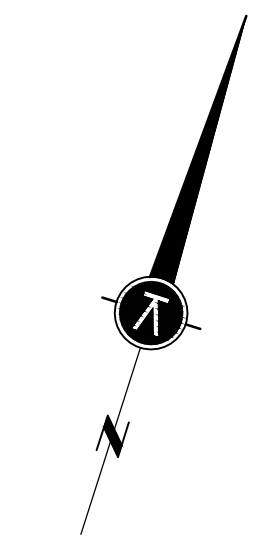
That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**SCHEDULE A: DRAWINGS & PLANS**



Scale: 1: 4,514

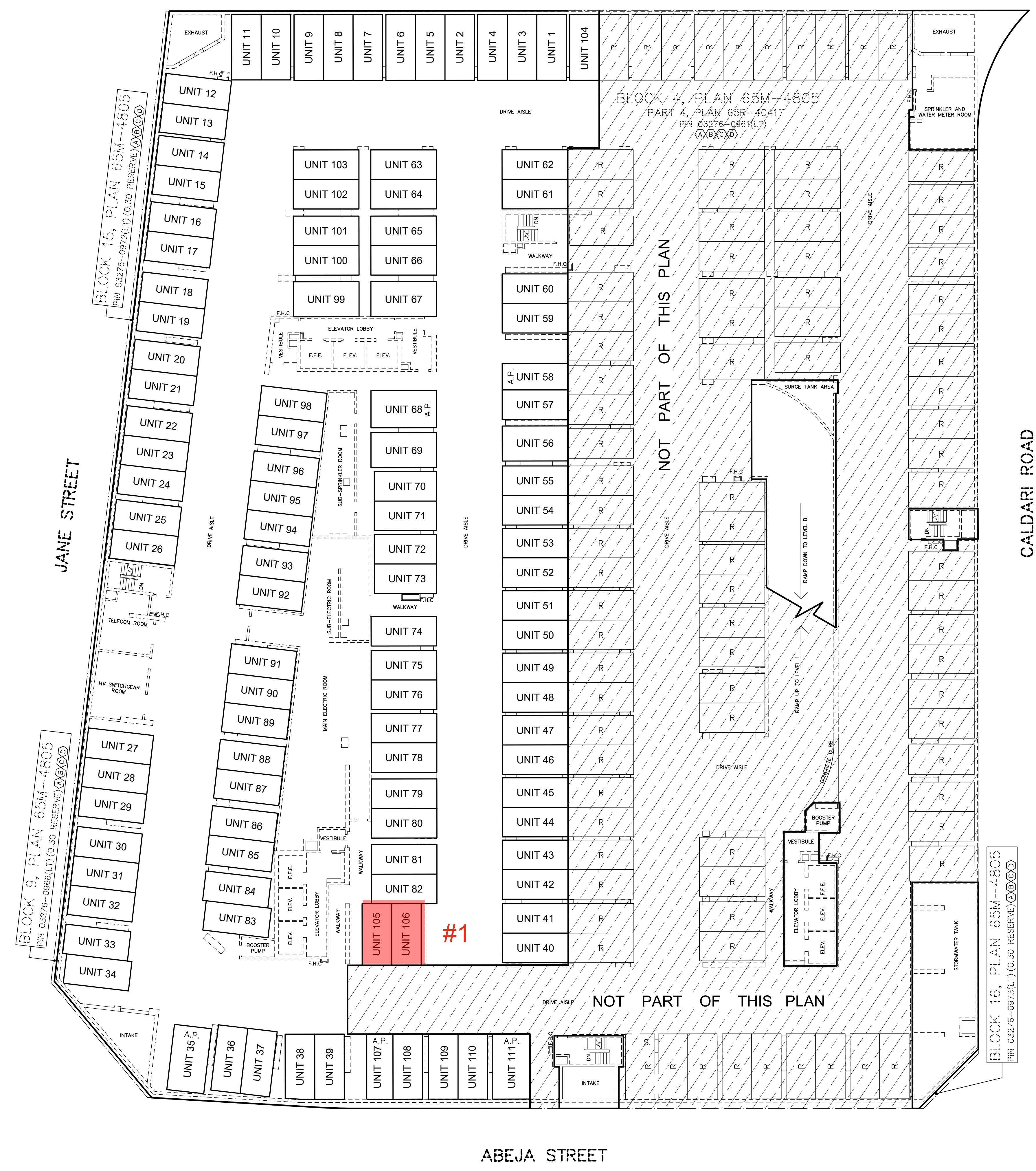


RECEIVED  
By russog at 10:06 am, Jan 16, 2025



ABEJA STREET

PLAN VIEW ILLUSTRATING  
UNITS 1 TO 37, 39 TO 82, 84 TO 182, 184 TO 199 AND 203 TO 214 INCLUSIVE (Residential Parking)  
UNITS 38, 83, 183, 200, 201 AND 202 (Residential Parking with Bicycle Parking/Locker)  
UNITS 215 TO 272 INCLUSIVE (Bicycle Parking/Locker)  
LEVEL B

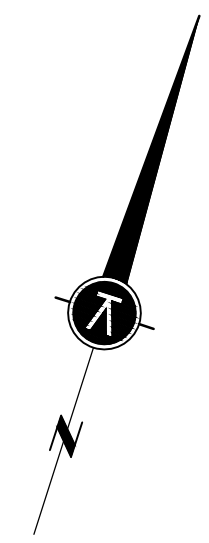


ABEJA STREET

PLAN VIEW ILLUSTRATING  
UNITS 1 TO 111 INCLUSIVE (Residential Parking)  
LEVEL A  
(91 OFFSITE PARKING SPACES)

NOTES AND LEGEND  
--- DENOTES CONDOMINIUM BOUNDARIES  
--- DENOTES BOUNDARIES OF UNITS AND/OR EXCLUSIVE USE PORTIONS OF THE COMMON ELEMENTS  
--- DENOTES FENCE OF STRUCTURE  
--- DENOTES STAIRS UP  
--- DENOTES STAIRS DOWN  
--- DENOTES ACCESSIBLE PARKING  
--- DENOTES ELEVATOR  
--- DENOTES FIRE FREIGHT ELEVATOR  
--- DENOTES FIRE HOSE CABINET  
--- DENOTES SMALL CAR PARKING  
--- DENOTES SUBJECT TO AN EASEMENT AS IN INST. YR2792732  
--- DENOTES SUBJECT TO AN EASEMENT AS IN INST. YR3054440  
--- DENOTES SUBJECT TO AN EASEMENT AS IN INST. YR3611667  
--- DENOTES SUBJECT TO AN EASEMENT AS IN INST. YR3641885

RECEIVED  
 By russog at 10:06 am, Jan 16, 2025



ABEJA STREET

PLAN VIEW ILLUSTRATING  
 UNITS 1 TO 37, 39 TO 70, 72 TO 82, 84 TO 189, 191 TO 206 AND 210 TO 221 INCLUSIVE (Residential)  
 UNITS 38, 68, 69, 83, 190, 207, 208 AND 209 (Residential Parking with Bicycle Parking/Locker)  
 UNITS 222 TO 278 INCLUSIVE (Bicycle Parking/Locker)  
 LEVEL D



ABEJA STREET

PLAN VIEW ILLUSTRATING  
 UNITS 1 TO 37, 39 TO 82, 84 TO 182, 184 TO 199 AND 203 TO 214 INCLUSIVE (Residential Parking)  
 UNITS 38, 83, 183, 200, 201 AND 202 (Residential Parking with Bicycle Parking/Locker)  
 UNITS 215 TO 272 INCLUSIVE (Bicycle Parking/Locker)  
 LEVEL C

NOTES AND LEGEND  
 --- DENOTES CONDOMINIUM BOUNDARIES  
 --- DENOTES BOUNDARIES OF UNITS AND/OR EXCLUSIVE USE PORTIONS OF THE COMMON ELEMENTS  
 --- DENOTES FACE OF STRUCTURE  
 --- DENOTES STAIRS UP  
 --- DENOTES STAIRS DOWN  
 --- DENOTES ACCESSIBLE PARKING  
 --- DENOTES ELEVATOR  
 --- DENOTES FIRE FREIGHT ELEVATOR  
 --- DENOTES FIRE HOSE CABINET  
 --- DENOTES SUBJECT TO AN EASEMENT AS IN INST. YR2792732  
 --- DENOTES SUBJECT TO AN EASEMENT AS IN INST. YR3554440  
 --- DENOTES SUBJECT TO AN EASEMENT AS IN INST. YR3611667  
 --- DENOTES SUBJECT TO AN EASEMENT AS IN INST. YR3641885





**SCHEDULE B:  
COMMENTS FROM AGENCIES, BUILDING STANDARDS &  
DEVELOPMENT PLANNING**

<b>Internal Departments</b> <small>*Comments Received</small>	<b>Conditions Required</b>		<b>Nature of Comments</b>
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions

<b>External Agencies</b> <small>*Comments Received</small>	<b>Conditions Required</b>		<b>Nature of Comments</b> <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

**Date:** December 23<sup>rd</sup> 2024

**Attention:** **Christine Vigneault**

**RE:** Request for Comments

**File No.:**

**Related Files:** **A187-24**

**Applicant:** Rutherford Land Development Corp

**Location** 10 Abeja Street Tower A1



Discover the possibilities

### COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

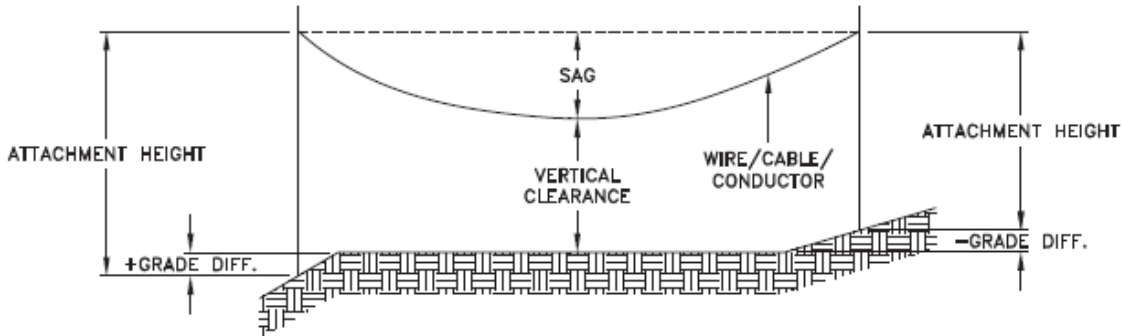
Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG  
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)  
 ± GRADE DIFFERENCE  
 + 0.3m (VEHICLE OR RAILWAY LOCATION)  
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

**NOTES:**

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

**CONVERSION TABLE**

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

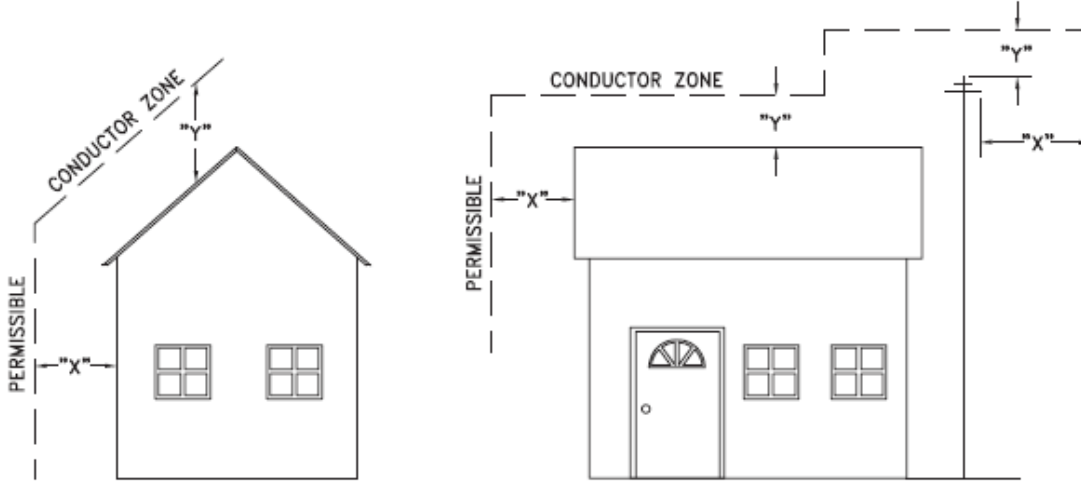
**REFERENCES**

SAGS AND TENSIONS | SECTION 02

**MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS**

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

**NOTES**

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

**MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)**

**Certificate of Approval**  
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04  
Debbie Dadwani, P.Eng. 2010-MAY-05  
Name Date  
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:  
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

**To:** Committee of Adjustment  
**From:** Sarah Scauzillo, Building Standards Department  
**Date:** January 20, 2025  
**Applicant:** Rutherford Land Development Corp  
**Location:** 10 Abeja Street Tower A1  
 PLAN 65M4805 Block 4  
**File No.(s):** A187/24

**Zoning Classification:**

The subject lands are zoned RA3, Apartment Residential Zone and subject to the provisions of Exception 9(1488) under Zoning By-law 1-88, as amended.

<b>Zoning By-law 1-88</b>		<b>Variance requested</b>
1	A minimum parking space dimension of 2.7m x 5.7m is required. [9(1488)]	To permit a maximum of 4 parking spaces with the minimum dimensions of 2.5m x 5.7m in the locations identified on the attached plan.

