

<b>ITEM: 6.1</b>	<b>REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A125/24</b>
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Report Date: January 31, 2025

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Forestry	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

**PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)**

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
Applicant			08/09/2024	Planning Justification Report

**BACKGROUND (SCHEDULE D, IF REQUIRED)**

\* Background Information contains historical development approvals considered to be related to this file.  
This information should not be considered comprehensive.

Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

**ADJOURNMENT HISTORY**

\* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
N/A	N/A

**SCHEDULES**

<b>Schedule A</b>	Drawings & Plans Submitted with the Application
<b>Schedule B</b>	Comments from Agencies, Building Standards & Development Planning
<b>Schedule C</b> (if required)	Public & Applicant Correspondence
<b>Schedule D</b> (if required)	Background



## MINOR VARIANCE APPLICATION FILE NUMBER A125/24

<b>CITY WARD #:</b>	5
<b>APPLICANT:</b>	Netivot Ha'Torah Day School
<b>AGENT:</b>	P&P Consulting Inc
<b>PROPERTY:</b>	18 Atkinson Avenue, Thornhill
<b>ZONING DESIGNATION:</b>	See below.
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	DA.23.022
<b>PURPOSE OF APPLICATION:</b>	<p>Relief from the Zoning By-law is being requested to permit two proposed additions to the existing two-storey school. Relief is also required to facilitate related Site Plan Application DA.23.022.</p> <p>Addition A is a proposed three-storey expansion to the back of the existing school building and will include a new gym and administrative offices and classroom spaces on the upper floor.</p> <p>Addition B involves minor renovations to the front entrance vestibule situated along Atkinson Avenue.</p>

The following variances have been requested from the City's Zoning By-law:

**The subject lands are zoned I1 – General Institutional Zone and subject to the provisions of Exception 14.275 under Zoning By-law 001-2021, as amended.**

#	Zoning By-law 001-2021	Variance requested
1	A maximum building height of 11 metres is required. [Table 13-3]	To permit a maximum building height of 15.5 metres

### HEARING INFORMATION

**DATE OF MEETING:** Thursday, February 6, 2025  
**TIME:** 6:00 p.m.  
**MEETING LOCATION:** Vaughan City Hall, Woodbridge Room (2<sup>nd</sup> Floor), 2141 Major Mackenzie Drive  
**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

#### PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

If you would like to submit written comments, please quote file number above and submit by mail or email to:

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to [cofa@vaughan.ca](mailto:cofa@vaughan.ca) no later than NOON on the last business day before the meeting.

**THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

## INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

## COMMITTEE OF ADJUSTMENT

<b>Date Public Notice Mailed:</b>	January 23, 2025
<b>Date Applicant Confirmed Posting of Sign:</b>	January 21, 2025
<b>Applicant Justification for Variances:</b> <small>*As provided in Original Application Form</small>	Proposed addition exceeds maximum building height by 1.65m, and closure of driveway
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b> <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
<b>COMMENTS:</b>	
N/A	
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	N/A

## BUILDING STANDARDS (ZONING)

<b>**See Schedule B for Building Standards (Zoning) Comments</b>	
<b>Building Standards Recommended Conditions of Approval:</b>	N/A

## DEVELOPMENT PLANNING

<b>**See Schedule B for Development Planning Comments.</b>	
<b>Development Planning Recommended Conditions of Approval:</b>	If the Committee finds merit in the application, the following conditions of approval are recommended: That all comments on Site Development Application File DA.23.022 be addressed to the satisfaction of the Development and Parks Planning Department.

## DEVELOPMENT ENGINEERING

<a href="#">Link to Grading Permit</a> <a href="#">Link to Pool Permit</a> <a href="#">Link to Curb Curt Permit</a> <a href="#">Link Culvert Installation</a>	
Development Engineering has no objections to the Minor Variance given the satisfaction of the attached condition.	
<b>Development Engineering Recommended Conditions of Approval:</b>	The Owner/Applicant shall satisfy the Development Engineering Department requirements for the related Site Plan Development Application (DA.23.022)

## PARKS, FORESTRY & HORTICULTURE (PFH)

Conditions of approval listed below:	
<b>PFH Recommended Conditions of Approval:</b>	<p>A Private Property Tree Removal &amp; Protection Permit (Construction/Infill) is required for the removal/injury to trees (over 20cm DBH) on the subject property or municipally owned trees of any size and trees located within 6 meters of the subject property, as per By-Law 052-2018.</p> <p>MLA 107A or ULA 110A Heavy Duty Tree protection fencing (plywood) is to be installed prior to construction</p>

## PARKS, FORESTRY & HORTICULTURE (PFH)

and is to remain until construction is completed, as per By-Law 052-2018.

MLA 107B or ULA 110B Light Duty Tree protection fencing (Snow Fence) may be used where traffic sight lines will be affected within the road allowance, as per By-Law 052-2018.

## DEVELOPMENT FINANCE

No comment no concerns

<b>Development Finance Recommended Conditions of Approval:</b>	None
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## BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date.

<b>BCLPS Recommended Conditions of Approval:</b>	None
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## BUILDING INSPECTION (SEPTIC)

No comments received to date.

<b>Building Inspection Recommended Conditions of Approval:</b>	None
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## FIRE DEPARTMENT

No comments received to date.

<b>Fire Department Recommended Conditions of Approval:</b>	None
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## RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Planning <a href="mailto:Alyssa.pangilinan@vaughan.ca">Alyssa.pangilinan@vaughan.ca</a>	If the Committee finds merit in the application, the following conditions of approval are recommended: That all comments on Site Development Application File DA.23.022 be addressed to the satisfaction of the Development and Parks Planning Department.
2	Development Engineering <a href="mailto:jonal.hall@vaughan.ca">jonal.hall@vaughan.ca</a>	The Owner/Applicant shall satisfy the Development Engineering Department requirements for the related Site Plan Development Application (DA.23.022)
3	Parks, Forestry and Horticulture Operations <a href="mailto:kari.sthyrhansen@vaughan.ca">kari.sthyrhansen@vaughan.ca</a>	A Private Property Tree Removal & Protection Permit (Construction/Infill) is required for the removal/injury to trees (over 20cm DBH) on the subject property or municipally owned trees of any size and trees located within 6 meters of the subject property, as per By-Law 052-2018.  MLA 107A or ULA 110A Heavy Duty Tree protection fencing (plywood) is to be installed prior to construction and is to remain until construction is completed, as per By-Law 052-2018.  MLA 107B or ULA 110B Light Duty Tree protection fencing (Snow Fence) may be used where traffic sight lines will be affected within the road allowance, as per By-Law 052-2018.

*All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived*

## RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

*by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.*

## IMPORTANT INFORMATION

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

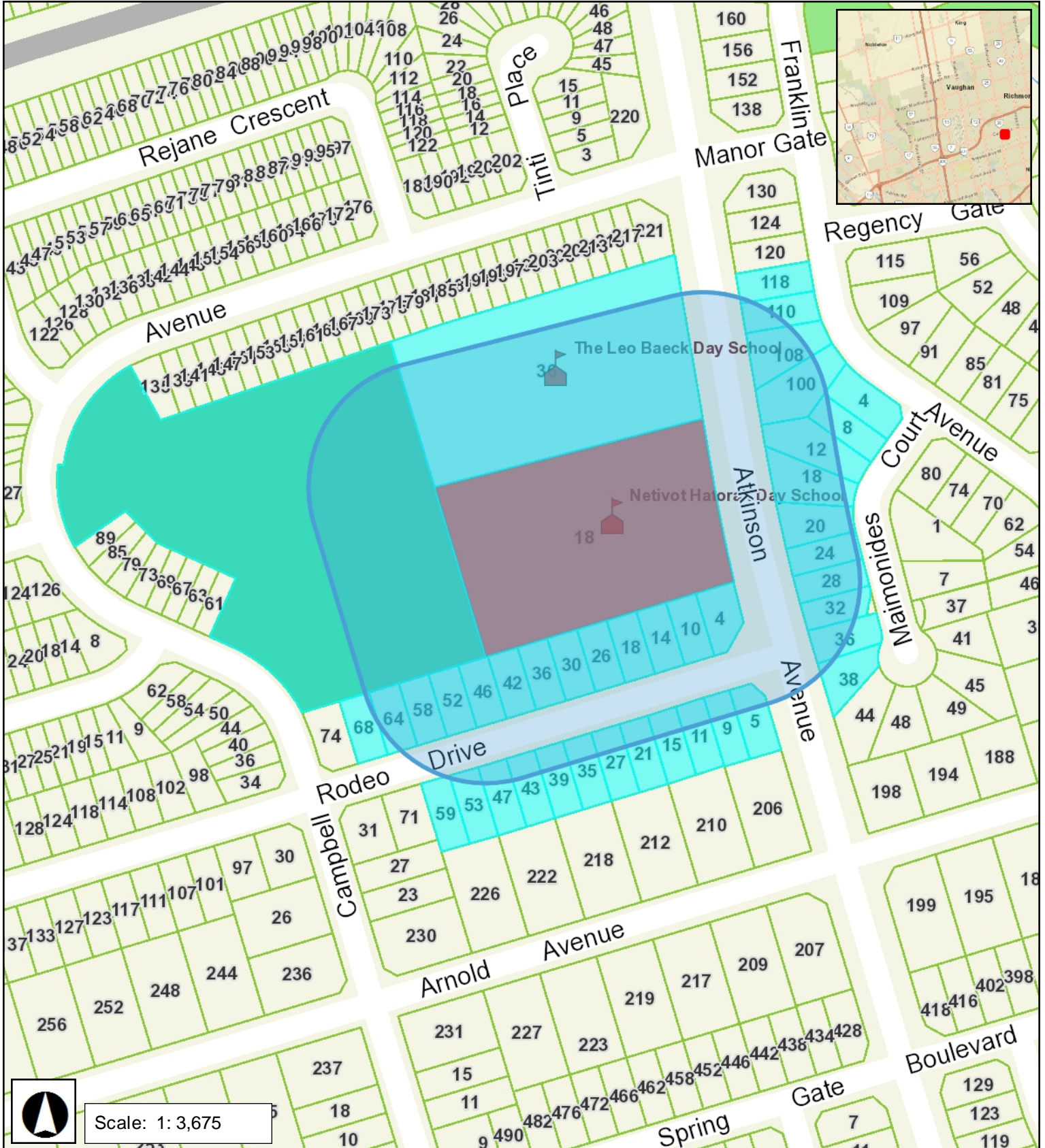
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**SCHEDULE A: DRAWINGS & PLANS**





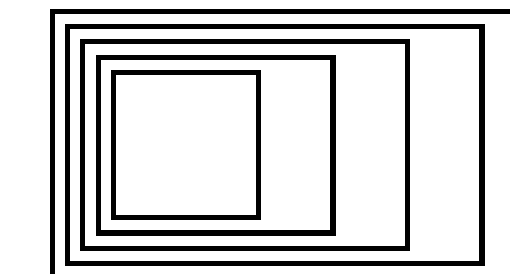
NETIVOT HATORAH  
נתיבות התורה



TORAH. ISRAEL. DERECH ERETZ.

# NETIVOT HATORAH DAY SCHOOL

18 ATKINSON AVENUE  
THORNHILL, ONTARIO, L4J 8C8



**GOW HASTINGS  
ARCHITECTS**

275 SPADINA ROAD  
TORONTO ONTARIO M5R 2V3  
416-920-0031  
GOWHASTINGS.COM

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NETIVOT HATORAH  
נתיבות התורה



ARCHITECTURAL

GOW HASTINGS ARCHITECTS  
275 SPADINA RD  
TORONTO, ON  
M5R 2V3

OWNER

NETIVOT HATORAH  
DAY SCHOL  
18 ATKINSON AVE.  
THORNHILL, ONTARIO  
L4J 8C8

CIVIL & STRUCTURAL

MTE CONSULTANTS INC.  
970 LAWRENCE AVE. W  
TORONTO, ON  
M6A 3B6

LANDSCAPE

FRP INC.  
1877 DAVENPORT RD  
TORONTO, ON  
M6N 1B9

LIST OF DRAWINGS	
ARCHITECTURAL	
SHEET LIST - ARCHITECTURAL (CoFA)	
SHEET NUMBER	SHEET NAME
A0	COVER SHEET
SP2	PROPOSED SITE PLAN
A2.0	PROPOSED EXTERIOR ELEVATIONS



