

ITEM: 6.15	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A206/24
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Report Date: January 31, 2025

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Forestry	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	No Comments Received to Date
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
By-law & Compliance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Fire Department	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
Applicant			12/12/2024	Cover Letter

BACKGROUND (SCHEDULE D, IF REQUIRED)

* Background Information contains historical development approvals considered to be related to this file.
This information should not be considered comprehensive.

Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
N/A	N/A

SCHEDULES

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A206/24

CITY WARD #:	2
APPLICANT:	Clubhouse Developments Inc.
AGENT:	Nick Sestito (HBNG Holborn Group)
PROPERTY:	300 Clarence Street, Woodbridge
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Natural Areas" by Schedule 2 - Land Use Plan of Woodbridge Centre Secondary Plan (Chapter 11.11, Volume 2), as amended by OPA #74
RELATED DEVELOPMENT APPLICATIONS:	N/A
PROPOSAL:	Relief from the Zoning By-law is being requested to permit the construction of a temporary sales office.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned OS1(H)- Public Open Space Zone under Zoning By-law 001-2021, as amended.

	Zoning By-law 001-2021	Variance requested
1	It appears that the proposed sale office is located more than 200 m from the land intended for development. A temporary sales office shall be permitted in accordance with the permitted use tables and only on the lands subject to the development or in the immediate vicinity provided it shall not be located further away from the lands to be developed than 200 m [Section 5.11.2.1. of bylaw 001-2021].	To permit a temporary office for the sale of residential units to be located a maximum of 320 m from the development lands to the south and a maximum of 680m from the development lands to the north.
2	Permanent Canopies are permitted to encroach a maximum of 0.6 m into required yard [Table 4-1].	To permit a permanent canopy to encroach a maximum of 2.3 m into the required front yard.
3	A maximum lot coverage of 10% is required [Table 12-3].	To permit a maximum lot coverage of 11%.

HEARING INFORMATION

DATE OF MEETING: Thursday, February 6, 2025
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

HEARING INFORMATION

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	January 23, 2025
Date Applicant Confirmed Posting of Sign:	January 27, 2025
Applicant Justification for Variances: <small>*As provided in Application Form</small>	Proposed Temporary Sales Office does not comply with Zoning By-law 1-88
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
None	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

The Owner / Applicant shall ensure that positive drainage is achieved and that no surface drainage problems are created on adjacent private or public lands because of the construction of the temporary sales office in accordance with the City's Engineering standards. It's important note that any in-ground structure exceeding 10 m² necessitates a Grading Permit. Once the Grading Permit is obtained, please reach out to the Development Engineering Reviewer to clear the Condition imposed on this application. The Development Engineering Department does not object to the Minor Variance application A206/24, subject to the following condition(s):

Development Engineering Recommended Conditions of Approval:	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply
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DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca

PARKS, FORESTRY & HORTICULTURE (PFH)

No comments received to date

PFH Recommended Conditions of Approval:	None
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DEVELOPMENT FINANCE

No comment no concerns

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No objections or comments

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC)

No comments received to date

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT

The proposed structure is temporary commercial use and not staffed 24/7.

The applicant needs to be aware that the structure will not be accessible in a flood event. Emergency response access and egress will be delayed in a flood event as alternative rescue resources will be required.

Requirement – the applicant must have emergency procedures in place for staff that include what they are to do in the event of a flood that does not include rescue by emergency services. The emergency plan must be submitted to the fire department prior to occupancy.

Fire Department Recommended Conditions of Approval:	None
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RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Engineering Rex.bondad@vaughan.ca	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
2	TRCA Cameron.McDonald@trca.ca	That the applicant provides the required fee amount of \$1250.00 payable to the Toronto and Region Conservation Authority.

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for**

IMPORTANT INFORMATION

contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

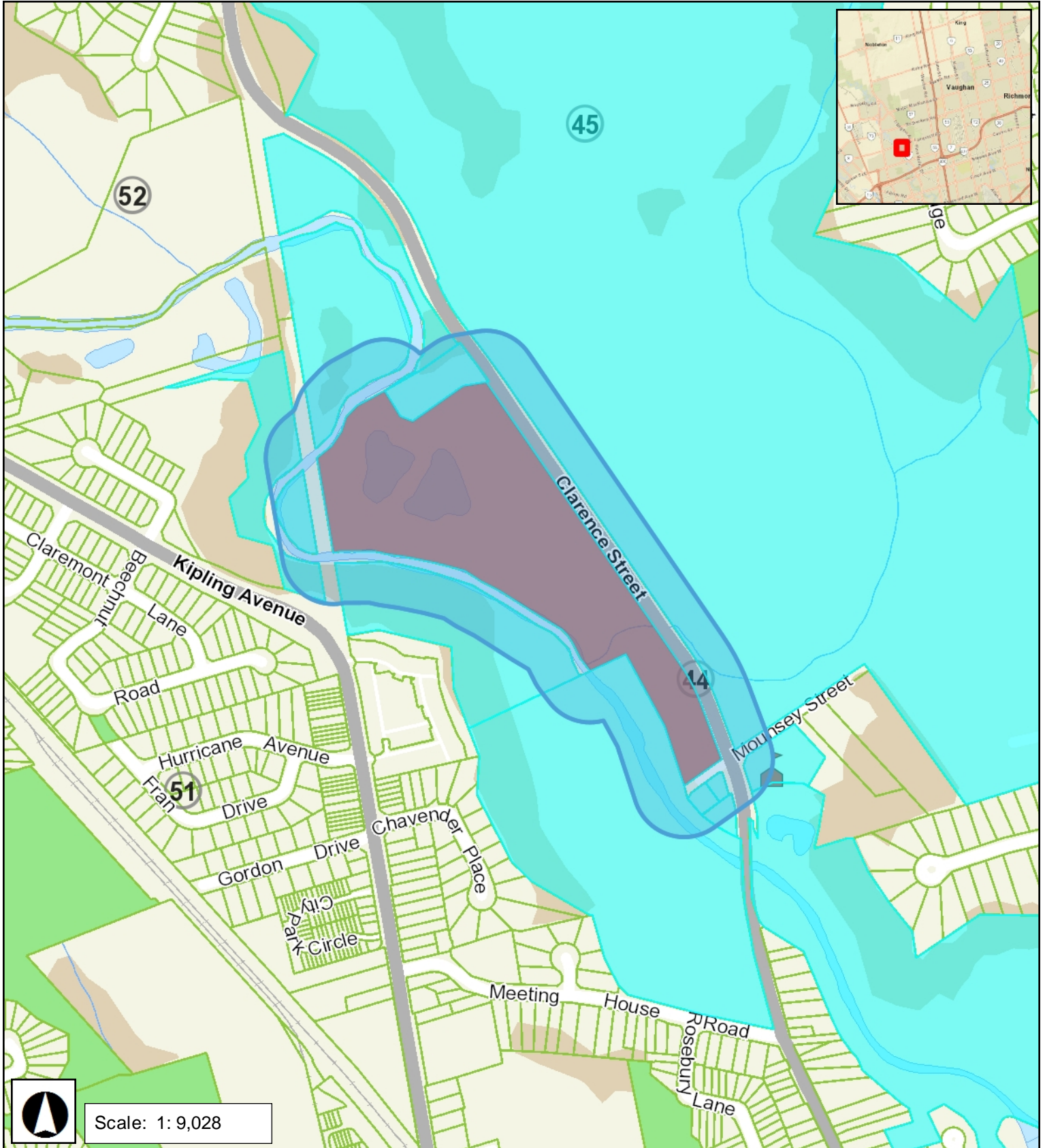
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