**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file

**Building Permit(s) Issued:**

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m<sup>2</sup>

**Other Comments:**

<b>Zoning By-law 1-88a.a.</b>	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.

**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer  
**From:** Nancy Tuckett, Director of Development and Parks Planning  
**Date:** January 24, 2025  
**Name of Owner:** Rutherford Land Development Corp.  
**Location:** 10 Abeja Street, Tower A1, Concord  
**File No.(s):** A187/24

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**Proposed Variance(s) (By-law 1-88):**

1. To permit a maximum of 4 parking spaces with the minimum dimensions of 2.5m x 5.7m in the locations identified on the attached plan.

**By-Law Requirement(s) (By-law 1-88):**

1. A minimum parking space dimension of 2.7m x 5.7m is required.

**Official Plan:**

City of Vaughan Official Plan 2010 ('VOP 2010'): "High-rise Mixed-Use" By Volume 2, Section 11.7 Vaughan Mills Centre Secondary Plan

**Comments:**

The Owner is seeking relief to permit a total of four (4) compact vehicle parking spaces, with the above noted variances.

The 'Abeja District' development was approved through a 2017 Ontario Municipal Board decision to facilitate a mixed-use development comprised of three high-rise buildings. The related Site Plan application and Draft Plan of Condominium application for the Subject Lands have been approved. The current Minor Variance application pertains to the Phase 1 of the development. The Development and Parks Planning Department has no objection to the 0.2m reduction of the parking space width for four (4) compact vehicle parking spaces. The reduction is required to facilitate the underground parking layout of the development. The parking spaces requiring relief are located within the underground parking garage, on levels A, B, and D. The Development Engineering Department has reviewed this application and has no objection to the proposed compact parking spaces.

Accordingly, the Development and Parks Planning Department can support the requested variance and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

**Recommendation:**

The Development and Parks Planning Department recommends approval of the application.

**Conditions of Approval:**

If the Committee finds merit in the application, the following conditions of approval are recommended:

None.

**Comments Prepared by:**

Alyssa Pangilinan, Planner 1  
Janany Nagulan, Senior Planner

**From:** [Cameron McDonald](#)  
**To:** [Committee of Adjustment Mailbox](#)  
**Subject:** [External] RE: A187/24 - REQUEST FOR COMMENTS, CITY OF VAUGHAN  
**Date:** Friday, December 20, 2024 3:49:52 PM  
**Attachments:** [image002.png](#)

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Hello,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from the TRCA.

Based on the above, we have no comments/requirements.

Regards,

**Cameron McDonald**

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:(437)880-1925)

E: [cameron.mcdonald@trca.ca](mailto:cameron.mcdonald@trca.ca)

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](#) | [trca.ca](http://trca.ca)





**From:** [Development Services](#)  
**To:** [Committee of Adjustment Mailbox](#)  
**Subject:** [External] RE: A187/24 - REQUEST FOR COMMENTS, CITY OF VAUGHAN  
**Date:** Monday, December 23, 2024 10:16:10 AM  
**Attachments:** [image001.png](#)  
[image003.png](#)

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Hello,

The Regional Municipality of York has completed its review of minor variance application – A187/24 and has no comments. Please provide a copy of the Notice of Decision for our records.

Thank you,

**Maryam Ahmed, B.U.R.PL.** | Planner, Development Planning | Economic and Development Services Branch | Corporate Services Department

---

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1  
1-877-464-9675 x74528 | [maryam.ahmed@york.ca](mailto:maryam.ahmed@york.ca) | [www.york.ca](http://www.york.ca)

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**Our Mission: Working together to serve our thriving communities – today and tomorrow**

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## SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			01/02/2025	Application Cover Letter
Applicant			01/02/2025	Planning Justification Report

November 18, 2024

Attention: Committee of Adjustment  
City of Vaughan  
2141 Major Mackenzie Drive  
Vaughan, ON L6A 1T1

**RE: A187/24 – 10 Abeja Street**

*Introduction and Background*

The Abeja District is a master planned community within the Vaughan Mills Secondary Plan Area. Phase 1 (Block 4) is the first phase of the master planned subdivision that consists of three high-rise residential towers which was approved by a 2017 Ontario Municipal Board decision.

The proposed minor variance for Abeja Phase 1 (Block 4) is to allow for the provision of compact vehicle parking spaces within the underground parking garage and to allow for a reduction of the visitor/commercial parking ratio requirements. The Site Plan application (DA.19.010) for the subject site has been approved and the Draft Plan of Condominium application (19CDM-24V007) is nearing approval. The requested variances and analysis of the four tests under Section 45(1) of the Planning Act have been provided below.

*Requested Variances*

1. To permit a maximum of 3 parking spaces with the minimum dimensions of 2.5m x 5.7m in the locations identified on the attached plan.
2. To permit a minimum of 0.137 residential visitor parking spaces per unit.
3. To permit a minimum of 2.0 spaces per 100m<sup>2</sup> of GFA for an Institutional use.
4. To permit a minimum of 0.0 spaces per 100m<sup>2</sup> of GFA for a Commercial use.

*Analysis of Four Tests*

1. Maintain the General Intent and Purpose of the Official Plan

The general intent of the Official Plan is to facilitate the build out of strong and diverse communities. Recognizing that Phase 1 (Block 4) was approved approximately seven years ago, the development maintains the general intent of the Official Plan and assists in achieving the opportunities set out in the Vaughan Mills Secondary Plan Area to achieve high density.

2. Maintain the General Intent and Purpose of the Zoning By-Law

The zoning for Phase 1 (Block 4) was approved in 2017 at the Ontario Municipal Board, which allowed for high density residential and commercial uses. The general intent of the by-law is to establish an urban form of development with a vibrant public realm along a grid network of streets and complementing park space. In this respect, the proposed variances maintain the general intent of the by-law and do not result in any adverse impacts on surrounding areas and open spaces.

3. Is Desirable for the Appropriate Development and Use of the Land or Building

The proposed compact spaces will allow the redevelopment of an underutilized site within the Vaughan Mills Secondary Plan Area to proceed in accordance with the zoning by-law and a reduction in the visitor/commercial parking ratio will allow for additional parking spaces to be allocated to residents of the master planned community. Therefore, the requested variances are appropriate for the development.

4. Is the requested Variance Minor in Nature

The requested variances are both minor in nature. There are a total of 907 parking spaces in the underground parking garage. Of the total parking spaces, only three spaces do not meet the minimum dimensions of 2.5m x 5.7m. The requested variance to reduce the visitor/commercial parking ratio is also minor in nature as it would permit a minimum of 114 parking spaces (0.137 spaces per unit), where currently the proposed parking ratio requires a minimum of 167 parking spaces (0.2 spaces per unit).

*Enclosures*

In support of the application, please find the following additional documents:

- A plan that indicates the proposed compact spaces prepared by KRCMAR Surveyors Ltd.
- Parking justification letter prepared by JD Northcote Engineering Inc.

Should you require any additional information, please feel free to reach out at any time.

**Antonio Martino**

PLANNING & DEVELOPMENT

[antonio.martino@cortelgroup.com](mailto:antonio.martino@cortelgroup.com)

(905) 695-0800

2800 Hwy 7 W, Suite 301, Vaughan, ON L4K 1W8



December 11<sup>th</sup>, 2024

JDE Project 18092

**City of Vaughan**

2141 Major Mackenzie Dr.  
Vaughan, ON L6A 1T1

**RE: Abeja Development - Phase 1 - Parking Variance**

This letter was prepared by **JD Northcote Engineering Inc.** [JD Engineering] for the account of the **Rutherford Land Development Corp.**, in support of the proposed parking variance for Phase 1 of the Abeja Development.

**1.0 BACKGROUND**

Phase 1 of the Abeja Development is located northeast of the Jane Street / Abeja Street intersection in the City of Vaughan [City], Regional Municipality of York [Region]. The Phase 1 Development includes three high-rise residential towers with a total of 831 residential units and ground floor retail and community space (1,467 sq.m.) (site plan provided in the **Appendix**).

The proposed parking supply for Phase 1 includes 753 resident parking spaces, in accordance with the recommended Multi-Unit Residential Parking Standards for Primary Centres and Primary Intensification Corridors, as identified in the Draft Parking Standards Report by IBI Group (2010) [IBI Group Report]. The proposed bicycle parking supply (619 spaces) exceeds the minimum parking requirement identified in the IBI Group Report (588 spaces). The proposed parking supply also meets the Barrier Free parking requirement identified in ZBL 1-88 (21 spaces).

The proposed parking variance for Phase 1 is related to the residential visitor, retail and community space parking requirement. A total of 114 visitor parking spaces (0.137 spaces per unit) are proposed whereas a total of 167 visitor parking spaces (0.2 spaces per unit) are required according to the IBI Group Report.

JD Engineering prepared a draft parking study for Phase 2 of the Abeja Development [JD Engineering Parking Study] which included a justification for a residential visitor parking rate of 0.125 spaces per unit. The justification was based on a review of the residential visitor parking demand for similar developments (excerpts provided in the **Appendix**).

This letter is intended to determine the minimum parking supply required to service the residential visitor, retail and community spaces uses for Phase 1 of the Abeja Development.

**2.0 PARKING REVIEW**

**Table 1** illustrates the required minimum visitor parking requirements for Phase 1, according to the IBI Group Report. Parking dedicated for residential visitor, retail and community space uses



JD Engineering  
Phone: 705.725.4035  
Email: Info@JDEngineering.ca

and commercial parking can be shared as per Section 4.1.2 in the IBI Group Report; consequently, the residential visitor parking requirement forms the critical minimum parking requirement.

**Table 1 - Zoning By-law Parking Requirements**

Category	Criteria	Parking Standard	Size	Required Parking (Spaces)	
				Individual	Shared
Residential (Visitor)	IBI Group Report	0.2 spaces / unit	831 units	167 spaces	167 spaces
Retail / Community	IBI Group Report	3 spaces per 100 sq.m.	1,467 sq.m.	45 spaces	

**Table 2** illustrates the minimum residential visitor parking supply required, based on the visitor parking rate from the JD Engineering Parking Study.

**Table 2 – Recommended Parking Supply**

Category	Criteria	Size	Recommended Parking Supply Rate	Parking (Spaces)	
				Minimum Requirement	Provided
Residential (Visitor)	JD Engineering Parking Study	831 units	0.125 spaces per unit	104 spaces	114 spaces

In summary, the proposed residential visitor parking supply 114 spaces (0.137 spaces per unit) will provide the necessary capacity to accommodate the peak visitor parking demand for the residential visitor, retail and community spaces uses for Phase 1 of the Abeja Development.

We trust that you find this letter satisfies your requirements.

Yours truly,  
**JD Northcote Engineering Inc.**



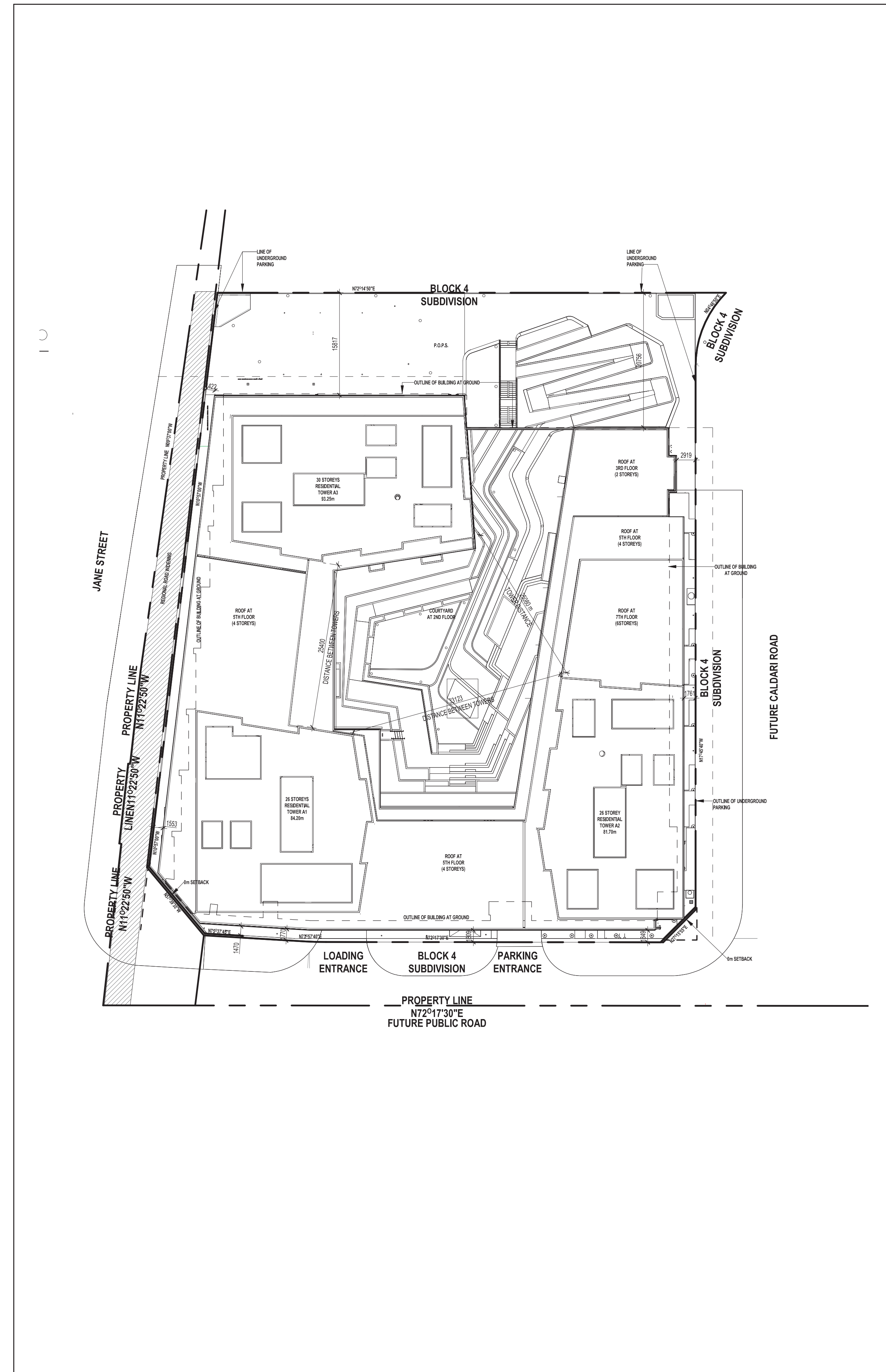
John Northcote, P.Eng.  
President

Any use which a third party makes of this report, or any reliance on or decisions to be made based on it, are the responsibility of such third parties. JD Engineering accept no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on this project.