6	ISSUED FOR CoFA	25 Oct / 24
No.	ISSUED/REVISED	DATE

Netivot HaTorah Day School

18 Atkinson Ave, Thornhill, ON L4J 8C8

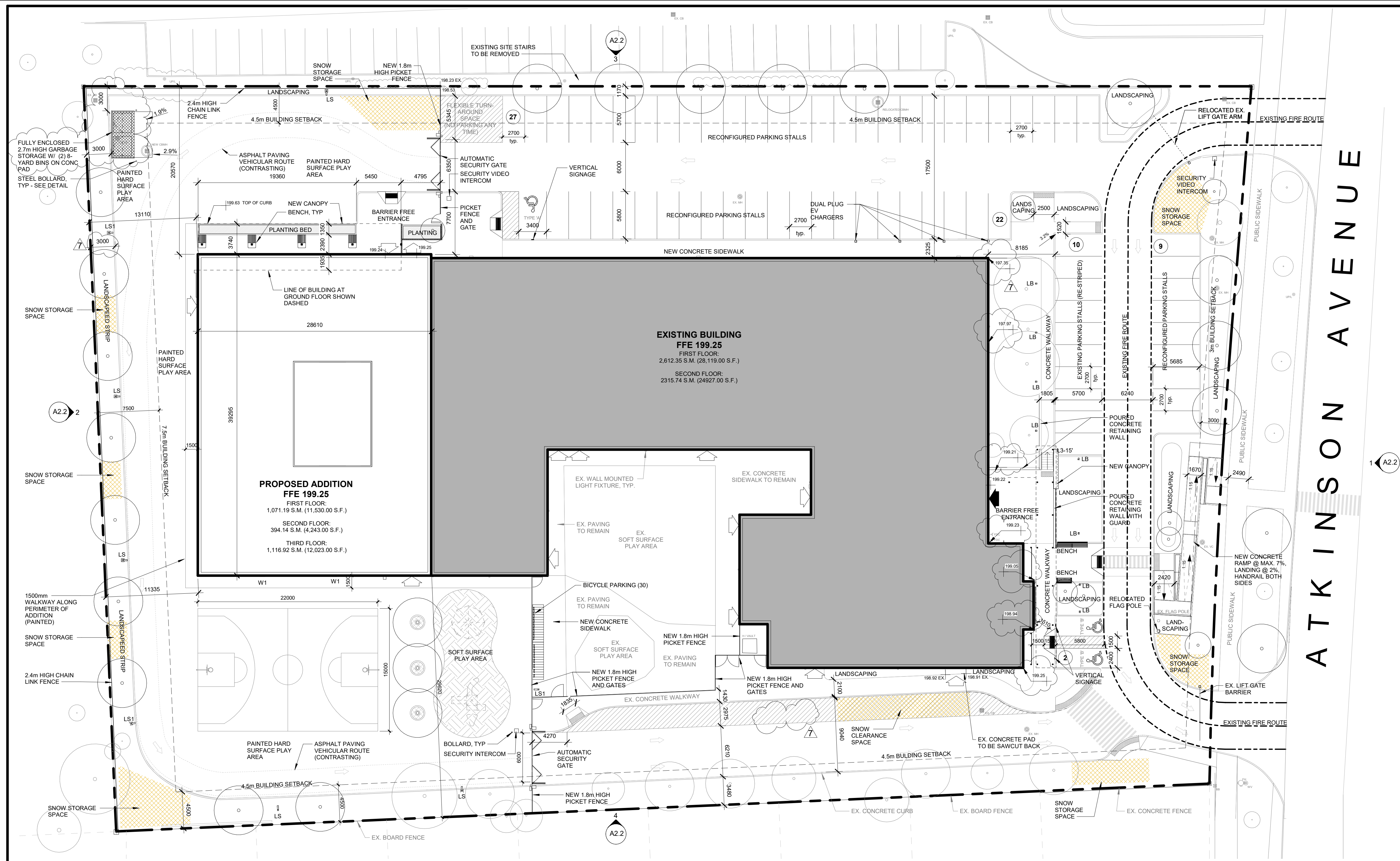
**COVER SHEET**

Scale: 1 : 3500  
Project Number: 24-102  
Drawn By: Author  
Checked By: Checker

Project North

**A0**





SITE AND BUILDING DATA			
ZONE: PER ZBL01-2021 II-275 (GENERAL INSTITUTIONAL)			
TOTAL SITE AREA:	AREA SQ. FT.	AREA SQ. M.	ACRES
	130,760	12,148.00	3.0
SETBACKS FOR PROPOSED ADDITION			
	REQUIRED	PROVIDED	
North	4.5 m	20.34	
West	7.5 m	13.00	
South	4.5 m	29.6	
BUILDING			
	AREA SQ. FT.	AREA SQ. M.	COVERAGE
EXISTING BUILDING	28,119	2,612.35	21.50%
Existing Main Floor	24,927	2,315.74	
TOTAL EXISTING GFA	53,046	4,928.09	
PROPOSED ADDITION A			
First Floor	11,530	1,071.19	8.8%
Second Floor	4,243	394.14	
Third Floor	12,023	1,116.92	
TOTAL ADDITION GFA	27,795	2,582.25	
TOTAL FIRST FLOOR GFA	39,650	3,683.54	30.32%
TOTAL SECOND FLOOR GFA	29,169	2,709.88	
TOTAL THIRD FLOOR GFA	12,023	1,116.92	
TOTAL GROSS FLOOR AREA (GFA)	80,841	7,510.34	
PARKING			
	REQUIRED	PROVIDED	
Parking Ratio	1.5/Classroom		
Standard Spaces (42 Classrooms)	63	70	
Barrier-free Parking	3	3	
Bicycle Parking	17	30	
Electric Vehicle (EV) Charging Station	Serve 10% Spaces	7	
COVERAGE CALCULATION			
	AREA SQ. FT.	AREA SQ. M.	COVERAGE
Building:	39,649.62	3,683.54	30.32%
Landscaping:	28,785.48	2,674.26	22.00%
Asphalt/Soft Paving:	61,709.50	5,733.00	47.19%
ADDITIONAL BUILDING DATA			
	REQUIRED	PROVIDED	
Minimum Landscaping	10%	22.00%	
Maximum Building Height	11 m	15.5m*	
ADDITIONAL STATISTICS			
	CURRENT	PROPOSED	
Classrooms	35	42	
Student Enrollment	468	600	
Staff	105	125	

LEGEND	
	PROPERTY LINE
	SETBACK LINE
	VEHICLE ROUTE MARKING
	NEW FENCE
	EXISTING FIRE ROUTE TO REMAIN UNCHANGED
	IRON BAR
	PARKING COUNT
	MAIN ENTRANCE
	SECONDARY ENTRANCE
	BELL BOX
	LIGHT
	CATCH BASIN
	HYDRO
	MANHOLE
	FIRE DEPARTMENT CONNECTION
	WATER VALVE
	FDCC
	UTILITY POLE
	DESIGNATED STUDENT PICK-UP AREA
	FIRE HYDRANT
	SNOW STORAGE AREA
	EXISTING BUILDING
	BICYCLE PARKING

**GOW HASTINGS ARCHITECTS**

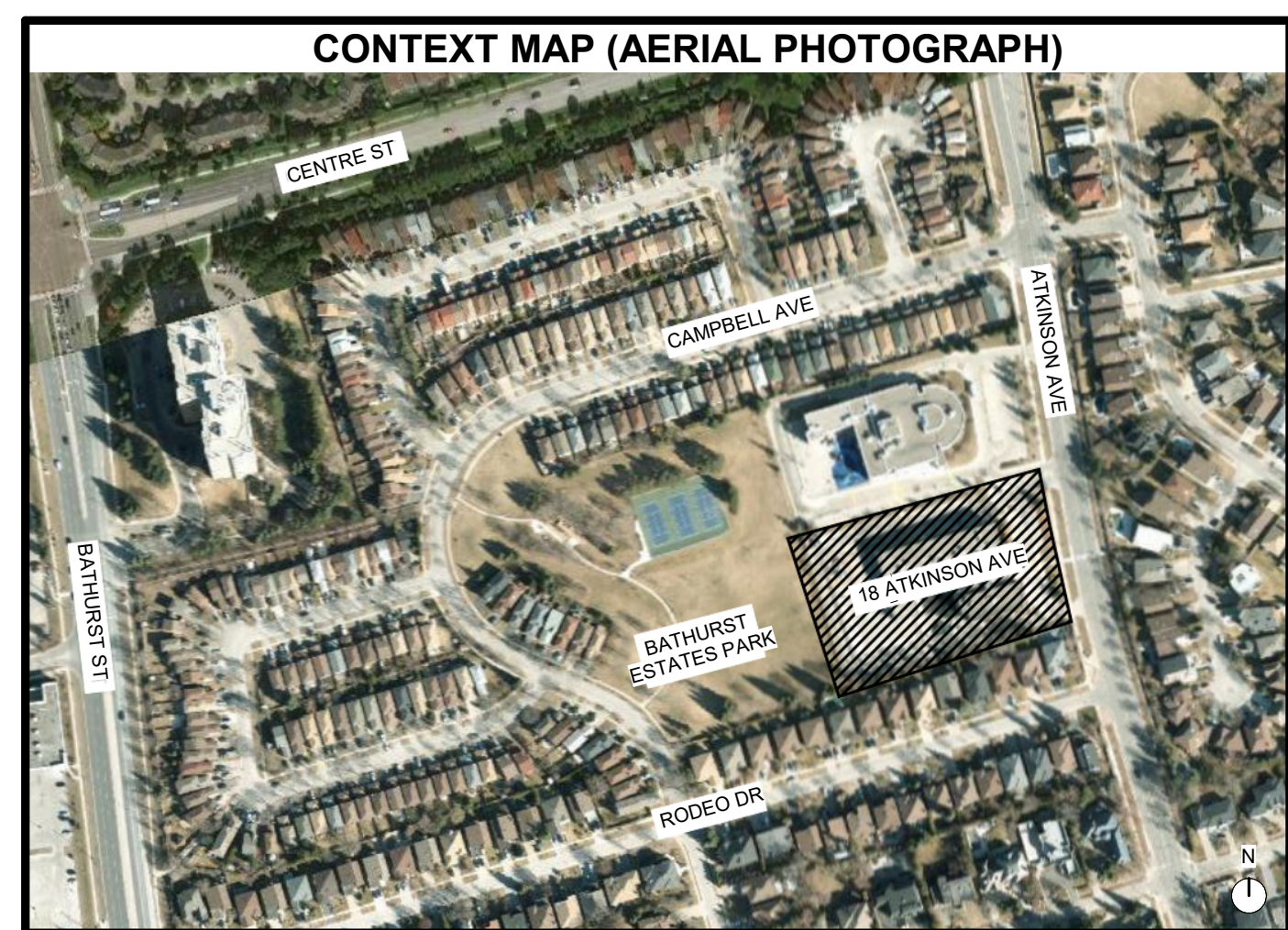
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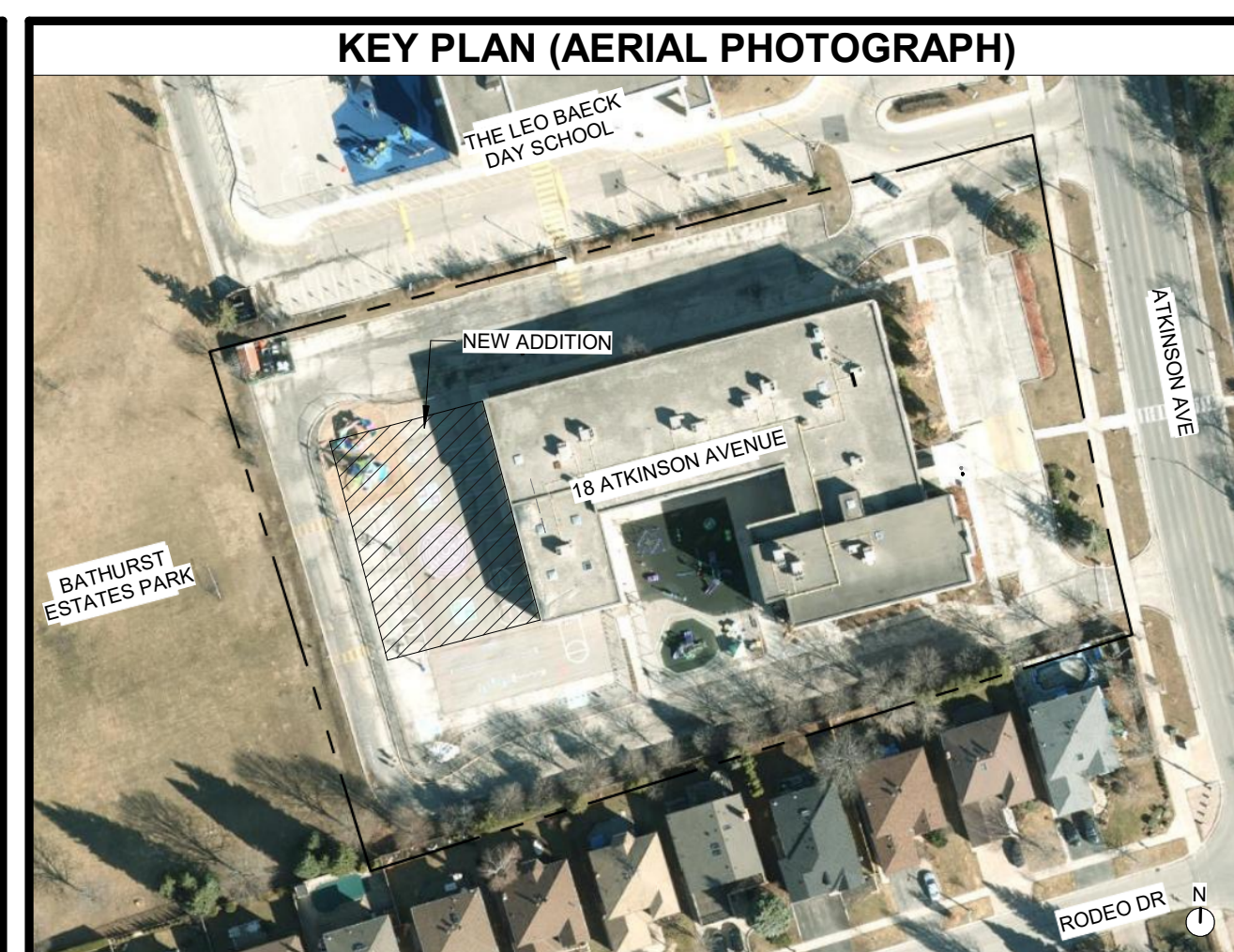
**NETIVOT HATORAH תניות התורה**