RGF REAL ESTATE FUND L.P.

50 Confederation Pkwy,
Concord, ON, Canada L4K 4T8



THE VALLEY SALES OFFICE



CLIENT
RGF REAL ESTATE FUND L.P.
50 CONFEDERATION PKWY,
CONCORD, ON. L4K 4T8

ARCHITECT
SRN ARCHITECTS INC.
8395 JANE STREET, SUITE 203
VAUGHAN, ON. L4K 5Y2
T. 905.417.5515 Ext.426

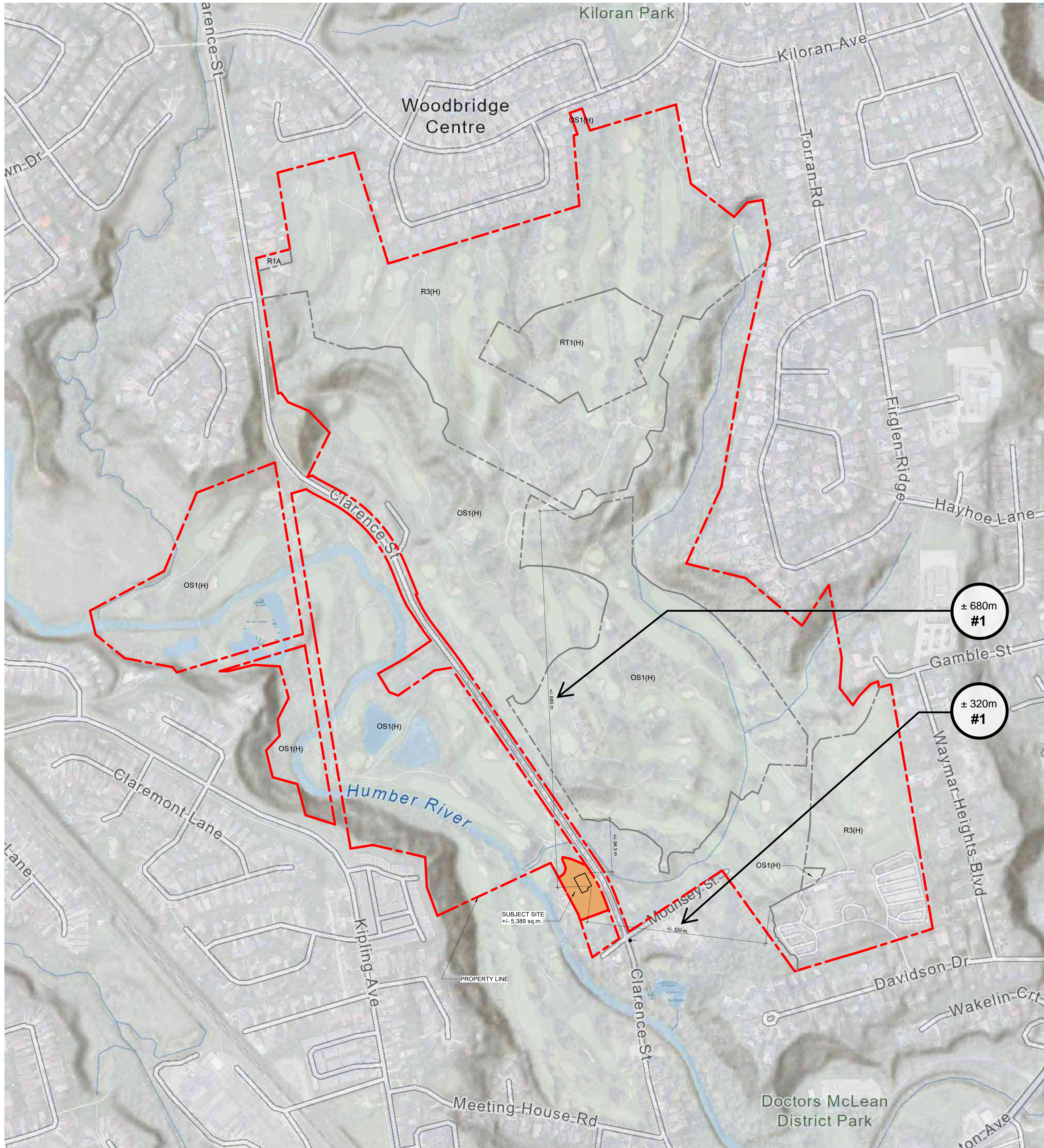
STRUCTURAL ENGINEER
D.L. ENGINEERING INC.
9030 LESLIE STREET, SUITE 302
RICHMOND HILL, ON. L4B 1G2
T. 905.597.5288

MECHANICAL ENGINEER
HVAC DESIGNS LTD.
375 FINLEY AVENUE, SUITE 202
AJAX, ON. L1S 2E2
T. 905.619.2300

LIGHTING ENGINEER
NEMETZ (S/A) & ASSOCIATES LTD.
214 KING STREET WEST, SUITE 214
TORONTO, ON. M5H 3S6
T. 647.253.0086

SITE SERVICING
SCHAEFFER & ASSOCIATES LTD.
6 RONROSE DRIVE
CONCORD, ON. L4K 4R3
T. 905.738.6100

LANDSCAPE ARCHITECT
-



1
A101
CONTEXT PLAN
SCALE: 1:3000

OBC DATA MATRIX

FIRM NAME: SRN ARCHITECTS INC.
8395 JANE STREET, SUITE 202
VAUGHAN, ONTARIO L4K 5Y2 905-417-5515
NAME OF PROJECT:
CLARENCE SALES OFFICE
OWNER:
RGF REAL ESTATE FUND L.P.