## Appendix

## Site Plan





### AREA STATISTICS

Tower	Floor	GSA Type	No. of Floors	GSA in square meters		GSA in square feet		Floor Area in sq. m		Floor Area in sq. ft		Units		Residential Area*		Notes
				m	sq. ft	m	sq. ft	1 B	2B-D	3B	4B	5B	6B	7B	8B	
Tower A1	Level 30	741.9	1	741.9	798.5	741.9	798.5	0	0	0	0	0	0	0	0	
	Level 31	741.9	1	741.9	798.5	741.9	798.5	0	0	0	0	0	0	0		
Tower A2	Level 20	741.9	1	741.9	798.5	741.9	798.5	0	0	0	0	0	0	0		
	Level 21	741.9	1	741.9	798.5	741.9	798.5	0	0	0	0	0	0	0		
Tower A3	Level 10	741.9	1	741.9	798.5	741.9	798.5	0	0	0	0	0	0	0		
	Level 11	741.9	1	741.9	798.5	741.9	798.5	0	0	0	0	0	0	0		
Podium	Level 1	1819.9	1	1819.9	1939.9	1819.9	1939.9	1	1	1	1	1	1	1	1	
	Level 2	1819.9	1	1819.9	1939.9	1819.9	1939.9	1	1	1	1	1	1	1	1	
TOTALS	Podium	3639.8	2	3639.8	3879.8	3639.8	3879.8	2	2	2	2	2	2	2	2	
	Towers	2907.9	6	2907.9	3095.4	2907.9	3095.4	0	0	0	0	0	0	0	0	
TOTALS		6547.7	8	6547.7	6975.2	6547.7	6975.2	2	2	2	2	2	2	2	2	

### PARKING, BICYCLE, AMENITY AND LOADING REQUIREMENTS

Require Provided	Require Provided	Require Provided	Require Provided
Residential - Occupant	Residential - Occupant	Residential - Occupant	Residential - Occupant
1000	1000	1000	1000
...	...	...	...
<b>TOTAL</b>	<b>TOTAL</b>	<b>TOTAL</b>	<b>TOTAL</b>

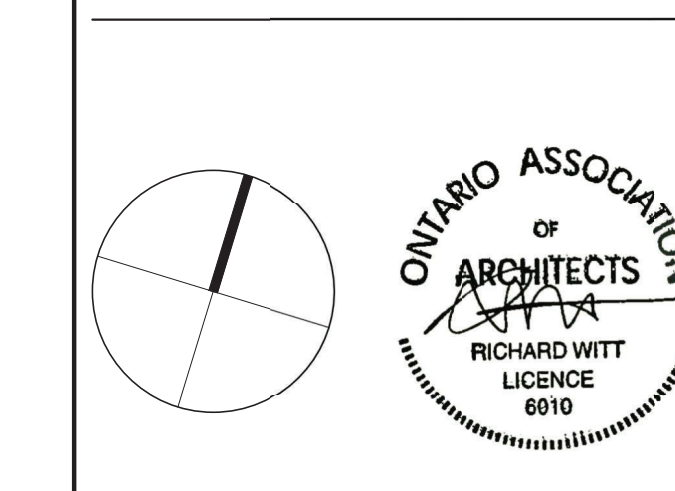
### 2 STATISTICS

#### PROJECT STATISTICS SUMMARY

Project Name	Jane and Rutherford, Block 4, Vaughan
Site Area	7,585.00 m <sup>2</sup>
Site Specific Bylaw	1.00-2018 (SMA) as amended
Average Finished Grade Tower A1	217.75m
Average Finished Grade Tower A2	217.85m
Average Finished Grade Tower A3	218.20m
By-Law 1.00, average elevation of all containing main entrances	217.93m
Building Height - Tower A1 (Roof)	34
Building Height - Tower A2 (Roof)	36
Building Height - Tower A3 (Roof)	37
Maximum Permitted Height - Tower A1 (Level Mech. Penthouse)	35.5
Maximum Permitted Height - Tower A2 (Level Mech. Penthouse)	36.5
Maximum Permitted Height - Tower A3 (Level Mech. Penthouse)	37.5
GFA - Residential Units	65,346.50
GFA - Non-Residential Units	969.40
By-Law 1.00-2018, Total GFA	66,315.90
Floor Space Index (FSI)	8.73
Number of Residential Units	810
Non-Residential Units	10
Total Residential Units	820
Total Non-Residential Units	10
Total Units	830
Vehicle Parking Total Provided	830
Vehicle Parking Total Required	830
Bicycle Parking Total Provided	830
Bicycle Parking Total Required	830
Total Loading Spaces Provided	1
Total Loading Spaces Required	1

### 3 SUMMARY STATS

Date	No.	Description
2023-11-06	1	Issued for SPA Resubmission-Rev 09
2023-05-19	1	Issued for SPA Resubmission-Rev 07
2022-10-14	1	Issued for Construction
2021-07-07	1	Re-Issue for Tender
2021-04-06	1	Issued for Building Permit Resubmission
2021-03-09	1	Issued for SPA Resubmission-Rev 05
2020-12-15	1	Issued for SPA Resubmission-Rev 04
2020-09-22	1	Issued for Tender
2020-08-24	1	Issued for CNMAGNA
2019-08-23	1	Issued for SPA Resubmission-Rev 01
2019-01-10	1	Issued for SPA Submission



**BDP. Quadrangle**

Quadrangle Architects Limited  
901 King Street West, Suite 701, Toronto, ON M5V 3H5  
T 416 598 1242 www.bdpquadrangle.com

Jane and Rutherford- Block 4  
Vaughan, ON  
for  
Rutherford Land Development Corporation

17086 As indicated YWD KCR  
PROJECT SCALE DRAWN REVIEWED

Statistics & Zoning Diagram

# A100

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and other certification prior to commencing work.



## JD Engineering Parking Study Excerpts

# Abeja Development Phase 2

City of Vaughan  
Regional Municipality of York

## Parking Study for Rutherford Land Development Corp.

Type of Document:  
Draft Report

Project Number:  
JDE – 18092

Date Submitted:  
August 20<sup>th</sup>, 2024

---

John Northcote, P.Eng.  
Professional License #: 100124071

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Allister Aresta, P.Eng.  
Professional License #: 100577162



**JD Northcote Engineering Inc.**  
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Barrie, ON  
705.725.4035  
[www.JDEngineering.ca](http://www.JDEngineering.ca)

## 1.6 Proxy Counts – Residential Visitor Parking

### 1.6.1 Proxy Site Locations – Residential Visitor Parking

In order to estimate the visitor parking demand for the residential units within the proposed development, three proxy parking surveys were completed. Two of the proxy sites are located adjacent to the subject site, consequently, the surrounding transportation conditions at these proxy parking sites are consistent with the surrounding transportation conditions at the proposed development. One of the proxy sites is located on Highway 7 in the City of Markham, which has similar development density, access to transit and active transportation, proximity to amenities and traffic congestion as the subject site. The municipal address for the selected proxy sites are as follows:

- 1) 9245 Jane Street, Vaughan [Bellaria Residences Tower 3];
- 2) 9075 & 9085 Jane Street [Park Avenue Place]; and
- 3) 23 & 33 Cox Boulevard [Circa Condominiums].

The proxy surveys were completed at the following times:

- 1) Friday June 21<sup>st</sup>, 2024, between 17:00 – 22:00; and
- 2) Saturday June 22<sup>nd</sup>, 2024, between 11:00 – 22:00.

Detailed parking counts can be found in **Appendix B. Tables 2, 3 and 4**, summarize the results of the parking surveys.

**Table 2 – Bellaria Residences Tower 3 – Visitor Parking Utilization Survey**

Time	Parking Demand		
	Visitor	Visitor Accessible	Total Visitor
<b>Friday, June 21<sup>st</sup></b>			
17:00	14	1	15
17:30	17	1	18
18:00	17	1	18
18:30	19	0	19
19:00	17	0	17
19:30	14	0	14
20:00	16	0	16
20:30	17	0	17
21:00	19	0	19
21:30	18	0	18
<b>Saturday, June 22<sup>nd</sup></b>			
11:00	16	1	17
11:30	15	1	16
12:00	15	0	15
12:30	16	0	16
13:00	18	0	18
13:30	18	0	18
14:00	18	0	18
14:30	19	0	19
15:00	18	0	18
15:30	18	0	18
16:00	20	0	20
16:30	20	0	20
17:00	19	0	19
17:30	21	0	21
18:00	19	0	19
18:30	21	0	21
19:00	21	0	21
19:30	21	0	21
20:00	23	0	23
20:30	22	0	22
21:00	20	0	20
21:30	21	0	21
<b>Parking Supply</b>	<b>50 spaces</b>	<b>4 spaces</b>	<b>54 spaces</b>
<b>Max Demand</b>	<b>23</b>	<b>1</b>	<b>23</b>
<b>Max Utilization</b>	<b>46%</b>	<b>25%</b>	<b>43%</b>
<b>Demand per Unit</b>	<b>0.110</b>	<b>0.004</b>	<b>0.110</b>
<i>Size: 209 units</i>			

As illustrated, the maximum visitor parking demand is 0.110 spaces / unit.

**Table 3 – Park Avenue Place – Visitor Parking Utilization Survey**

Time	Parking Demand			
	Visitor	Visitor Accessible	EV Shared	Total Visitor*
<b>Friday, June 21<sup>st</sup></b>				
17:00	43	4	2	48
17:30	44	4	2	49
18:00	42	3	2	46
18:30	44	1	2	46
19:00	43	1	2	45
19:30	43	1	1	45
20:00	46	2	1	49
20:30	48	2	1	51
21:00	47	2	2	50
21:30	46	2	2	49
<b>Saturday, June 22<sup>nd</sup></b>				
11:00	45	3	1	49
11:30	48	3	1	52
12:00	46	3	1	50
12:30	48	3	1	52
13:00	50	3	2	54
13:30	50	3	2	54
14:00	50	4	2	55
14:30	51	4	2	56
15:00	53	4	2	58
15:30	56	4	2	61
16:00	56	4	1	61
16:30	62	4	1	67
17:00	63	3	2	67
17:30	70	2	2	73
18:00	73	2	2	76
18:30	70	2	2	73
19:00	69	2	1	72
19:30	69	1	1	71
20:00	70	1	2	72
20:30	70	2	2	73
21:00	68	2	2	71
21:30	67	2	2	70
<b>Parking Supply</b>	<b>94</b>	<b>6</b>	<b>6</b>	<b>103*</b>
<b>Max Demand</b>	<b>73</b>	<b>4</b>	<b>2</b>	<b>76</b>
<b>Max Utilization</b>	<b>78%</b>	<b>67%</b>	<b>33%</b>	<b>74%</b>
<b>Demand per Unit</b>	<b>0.129</b>	<b>0.007</b>	<b>0.004</b>	<b>0.134</b>
<i>Size: 568 units</i>				

\* The parking stalls dedicated for electric vehicle charging [EV Shared] are available to residents and visitors; To be conservative, we have assumed that half of the EV parking spaces are used by visitor parking.

The maximum visitor parking demand is 0.134 spaces / unit.

**Table 4 – Circa Condominiums - Parking Utilization Survey**

Time	Parking Demand		
	Visitor	On-Street	Total Visitor
<b>Friday, June 21<sup>st</sup></b>			
17:00	35	0	35
17:30	34	0	34
18:00	30	0	30
18:30	31	0	31
19:00	34	0	34
19:30	35	0	35
20:00	38	0	38
20:30	37	0	37
21:00	40	0	40
21:30	38	0	38
<b>Saturday, June 22<sup>nd</sup></b>			
11:00	35	3	38
11:30	40	4	44
12:00	45	5	50
12:30	54	5	59
13:00	60	4	64
13:30	64	5	69
14:00	68	7	75
14:30	70	7	77
15:00	74	8	82
15:30	66	7	73
16:00	60	7	67
16:30	55	5	60
17:00	54	4	58
17:30	53	4	57
18:00	50	3	53
18:30	47	3	50
19:00	45	2	47
19:30	47	1	48
20:00	47	1	48
20:30	43	1	44
21:00	44	1	45
21:30	42	1	43
<b>Parking Supply</b>	<b>101</b>	<b>8</b>	<b>109</b>
<b>Max Demand</b>	<b>74</b>	<b>8</b>	<b>82</b>
<b>Max Utilization</b>	<b>73%</b>	<b>100%</b>	<b>75%</b>
<b>Demand per Unit</b>	<b>0.094</b>	<b>0.010</b>	<b>0.105</b>
<i>Size: 784 units</i>			

On-street parking is provided on the north side of Cox Boulevard, across from the proxy site. This on-street parking is directly adjacent to Millennium Park, which provides a shade structure, splash pad, playground, and walking paths. Additional on-street parking is also provided on the north side of Cox Boulevard, west of St. Moritz Way, which services the ground floor commercial uses along the north side



of Cox Boulevard. Based on our review of the local area, it is anticipated that the on-street parking adjacent to the park is used by either visitors to the park, commercial parking or by residential visitors to the proxy site or the residential units west and northwest of the proxy site. Since it was not possible to provide a definitive breakdown of the utilization of the parking in this area, it was conservatively assumed that all on-street parking on Cox Boulevard adjacent to the park is residential visitor parking for the proxy site. Consequently, the maximum visitor parking demand (typical + on-street spaces) is 0.105 spaces / unit.