TORAH. ISRAEL. DERECH ERETZ

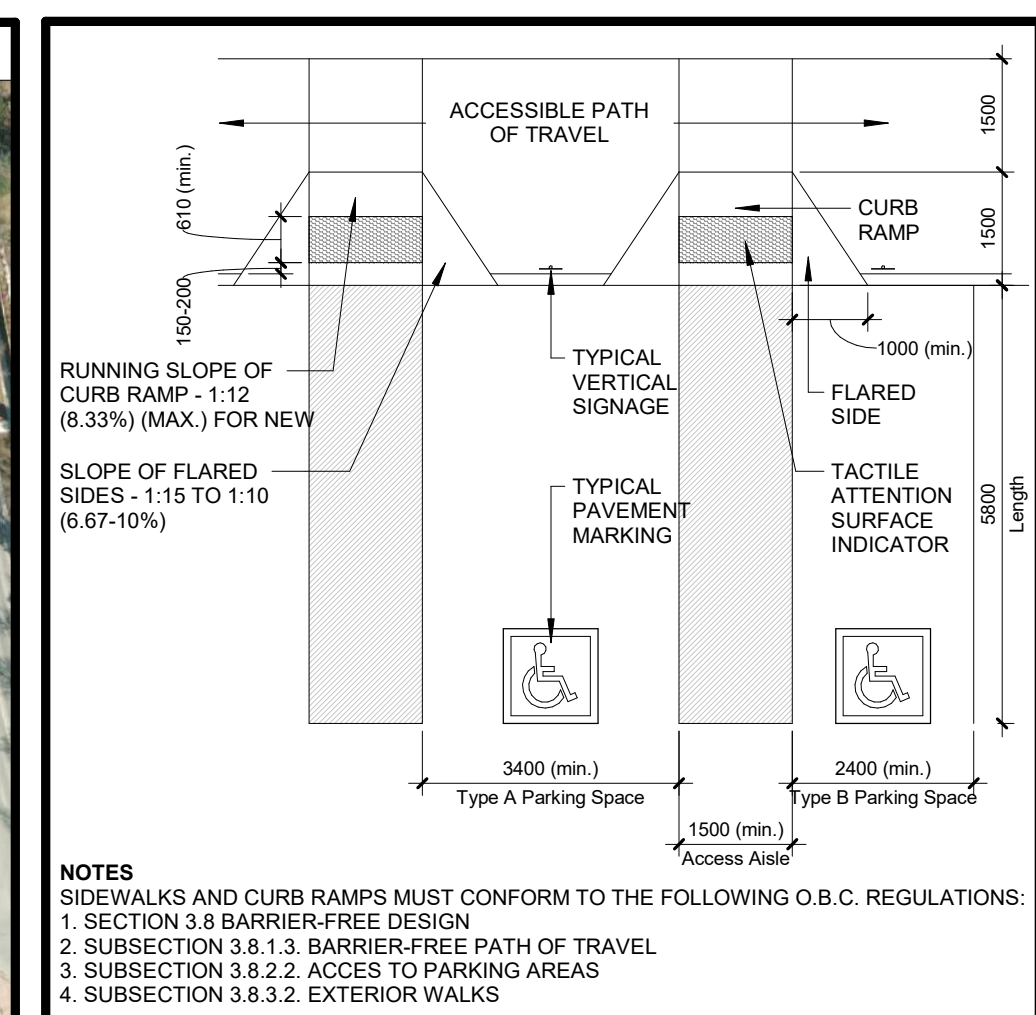
1 SITE PLAN PROPOSED  
1: 250



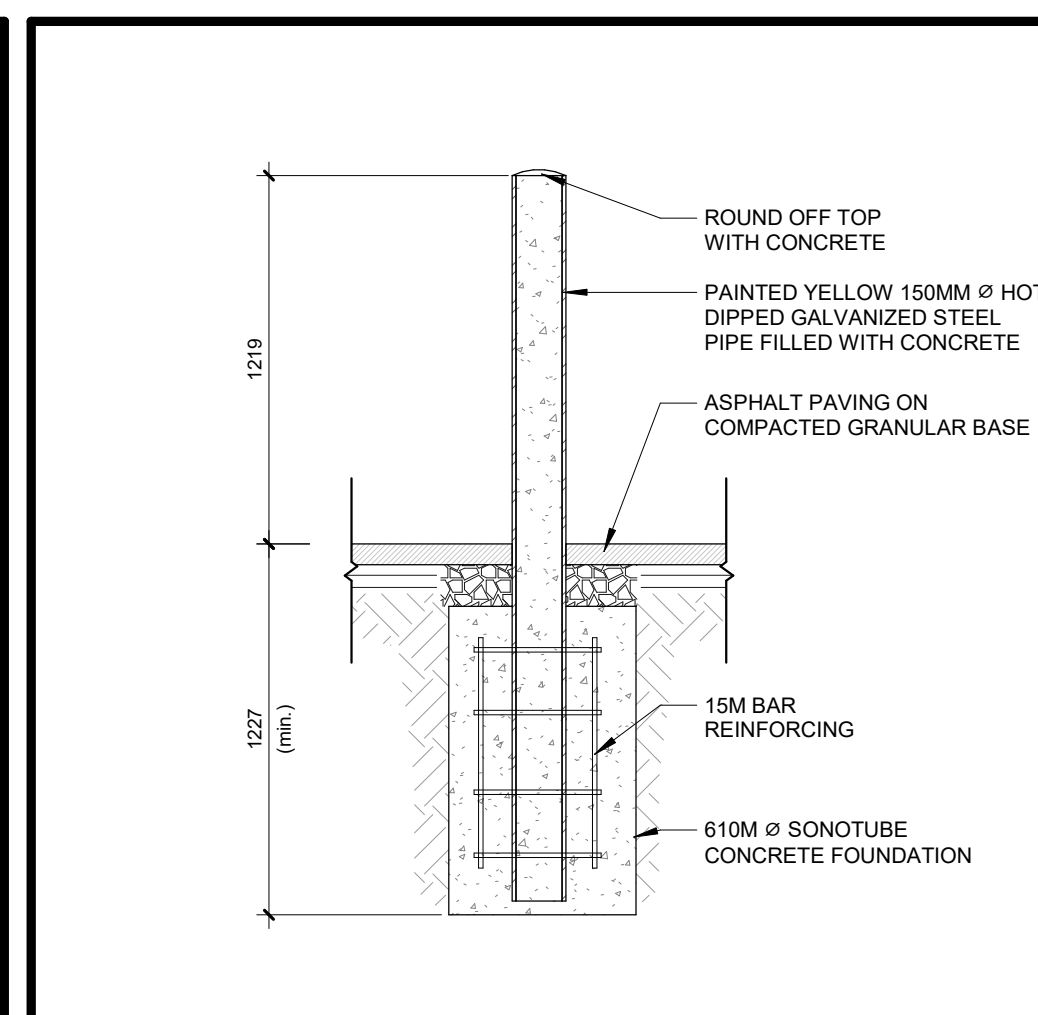
2 CONTEXT MAP (AERIAL PHOTOGRAPH)  
1: 4000



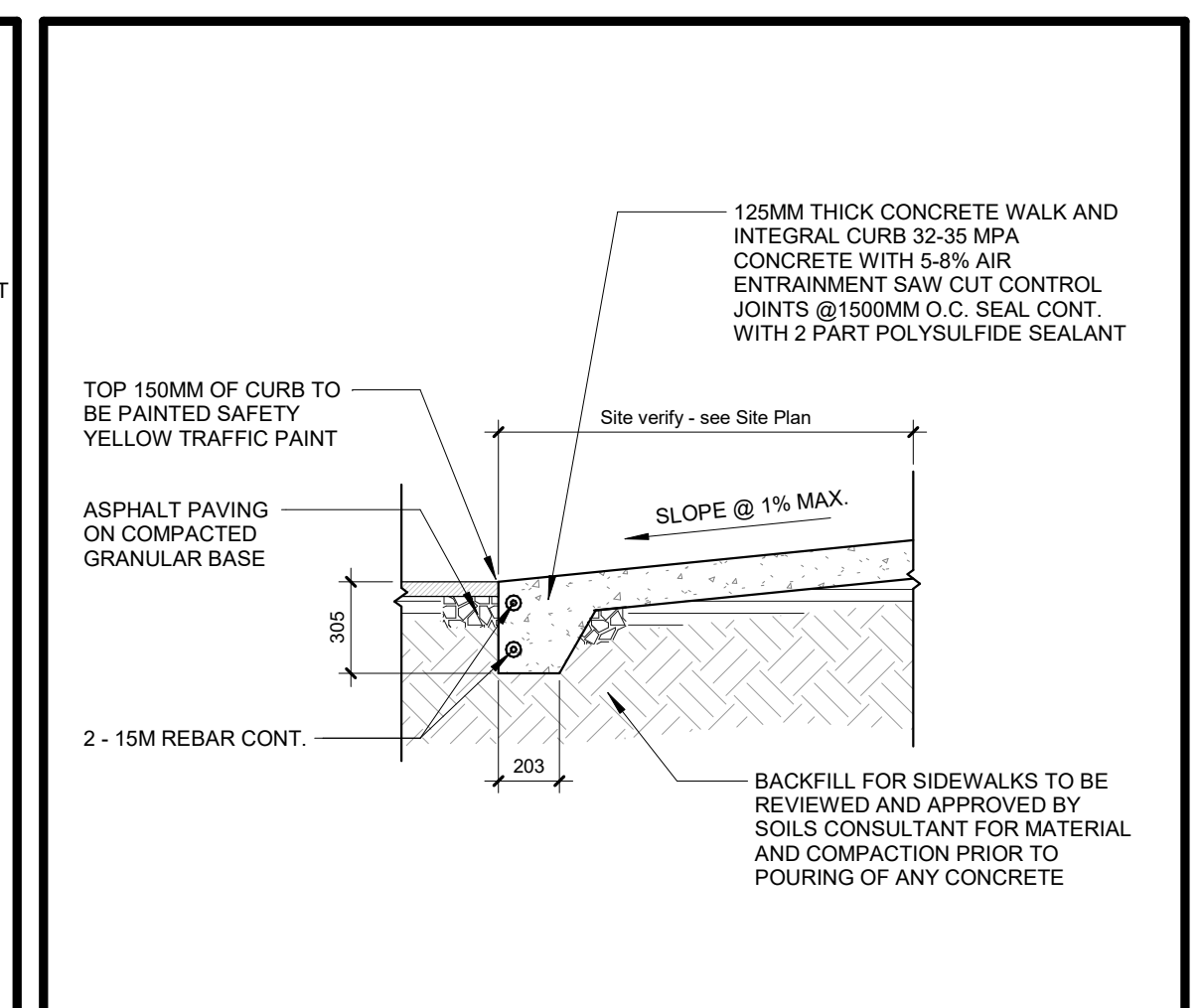
3 KEY PLAN (AERIAL PHOTOGRAPH)  
1: 1500



4 BARRIER-FREE PARKING STALLS  
1: 100



5 METAL BOLLARD  
1: 25



6 BARRIER-FREE RAMP  
1: 25

7	REISSUED FOR CoA	08 Jan / 25
6	ISSUED FOR CoIA	25 Oct / 24
5	ISSUED FOR SPA-6	25 Oct / 24
No.	ISSUED/REVISED	DATE

Netivot HaTorah Day School

18 Atkinson Ave, Thornhill, ON L4J 8C8

**PROPOSED SITE PLAN**

Scale: As indicated

Project Number: 24-102

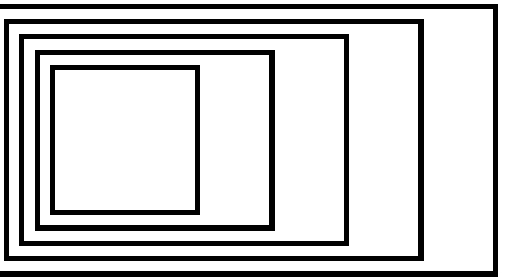
Drawn By: Author

Checked By: Checker

Project North

Ontario Association of Architects

**SP2**



# GOW HASTINGS ARCHITECTS

275 SPADINA ROAD  
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416-920-0031  
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## NETIVOT HATORAH תיבות התורה



TORAH. ISRAEL. DERECH ERETZ.