ITEM	ONTARIO BUILDING CODE DATA MATRIX PART 3 OR PART 9				BUILDING CODE REFERENCES						
	PROJECT DESCRIPTION:	NEW	ALTERATION	CHANGE OF USE	PART 3 - 1.1.2 (A)	PART 9					
1	MAJOR OCCUPANCY(S)	GROUP D - BUSINESS AND PERSONAL SERVICE OCCUPANCIES			3.1.21 (1)	9.10.2					
2	BUILDING AREA (SQ.M.)	EXISTING 0 SQ.M.	NEW 598.01 SQ.M.		1.4.1.2 (A)	1.4.1.2 (A)					
3	GROSS AREA (SQ.M.)	EXISTING 0 SQ.M.	NEW 598.01 SQ.M.		1.4.1.2 (A)	1.4.1.2 (A)					
4	NUMBER OF STOREYS ABOVE GRADE	1			1.4.1.2 (A) & 3.2.1.1	1.4.1.2 (A) & 9.10.4					
5	NUMBER OF STREETS/FIRE FIGHTER ACCESS	1 STREET/1 STREET FIRE FIGHTER ACCESS			3.2.2.10, 3.2.2.6, 3.2.5.4 (1)	9.10.20					
6	BUILDING CLASSIFICATION	GROUP D			3.2.20-83	9.10.2					
7	SPRINKLER SYSTEM PROPOSED	ENTIRE BUILDING			3.2.20-83	9.10.8.2					
8	STANDOFF REQUIRED	YES	NO		3.2.8	N/A					
9	FIRE ALARM REQUIRED	YES	NO		3.2.4.1 (2)	9.10.18					
10	WATER SERVICE/SUPPLY IS ADEQUATE	YES	NO		3.2.5.7	N/A					
11	HIGH BUILDING	YES	NO		3.2.6	N/A					
12	CONSTRUCTION RESTRICTIONS	COMBUSTIBLE PERMITTED	NON-COMBUSTIBLE REQUIRED	BOTH	3.2.20-83	9.10.6					
13	ACTUAL CONSTRUCTION	COMBUSTIBLE	NON-COMBUSTIBLE	BOTH							
14	MEZZANINE(S) AREA SQ.M.	N/A			3.2.1.1 (2) TO 3.2.1.1 (8)	9.10.4.1					
15	OCCUPANT LOAD BASED ON	GROUP D	SQ.M./PERSON	DESIGN OF BUILDING	3.1.17	9.9.1.3					
				MAXIMUM DESIGNED OCCUPANCY = 18 PERSONS							
				OCCUPANT LOAD TOTAL = 18 PERSONS							
16	BARRIER FREE DESIGN	YES	NO (EXPLAIN)		3.8	9.5.2					
17	HAZARDOUS SUBSTANCES	YES	NO		3.3.1.2 & 3.3.1.10	9.10.1.3 (4)					
18	REQUIRED FIRE RESISTANCE RATING (FRR)	HORIZONTAL ASSEMBLIES (FRR (HOURS))	GROUP D	LISTED DESIGN NO. OR DESCRIPTION (98-2)	3.2.20-83	9.10.8					
		FLOORS	N/A	SEE WALL SCHEDULES	3.2.1.4	9.10.9					
		ROOF	N/A	SEE WALL SCHEDULES							
		FRR OF SUPPORTING MEMBERS	N/A	LISTED DESIGN NO. OR DESCRIPTION (98-2)							
		FLOORS	N/A	SEE WALL SCHEDULES							
		ROOF	N/A	SEE WALL SCHEDULES							
19	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS				3.2.3.1 D	9.10.14					
		THE FOLLOWING IS A SUMMARY OF THE WORST-CASE SCENARIO LIMITING DISTANCES FOR THE EXPOSING BUILDING FACES OF THE BUILDING				3.2.3.7					
		WALL	AREA OF ESP (SQ.M.)	L.D. (M)	L.H. OR MAX. % OF PERMITTED OPENINGS	PROPOSED % OF OPENINGS	FRR (HOURS)	LISTED DESIGN OR DESCRIPTION	COMB. CORSET PERMITTED	COMBUSTIBLE CONSTRUCTION WITH NON-COMBUSTIBLE CLADDING REQUIRED	COMBUSTIBLE CLADDING PERMITTED
		NORTH FACE	N/A	100%	100%				YES	NO	YES
		EAST FACE	N/A	100%	100%				YES	NO	YES
		SOUTH FACE	N/A	100%	100%				YES	NO	YES
		WEST FACE	N/A	100%	100%				YES	NO	YES
		SEPARATION BETWEEN OCCUPANCIES: GROUP E - GROUP C 2 HR F.R.R. REQUIRED									
		SEPARATION BETWEEN SUITES: 1 HR F.R.R. REQUIRED									
20	PUBLIC CORRIDOR SEPARATION: 45 MIN F.R.R. REQUIRED										3.3.4.2 (2)
21	TRAVEL DISTANCE:										3.3.1.5 (266)
											3.4.2.2 (193)
22	EXIT CAPACITY:	FLOOR LEVEL	TOTAL EXIT CAPACITY	TOTAL OCCUPANT LOAD	SATISFACTORY EXIT CAPACITY						3.3.1.5 (1)
		GROUND LEVEL (COMMERCIAL)	40	18	ALTERNATIVE SOLUTIONS PROPOSED						3.4.3.2 (6)
		100mm STAIRS									3.4.3.2 (1)
		100mm CORRIDORS AND PASSAGEWAYS									
		DOORWAY CLEAR WIDTH - 750mm (1) MIN.									
23	WASHROOM FEATURE CALCULATIONS:	GROUP D = 1 UNIVERSAL WASHROOM WILL BE PROVIDED AND 1 UNSEX WASHROOM PROVIDED TO MEET THE MINIMUM NUMBER OF WATER CLOSETS FOR EACH SEX N/A IN A GROUP D OCCUPANCY WHERE THE NUMBER OF PERSONS OF EACH SEX IS UP TO 0 (7, 4, 7) (1)									3.7.4.2 (8)
											3.7.4.7

2
A101
OBC MATRIX
SCALE: N.T.S.

THESE DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES MUST BE REPORTED DIRECTLY TO SRN ARCHITECTS INC.