### 1.6.2 Proxy Survey Data – Residential Visitor Parking

**Table 5** summarizes the peak residential visitor parking demand for the proxy sites.

**Table 5 – Residential Visitor Proxy Survey Site Data**

Proxy Site	Number of Units	Visitor Parking			
		Supply (spaces)	Peak Period	Demand (spaces)	Demand Rate (spaces/unit)
Bellaria Residences Tower 3	209	50	Saturday, 20:00	23	0.110
Park Avenue Place	568	94	Saturday, 18:00	76	0.134
Circa Condominiums	784	109	Saturday, 15:00	82	0.105
<b>AVERAGE</b>					<b>0.116</b>

## 1.7 Analysis – Residential Visitor Parking

Based on the parking data collected at the proxy sites, the peak visitor parking demand ranges from 0.105 to 0.134 spaces per unit with an average peak parking demand of 0.116 spaces per unit.

The visitor parking supply at all three proxy sites exceeded the visitor parking demand; consequently, the visitor parking demand was unconstrained. In an unconstrained parking condition, there is a possibility that some of the visitor parking supply was being misused by residents. This is particularly likely in the case of the Bellaria Residences Tower 3 site where the peak less than half of the parking supply.

Circa Condominium was constructed approximately 15 years ago, Bellaria Residences Tower 3 was constructed approximately 12 years ago and Park Avenue Place was constructed approximately two years ago. There can be some variation in visitor parking utilization for a new building as the property manager monitors and responds to issues related to misuse of visitor parking by residents. This can be temporary misuse of visitor parking by residents for convenience or long-term misuse of visitor parking by residents to avoid the purchase of a resident parking space.

The proposed development includes 711 residential units, which is greater than the Bellaria Residences Tower 3 and Park Avenue Place proxy sites. The visitor parking demand rate at smaller developments is typically higher than the visitor parking demand rate at larger developments. This is due to the relative impact of non-typical events or gatherings at individual units or in designated party rooms or multi-purpose rooms. The proxy parking count data shows that the visitor parking demand rate at the smaller Bellaria Residence Tower 3 and the larger Circa Condominium were consistent, which indicates that the parking demand rate is an accurate reflection of the parking demand.

The peak visitor parking demand for the Bellaria Residences Tower 3 and Circa Condominium are similar, despite the variation in size of the development, visitor parking utilization rate and location. This

demonstrates that any minor variation in the transportation characteristics at for the two locations does not have a notable impact on the visitor parking demand.

Based on our review, the visitor parking demand rate at the Bellaria Residences Tower 3 and Circa Condominium represent a stabilized visitor parking demand for an uncontrolled (oversupplied) condition. The slightly higher parking demand rate at Park Avenue Place is a result of a newer development where the visitor parking has not stabilized. Utilization of the average peak parking demand rate for the three proxy sites will provide a slightly conservative representation of the long-term visitor parking demand rate for the subject site. It is recommended that the residential parking supply marginally exceed the peak parking demand, in order to avoid parking spill-over impacts. A 5% excess supply is recommended for this site, which results in a recommended visitor parking supply rate of 0.125 spaces per unit. This is more than 10% greater than the peak parking demand rate observed at the Bellaria Residences Tower 3 and Circa Condominium.

## 1.8 Parking Recommendation

### 1.8.1 Minimum Parking Supply

Based on our review of the surrounding area, transit access, active transportation infrastructure, local development and proxy parking data, the recommended minimum residential visitor parking supply for the proposed development is summarized in **Table 7**.

**Table 7 – Recommended Parking Supply**

Category	Size	Recommended Parking Supply Rate	Parking Supply
Visitor Residential	711 units	0.125 spaces per unit	89 spaces

Surplus visitor parking (18 spaces), based on the allocation identified the TIS (107 spaces), can be redistributed to resident parking. The resulting recommended parking breakdown for the 658 parking spaces is 567 resident parking spaces, 2 retail parking spaces and 89 visitor parking spaces.

## 2 Summary

**Rutherford Land Development Corp.** retained **JD Engineering** to prepare this parking study in support of the proposed development in the City of Vaughan, Regional Municipality of York. The proposed Site Plan is shown in **Appendix A**.

The proposed Phase 2 development will consist of two 30-storey residential towers with a total of 711 residential units and ground floor commercial space (642 sq.ft. of GFA). JD Engineering completed a traffic impact study for the proposed development, dated May 31<sup>st</sup>, 2024 [TIS].

The TIS was based on a development plan that included 658 parking spaces (549 residential, 2 retail and 107 visitor parking spaces).

This chapter summarizes the conclusions and recommendations from the study.

1. Residential visitor parking counts completed at three proxy sites were completed in order to estimate the residential visitor parking demand for the proposed development. The municipal address for the proxy sites are listed below:
  - 9245 Jane Street, Vaughan [Bellaria Residences Tower 3];
  - 9075 & 9085 Jane Street [Park Avenue Place]; and
  - 23 & 33 Cox Boulevard [Circa Condominiums].
2. Based on our review of the transit access, active transportation infrastructure, local development density and amenities and proxy parking data, the recommended minimum visitor parking supply is provided in Table A.

**Table A – Recommended Parking Supply**

Category	Size	Recommended Parking Supply Rate	Parking Supply
Visitor Residential	711 units	0.125 spaces per unit	89 spaces

3. In summary, the above-noted residential visitor parking supply will provide the necessary capacity to accommodate the peak residential visitor parking demand for the proposed development. Surplus visitor parking (18 spaces), based on the allocation identified the TIS (107 spaces), can be redistributed to resident parking. The resulting recommended parking breakdown for the 658 parking spaces is 567 resident parking spaces, 2 retail parking spaces and 89 visitor parking spaces.

## SCHEDULE D: BACKGROUND

Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
A318/22	Approved; COA; March 2, 2023
A168/23	Approved; COA; November 16, 2023

**NOTICE OF DECISION**  
**MINOR VARIANCE APPLICATION A168/23**  
 Section 45 of the Planning Act, R.S.O, 1990, c.P.13

<b>DATE OF HEARING:</b>	Thursday, November 16, 2023
<b>APPLICANT:</b>	Rutherford Land Development Corporation
<b>AGENT:</b>	Cortel Group
<b>PROPERTY:</b>	2901 Rutherford Road., Vaughan
<b>ZONING DESIGNATION:</b>	See below.
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	City of Vaughan Official Plan 2010 ("VOP 2010"), Volume 2: Vaughan Mills Centre Secondary Plan: "High-Rise Mixed-Use"
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	19T-18V001, DA.19.010
<b>PURPOSE OF APPLICATION:</b>	<p>Relief from the Zoning By-law is being requested to permit the development of the Abeja District, which is a master planned subdivision within the Vaughan Mills Secondary Plan Area.</p> <p>The development, relating to draft plan of subdivision 19T-18V001, pertains to Phase I (Block4), which contains high-rise residential towers on the subject land.</p> <p>Relief through this application is required to permit a reduced front yard setback to Tower A1 and A2 (as shown on the plans submitted).</p> <p>Relief is also required to facilitate related Site Plan Application DA.19.010.</p>

The following variances are being requested from the City's Zoning By-law:

**The subject lands are zoned RA3(H) and subject to the provisions of Exception 9(1488) under Zoning By-law 1-88, as amended.**

	Zoning By-law 1-88	Variance requested
1	A minimum front yard setback of 7.5 metres is required. [Schedule A]	To permit a minimum front yard setback of 1.4 metres.

**Having regard to the requirements of Section 45 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, including the written and oral submissions related to the application, it is the decision of the Committee:**

THAT Application No. **A168/23** for 2901 Rutherford Rd., Vaughan be **APPROVED**, in accordance with the drawings and plans submitted with the application and subject to the following conditions:

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
		<p>All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.</p> <p>It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (<b>see condition chart below for contact</b>). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.</p>

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	TRCA <a href="mailto:Kristen.Regier@trca.ca">Kristen.Regier@trca.ca</a>	That the applicant provides the required fee amount of \$1250.00 payable to the Toronto and Region Conservation Authority.

**REASONS:**

This application is approved, as it is the opinion of the Committee that, with the above noted conditions of approval, this application meets all four tests under Section 45(1) of the Planning Act:

1. The general intent and purpose of the by-law will be maintained.
2. The general intent and purpose of the official plan will be maintained.
3. The requested variance(s) is/are acceptable for the appropriate development of the subject lands.
4. The requested variance(s) is/are minor in nature.

**PUBLIC WRITTEN & ORAL SUBMISSIONS**

Public correspondence considered by the Committee of Adjustment in the making of this decision.

**WRITTEN SUBMISSIONS:**

Name	Address	Date Received (mm/dd/yyyy)	Summary
None			

**ORAL SUBMISSIONS:**

Name	Address	Submission (Hearing) Date (mm/dd/yyyy)	Summary
None			

In accordance with Procedural By-law 069-2019, public written submissions on an Application shall only be received by the Secretary Treasurer until **noon** on the last business day prior to the day of the scheduled Meeting.

**WRITTEN SUBMISSIONS RECEIVED PAST DEADLINE:**

Name	Address	Date Received (mm/dd/yyyy)	Summary
None			

**IMPORTANT INFORMATION**

Making any changes to your proposal/development after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings attached to this decision.

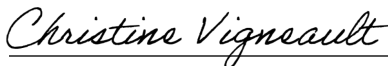
A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

**MEMBERS PRESENT WHO CONCUR IN THIS DECISION:**

<i>J. Kalpin</i>	<i>A. Perrella</i>	<i>M. Milunsky</i>
J. Kalpin Member	A. Perrella Chair	M. Milunsky Member
<i>S. Kerwin</i>		<i>B. Bell</i>
S. Kerwin Vice Chair		B. Bell Member

<b>DATE OF HEARING:</b>	<b>November 16, 2023</b>
<b>DATE OF NOTICE:</b>	<b>November 23, 2023</b>
<b>LAST DAY FOR *APPEAL:</b> *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	<b>December 6, 2023 4:30 p.m.</b>
<b>CERTIFICATION:</b> I hereby certify that this is a true copy of the decision of the City of Vaughan’s Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application.   _____ Christine Vigneault Manager Development Services & Secretary Treasurer to the Committee of Adjustment	

**Appealing to The Ontario Land Tribunal**  
 The *Planning Act*, R.S.O. 1990, as amended, Section 45

The applicant, the Minister or a **specified person** or public body that has an interest in the matter may within 20 days of the making of the decision appeal to the Tribunal against the decision of the committee by filing with the secretary-treasurer of the committee a notice of appeal setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the secretary-treasurer of the fee charged by the Tribunal as payable on an appeal from a committee of adjustment to the Tribunal.