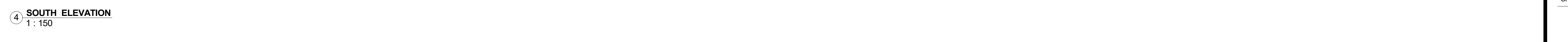
**EXTERIOR ELEVATIONS KEYED NOTES**

Key Value	Keynote Text
ACM1	ALUMINUM COMPOSITE METAL PANEL - BONE WHITE
ACM2	ALUMINUM COMPOSITE METAL PANEL - CHAMPAGNE
AW1	ALUMINUM WINDOWS WITH BIRD FRIENDLY DOTS - BRONZE FRAME
BR1	BRICK VENEER - CANADA BRICK WHITE ASH
CONC	CAST-IN-PLACE CONCRETE
CW1	CLEAR ANODIZED ALUM CURTAIN WALL CW CLEAR GLAZING WITH BIRD-FRIENDLY DOTS
CW1S	CLEAR ANODIZED ALUM CURTAIN WALL CW SPANDREL GLASS
MTL1	PERFORATED ALUMINUM PANEL SCREEN - MICA GREY
MTL2	PREFINISHED STEEL CLADDING - TO MATCH BONE WHITE
MTL3	ARCHITECTURAL STEEL LETTERING - STAINLESS STEEL
PCP1	PRECAST CONCRETE PANELS
PCP2	PRECAST CONCRETE BASE
PT10	PAINTED STEEL - TO MATCH ACM1
PT11	PAINTED STEEL - TO MATCH ACM2
PT12	PAINTED STEEL - TO MATCH MTL1
PT13	PAINTED STEEL - TO MATCH CLEAR ANODIZED ALUMINUM

**Established Grade Calculation**

length no	begin elev. (m)	end elev. (m)	length (m)	$\frac{el.1 + el.2}{2} \times L$
1	199.25	198.94	4.686	932.96
2	198.94	199.05	5.88	1170.09
3	199.05	199.21	4.636	923.17
4	199.21	199.21	9.314	1855.44
5	199.21	199.79	0	0
6	199.79	197.97	15.296	3042.07
7	197.97	197.35	10.303	2036.49
	<b>total:</b>		<b>50.115</b>	<b>9960.22</b>
	<b>EG</b>	<b>9960.22/50.115</b>		<b>198.747</b>

Distance from Established Grade to Finished Floor = 0.503m



6	ISSUED FOR CoA	25 Oct / 24
5	ISSUED FOR SPA-6	25 Oct / 24
No.	ISSUED/REVISED	DATE

Netivot HaTorah Day School  
18 Atkinson Ave, Thornhill, ON L4J 8C8

### PROPOSED EXTERIOR ELEVATIONS

Scale: 1 : 150  
Project Number: 24-102  
Drawn By: Author  
Checked By: Checker

Project North

Ontario Association of Architects

# A2.0

**SCHEDULE B:  
COMMENTS FROM AGENCIES, BUILDING STANDARDS &  
DEVELOPMENT PLANNING**

<b>Internal Departments</b> <small>*Comments Received</small>	<b>Conditions Required</b>		<b>Nature of Comments</b>
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions

<b>External Agencies</b> <small>*Comments Received</small>	<b>Conditions Required</b>		<b>Nature of Comments</b> <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

**Date:** August 22<sup>nd</sup> 2024

**Attention:** **Christine Vigneault**

**RE:**

**File No.:** **A125-24**

**Related Files:**

**Applicant** P+P CONSULTING

**Location** 18 Atkinson Ave



Discover the possibilities

### COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

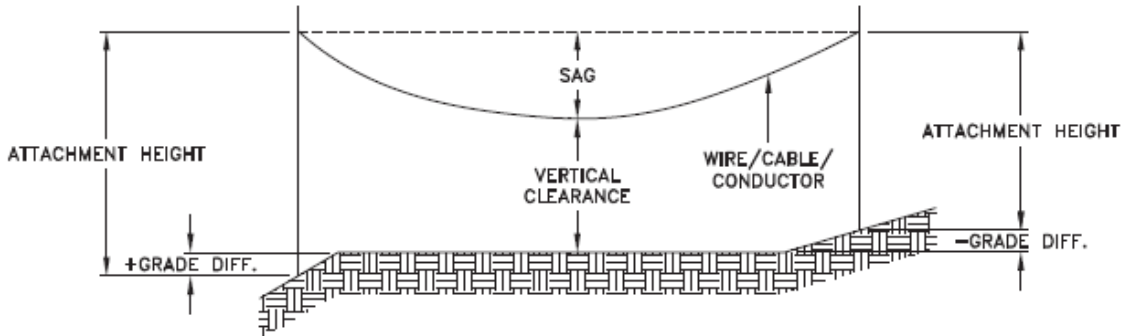
Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG  
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)  
 ± GRADE DIFFERENCE  
 + 0.3m (VEHICLE OR RAILWAY LOCATION)  
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

**NOTES:**

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

**CONVERSION TABLE**

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

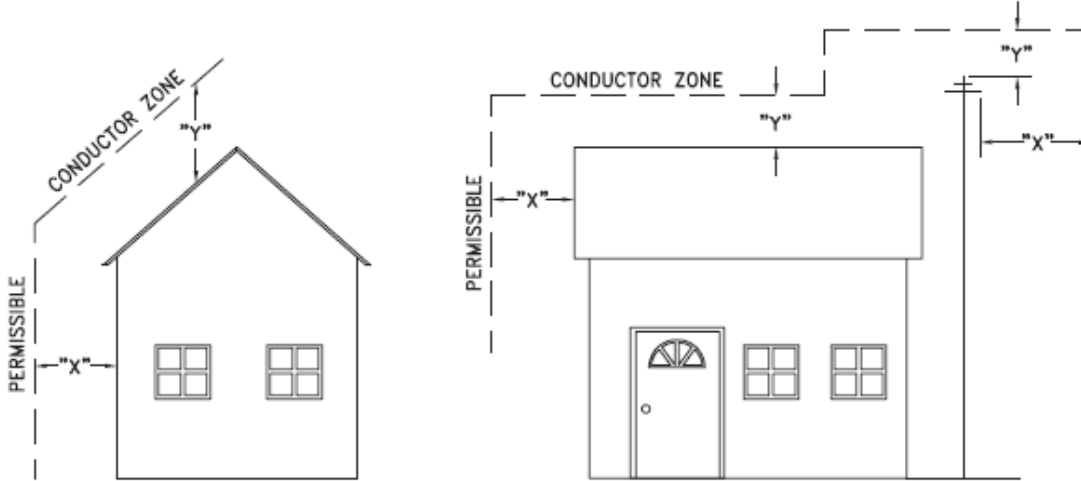
**REFERENCES**

SAGS AND TENSIONS | SECTION 02

**MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS**

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

**NOTES**

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

**MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)**

**Certificate of Approval**  
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04  
Debbie Dadwani, P.Eng. 2010-MAY-05  
Name Date  
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:  
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

**To:** Committee of Adjustment  
**From:** Lindsay Haviland, Building Standards Department  
**Date:** January 08, 2025  
**Applicant:** P+P CONSULTING  
**Location:** 18 Atkinson Avenue  
 PLAN 65M2099 Part of Block 154  
**File No.(s):** A125/24

**Zoning Classification:**

The subject lands are zoned I1 – General Institutional Zone and subject to the provisions of Exception 14.275 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A maximum building height of 11 metres is required. [Table 13-3]	To permit a maximum building height of 15.5 metres

**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file

**Building Permit(s) Issued:**

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2

**Other Comments:**

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.



**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer  
**From:** Nancy Tuckett, Director of Development and Parks Planning  
**Date:** January 28, 2025  
**Name of Owner:** Netivot Hatorah Day School  
**Location:** 18 Atkinson Avenue, Thornhill  
**File No.(s):** A125/24

---

**Proposed Variance(s) (By-law 001-2021):**

1. To permit a maximum building height of 15.5 m.

**By-Law Requirement(s) (By-law 001-2021):**

1. A maximum building height of 11 m is required.

**Official Plan:**

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

**Comments:**

The Owner is seeking relief to permit the construction of an addition to an existing school, with the above noted variances.

The Development and Parks Planning Department has no objection to Variance 1 for an increased maximum building height of 15.5 m, whereas the Zoning By-law permits 11 m. The related Site Development application, File DA.23.022, is currently under review to permit the development of a three (3)-storey addition to the rear of the existing two (2)-storey school. The 4.5 m height increase is proposed to accommodate the addition and a clearstory feature proposed as part of the third storey. The height of the proposed addition is 13.2m and the clearstory feature is an additional 1.8m. The proposed height increase is minimal in nature and is not anticipated to cause any adverse massing impacts on the surrounding properties, or the abutting parkland to the west.

Accordingly, the Development and Parks Planning Department can support the requested variance and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

**Recommendation:**

The Development and Parks Planning Department recommends approval of the application, subject to the following conditions:

**Conditions of Approval:**

If the Committee finds merit in the application, the following conditions of approval are recommended:

That all comments on Site Development Application File DA.23.022 be addressed to the satisfaction of the Development Planning Department.

**Comments Prepared by:**

Alyssa Pangilinan, Planner 1  
Janany Nagulan, Senior Planner

**From:** [Cameron McDonald](#)  
**To:** [Committee of Adjustment](#)  
**Subject:** [External] RE: A125/24 (18 Atkinson Avenue) – REQUEST FOR COMMENTS, CITY OF VAUGHAN  
**Date:** Monday, August 26, 2024 9:44:52 AM  
**Attachments:** [image002.png](#)

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**CAUTION!** This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good morning,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from TRCA.

Based on the above, we have no comments/requirements.

Regards,

**Cameron McDonald**

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:437-880-1925)

E: [cameron.mcdonald@trca.ca](mailto:cameron.mcdonald@trca.ca)

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



**From:** [Development Services](#)  
**To:** [Christine Vigneault](#)  
**Cc:** [Committee of Adjustment](#)  
**Subject:** [External] RE: A125/24 (18 Atkinson Avenue) – REQUEST FOR COMMENTS, CITY OF VAUGHAN  
**Date:** Friday, August 30, 2024 4:36:24 PM  
**Attachments:** [image001.png](#)  
[image003.png](#)

**CAUTION!** This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hi Christine,

The Regional Municipality of York has completed its review of the minor variance application – A125/24 (18 Atkinson Avenue) and has no comment.

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

*Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.*

**Niranjan Rajevan, M.Pl.** | Associate Planner, Development Planning | Economic and Development Services Branch | Corporate Services Department

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1  
1-877-464-9675 ext. 71521 | [niranjan.rajevan@york.ca](mailto:niranjan.rajevan@york.ca) | [www.york.ca](http://www.york.ca)

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## SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			08/09/2024	Planning Justification Report



## Ramsay Planning Inc.

(Email Only)

July 29, 2024

### **Revised**

Christine Vigneault  
Secretary-Treasurer, Committee Adjustment  
City of Vaughan  
2141 Major Mackenzie Drive  
Vaughan ON, L6A 1T1

Dear Ms. Vigneault:

**Re: Minor Variance Application - Netivot Ha'torah Day School, 18 Atkinson Avenue  
Our File No. 2340**

---

Allan Ramsay Planning Associates Inc. has been retained by Netivot Ha'torah Day School ("Netivot Ha'torah") regarding its redevelopment plans at 18 Atkinson Avenue (the "**Subject Lands**" or the "**Site**").

On behalf of the Netivot Ha'torah, we are pleased to provide this Planning Brief in support of a Minor Variance Application to facilitate the construction of an addition to the existing school.

### **SUBJECT PROPERTY & SURROUNDING AREA**

The Subject Lands are located on the west side of Atkinson Avenue, approximately 1 block south of Centre Street. The existing 2-storey school has a gross floor area (GFA) of 5,474.79 m<sup>2</sup> with 35 classrooms and an enrolment of 600 students from Junior Kindergarten to Grade 8. Among these students, 468 students use the classrooms at 18 Atkinson and the remaining students use the classrooms at Kayla Children Centre, the abutting school at 36 Atkinson Avenue.

Surrounding the Subject Lands are the following:

- North: the Kayla Children Centre a 2-storey day care and school.
- West: To the west is Bathhurst Estates Park, a neighbourhood park with sportsfields, tennis courts and a small playground area. Directly adjacent to the school property is a soccer field. A chain link separates the school and park.
- South: Abutting the Subject Lands to the south are 2-storey detached dwellings located on Rodeo Drive. These lots are separated from the school by a solid privacy fence and a 3 m landscape strip with mature trees.



## Ramsay Planning Inc.

Page 2

- East: Opposite the Subject Lands on the east side of Atkinson Avenue, are the rear yards of residential properties fronting onto Franklin Avenue and Maimonides Court. These reverse frontage lots contain 2-storey detached dwellings and include solid, noise attenuation walls adjacent to Atkinson Avenue.

### OFFICIAL PLAN AND ZONING

Under the Vaughan Official Plan (the “**VOP 2010**”) the Subject Lands are located within a Community Area on Schedule 1, Urban Structure and are designated ‘Low Rise Residential’ on Schedule 13, Land Use . Among the permitted uses in Low Rise Residential areas are “Public and Private Institutional Buildings” (s. 9.2.2.1 c) (iv)). The Netivot Ha’torah Day School is considered a private institutional building.

According to s. 9.2.3.8 Public and Private Institutional Buildings such as schools may take on a variety of forms dependant on their use and scale. Schedule 13-T of the VOP 2010 does not specify a maximum height or density (floor space index) for a school on the Subject Lands. Furthermore, s. 9.2.1.7 indicates that in cases where “...no height or floor space index is indicated on Schedule 13, the maximum height and density shall be established through a Secondary Plan or Area Specific Policy as contained in Volume 2 of this Plan, where such a Secondary Plan or Area Specific Policy exists, or through the application of the various policies of this Plan”. The Subject Lands are not subject to a Secondary Plan or area specific policies.

Under the Community Area policies s. 9.1.2.2 of the VOP 2010 indicates:

“...new *development* as reflected in any zoning, variance, subdivision, consent or part lot control exemption application, will be designed to **respect and reinforce** the existing physical character and uses of the surrounding area, specifically respecting and reinforcing the following elements:

- a. the local pattern of lots, streets and blocks;
- b. the size and configuration of lots;
- c. the building type of nearby residential properties;
- d. the orientation of buildings;
- e. **the heights and scale of adjacent and immediately surrounding residential properties;**
- f. the setback of buildings from the street;
- g. the pattern of rear and side-yard setbacks;



## Ramsay Planning Inc.

Page 3

- h. the presence of mature trees and general landscape character of the streetscape;
- i. the existing topography and drainage pattern on the lot and in the adjacent and immediately surrounding properties
- j. conservation and enhancement of heritage buildings, heritage districts and *cultural heritage landscapes*.
- k. the above elements are not meant to discourage the incorporation of features that can increase energy efficiency (e.g. solar configuration, solar panels) or environmental sustainability (e.g. natural lands, rainbarrels).” [Emphasis Added]

According to City of Vaughan Zoning By-law 2021-001, as amended, the Subject Lands are zoned as General Institutional Zone (I1) and are subject to site specific exception 275 (I1-275 Zone). A school is a permitted use within the I1-275 Zone. Exception 275 applies to several parcels in the area and addresses regulations for residential lots and the parking of commercial vehicles.

### **PROPOSED DEVELOPMENT**

The proposed redevelopment consists of two additions (Additions A and B) to the school building combining for a total GFA of 8,045.41 m<sup>2</sup>. Addition A is a proposed 3-storey expansion to the back of the existing school building and will include a new gym and administrative offices and classroom spaces on the upper floor. It is noted that there will not be additional student enrolment as a result of the proposed expansion. The students that currently use 36 Atkinson Avenue will be housed in the new classrooms. Addition B involves minor renovations to the front entrance vestibule situated along Atkinson Avenue.