ADDITIONAL NOTES:
THE DRAWING, AS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF SRN ARCHITECTS INC. THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY SRN ARCHITECTS INC. OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. SRN ARCHITECTS INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, E.T.C. ENGINEERING INFORMATION SHOWN ON THIS DRAWING REFER TO APPROPRIATE ENGINEERS' DRAWINGS BEFORE PROCEEDING WITH ANY WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION (UNDERTAKEN OTHERWISE NOTED). NO INVESTIGATION HAS BEEN OR REPORTED ON BY THIS OFFICE IN REGARDS TO THE ENVIRONMENTAL CONDITION OF THIS SITE.
CONDITIONS FOR ELECTRONIC INFORMATION TRANSFER: ELECTRONIC INFORMATION IS SUPPLIED TO THE OTHER ASSOCIATED FIRMS TO ASSIST THEM IN THE EXECUTION OF THEIR WORK. REVIEW, THE REGIMENT FIRMS MUST DETERMINE THE COMPLETENESS/APPROPRIATENESS/RELEVANCE OF THE INFORMATION IN RESPECT TO THEIR PARTICULAR RESPONSIBILITY.

NO.	DATE	REVISION COMMENT
1	2024-08-06	ISSUED FOR SITE PLAN APPROVAL
2	2024-12-10	ISSUED FOR COMMITTEE OF ADJUSTMENT
3	2025-01-20	ISSUED FOR COMMITTEE OF ADJUSTMENT

SRN ARCHITECTS INC SHALL NOT BE RESPONSIBLE FOR:
1. ERRORS, OMISSIONS, INCOMPLETENESS DUE TO LOSS OF INFORMATION IN WHOLE OR PART WHEN INFORMATION IS TRANSFERRED
2. TRANSMISSIONS OF ANY VIRUS OR DAMAGE TO RECEIVING ELECTRONIC SYSTEM WHEN INFORMATION IS TRANSFERRED



8395 JANE ST, SUITE 202
VAUGHAN, ONTARIO, L4K 5Y2
PHONE: 905.417.5515 FAX: 905.417.5517

STAMP:
© SRN ARCHITECTS INC. 2024

CLIENT:
RGF REAL ESTATE FUND L.P.
50 Confederation Pkwy, Concord, ON, Canada L4K 4T8

PROJECT:
THE VALLEY SALES OFFICE
300 Clarence Street,
Vaughan, ON, Canada L4L 1L7