When **no appeal is lodged** within twenty days after the giving of notice the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

Please email and courier all appeals and prescribed fees to:

Office of the City Clerk - Committee of Adjustment  
 2141 Major Mackenzie Drive  
 Vaughan Ontario, L6A 1T1  
[cofa@vaughan.ca](mailto:cofa@vaughan.ca)

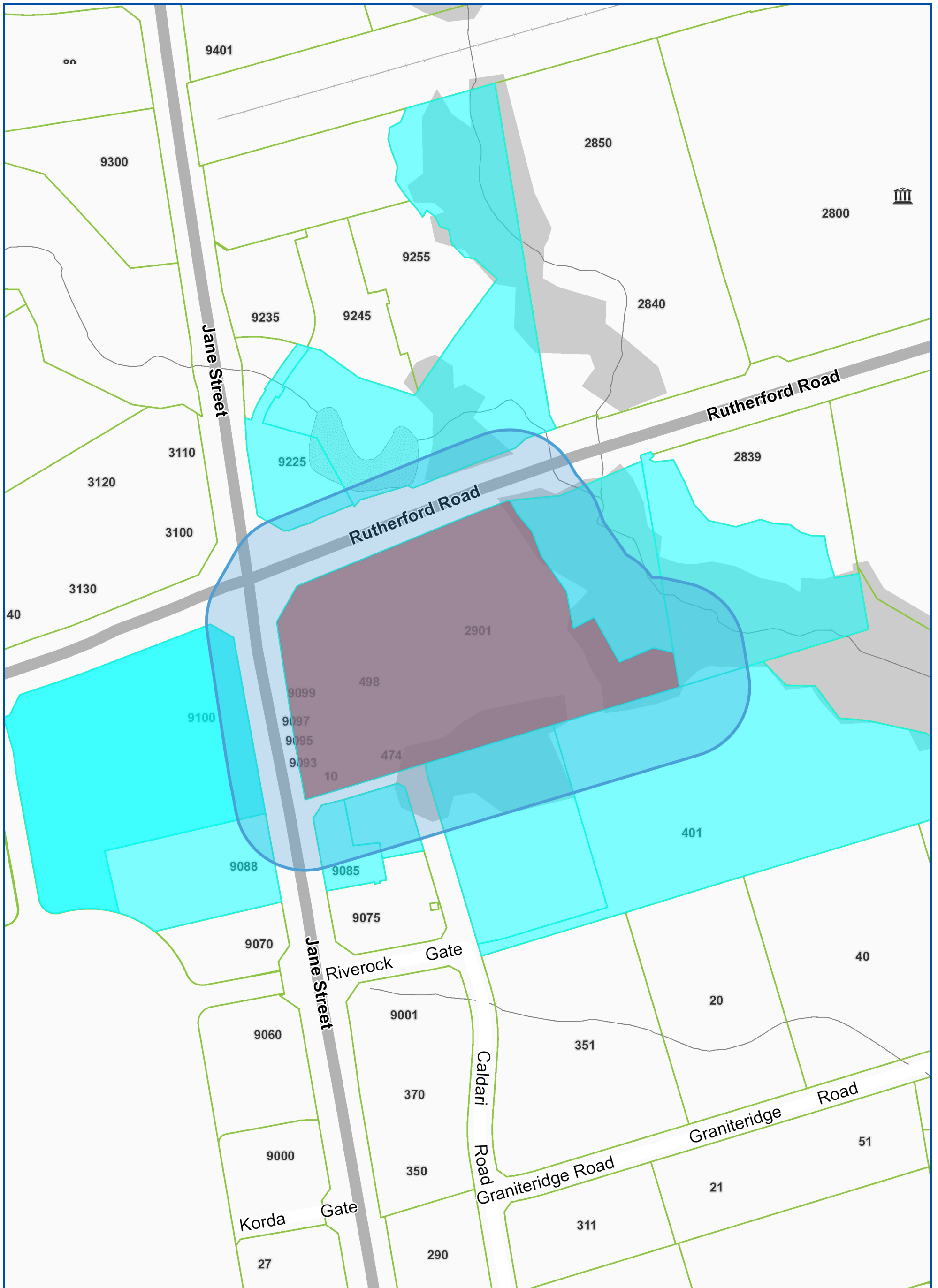
If you have questions regarding the appeal process, please email [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Appeal Fees & Forms**

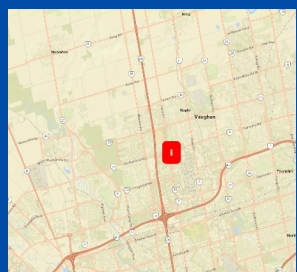
**ONTARIO LAND TRIBUNAL (OLT):** The OLT appeal fee is \$400 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The OLT Appeal Fee must be paid by certified cheque or money order payable to the “Minister of Finance”. OLT appeals must be filed with the Secretary Treasurer, City of Vaughan.

**City of Vaughan OLT Processing Fee:** [See Fee Schedule](#)

\*Please note that all fees are subject to change.



Map Information:



Title:

2901 Rutherford Road, Vaughan

NOTIFICATION MAP - A168/23

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale:

1: 4,514

0

0.07 km



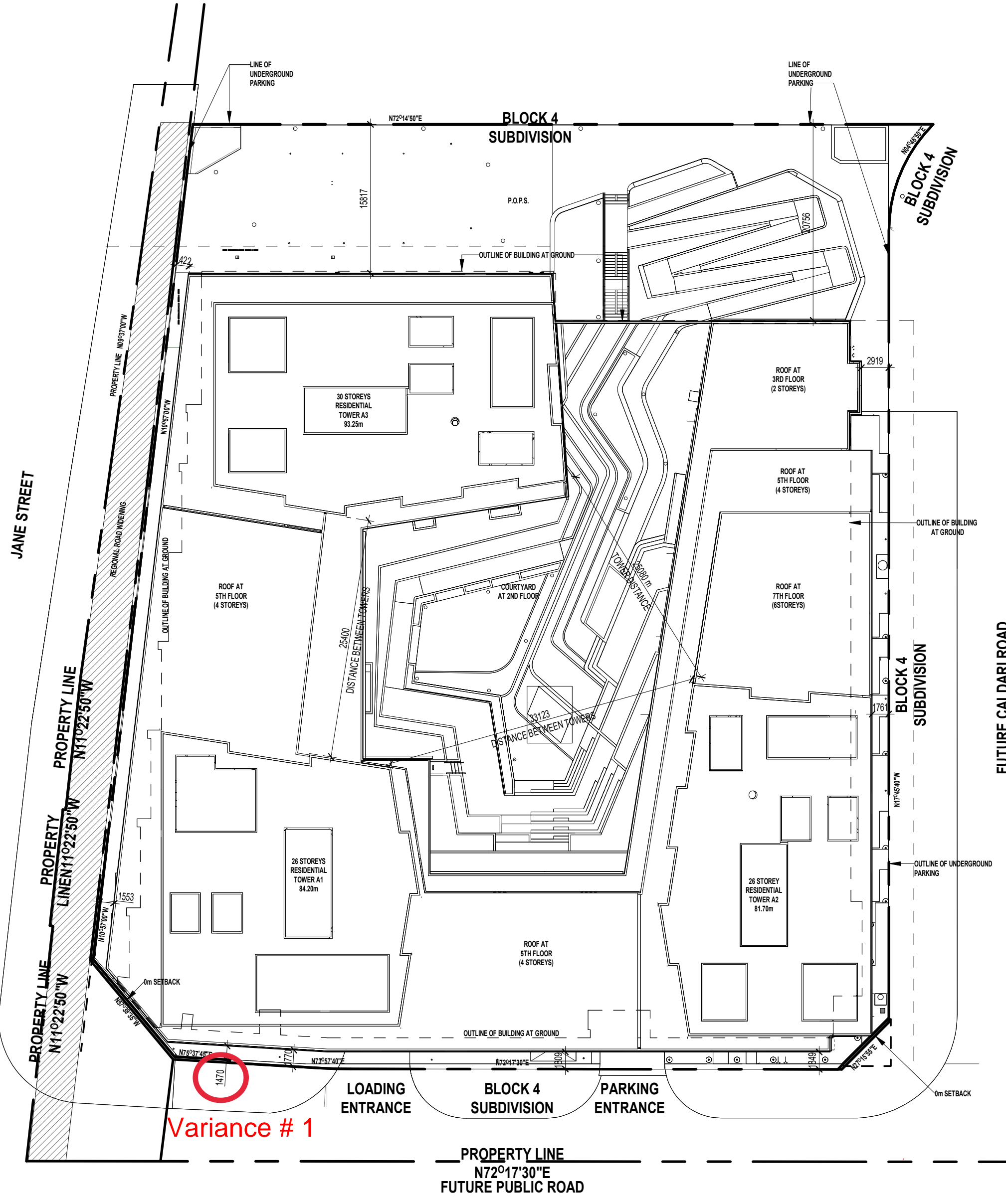
Created By:

Infrastructure Delivery  
Department

October 30, 2023 2:37 PM

Projection:  
NAD 83  
UTM Zone  
17N





Variance # 1

PROPERTY LINE  
N72°17'30"E  
FUTURE PUBLIC ROAD

**NOTICE OF DECISION**  
**MINOR VARIANCE APPLICATION A318/22**  
 Section 45 of the Planning Act, R.S.O, 1990, c.P.13

<b>DATE OF HEARING:</b>	Thursday, March 2, 2023
<b>APPLICANT:</b>	Rutherford Land Development Corporation
<b>AGENT:</b>	Nicole Sgrignuoli
<b>PROPERTY:</b>	2901 Rutherford Road, Woodbridge
<b>ZONING DESIGNATION:</b>	See below.
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "High-Rise Mixed-Use" by Volume 2, Section 11.7 Vaughan Mills Centre Secondary Plan and is further identified as a "Primary Centre".
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	None
<b>PROPOSAL:</b>	Relief from the Zoning By-law is being requested to permit a proposed development consisting of (1) 30-storey and two (2) 26-storey residential apartment buildings with a total of 815 apartment units, and commercial/retail uses on the ground floor and to facilitate site plan application DA.19.010.

The following variances are being requested from the City's Zoning By-law to accommodate the above proposal:

**The subject lands are zoned RM2(H) Multiple Unit Residential Zone ON HOLD under Zoning By-law 001-2021, as amended.**

#	Zoning By-law 01-2021	Variance requested
1	N/A	

**The subject lands are zoned RA3(H) Residential Apartment Dwelling ON HOLD and subject to the provisions of Exception 9(1488) under Zoning By-law 1-88, as amended.**

	Zoning By-law 1-88	Variance requested
1	Non-residential uses shall have a maximum gross floor area of 1,800m <sup>2</sup> restricted to the ground floor. Exc. 9(1488)	To permit a maximum gross floor area of 452.4 m <sup>2</sup> for non-residential uses located on the second level.
2	A minimum setback from the streetline to the first two-storeys of any building above finished grade shall be 3.0 metres. Exc. 9(1488)	To permit a minimum setback from the streetline to the first two-storeys of any building above finished grade of 2.9 metres.
3	To permit a minimum front yard of 1.8 metres above the first two-storeys. Schedule A	A minimum front yard of 7.5 metres is required above the first two-storeys.
4	To permit a minimum westerly exterior side yard of 1.4 metres and a minimum easterly exterior side yard of 1.7 metres. Schedule A	A minimum exterior side yard of 7.5 metres is required above the first two-storeys.
5	A minimum of 965 parking spaces are required. Exc. 9(1488)	To permit a minimum of 907 parking spaces on site.
6	A strip of land not less than 1.5 meters in width shall be provided along a lot line which abuts a street line. Exc. 9(1488)	To permit a strip of land not less than 0.0 metres in width be provided along a lot line which abuts a street line.
7	A maximum driveway width of 7.5 metres is permitted. S.3.8 g)	To permit a driveway and parking garage entrance width of 6.0 metres.

Having regard to the requirements of Section 45 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, including the written and oral submissions related to the application, it is the decision of the Committee:

THAT Application No. **A318/22** for 2901 Rutherford Road, Woodbridge be **APPROVED**, in accordance with the drawings and plans submitted with the application and subject to the following conditions:

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
<p>All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.</p> <p>It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (<b>see condition chart below for contact</b>). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.</p>		
1	Development Engineering <a href="mailto:Rex.bondad@vaughan.ca">Rex.bondad@vaughan.ca</a>	The Owner/Applicant shall obtain approval for the related Site Development Application (DA.19.010) from the Development Engineering (DE) Department.
2	TRCA <a href="mailto:Kristen.Regier@trca.ca">Kristen.Regier@trca.ca</a>	That the applicant provides the required fee amount of \$1250.00 payable to the Toronto and Region Conservation Authority.

**REASONS:**

This application is approved, as it is the opinion of the Committee that, with the above noted conditions of approval, this application meets all four tests under Section 45(1) of the Planning Act:

1. The general intent and purpose of the by-law will be maintained.
2. The general intent and purpose of the official plan will be maintained.
3. The requested variance(s) is/are acceptable for the appropriate development of the subject lands.
4. The requested variance(s) is/are minor in nature.

**PUBLIC WRITTEN & ORAL SUBMISSIONS**

Public correspondence considered by the Committee of Adjustment in the making of this decision.

**WRITTEN SUBMISSIONS:**

Name	Address	Date Received (mm/dd/yyyy)	Summary
None			

**ORAL SUBMISSIONS:**

Name	Address	Submission (Hearing) Date (mm/dd/yyyy)	Summary
None			

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**WRITTEN SUBMISSIONS RECEIVED PAST DEADLINE:**

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### **IMPORTANT INFORMATION**

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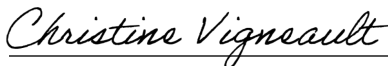
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**MEMBERS PRESENT WHO CONCUR IN THIS DECISION:**

<i>J. Kalpin</i>	<i>A. Perrella</i>	<i>M. Milunsky</i>
J. Kalpin Member	A. Perrella Chair	M. Milunsky Member
<i>S. Kerwin</i>		<i>B. Bell</i>
S. Kerwin Vice Chair		B. Bell Member

<b>DATE OF HEARING:</b>	<b>Thursday, March 2, 2023</b>
<b>DATE OF NOTICE:</b>	<b>March 9, 2023</b>
<b>LAST DAY FOR *APPEAL:</b> *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	<b>March 22, 2023 4:30 p.m.</b>
<b>CERTIFICATION:</b> I hereby certify that this is a true copy of the decision of the City of Vaughan’s Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application.   _____ Christine Vigneault Manager Development Services & Secretary Treasurer to the Committee of Adjustment	

**Appealing to The Ontario Land Tribunal**  
 The *Planning Act*, R.S.O. 1990, as amended, Section 45

The applicant, the Minister or a **specified person** or public body that has an interest in the matter may within 20 days of the making of the decision appeal to the Tribunal against the decision of the committee by filing with the secretary-treasurer of the committee a notice of appeal setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the secretary-treasurer of the fee charged by the Tribunal as payable on an appeal from a committee of adjustment to the Tribunal.