The proposed site plan also shows that the existing access and internal driveway loop will be maintained with the addition of security gates that will be closed during school hours (9:00 AM to 3:45 PM). The use of security gates will enable the area between the gates, including the driveway, to be utilized by students for outdoor play activities during school hours.

The proposed building expansion will make provision for minimum 63 parking spaces required (1.5 spaces/classroom). The site plan includes 30 bicycle parking spaces within the school grounds, which promotes cycling and minimizes vehicular traffic during pick-up and drop-off hours.

Copies of the proposed site plan, vehicular circulation plan and elevation plan are provided in Appendix A, B and C respectively.



## Ramsay Planning Inc.

Page 4

### REQUESTED RELIEF

The proposed school addition has been designed to comply with the applicable zoning regulations where possible. The following variances are required:

No.	Zoning By-Law Regulation 2021-001	Variance Request
1	[Section 13.3, Table 13.3] The maximum building height permitted is 11 metres.	To permit a maximum building height of 13.7 metres
2	[Section 6.1.3 Exclusivity] A required parking space, barrier-free parking space, barrier-free access aisle, loading space, bicycle parking space, or any driveway or aisle providing access to those spaces, shall be provided in accordance with the following provisions: 1. Shall be used for the exclusive use of that purpose and shall be maintained as such. 2. Shall be unobstructed and free of any structure or encroachment, unless otherwise permitted by this By-law in accordance with Subsection 6.3.3.	To permit the portion of the driveway located between the security gates to be closed to vehicular travel from 9:00 AM to 3:45 PM on school days in order that it can be used for outdoor play activities.

### MINOR VARIANCE TESTS

Section 45(1) of the *Planning Act*, as amended, identifies the four tests which must be satisfied in order for the Committee to approve this application. Those tests are:

1. The variance maintains the general intent and purpose of the Official Plan.
2. The variance maintains the general intent and purpose of the Zoning By-law.
3. The variance is desirable for the appropriate development or use of the land.
4. The variance is minor in nature.

In my opinion, the requested variances are supportable and meet the four tests under Section 45(1) of the *Planning Act* in the following ways:

### ANALYSIS OF VARIANCE 1 - BUILDING HEIGHT

- (i) General Intent and Purpose of the Official Plan – As noted above, the VOP 2010 does not specify a maximum building height for a school on the Subject Lands. Instead, the Official





## Ramsay Planning Inc.

Page 5

Plan indicates schools and other institutional buildings may take on a variety of forms dependant on their use and scale and must “respect and reinforce” the existing physical character and uses of the surrounding area.

In my opinion the 3-storey building addition consisting of a gym and upper storey classroom section will respect and reinforce the physical character of the surrounding area. The addition will be located at the rear of the site adjacent to the park, an existing school and three to four lots on Rodeo Drive containing 2-storey detached dwellings. The increase in building height is modest and exceeds the maximum building height permitted on the adjacent properties by 2.7 m.

The proposed increase in building height maintains the general intent and purpose of the City OP.

- (ii) General Intent and Purpose of the Zoning By-law – The intent of zoning regulations for maximum building height is to ensure that the height of new development is in keeping with character of the existing area.

The proposed increase building height will result in a building height that is in keeping with the character of the neighbourhood. The additional building height is compatible with the surrounding open space/park and school uses to the west and north respectively and is also compatible with the two-storey residential properties to the south. The proposed building addition is situated adjacent to three to four residential lots. Compatibility is achieved through the combination of a privacy fence, a 3 m landscaping strip, mature trees and a significant setback to the building addition from the adjacent residential properties.

The proposed increase in building height maintains the general intent and purpose of the Zoning By-law.

- (iii) Minor – The proposed variance is minor and will not result in any adverse impacts on the surrounding uses. The proposed addition (addition A) is situated away from any nearby uses. The addition is setback approximately 29.5 m from the nearest residential property line (south), approximately 21 m from the adjacent school property line (north) and approximately 11.3 m from the property line adjacent to the park (west). These separation distances far exceed the minimum 4.5 m side yard setback and 7.5 m rear yard setback requirements of the I1 Zone. The increased separation will mitigate any impacts of the proposed additional 2.7 m of building height.
- (iv) Desirable and Appropriate Development – The variance for increased building height will permit a development that is desirable for the appropriate development of the site and area. The additional building height will allow the Netivot Ha'torah to offer improved facilities to its students in the form of a new gym and additional, modern classrooms and will consolidate its educational programs on one site avoiding the need to shuffle students to and from the adjacent school at various time during the day.



## Ramsay Planning Inc.

Page 6

Overall, it is my opinion the variance for increase building height satisfies the requirements of Section 45(1) of the *Planning Act*. The proposed minor variance maintains the general intent and purpose of the relevant Official Plan policies and the Zoning By-law, is minor and is appropriate for the development of the Subject Lands and area.

### **ANALYSIS OF VARIANCE 2 – DRIVEWAY USE**

- (i) General Intent and Purpose of the Official Plan – According to s. 4.3.2.7 of the VOP 2010 it is the policy of the City of Vaughan to:

“...require that parking lots and structures be developed as high-quality examples of good urban design and sustainability, with particular emphasis placed on permeability and safety for pedestrians and cyclists, landscaping and vegetation, stormwater management, high quality lighting, signage and materials and a range of parking space types, including parking for smaller fuel efficient vehicles and bicycles”.

The general intent of the above policy is to ensure that parking lots, including driveways and aisles, are designed taking into account, amongst other things, the safety of pedestrians and cyclists.

In my opinion the proposed variance will permit the portion of the driveway located between the security gates to be closed to vehicular travel from 9:00 AM to 3:45 PM on school days in order that it can be used for outdoor play activities during school hours supports the above policy. This portion of the driveway is only required for student drop-offs and pick-ups and is not otherwise needed during school hours. The closure of the driveway and its use for outdoor play activities during school hours represents a safe and efficient use of urban land.

The proposed closure of the portion of the driveway between the security gates and its use for outdoor play activities at specified times of the school day maintain the general intent and purpose of the City OP.

- (ii) General Intent and Purpose of the Zoning By-law – Section 6.1.3 of the Zoning by-law states:

“A required parking space, barrier-free parking space, barrier-free access aisle, loading space, bicycle parking space, or any driveway or aisle providing access to those spaces, shall be provided in accordance with the following provision:

1. Shall be used for the exclusive use of that purpose and shall be maintained as such.



## Ramsay Planning Inc.

Page 7

2. Shall be unobstructed and free of any structure or encroachment, unless otherwise permitted by this By-law in accordance with Subsection 6.3.3”.

The general intent and purpose of the above regulation is to ensure required parking and accessible parking spaces, loading spaces and driveways and aisles leading to these spaces and facilities are available for their intended use and that these facilities provide for the safety of pedestrian, cyclists and other users.

Subject to the implementation of the security measures below, the closure of the portion of the driveway located between the security gates to vehicular travel from 9:00 AM to 3:45 PM and the use of the driveway during these periods for outdoor play activities will maintain the required safety to pedestrians, cyclists and other users.

As well, it is important to note the driveway is not required during school hours to access any required parking and accessible parking spaces, or aisles leading to these spaces and facilities. The only required facility located along this portion of the driveway is the waste enclosure. As discussed below arrangements will be made to ensure waste collection activities occur outside of school hours when the security gates are open.

The proposed variance maintains general intent and purpose of the Zoning By-law.

- (iii) Minor – The proposed variance is minor in nature and with the implementation of the measures outlined below will not result in any adverse safety risks or impacts:
- Vehicular access around the perimeter of the School will be controlled during school hours by two centrally controlled automatic security gates. The locations on the security gates are shown on the Proposed Circulation Plan, dated June 20, 2024. Along the northerly driveway the gate is situated near the school entrance that is part of the proposed building addition. The second gate is located along the southerly driveway in proximity to the existing building entrances.
  - The gates will be open except for the period 9:00 AM to 3:45 PM on school days. During the times when the security gates are closed vehicular traffic will be prohibited from passing through the gates. Under this arrangement the area between the gates will be available for safe, outdoor play activities by the students.
  - A buffer period of between 3-5 minutes will be utilized from when the northerly gate (the first gate) is closed and the southerly gate (the second gate) is closed in order to ensure all vehicles have ample time to exit the gated area. A security intercom is also proposed that provides direct communication to the school administrative staff in the event an issue. Staff supervisors will also be present when the security gates are opened and closed.



## Ramsay Planning Inc.

Page 8

- The period when the gates are open includes those times when student drop offs and pick ups occur. Morning drop offs take place between 8:00 AM and 9:00 AM, while afternoon pick-ups take place from 3:45 PM to 5:00 PM. Student drop offs and pick ups outside of the above times will occur in the front driveway.
- Contractual arrangements will be made with the School's waste management and snowplowing contractors that prohibit contractors from accessing the gated area during the period 9:00 AM to 3:45 PM on school days.
- Should snowplowing be required during the period when the gates are closed, a protocol will be followed that ensures the driveway is clear of all students during the extent of the snowplowing operations.

(iv) Desirable and Appropriate Development – The variance is desirable and appropriate for the development of the site. With the security measures proposed the closure of the driveway and its use for outdoor play activities during specified school hours provides for student safety. As well, the variance will facilitate an efficient use of the school grounds since the driveway is not required during school hours to access any required parking and accessible parking spaces, or aisles leading to these spaces and facilities.

The periodic closure of school driveways and public streets in the vicinity of schools has been identified in the Region of York's Designing For Active Transportation: York Region School Sites Design Guidelines (2017). According to the Design Guidelines, "...limiting access to street segments around schools on a permanent basis, with diverters or partial street closures or on a periodic basis – i.e., at school arrival and dismissal hours" is a means to reduce traffic volumes and promote active transportation.

In my opinion the variance to permit the portion of the driveway located between the security gates to be closed to vehicular travel from 9:00 AM to 3:45 PM on school days in order that it can be used for outdoor play activities during school hours satisfies the requirements of Section 45(1) of the *Planning Act*. The proposed minor variance maintains the general intent and purpose of the relevant Official Plan policies and the Zoning By-law, is minor and is appropriate for the development of the Subject Lands and area.

### CONCLUSION

Overall, it is my opinion the variances individually and collectively do not satisfy the requirements of Section 45(1) of the *Planning Act* and should be approved subject to the condition that the safety measures outlined above are implemented.



## Ramsay Planning Inc.

Page 9

Respectfully Submitted,

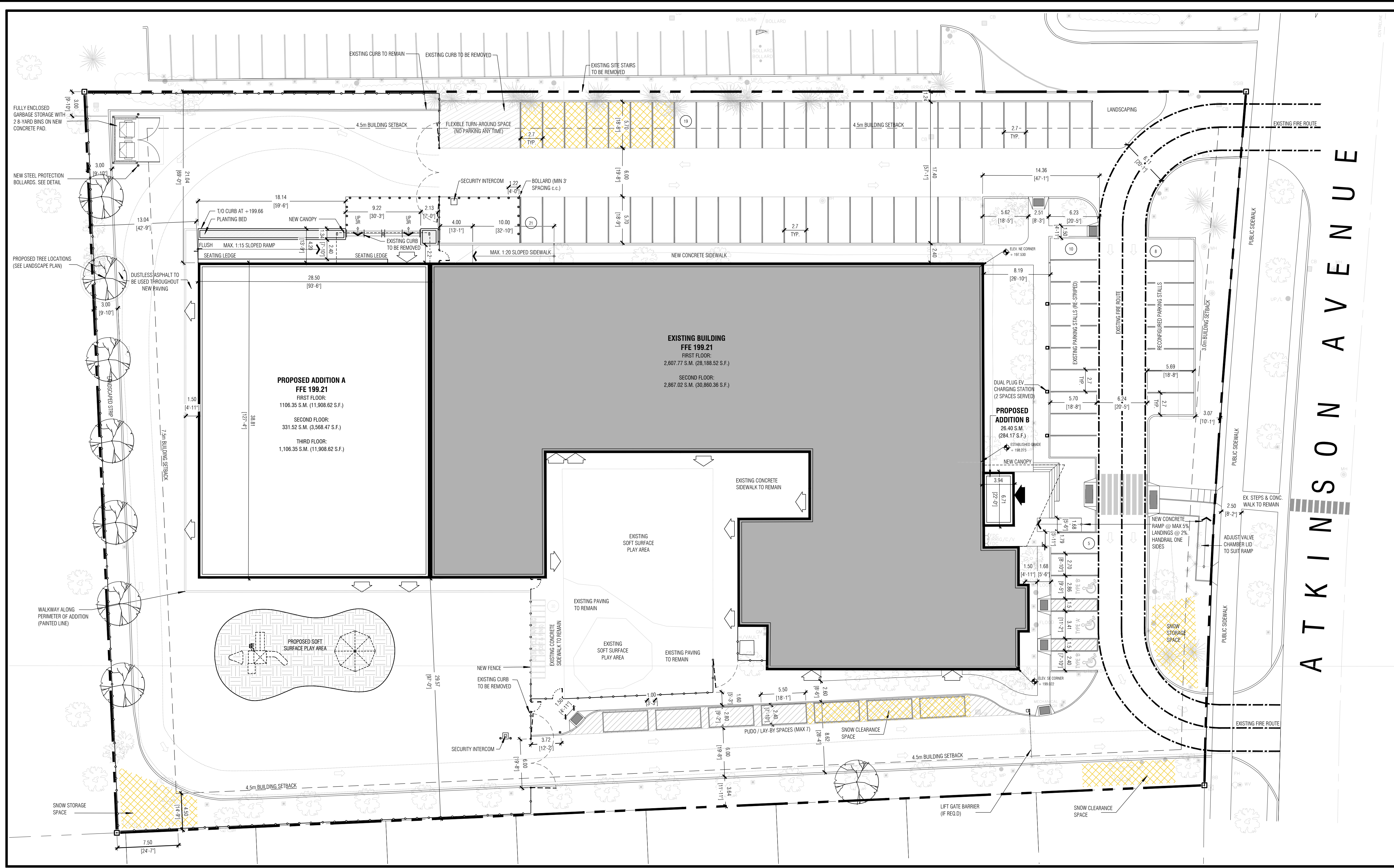
A handwritten signature in blue ink that reads "Allan Ramsay". The signature is written in a cursive style with a large initial 'A'.