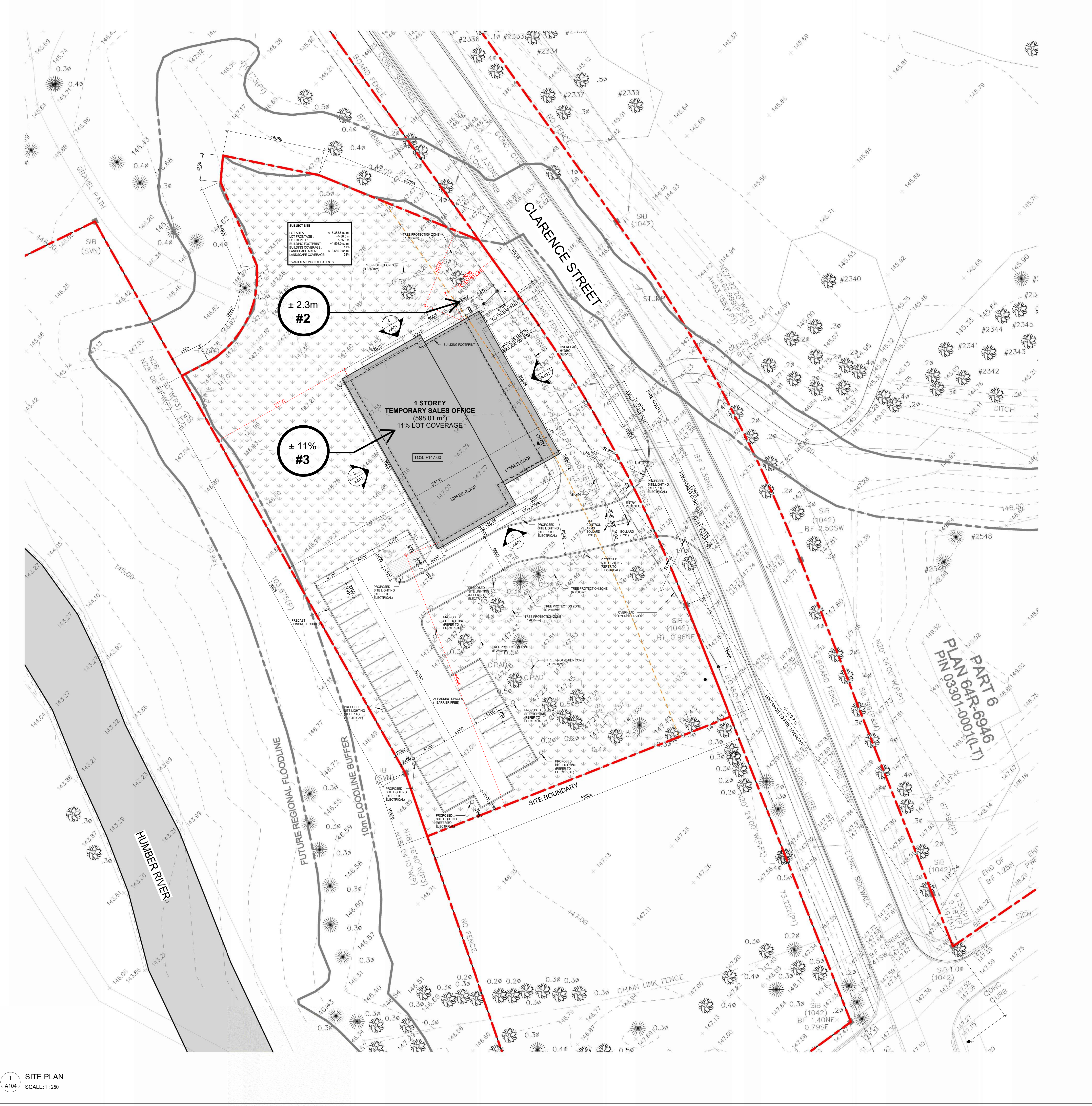
DRAWING TITLE:
SITE CONTEXT, OBC MATRIX & DWGS. LIST

DATE: 08/06/24 SCALE: As indicated

DRAWN BY: Author CHECKED BY: Checker

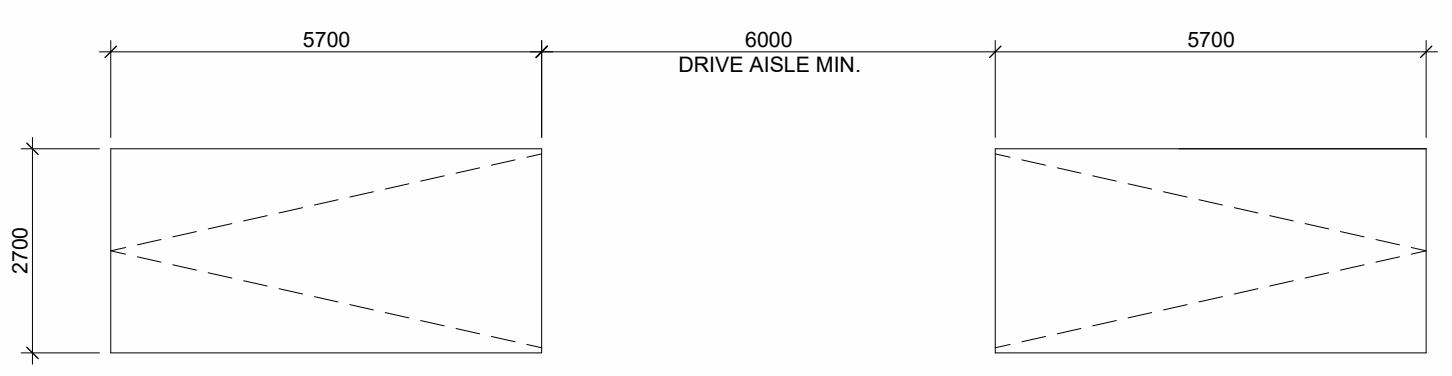
PROJECT NUMBER: **S24002** DRAWING NUMBER: **A101**

ARCHITECTURAL DRAWING LIST	
SHEET NUMBER	SHEET TITLE
A000	COVER SHEET
A101	SITE CONTEXT, OBC MATRIX & DWGS. LIST
A102	SITE SURVEY
A104	SITE PLAN
A202	FLOOR PLAN
A203	ROOF PLAN
A401	ELEVATIONS
A501	BUILDING SECTIONS



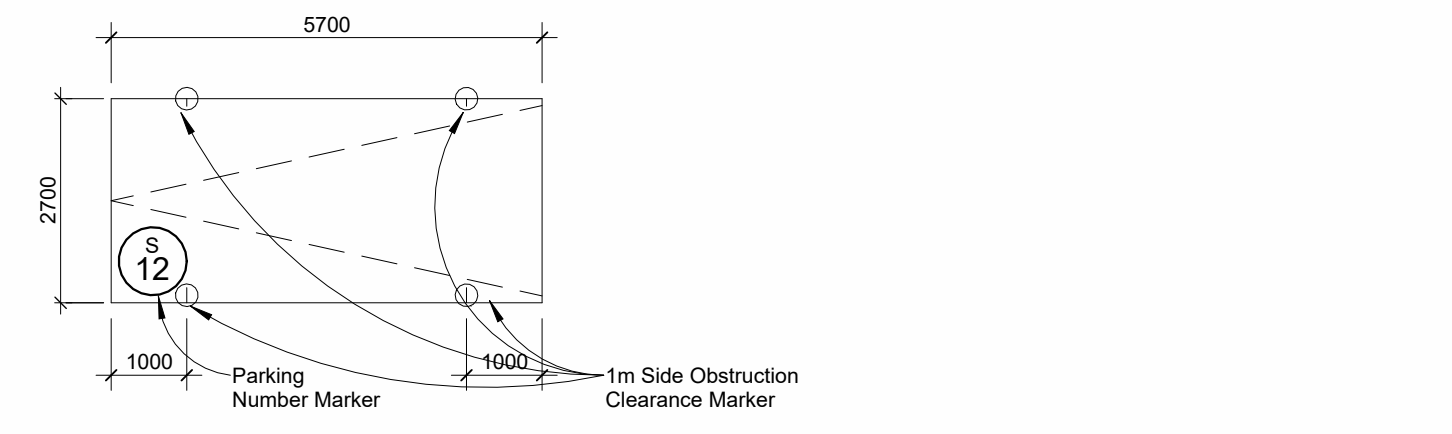
1 SITE PLAN
SCALE: 1:250

TYPICAL PARKING SPACE:

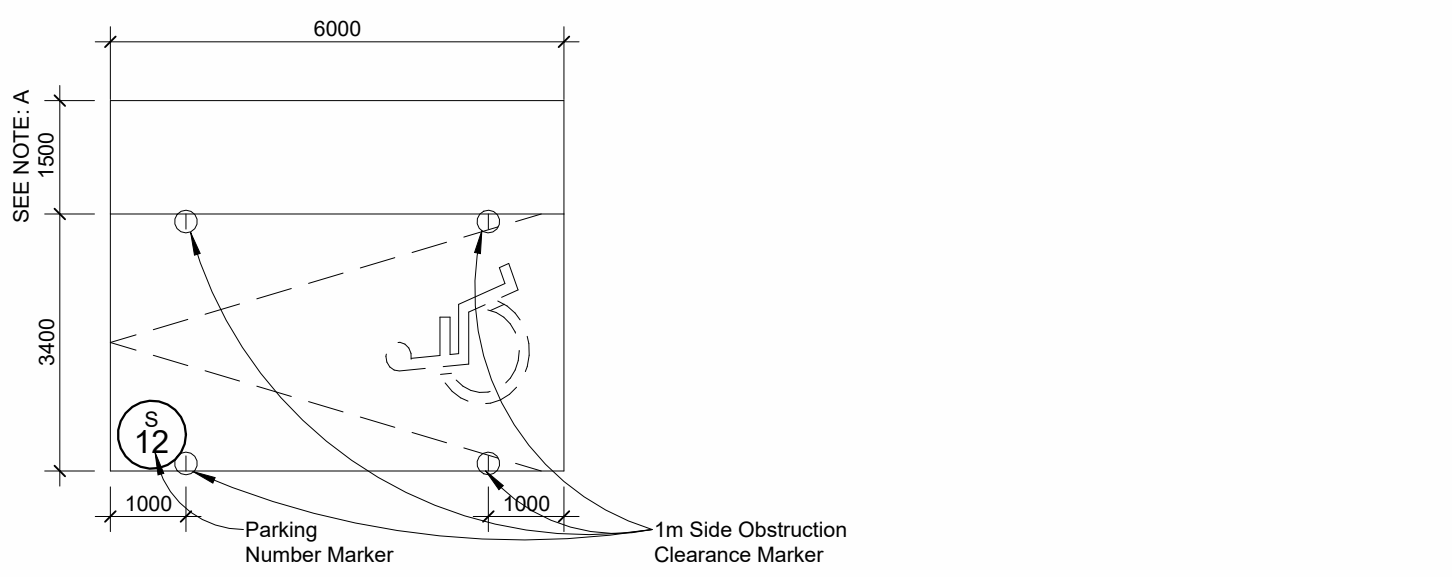


NOTE A: PROVIDE AN ADDITIONAL 300mm FOR PARKING SPACE WIDTH WITH OBSTRUCTIONS OCCUR BETWEEN THE FRONT AND REAR 1000mm

TYPICAL PARKING SPACE:



BARRIER-FREE PARKING SPACE TYPE A:



NOTES:
1. WHERE THE REQUIRED 1500mm ACCESS AISLE IS PROVIDED BETWEEN TWO BARRIER-FREE PARKING SPACES, THE AISLE WIDTH CAN BE SHARED.
2. PROVIDE SIGNAGE AT EACH BARRIER-FREE PARKING SPACE PER THE ONTARIO TRAFFIC MANUAL.

LEGEND:

○	200mm Ø x 1200mm HIGH BOLLARD
▨	NO TRAFFIC ZONE: PEDESTRIAN ACCESS ONLY.
▨	LANDSCAPE/ SOD AREA
▨	"NO PARKING ANYTIME" SIGNAGE TO BE AFFIXED TO BUILDING OR MOUNTED TO SIGN BASE.
▨	BARRIER-FREE PARKING SIGNAGE. REFER TO A4.0 FOR MTO SIGN FB-93 DETAILS.
▲	BUILDING ENTRANCE
△	SERVICE ENTRANCE
△	EXIT
DC	DEPRESSED CURB
♿	ACCESSIBLE PARKING SPACE
FRS	FIRE ROUTE SIGN (AT EVERY 30M)
TWS	TACTILE WARNING SURFACE
Ⓟ	VISITOR PARKING SPACE
Ⓜ	EV SPACE
⚡	SIAMOSE CONNECTION
⚡	FIRE HYDRANT
LS	LIGHT STANDARD
HP	HYDRO SERVICE POLE

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THE DRAWING, AS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF SRN ARCHITECTS INC. THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY SRN ARCHITECTS INC. OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. SRN ARCHITECTS INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SERVICES, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC. ENGINEERING INFORMATION BROWN ON DRAWINGS OR FOR PROCEEDING WITH ANY WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION (UNDERTAKEN OTHERWISE NOTED). NO INVESTIGATION HAS BEEN OR REPORTED ON BY THIS OFFICE IN REGARDS TO THE ENVIRONMENTAL CONDITION OF THIS SITE.
CONDITIONS FOR ELECTRONIC INFORMATION TRANSFER:
ELECTRONIC INFORMATION IS SUPPLIED TO THE OTHER ASSOCIATED FIRMS TO ASSIST THEM IN THE EXECUTION OF THEIR WORK. THE REGIMENT FIRMS MUST DETERMINE THE COMPLETENESS/APPROPRIATENESS/RELEVANCE OF THE INFORMATION IN RESPECT TO THEIR PARTICULAR RESPONSIBILITY.

NO.	DATE	REVISION COMMENT
1	2024-08-08	ISSUED FOR SITE PLAN APPROVAL
2	2024-12-10	ISSUED FOR COMMITTEE OF ADJUSTMENT
3	2025-01-20	ISSUED FOR COMMITTEE OF ADJUSTMENT

SRN ARCHITECTS INC SHALL NOT BE RESPONSIBLE FOR:
1. ERRORS, OMISSIONS, INCOMPLETENESS DUE TO LOSS OF INFORMATION IN WHOLE OR PART WHEN INFORMATION IS TRANSFERRED
2. TRANSMISSIONS OF ANY VIRUS OR DAMAGE TO RECEIVING ELECTRONIC SYSTEM WHEN INFORMATION IS TRANSFERRED



8395 JANE ST, SUITE 202
VAUGHAN, ONTARIO, L4K 5Y2
PHONE: 905.417.5515 FAX: 905.417.5517

CLIENT:
RGF REAL ESTATE FUND L.P.
50 Confederation Pkwy, Concord, ON, Canada L4K 4T8

PROJECT:
THE VALLEY SALES OFFICE
300 Clarence Street,
Vaughan, ON, Canada L4L 1L7

DRAWING TITLE:
SITE PLAN

DATE: 08/06/24 **SCALE:** As indicated

DRAWN BY: Author **CHECKED BY:** Checker

PROJECT NUMBER: S24002 **DRAWING NUMBER:** A104

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development and Parks Planning
Date: January 27, 2025
Name of Owner: John D'Angelo, Holborn Group
Location: 300 Clarence Street
File No.(s): A206/24

Proposed Variance(s):

1. To permit a temporary office for the sale of residential units to be located a maximum of **320 m** from the development lands to the south and a maximum of **680 m** from the development lands to the north.
2. To permit a permanent canopy to encroach a maximum of **2.3 m** into the required front yard.
3. To permit a maximum lot coverage of **11%**.

By-Law 001-2021 Requirement(s):

1. A temporary sales office shall be permitted in accordance with the permitted use tables and only on the lands subject to the development or in the immediate vicinity provided it shall not be located further away from the lands to be developed than **200 m**.
2. Permanent Canopies are permitted to encroach a maximum of **0.6 m** into required yard.
3. A maximum lot coverage of **10%** is required.

Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "Natural Areas" by Schedule 2 - Land Use Plan of Woodbridge Centre Secondary Plan (Chapter 11.11, Volume 2), as amended by OPA #74.

Comments:

The Owner seeks relief to permit a single-storey temporary sales office on the Subject Lands with the above noted variances. The subject property was previously part of the former Country Club Golf Course which was redesignated and rezoned to facilitate the development of two (2) infill low-rise neighbourhoods, public open spaces, and natural areas.

The Development and Parks Planning Department has no objections to Variance 1 permitting the temporary sales office to be located 320 m south and 680 m north from the lands intended for development, whereas a maximum distance of 200 m is permitted. The Zoning By-law, as amended, permits a temporary sales office on the Subject Lands. The Subject Lands were previously occupied by multiple storage and maintenance buildings servicing the golf course. The Subject Lands is graded and paved, and is an appropriate location for the proposed temporary sales center. The subject property is located within a Special Policy Area as designated by Schedule 9 – Special Policy Area of the Woodbridge Centre Secondary Plan and is located in close proximity to the Humber River Watershed. Environmental Planning staff have reviewed the application and are satisfied that the proposed building is appropriately setback from the adjacent watercourse feature and does not adversely affect the ecological integrity of the watercourse. The requested variance meets the general intent of the Official Plan, Zoning By-law, and is desirable for the development of the property.