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**Appeal Fees & Forms**

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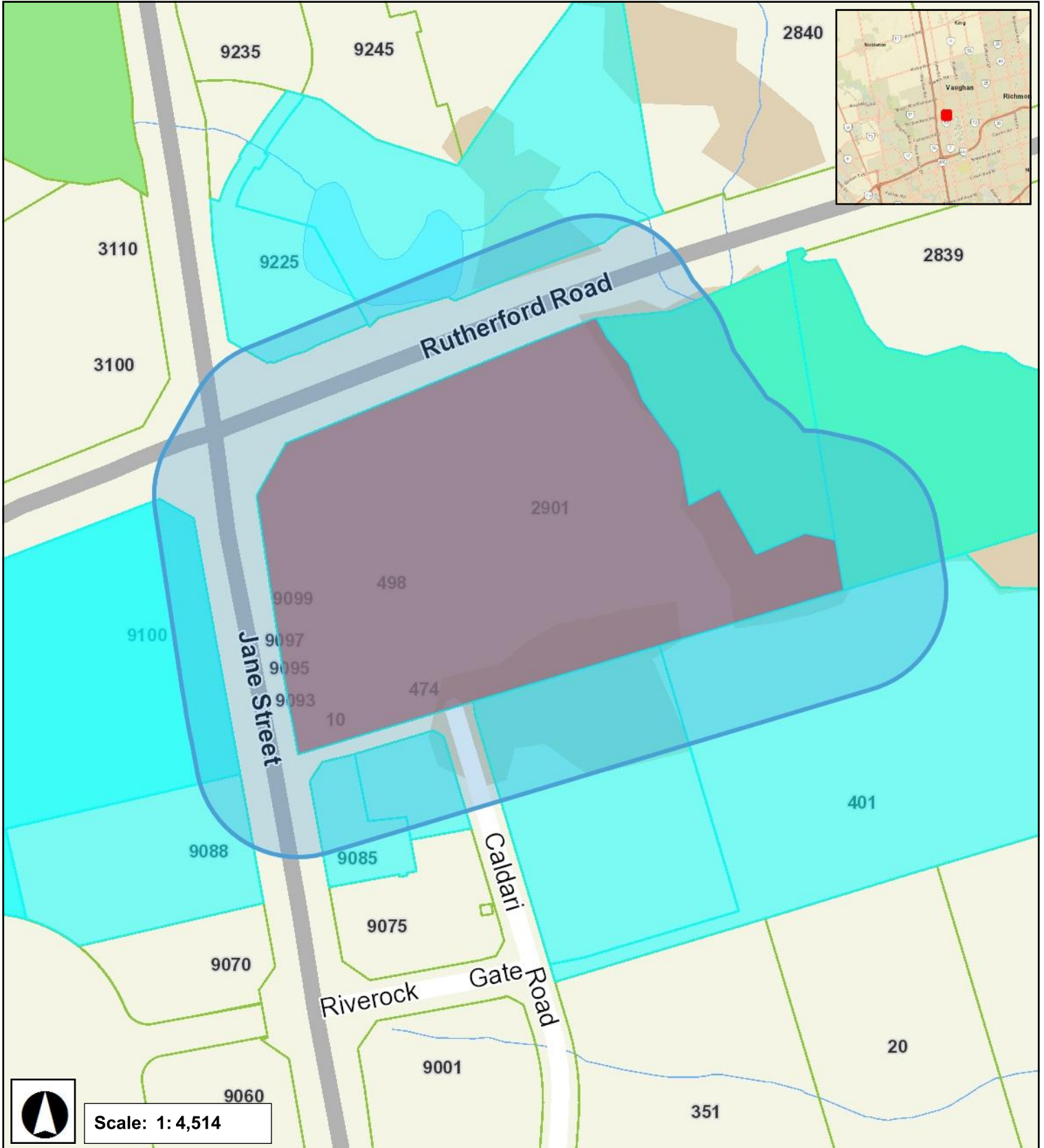
**City of Vaughan OLT Processing Fee:** [See Fee Schedule](#)

\*Please note that all fees are subject to change.



# LOCATION MAP A318/22

2901 RUTHERFORD ROAD, VAUGHAN



**AREA STATS**

	Floor	GBA/Typ. Floor (sm) <sup>4</sup>	No. Typ. Floors	GBA Gross Building Area (no exclusions)		GFA <sup>1</sup> Exclusions (sm)	Vaughan By-law 1-88		Floor Area by Use <sup>2</sup>						Saleable Area <sup>6</sup>				Notes					
				sm	sf		GFA <sup>1</sup>		Residential		Retail		Com. Space		studio	1 B 1 B+D	2B 2B+D	3B		Total Suites	Res. Saleable	Com. Saleable	Indoor Amenity sm	Outdoor Amenity
							sm	sf	sm	sf	sm	sf	sm	sf										
Tower A3	Level 30	748.9	1	748.9			748.9		748.9					0	2	1	4	7						
Tower A3	Level 5-29	748.9	25	18722.5			18722.5		18722.5					24	150	99	1	274	16347.5					
Tower A1	Level 7-27	749.5	21	15739.5			15739.5		15739.5					0	105	84	21	210	13479.9					
Tower A2	Level 26	748.9	1	748.9			748.9		748.9					0	2	1	4	7	649.7					
Tower A2	Level 8-25	748.9	18	13480.2			13480.2		13480.2					18	108	72	0	198	11757.6					
Tower A2	Level 7	748.9	1	748.9			748.9		748.9					0	6	3	1	10	653.2					
Podium	Level 6	1078.9	1	1078.9			1078.9		1078.9					0	11	4	0	15	921.0					
	Level 5	1819.9	1	1819.9			1819.9		1819.9					0	10	5	0	15	1559.0			741.0	1048.4	
	Level 4	4038.1	1	4038.1			4038.1		4038.1					1	13	24	6	44	3078.9					
	Level 3	4101.7	1	4101.7			4101.7		4101.7					1	13	24	6	44	3081.0			165.0		
	Level 2	2855.2	1	2855.2			2855.2		2402.8					0	0	0	0	0	0	468.8	452.4			
	Ground	5745.0	1	5745.0		2415.8	3329.2		2315.2		969.4				0	5	2	0	7	349.9	44.6			
	P1	7868.1	1	7868.1		3815.5	4052.6																	
	P2-P4	7891.5	3	23674.4		12486.3	11188.1																	
TOTALS				69827.7			67411.9		65945.5										52,346.5	497.0	906.0	1,048	0	TOTALS
			30	100,621.3			67,411.9		65,945.5		969.4		497.0	44	425	319	43	831						
														5.3%	51.1%	38.4%	5.2%	100%						% of Suite Type
Floor Area by Use Breakdown	Above Grade			Floor Area (Retail) <sup>3</sup>	969.4 sm		Floor Area (Com. Space) <sup>3</sup>	497.0 sm		Floor Area (Residential) <sup>5</sup>	65945.5 sm								63.0				Average Suite Size (sm)	
	Below Grade			Floor Area Parking	15240.7 sm															678				Average Suite Size (sf)
Area Totals & FSI	Site Area= 7,940			Gross Floor Area <sup>1</sup> Total	82,652.6 sm																			
				Floor Space Index (FSI)	10.4																			

#1

452.4

**Notes From Vaughan By-law 1-88:**

<sup>1</sup> FLOOR AREA, GROSS (G.F.A.) - Means the aggregate of the floor areas of all storeys of a building, measured to the exterior of the outside walls, but not including the areas of any cellar, or car parking area above or below grade within the building or within a separate structure.

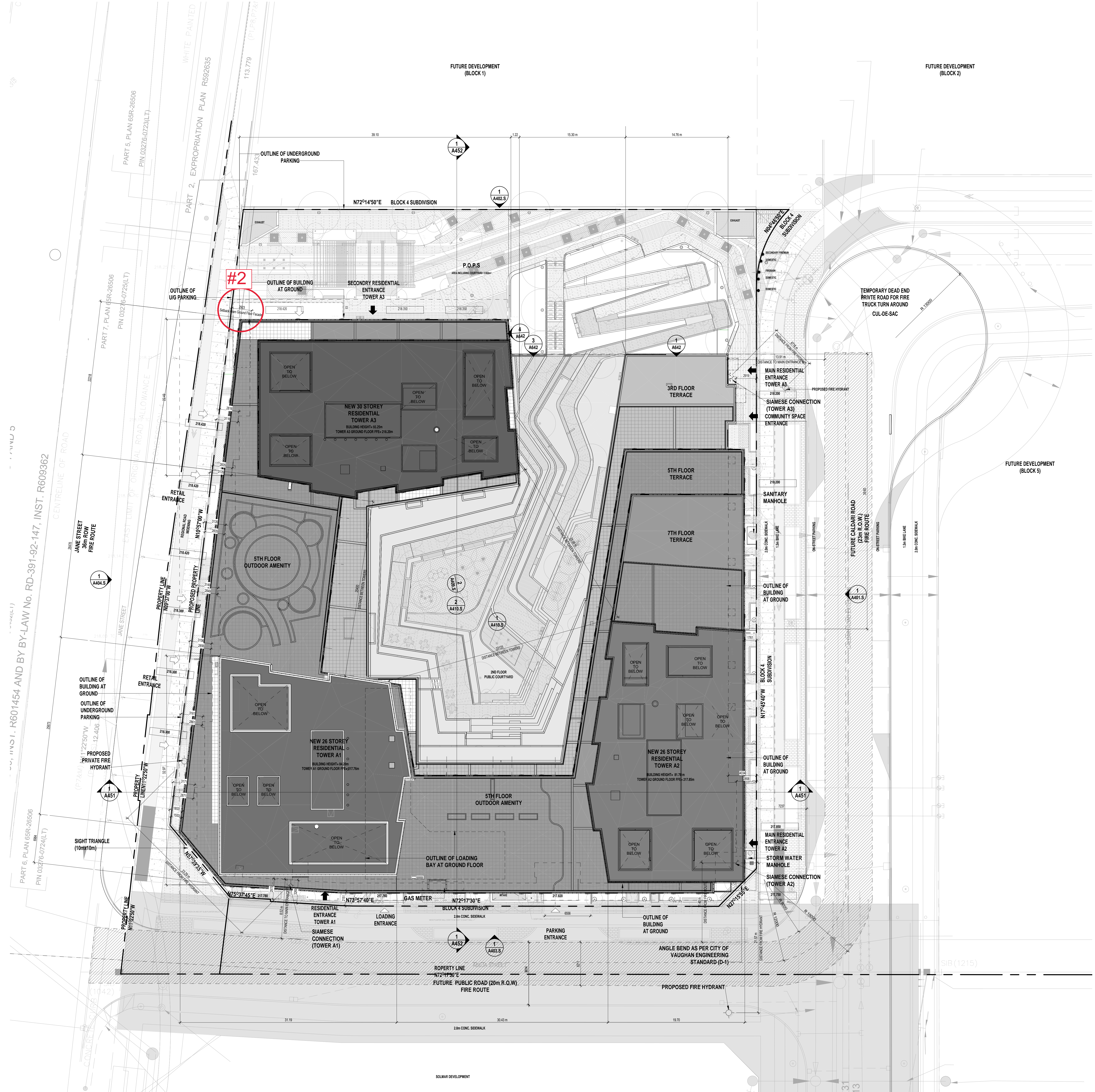
<sup>2</sup> FLOOR AREA - Means the total area devoted to a particular use within a building, measured to the exterior limits of that use.

<sup>3</sup> Max Permitted Non-Residential Gross floor Area is 1,800 m2.

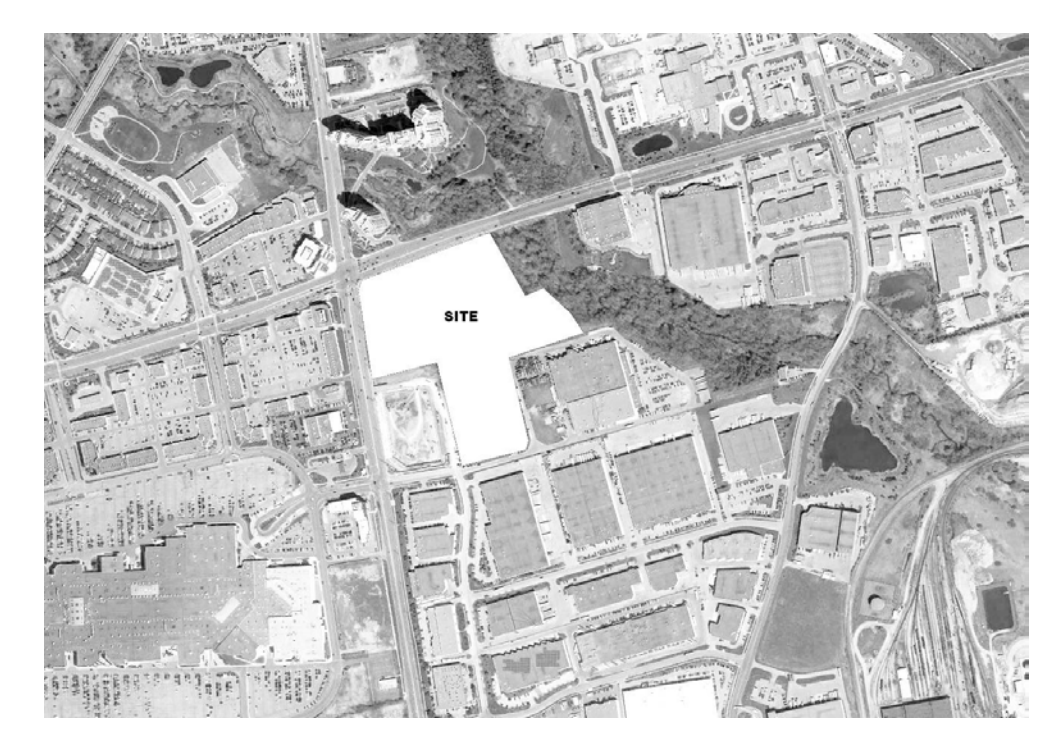
<sup>4</sup> Maximum Floor Plate of Residential Apartment Tower Above Podium shall not exceed 750 m2.