Allan Ramsay, MCIP, RPP  
Principal,  
Allan Ramsay Planning Associates Inc.



**Ramsay Planning Inc.**

## **Appendix 1 - Proposed Site Plan**



### SITE AND BUILDING DATA

ZONE: PER ZBL 01-2021 I1-2/5 (GENERAL INSTITUTIONAL)

SETBACKS FOR PROPOSED ADDITION	REQUIRED	PROVIDED
NORTH	4.5m	21.03m
WEST	7.5m	11.34m
SOUTH	4.5m	29.57m

BUILDING	AREA SQ. FT.	AREA SQ. M.	COVERAGE
EXISTING MAIN FLOOR	28,070	2,607.77	21.9%
EXISTING SECOND FLOOR	30,860	2,867.02	
TOTAL EXISTING FLOOR AREA	58,930	5,474.79	
PROPOSED ADDITION A			
FIRST FLOOR	11,909	1,106.35	9.1%
SECOND FLOOR	3,568	331.52	
THIRD FLOOR	11,909	1,106.35	
PROPOSED ADDITION B			
FIRST FLOOR	284	26.40	0.2%
TOTAL ADDITION AREA	27,670	2,570.62	
TOTAL FLOOR AREA	40,263	3,740.52	30.7%
TOTAL SECOND FLOOR AREA	34,429	3,198.54	
TOTAL THIRD FLOOR AREA	11,909	1,106.35	
TOTAL GROSS FLOOR AREA	66,600	6,045.41	

PARKING	REQUIRED	PROVIDED
PARKING RATIO	1.5/CLASSROOM	
STANDARD SPACES (42 CLASSROOMS)	63	63
BARRIER-FREE PARKING	3	3
BICYCLE PARKING	17	30
ELECTRIC VEHICLE (EV) CHARGING STATION	SERVE 10% SPACES	8

COVERAGE CALCULATION	AREA SQ. FT.	AREA SQ. M.	COVERAGE
BUILDING	32,455	3,013.37	30.7%
LANDSCAPING	63,678	5,916	48.7%
ASPHALT/SOFT PAVING	25,898	2,406	19.8%

ADDITIONAL BUILDING DATA	REQUIRED	PROVIDED
MINIMUM LANDSCAPING	10%	48.7%
MAXIMUM BUILDING HEIGHT (PROPOSED)	11m	13.58m*

ADDITIONAL STATISTICS	CURRENT	PROPOSED
CLASSROOMS	35	42
STUDENT ENROLLMENT	468	600
STAFF	105	125

\* DENOTES MINOR VARIANCE REQUIRED

### LEGEND

	PROPERTY LINE
	SETBACK LINE
	VEHICLE ROUTE MARKING
	NEW CHAIN LINK FENCE, 1.8m HIGH
	EXISTING FIRE ROUTE TO REMAIN UNCHANGED

	IRON BAR		PARKING COUNT
	MAIN ENTRANCE		SECONDARY ENTRANCE
	BELL BOX		LIGHT
	CATCH BASIN		HYDRO
	MANHOLE		FINISHED FLOOR ELEVATION AT LOCATION NOTED ONLY
	WATER VALVE		FIRE DEPARTMENT CONNECTION
	UTILITY POLE		DESIGNATED STUDENT PICK-UP AREA
	FIRE HYDRANT		SNOW STORAGE AREA
	EXISTING BUILDING		BICYCLE PARKING

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO:

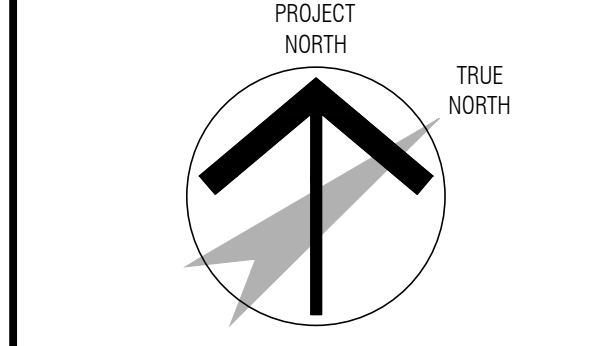
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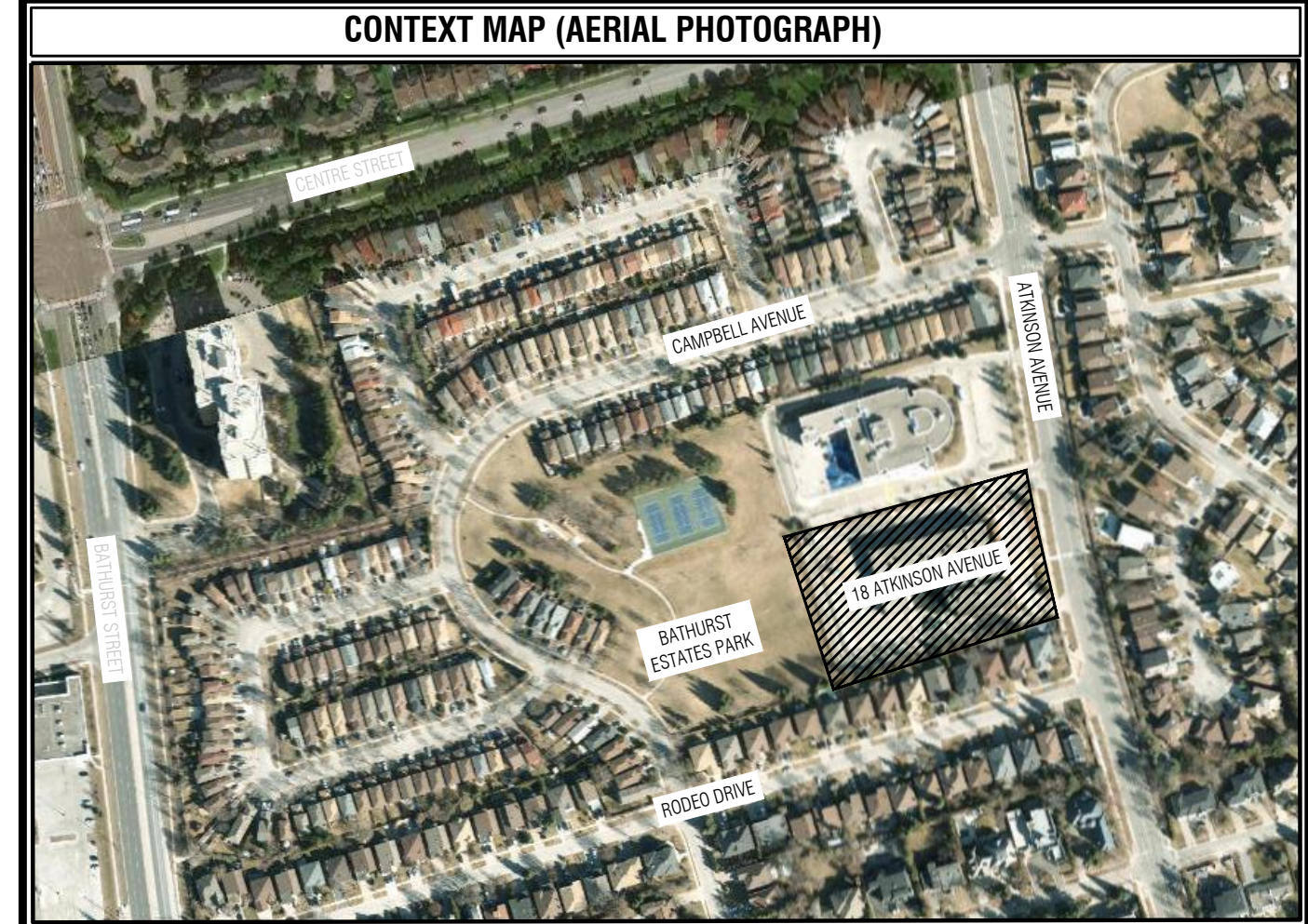
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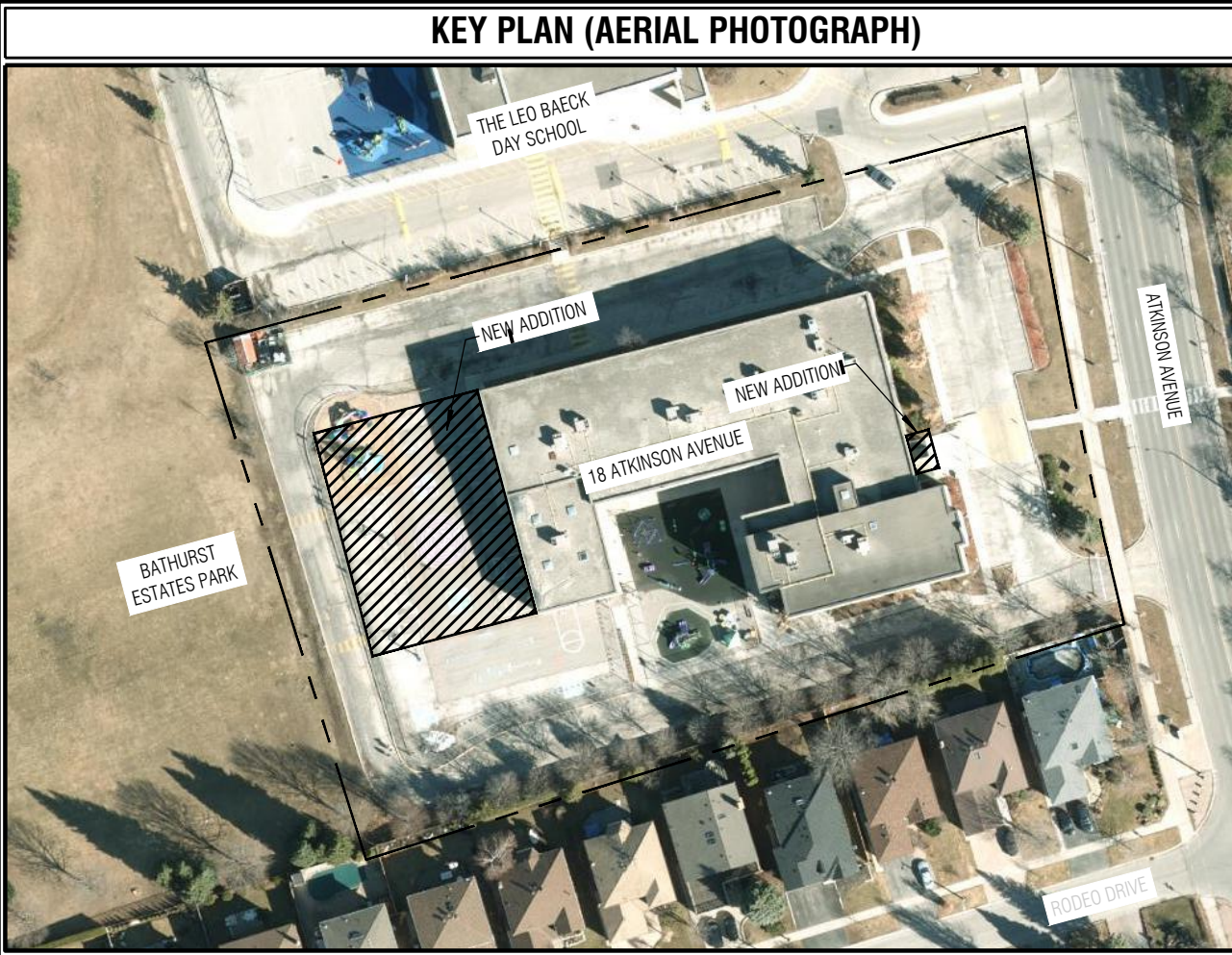
**Kitchener Toronto**  
 100 Conestoga College Blvd, Unit 1116 Suite 200  
 Kitchener, Ontario N2P 2N6 Toronto, Ontario M4S 2M3  
 (519) 896-1010 ext.100 (416) 460-0908