The Development and Parks Planning Department has no objections to Variance 2 to increase the maximum permitted roof overhang encroachment into the front yard from 0.6 m to 2.3 m. The intent of the proposed overhang is to provide shelter for a pedestrian walkway that connects the proposed building to the proposed parking lot and the existing sidewalk along Clarence Street. The remaining uncovered front yard is sufficient to maintain a 6 m landscape buffer and does not conflict with existing overhead utilities. The requested variance meets the intent of the Zoning requirement and is minor in nature.

The Development and Parks Planning Department has no objections to Variance 3 to increase the maximum lot coverage of the proposed temporary sales center from 10% to 11%. The proposed building complies with maximum height provisions and has a modest mass. The remaining lot area is sufficient for surface parking and a variety of soft and hard landscaping features, including existing mature trees. The proposed increase to the lot coverage is minor in nature and there are no anticipated negative impacts.

Accordingly, the Development and Parks Planning Department supports the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development and Parks Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Harry Zhao, Planner 1

Janany Nagulan, Senior Planner

To: Committee of Adjustment
From: Niloufar Youssefi, Building Standards Department
Date: January 21, 2025
Applicant: HBNG Holborn Group
Location: 300 Clarence Street
 CONC 7 Part of Lot 9
 PLAN 65R37873 Part of Part 8
File No.(s): A206/24

Zoning Classification:

The subject lands are zoned OS1(H)- Public Open Space Zone under Zoning By-law 001-2021, as amended.

Zoning By-law 001-2021		Variance requested
1	It appears that the proposed sale office is located more than 200 m from the land intended for development. A temporary sales office shall be permitted in accordance with the permitted use tables and only on the lands subject to the development or in the immediate vicinity provided it shall not be located further away from the lands to be developed than 200 m [Section 5.11.2.1. of bylaw 001-2021].	To permit a temporary office for the sale of residential units to be located a maximum of 320 m from the development lands to the south and a maximum of 680m from the development lands to the north.
2	Permanent Canopies are permitted to encroach a maximum of 0.6 m into required yard [Table 4-1].	To permit a permanent canopy to encroach a maximum of 2.3 m into the required front yard.
3	A maximum lot coverage of 10% is required [Table 12-3].	To permit a maximum lot coverage of 11% .

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

Order No. 24-133412, Order to Comply for Construction of a Foundation has been undertaken prior to obtaining the required building permit.
 Stage at time of Inspection: Complete, Issue Date: Sep 30, 2024
 Order No. 24-140368, Stop Work Order for, Issue Date: Dec 06, 2024

Building Permit(s) Issued:

Building Permit No. 24-133670 for Temporary Sales Office - New, Issue Date: (Not Yet Issued)

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.



2141 Major Mackenzie Drive
Vaughan, Ontario
Canada L6A 1T1
(905) 832-2281

* Comments are based on the review of documentation supplied with this application.

From: [Hurst, Gabrielle](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A206/24 - 300 CLARENCE STREET - CITY OF VAUGHAN - REQUEST FOR COMMENTS
Date: Monday, January 13, 2025 8:01:04 AM

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good morning,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Thank you

Gabrielle

Gabrielle Hurst MCIP, RPP | Associate Planner, Development Planning, Economic and Development Services Branch | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

January 10, 2025.

PAR-DPP-2025-00487

SENT BY E-MAIL: Christine.Vigneault@vaughan.ca

Christine Vigneault
Secretary Treasurer
Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

Dear Christine:

**Re: Minor Variance Application A206/24
300 Clarence Street
Part of Lot 9, 10, 11, Plan 65R37873, Concession 7
City of Vaughan, Regional Municipality of York
Applicant: Clubhouse Developments Inc.**

This letter acknowledges receipt of the above-noted application circulated by the City of Vaughan. The materials were received by Toronto and Region Conservation Authority (TRCA) on January 7, 2025. TRCA staff have reviewed the application and offer the following comments for the consideration of the Committee of Adjustment.

Purpose of the Application

It is our understanding that the purpose of the above noted application is to request the following variances for the subject lands:

Zoned OS1(H) – Open Space Conservation Zone with a Holding Provision and subject to the provisions of Exception 9 (1533) under Zoning By-law 1-88, as amended:

- To permit a temporary office for the sale of residential units to be located a maximum of 320.0 metres from the development lands to the south and a maximum of 680.0 metres from the development lands to the north;
- To permit a minimum front yard of 9.5 m; and,
- To permit a roof overhang to project a maximum of 2.8 metres into the required front yard.

Zoned OS1 – Private Open Space Zone under Zoning By-law 001-2021, as amended:

- To permit a temporary sales office;

- To permit a temporary office for the sale of residential units to be located a maximum of 320 m from the development lands to the south and a maximum of 680m from the development lands to the north;
- To permit a minimum front yard of 9.5 metres;
- To permit a roof overhang to project a maximum of 2.8 metres into the required front yard;
- To permit a maximum lot coverage of 11.0%;
- To permit 0 long-term bicycle parking spaces; and,
- To permit 6 short-term bicycle parking spaces.

The noted variances are being requested to facilitate the construction of temporary sales office.

Ontario Regulation 41/24

The subject property is located within TRCA's Regulated Area as the lot is within a historical built-up area of the Humber River valley corridor and is adjacent to a Regional Storm flood plain hazard. In accordance with Ontario Regulation 41/24, development, interference or alteration may be permitted in the Regulated Area where it can be demonstrated to TRCA's satisfaction that the control of flooding, erosion, dynamic beaches, unstable soils, or bedrock will not be affected.

Application-Specific Comments

TRCA staff have reviewed and issued a permit for the proposed temporary sales office (TRCA Permit No. PER-DPP-2024-00530, issued December 6, 2024). The plans submitted with this application are consistent with the plans that were approved as part of TRCA's permit.

Based on the above, TRCA staff have no concerns with the proposed variance.

Fees

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$1250.00 (Minor Variance – Industrial/Commercial/Subdivision/Institutional – Minor) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

Recommendations

Based on the comments noted above, TRCA has **no objection** to the approval of Minor Variance Application A206/24 subject to the following conditions:

1. That the applicant provides the required fee amount of \$1250.00 payable to the Toronto and Region Conservation Authority.