<sup>5</sup> Max Permitted Residential Gross Floor Area is 66,000 m2.

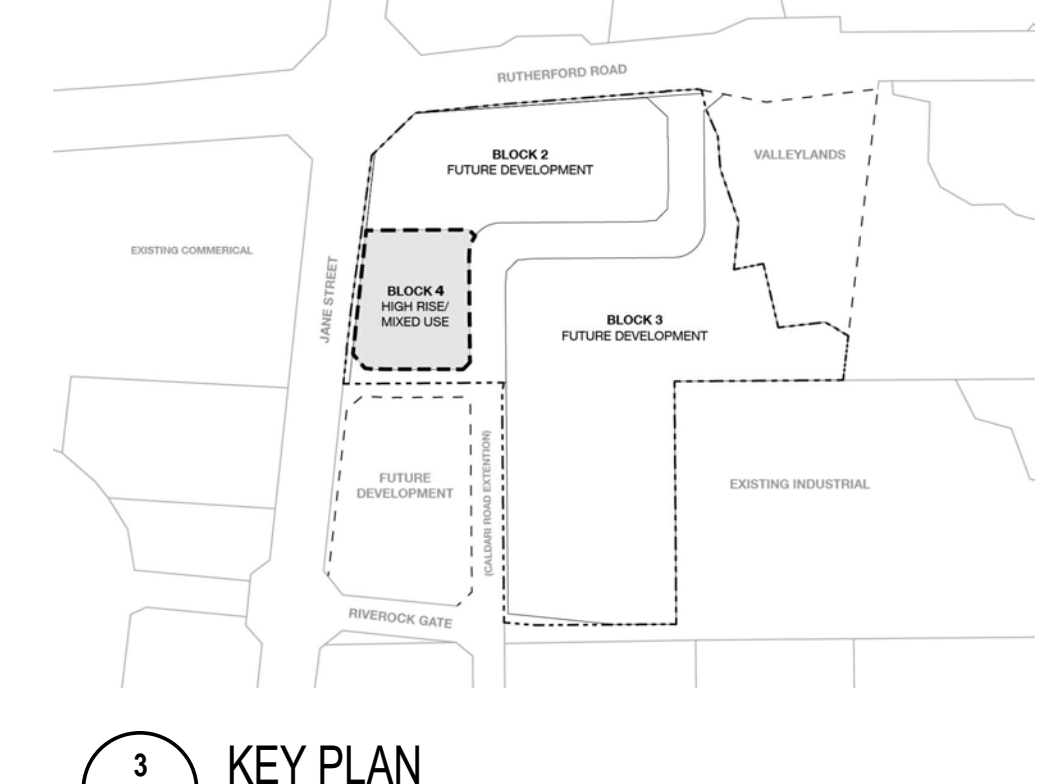
<sup>6</sup> Saleable areas are not updated



5 SITE PLAN  
SCALE: 1:200  
A101



4 SITE CONTEXT  
A101

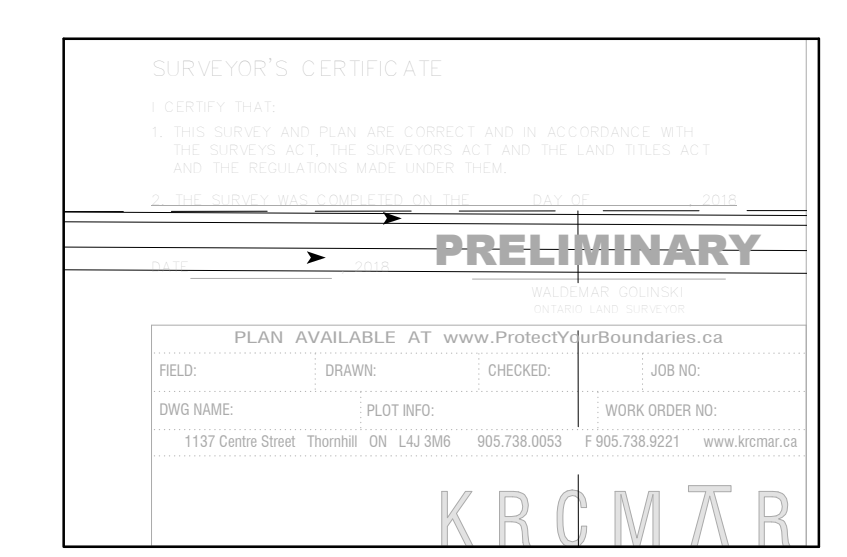


3 KEY PLAN  
A101

**LEGEND**

1.00	2.00	3.00	4.00	5.00	6.00	7.00	8.00	9.00	10.00	11.00	12.00	13.00	14.00	15.00	16.00	17.00	18.00	19.00	20.00	21.00	22.00	23.00	24.00	25.00	26.00	27.00	28.00	29.00	30.00	31.00	32.00	33.00	34.00	35.00	36.00	37.00	38.00	39.00	40.00	41.00	42.00	43.00	44.00	45.00	46.00	47.00	48.00	49.00	50.00	51.00	52.00	53.00	54.00	55.00	56.00	57.00	58.00	59.00	60.00	61.00	62.00	63.00	64.00	65.00	66.00	67.00	68.00	69.00	70.00	71.00	72.00	73.00	74.00	75.00	76.00	77.00	78.00	79.00	80.00	81.00	82.00	83.00	84.00	85.00	86.00	87.00	88.00	89.00	90.00	91.00	92.00	93.00	94.00	95.00	96.00	97.00	98.00	99.00	100.00
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2 SITE LEGEND  
A101



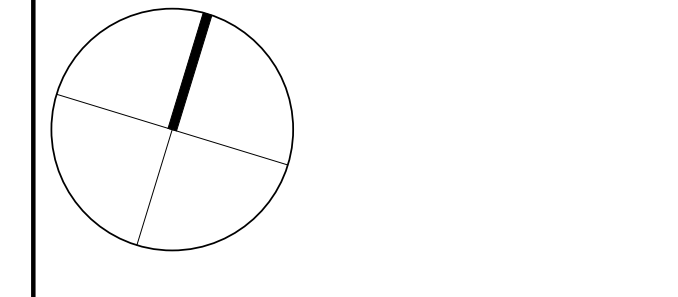
1 SURVEYOR'S CERTIFICATE  
A101

Date	No.	Description
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REVISION RECORD

2022-09-20		Issued for Construction
2022-07-15		Issued for Building Permit Responses
2022-04-18		Issued for SPA Resubmission-Rev 06
2021-07-07		Re-Issue for Tender
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2020-12-15		Issued for SPA Resubmission-Rev 04
2020-09-22		Issued for Tender
2020-08-24		Issued for CNMAGNA

ISSUE RECORD



**BDP. Quadrangle**

Quadrangle Architects Limited  
801 King Street West, Suite 701 Toronto, ON M5V 3H5  
416-598-1240 www.bdpquadrangle.com

Jane and Rutherford- Block 4  
Vaughan, ON

for  
Rutherford Land Development Corporation

17086 1:200 AA KCR  
PROJECT SCALE DRAWN REVIEWED

Site and Context Plans,  
Topographic Legend

**A101**

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions, and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.





The statistics below are based on Vaughan By-law 1-88, as amended by the site specific By-law- 2018 (OMB)

VEHICULAR PARKING <sup>1</sup>				Required		Provided	
<b>Residential - Occupant</b>							
1 BD/ Bach. (0.85/unit)	0.85	x	469	399			
2 BD (0.95/unit)	0.95	x	319	304			
3 BD+ (1.15/unit)	1.15	x	43	50			
<b>Residential - Occupant Total</b>				<b>753</b>	<b>753</b>		
<b>Visitor (0.2/ unit)</b>	0.20	x	831	167			
<b>Retail (3/100sm)</b>	3.0	x	9.69	30			
<b>Com. Space (3/100sm)</b>	3.0	x	4.97	15			
<b>Total Retail/Community Space</b>				<b>45</b>			
<b>Total commercial (Retail+Com. Space)/visitor required <sup>2</sup></b>				<b>167</b>	<b>155</b>		
<b>TOTAL</b>				<b>920</b>	<b>908</b>		
Barrier Free Parking Spaces Included in TOTAL above (10 spaces Type A and 10 spaces Type B)				20	20		

BICYCLE PARKING <sup>3</sup>				Required		Provided	
<b>Residential</b>							
Long Term (0.5/unit)	0.5	x	831	416	434		
Short Term (0.2/unit)	0.2	x	831	167	180		
<b>Retail - Long Term (0.1/100sm)</b>	0.1	x	9.69	1	1		
<b>Retail - Short Term (0.15/100sm)</b>	0.15	x	9.69	2	2		
<b>Community Space* (0.1/100sm)</b>	0.1	x	4.97	1	1		
<b>Community Space* (0.15/100sm)</b>	0.15	x	4.97	1	1		
<b>TOTAL</b>				<b>588</b>	<b>619</b>		

LOADING				Required		Provided	
<b>Residential</b>							
831 Dwelling Units				1	1		
<b>Retail</b>	969 sm			1	1		
<b>TOTAL</b>				<b>1</b>	<b>1</b>		

Loading Space: As per bylaw 1-88 (3.9), Industrial/Commercial Floor Area From 501-2500 m2 one loading space (9x3.5x4.2) m loading space

VEHICULAR PARKING LOCATION					AMENITY SPACE <sup>4</sup> / POPs				NOTES
<b>Parking Space Location</b>					<b>Residential Amenity Areas</b>				
<b>Level</b>	<b>RESIDENTIAL</b>		<b>NON-RESIDENTIAL</b>		<b>TOTAL</b>	<b>Required</b>	<b>Provided</b>		
	Occupant	Visitor	Retail	Com. Space					
Ground		11	30	15	56				
P1	104	99			203				
P2	214				214				
P3	214				214				
P4	221				221				
<b>TOTAL</b>	<b>753</b>	<b>110</b>	<b>30</b>	<b>15</b>	<b>908</b>				
								<b>#5</b>	
					<b>Publicly Accessible Spaces</b>				
					<b>TOTAL POPs area</b>	<b>Required</b>	<b>Provided</b>		
						2,500.0 sm	2668.0 sm		
					The site specific Zoning By-law and OPA require a minimum of 2500 sm of privately owned publicly accessible open space. Subject to easement for public access in favour of City of Vaughan. Area can not count toward Parkhad dedication.				
					<b>LANDSCAPE AREA <sup>5</sup></b>				
					<b>Property Area:</b>	<b>7840 sm</b>			
					10% of the area:	<b>Required</b>	<b>Provided</b>		
						784 sm	800 sm		

VAUGHAN BY-LAW 1-88

FLOOR AREA, GROSS (G.F.A.) - Means the aggregate of the floor areas of all storeys of a building, measured to the exterior of the outside walls, but not including the areas 8 of any cellar, or car parking area above or below grade within the building or within a separate structure.