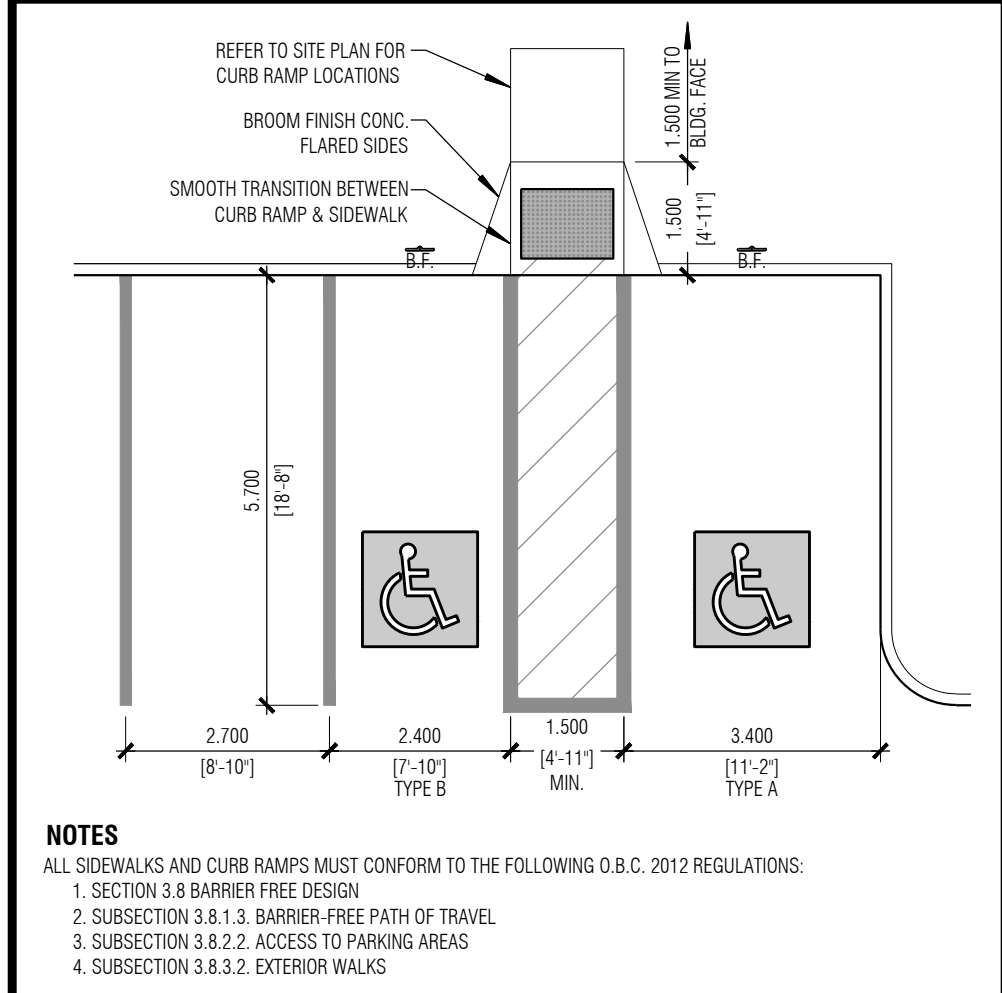
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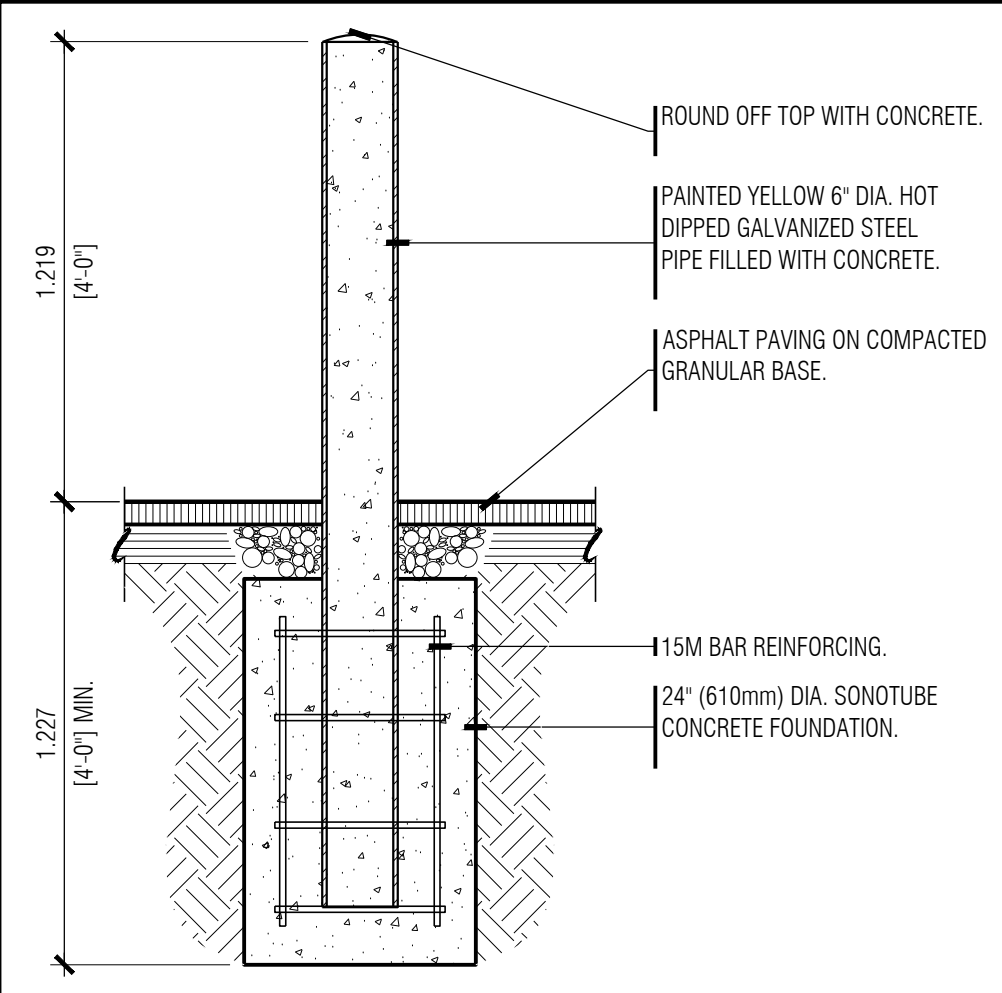
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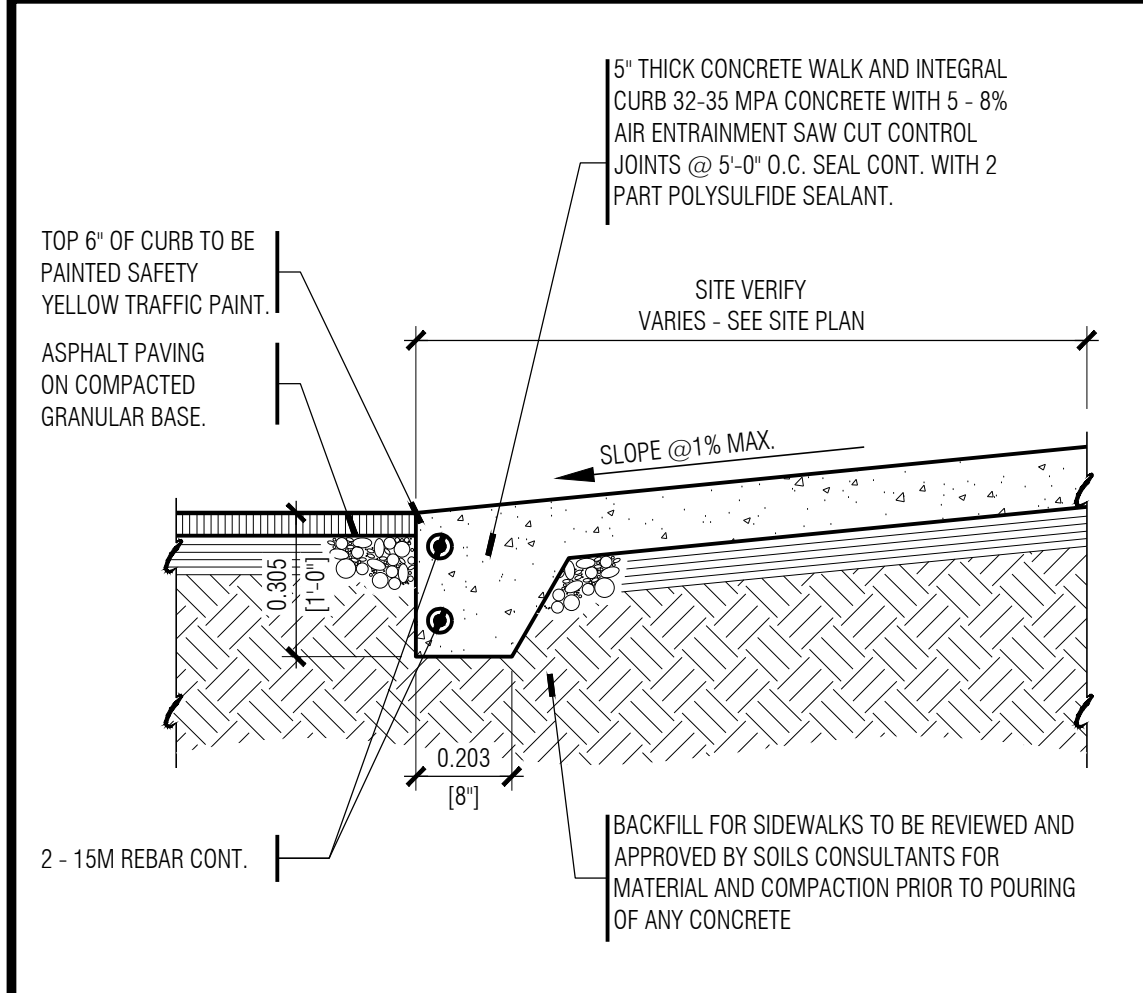
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 SP2 1:1500



4 BARRIER-FREE PARKING STALLS  
 SP2 1:100



5 METAL BOLLARD  
 SP2 N/A



6 BARRIER-FREE RAMP  
 SP2 N/A

REV.	DESCRIPTION	DATE
7	ISSUED FOR SPA COMMENTS R6	2024.07.22
6	ISSUED FOR SPA COMMENTS R5	2024.06.20
5	RE-ISSUED FOR SITE PLAN APPROVAL	2024.02.09
4	RE-ISSUED FOR SITE PLAN APPROVAL	2023.09.19
3	RE-ISSUED FOR SITE PLAN APPROVAL	2023.06.07
2	ISSUED FOR SITE PLAN APPROVAL	2023.04.04
1	ISSUED FOR COORDINATION	2023.03.17

CLIENT:

PROJECT:  
 PROPOSED BUILDING ADDITION  
 NETIVOT HATORAH DAY SCHOOL  
 18 ATKINSON AVENUE  
 VAUGHAN, ON L4J 8C8

PREVIOUS SPA FILE NUMBERS:  
 DA.49.91.  
 DA.3.92.

## PROPOSED SITE PLAN

DRAWN: I.M./J.G.	CHECKED: S.S./N.B.	JOB NUMBER: 22035
DATE (YYYY/MM/DD): 2024.07.24	SCALE: AS NOTED	
DRAWING NUMBER: SP2	REVISION NUMBER: R5	

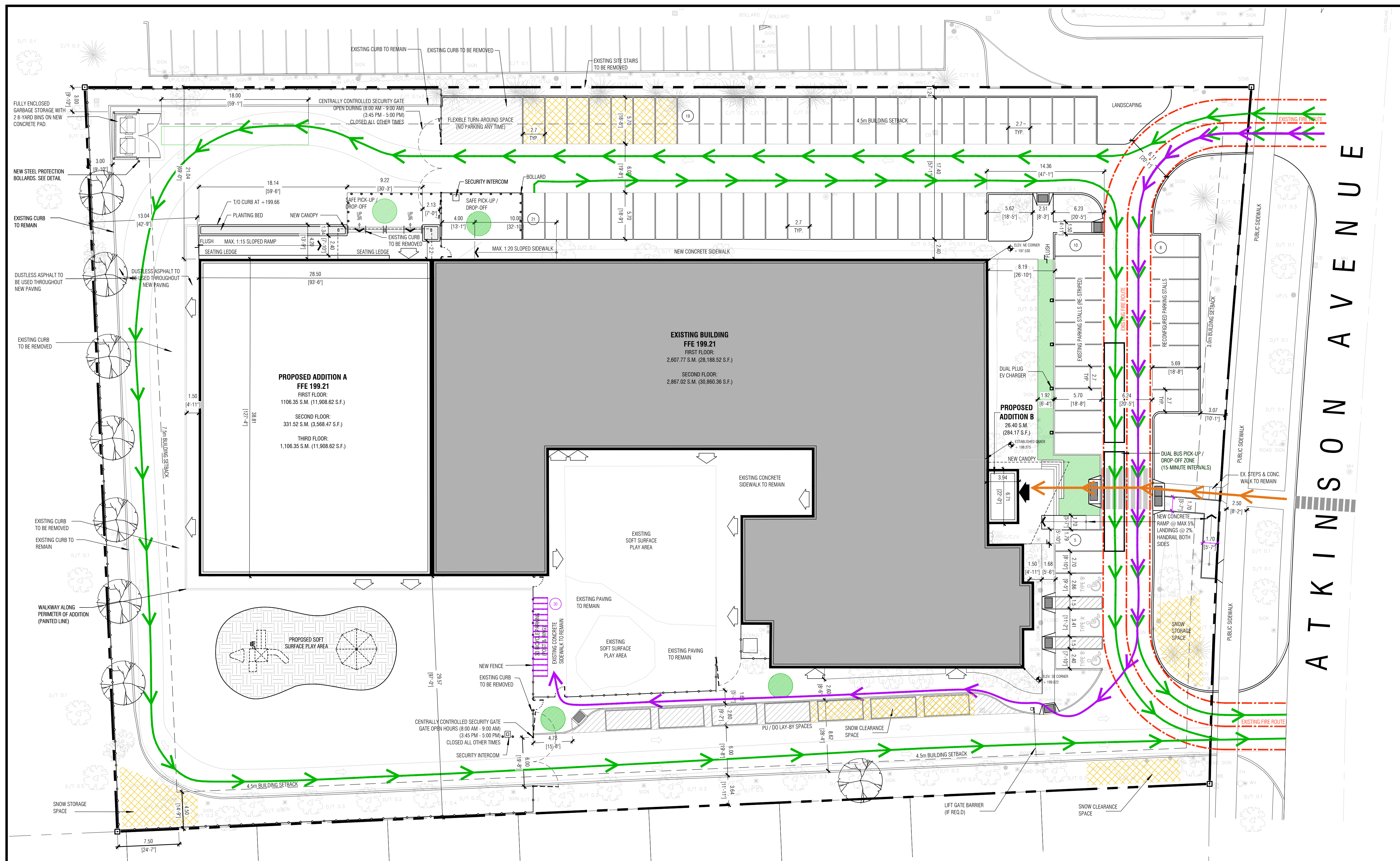
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**Ramsay Planning Inc.**