We trust these comments are of assistance. Should you have any questions, please contact me at 437-880-1925 or at cameron.mcdonald@trca.ca.

Sincerely,

Cameron McDonald

Cameron McDonald

Planner I

Development Planning and Permits | Development and Engineering Services

cameron.mcdonald@trca.ca, 437-880-1925

Date: January 8th 2024

Attention: **Christine Vigneault**

RE: Request for Comments

File No.:

Related Files: **A206-24**

Applicant: HBNG Holborn Group

Location 300 Clarence Street



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

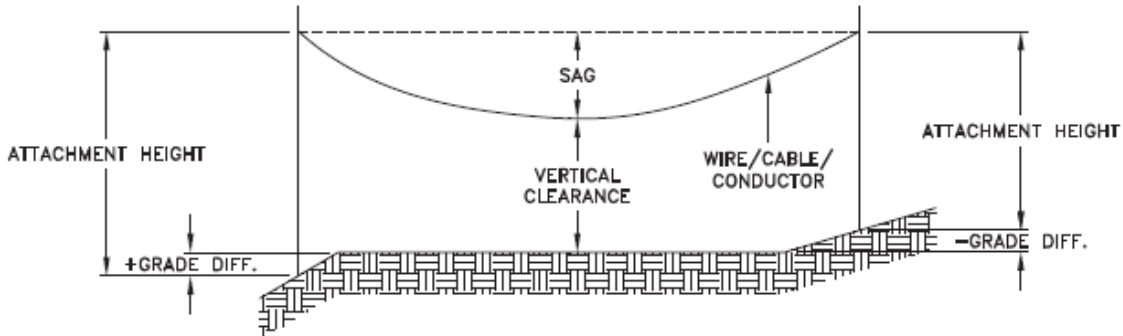
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

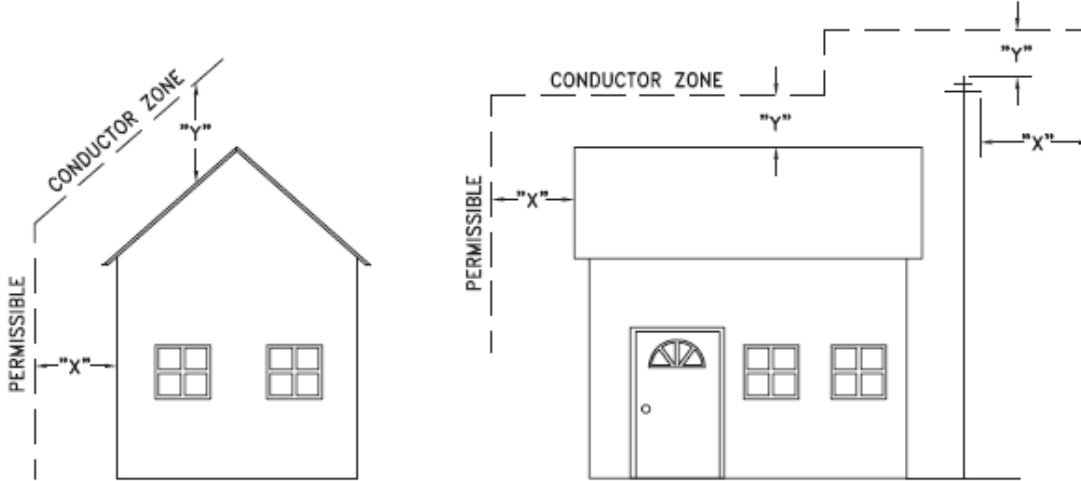
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

From: [Zachary Guizzetti](#)
To: [Committee of Adjustment Mailbox](#)
Subject: A206/24 Vaughan - Forestry - Complete No Conditions (Gianluca Russo)
Date: Tuesday, January 7, 2025 2:10:01 PM

Please note that Vaughan - Forestry process is now complete for a COA folder with the following details:

File No: A206/24

Type: Minor Variance - Major Development

Address: 300 Clarence St

Comments:Forestry is working on this file through development planning.

Conditions:

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			12/12/2024	Cover Letter

December 10, 2024

Sent via Email

Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive
Vaughan, ON
L6A 1T1

Attention: Committee of Adjustment

RE: 300 Clarence Street Temporary Sales Office – Minor Variance Application

Further to our ongoing discussions with the City of Vaughan Building Standards Department, we are writing to address the deficiencies noted in the Zoning Review Notice dated November 14th, 2024. (Building Permit number 24-133670 000 00 C) The following outlines our proposed revisions and request for consideration based on the submitted plans:

1. Proposed Temporary Sales Office Location

It was noted that our proposed temporary sales office is located more than 100 metres from the land intended for development. The proposed temporary sales centre falls within the overall development lands that was subject to file Z.19.038 and by-law number 035-2022 and subdivision file 19T-19V007. (Please refer to plan A101) Also, the overall development lands fall under the same ownership, Clubhouse Developments Inc. We respectfully request this be taken into consideration when reviewing this application and applying this zoning provision.

2. Building Height

The average elevation of the finished grade at the front of the building has not been provided. Elevation plan A401 has been updated detailing an overall height of 7.29 metres.

3. Proposed Front Yard Setback

The proposed front yard setback of 6.7 metres does not comply with the requirements outlined in Zoning By-Law 1-88. Site Plan A104 has been updated detailing a front yard setback of 9.57 metres to the building envelope. The 6.7 metre dimension is from the street line to the roof overhang. A front yard setback variance is required to satisfy this deficiency.

4. Parking Space Dimensions

Parking space means a rectangular area measuring at least 2.7 metres by 6.0 metres, exclusive of any aisles or ingress and egress lanes. Site Plan A104 has been updated and the proposed parking spaces are now compliant.

5. Minimum Landscape Area

A minimum proposed landscape area has not been provided. A minimum of ten percent (10%) of the area of every lot on which a building or structure is erected shall be used for

landscaping. Site Plan A104 has been updated and now details the landscape area figure of 3,661.3m² (68% of total site)

6. Landscape Strip abutting street line

A minimum 6.0 metre strip of landscaping in width along the lot line abutting a street line has not been provided. Site Plan A104 has been updated and now details a 6.0 metre landscape buffer along the street line.

We request the Committee of Adjustment receive and circulate the submitted plans to the necessary departments. If you require anything further, please do not hesitate to contact the undersigned.

Sincerely,

CLUBHOUSE DEVELOPMENTS INC.

Nick Sestito
Development Manager

SCHEDULE D: BACKGROUND

Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A