Parking Spaces: min 900 spaces subject to the following

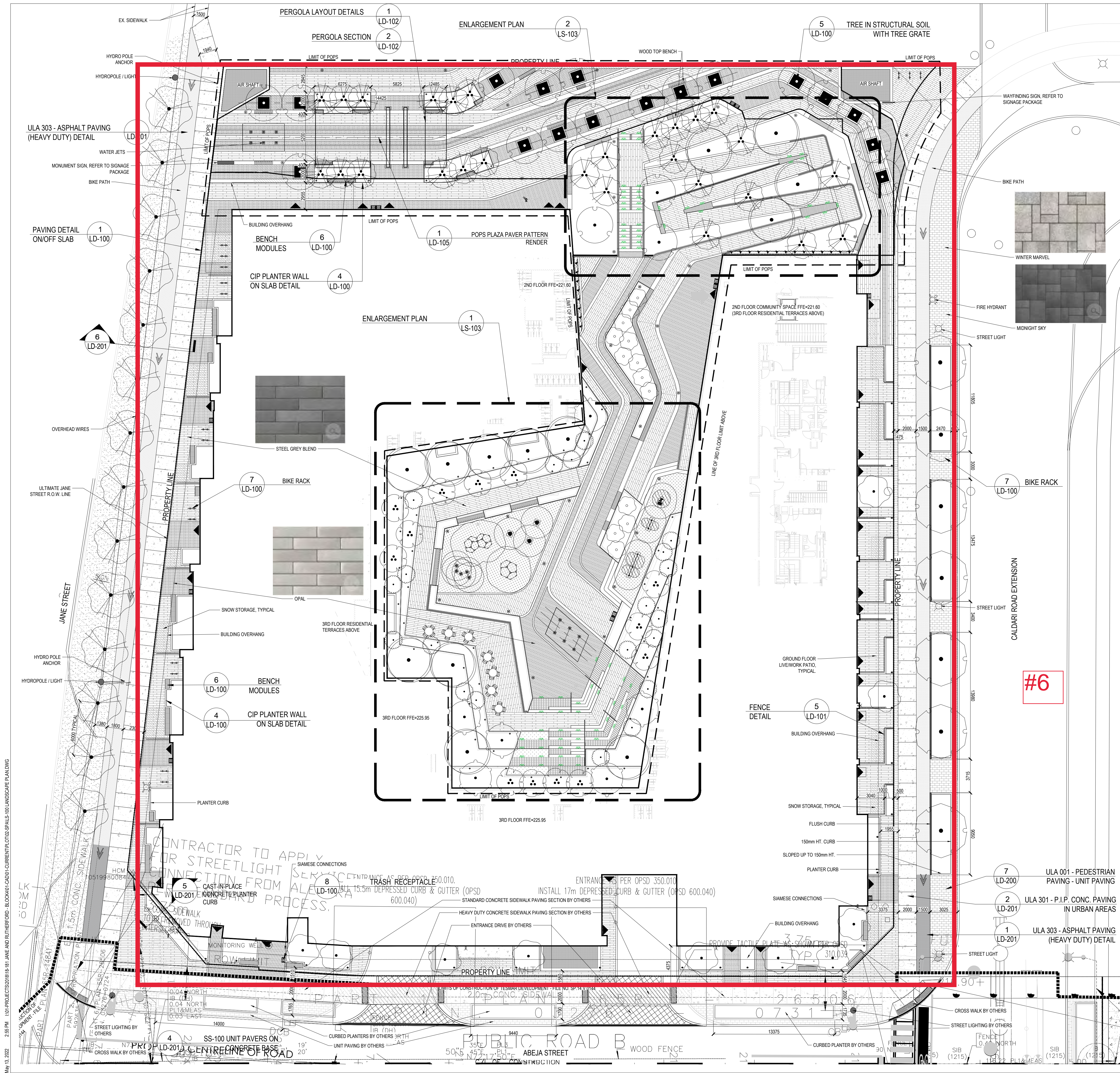
- Multi-Unit Residential Parking Standard: 0.85/unit (1B), 0.95/unit (2B), 1.15/unit (3B), 0.2/unit (Visitor).
- Retail/ Community Space Uses Parking Spaces: Total GFA of all buildings less than or equal to 5,000 m<sup>2</sup> eating establishment no greater than 20% of GFA= min 3/100 m<sup>2</sup> GFA
- Barrier Free Parking- 201-1000 spaces = 2spaces plus 2% of total number of parking spaces. of which, 50% shall be Type A and 50% shall be Type B.
- Parking spaces for residential visitors, retail and community space uses may be shared and do not need to be individually designated.
- Bicycle Parking : As per IBI Group report, bicycle parking: short-term bicycle parking spaces are required for 0.2 spaces per unit or 6 spaces. Long-term bicycle parking spaces are required 0.5 spaces per unit for buildings with more than 10 units.
- As per By-law 1-88, amenity is defined as means space outside a dwelling unit within or outside the building designed for the passive enjoyment or active recreational needs of the residents. 2.5m2 per unit
- As per By-law 1-88, a minimum of ten percent (10%) of the area of every lot on which a building or structure is erected shall be used for no other purpose than landscaping. Landscaping or landscaped area means an area of land comprising trees, shrubs, flowers, grass or other horticultural elements. Landscaping may include paths, patios, walkways, decorative stonework or other architectural elements designed to enhance the visual amenity of a property but does not include open storage display areas, parking or loading areas, or areas covered by driveways

DRAWING LIST

Sheet Number	Sheet Title
LS-100	LANDSCAPE PLAN
LS-101	PLANTING PLAN
LS-102	ENLARGEMENT PLAN
LS-103	LIGHTING PLAN
E-100	PHOTOMETRICS PLAN
LS-200	OVERALL AMENITY LEVEL PLAN
LS-201	ENLARGED WEST AMENITY PLAN
LS-202	ENLARGED SOUTH AMENITY PLAN
LP-201	ENLARGED WEST PLANTING PLAN
LP-202	ENLARGED SOUTH PLANTING PLAN
LD-100	LANDSCAPE DETAILS
LD-101	LANDSCAPE DETAILS
LD-102	LANDSCAPE DETAILS
LD-103	LANDSCAPE DETAILS
LD-104	LANDSCAPE DETAILS
LD-200	CITY OF VAUGHAN STANDARD DETAILS
LD-201	CITY OF VAUGHAN AND YORK REGION STANDARD DETAILS

LEGEND

- PEDESTRIAN CONCRETE PAVING
- HEAVY DUTY CONCRETE PAVING
- UNILOCK PROMENADE PLANK PAVER  
SIZE: 400 X 100 X 100mm  
COLOUR: STEEL GREY BLEND  
PATTERN: STACK BOND 1/3 OFFSET
- UNILOCK PROMENADE PLANK PAVER  
SIZE: 600 X 200 X 100mm  
COLOUR: OPAL  
PATTERN: STACK BOND 1/3 OFFSET
- UNILOCK UMBRIANO PAVER  
SIZE: 200 X 200 X 70mm  
COLOUR: WINTER MARVEL & MIDNIGHT SKY  
PATTERN: RUNNING BOND
- COLOURED ASPHALT BIKE PATH  
- STREET BOND 150B, REGULAR  
COLOURED ASPHALT
- COLOURED ASPHALT BIKE PATH  
- STREET BOND 150B, GREEN  
COLOURED ASPHALT
- TPV PLAY SURFACE
- HERB GARDEN
- COLUMN LIGHT  
- 4800mm HT.
- COLUMN LIGHT  
- 3600mm HT.
- BOLLARD LIGHT  
- 890mm HT.
- BOLLARD LIGHT  
- 500mm HT.
- RECESSED LIGHT
- 1.2m HT. METAL PICKET FENCE
- 1.2m HT. BLACK VINYL CHAINLINK FENCE
- GLASS HAND RAIL
- TREE GRATE
- BIKE RACK
- BIKE REPAIR STATION
- TACTILE INDICATOR STRIP
- RELATIVE GRADE ELEVATION
- TRASH & RECYCLE RECEPTACLE
- FLUSH CURB
- SOIL TRENCH BELOW
- SNOW STORAGE AREAS



no.	revision	date	by
08	REISSUED FOR SPA	2022-05-13	TM
08	REISSUED FOR SPA	2022-03-21	TM
07	REISSUED TO YORK REGION FOR SPA	2021-09-28	TM
06	REISSUED FOR SPA	2021-03-08	TM
05	ISSUED FOR SPA	2020-05-25	AF
04	ISSUED FOR SPA	2020-02-12	AF
03	ISSUED FOR PROGRESS SET	2019-12-12	AF
02	ISSUED FOR SPA	2019-09-13	AF
01	ISSUED FOR SPA	2019-01-10	AF

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH THE WORK.  
ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE LANDSCAPE ARCHITECT WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK.  
ALL DRAWINGS TO BE USED FOR CONSTRUCTION ONLY WHEN SIGNED BY THE LANDSCAPE ARCHITECT.

signed \_\_\_\_\_ date \_\_\_\_\_

**STUDIO tla**  
20 Champlain Blvd. Suite 102 - Toronto ON - M3H 2Z1 info@studiotla.ca www.studiotla.ca

**CORTEL GROUP**

CLIENT  
**JANE & RUTHERFORD - BLOCK 4**  
VAUGHAN, ON  
PROJECT REGION FILE NO.: SP.19.V.0047  
**LANDSCAPE PLAN**

DRAWING  
DRAWN: AF  
CHECKED: PMJC  
SCALE: 1:200  
DATE: 2022-05-13  
PROJECT NO.: 18-181

LS-100  
SHEET NO.

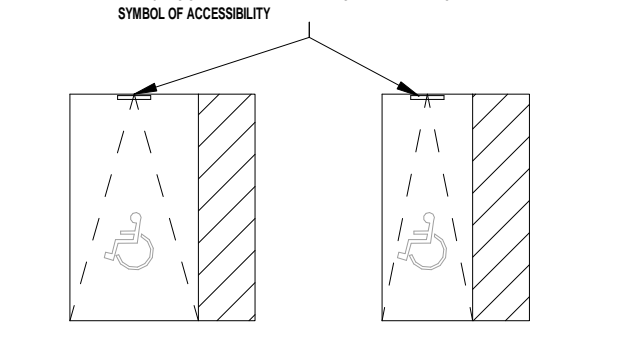
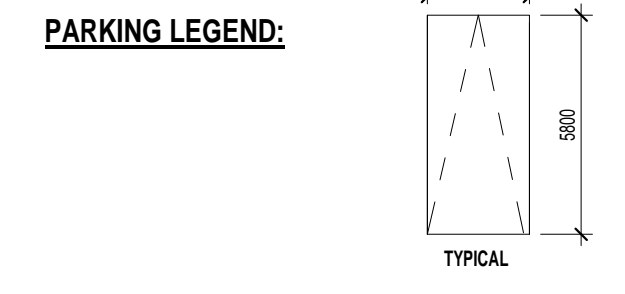
NOTE: ANY ENHANCED STREETSCAPE WITHIN THE PUBLIC RIGHTS OF WAY IS SUBJECT TO MAINTENANCE AGREEMENT WITH THE CITY.



May 13, 2022 2:55 PM I:\P-PROJECTS\2018\18-181 JANE AND RUTHERFORD - BLOCK 4\01-CAD\01-CURRENT\01-DWG-SPALS-100 LANDSCAPE PLAN.DWG

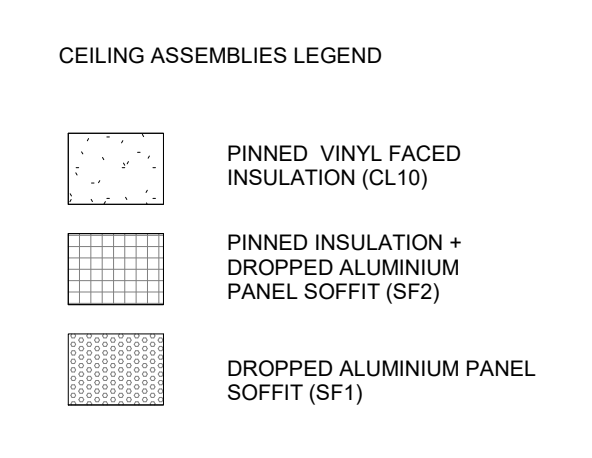
**PARKING NOTES:**

- MINIMUM VAUGHAN PARKING SPACE SIZES (UNLESS OTHERWISE NOTED) AS PER BY-LAW 18
- 2700mm WIDE X 5800mm LONG (NO SIDES OBSTRUCTED)
- 3000mm WIDE X 6000mm LONG (TYPICAL ACCESSIBLE PARKING SPACES)
- 3200mm WIDE X 6000mm LONG (TYPICAL ACCESSIBLE SPACE ADJACENT TO ANOTHER)
- MAINTAIN MINIMUM DRIVE ASLE WIDTH OF 6000mm FOR PARKING SPACES WITH 90-DEGREE ANGLE
- MAINTAIN MINIMUM DRIVE ASLE WIDTH OF 3000mm FOR PARKING SPACES WITH 45-DEGREE ANGLE
- MAINTAIN MINIMUM DRIVE ASLE WIDTH OF 6000mm FOR PARKING SPACES WITH 45-DEGREE ANGLE
- MAINTAIN MINIMUM HEADROOM CLEARANCE OF 2100mm THROUGHOUT



**Received**  
January 11, 2023

**A318/22**



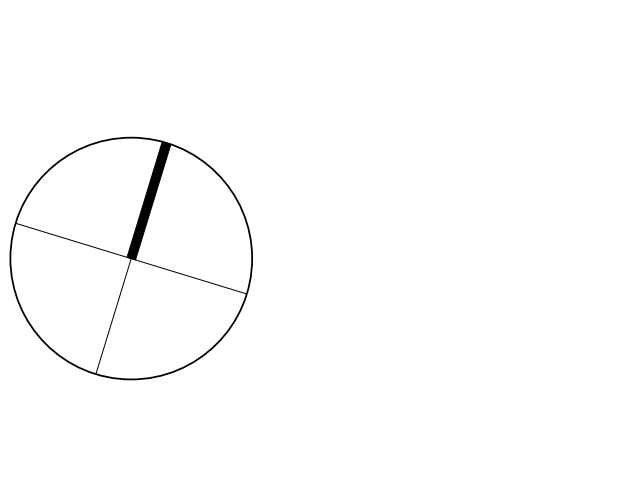
Date	No.	Description
2022-10-11	20	Issued for Addendum 34
2022-09-20	19	Issued for Addendum 32
2022-07-21	18	Issued for Addendum 27
2022-06-30	17	Issued for Addendum 24
2022-04-25	16	Issued for Addendum 20
2022-04-12	15	Issued for Addendum 19
2022-01-28	14	Issued for Addendum 13
2022-01-18	13	Issued for Addendum 12
2021-08-31	12	Issued for Addendum 007
2021-03-11	11	Issued for Addendum 004
2021-01-29	10	Issued for Addendum 003

**REVISION RECORD**

Date	No.	Description
2022-10-14		Issued for Construction
2022-07-15		Issued for Building Permit Responses
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		Issued For



**BDP. Quadrangle**

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8601 King Street West, Suite 701  
416-598-1240 www.bdpquadrangle.com

Jane and Rutherford- Block 4  
Vaughan, ON

for  
Rutherford Land Development  
Corporation

17086 1:150 AA KCR  
PROJECT SCALE DRAWN REVIEWED

Ground Floor Plan

**A201**

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and other consultants prior to commencing work.

C:\Users\ABE\Documents\CAL\_SITE\_17086\_PARKING-SITE\_Jane&Rutherford\_Blk\_4\2022\_A318/22.rvt

1 GROUND FLOOR PLAN  
A201 SCALE: 1:150