## **Appendix 2 - Circulation Plan**





### SITE AND BUILDING DATA

ZONE: PER ZBL 01-2021 I1-275 (GENERAL INSTITUTIONAL)

TOTAL SITE AREA:	AREA SQ. FT.	AREA SQ. M.	ACRES
	130,760	12,148.00	3.0

SETBACKS FOR PROPOSED ADDITION	REQUIRED	PROVIDED
NORTH	4.5m	21.037m
WEST	7.5m	11.346m
SOUTH	4.5m	29.575m

BUILDING	AREA SQ. FT.	AREA SQ. M.	COVERAGE
EXISTING MAIN FLOOR	28,070	2,607.77	21.5%
EXISTING SECOND FLOOR	30,960	2,867.02	
TOTAL EXISTING FLOOR AREA	58,930	5,474.79	
PROPOSED ADDITION A			
FIRST FLOOR	11,909	1,106.35	9.1%
SECOND FLOOR	3,568	331.52	
THIRD FLOOR	11,909	1,106.35	
PROPOSED ADDITION B			
FIRST FLOOR	284	26.40	0.2%
TOTAL ADDITION AREA	27,670	2,570.62	
TOTAL FIRST FLOOR AREA:	40,263	3,740.52	30.7%
TOTAL SECOND FLOOR AREA:	34,428	3,196.54	
TOTAL THIRD FLOOR AREA:	11,909	1,106.35	
TOTAL GROSS FLOOR AREA:	86,600	8,045.41	

PARKING	REQUIRED	PROVIDED
PARKING RATIO	1.5/CLASSROOM	
STANDARD SPACES (42 CLASSROOMS)	63	63
BARRIER-FREE PARKING	3	3
BICYCLE PARKING	17	30
ELECTRIC VEHICLE (EV) CHARGING STATION	SERVE 10% SPACES	8

COVERAGE CALCULATION	AREA SQ. FT.	AREA SQ. M.	COVERAGE
BUILDING	32,455	3,012.37	30.7%
LANDSCAPING	63,679	5,916	48.7%
ASPHALT/SOFT PAVING	25,898	2,406	19.8%
ADDITIONAL BUILDING DATA	REQUIRED	PROVIDED	
MINIMUM LANDSCAPING	10%	48.7%	
MAXIMUM BUILDING HEIGHT (PROPOSED)	11m	13.58m*	

ADDITIONAL STATISTICS	CURRENT	PROPOSED
CLASSROOMS	35	42
STUDENT ENROLLMENT	468	600
STAFF	105	125

\* DENOTES MINOR VARIANCE REQUIRED

### LEGEND

	PROPERTY LINE
	SETBACK LINE
	VEHICLE ROUTE MARKING
	NEW CHAIN LINK FENCE, 1.8m HIGH
	EXISTING FIRE ROUTE TO REMAIN UNCHANGED
	PEDESTRIAN ROUTE
	PASSENGER VEHICLE ROUTE
	BICYCLE ROUTE

	IRON BAR		PARKING COUNT
	MAIN ENTRANCE		SECONDARY ENTRANCE
	BELL BOX		LIGHT
	CATCH BASIN		HYDRO
	MANHOLE		FINISHED FLOOR ELEVATION AT LOCATION NOTED ONLY
	WATER VALVE		FIRE DEPARTMENT CONNECTION
	UTILITY POLE		DESIGNATED STUDENT PICK-UP AREA
	FIRE HYDRANT		SNOW STORAGE AREA
	EXISTING BUILDING		BICYCLE PARKING

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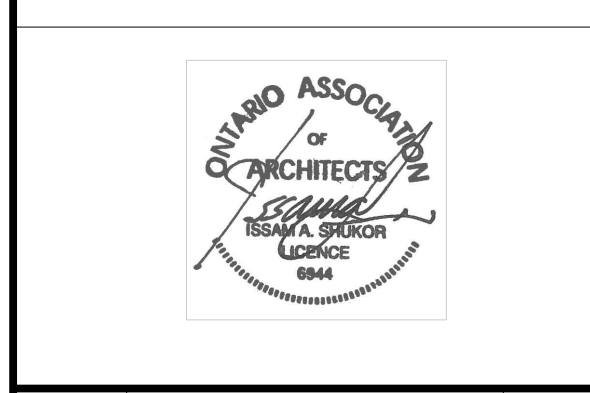
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PROJECT NORTH  
TRUE NORTH

**Greystone**

Kitchener Toronto  
 100 Conestoga College Blvd, Unit 1116 Suite 200  
 Kitchener, Ontario N2P 2N6 Toronto, Ontario M4S 2H3  
 (519) 896-1010 ext.100 (416) 460-0908



7	ISSUED FOR SPA COMMENTS R6	2024.07.22
6	ISSUED FOR SPA COMMENTS R5	2024.06.20
5	RE-ISSUED FOR SITE PLAN APPROVAL	2024.02.09
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3	RE-ISSUED FOR SITE PLAN APPROVAL	2023.06.07
2	ISSUED FOR SITE PLAN APPROVAL	2023.04.04
1	ISSUED FOR COORDINATION	2023.03.17

REV.	DESCRIPTION	DATE
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<input type="checkbox"/>	ISSUED	
<input type="checkbox"/>	APPROVAL	

CLIENT:

NETIVOT HATORAH  
נתיבות התורה  
TORAH. ISRAEL. DERECH ERETZ.

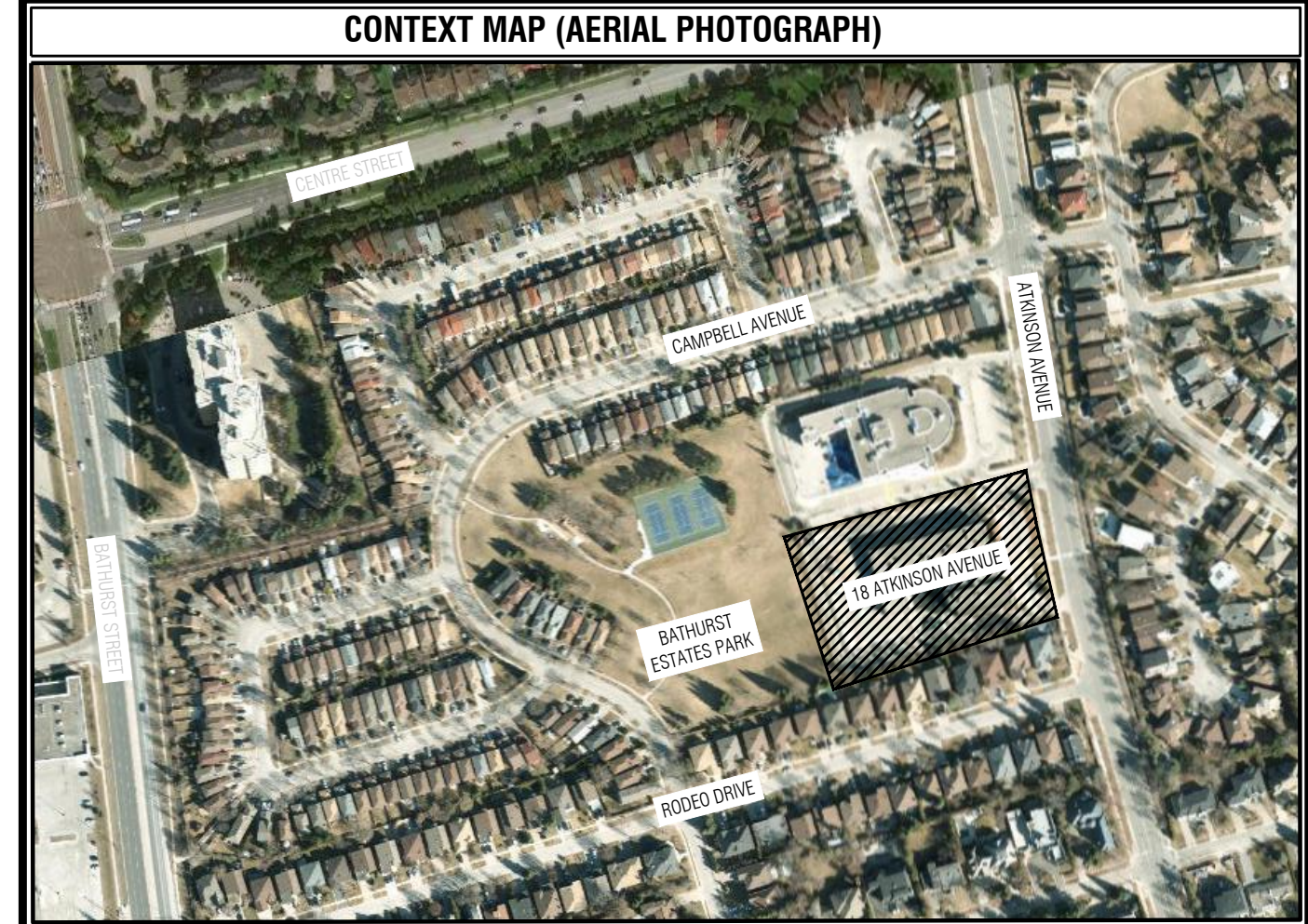
PROJECT:  
PROPOSED BUILDING ADDITION  
NETIVOT HATORAH DAY SCHOOL  
18 ATKINSON AVENUE  
VAUGHAN, ON L4J 8C8

PREVIOUS SPA FILE NUMBERS:  
DA.49.91.  
DA.3.92.

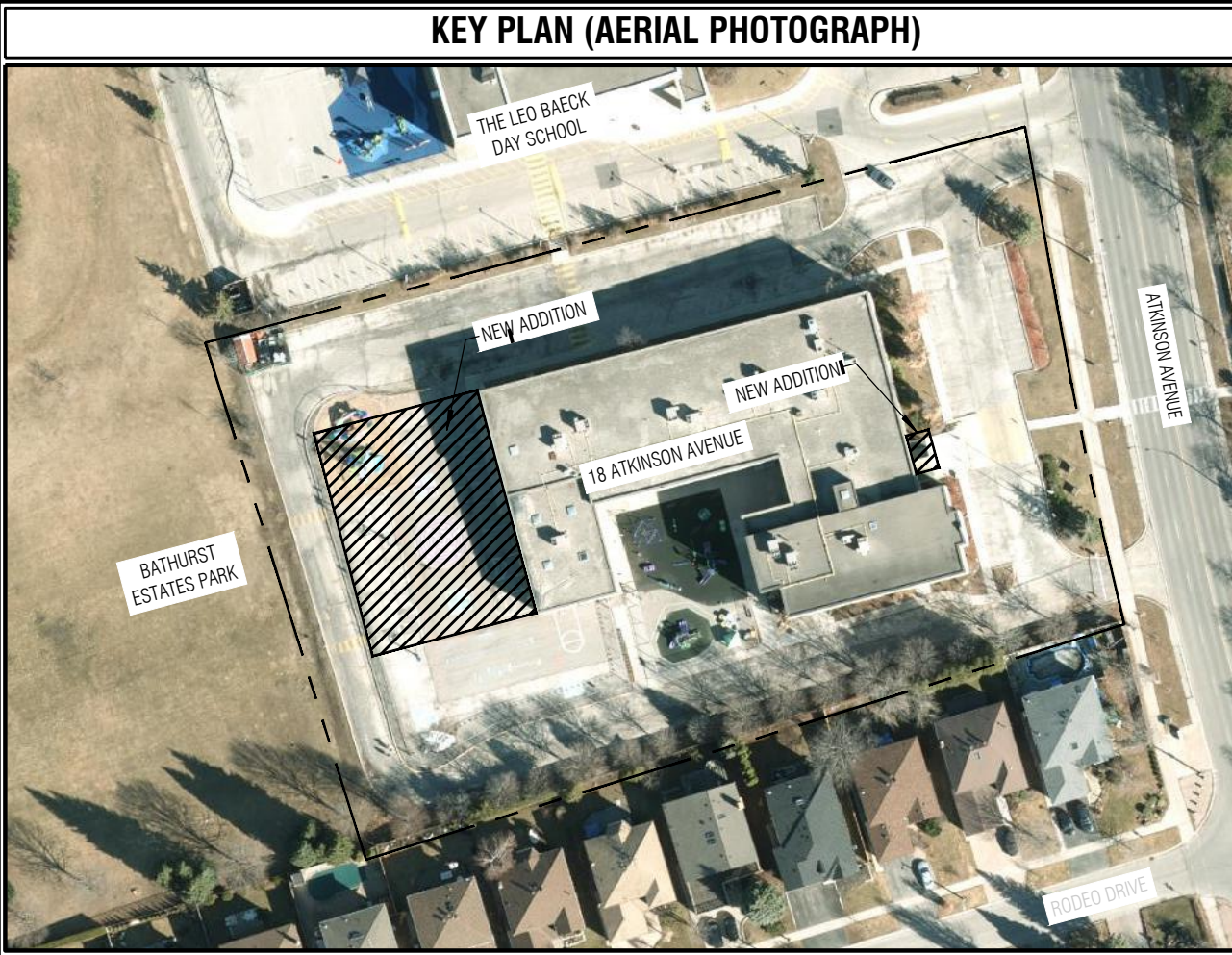
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I.M./J.G.	S.S./N.B.	22035
DATE (YYYYMMDD):	SCALE:	
2024.07.24	AS NOTED	
DRAWING NUMBER:	REVISION NUMBER:	
CIRC	R5	

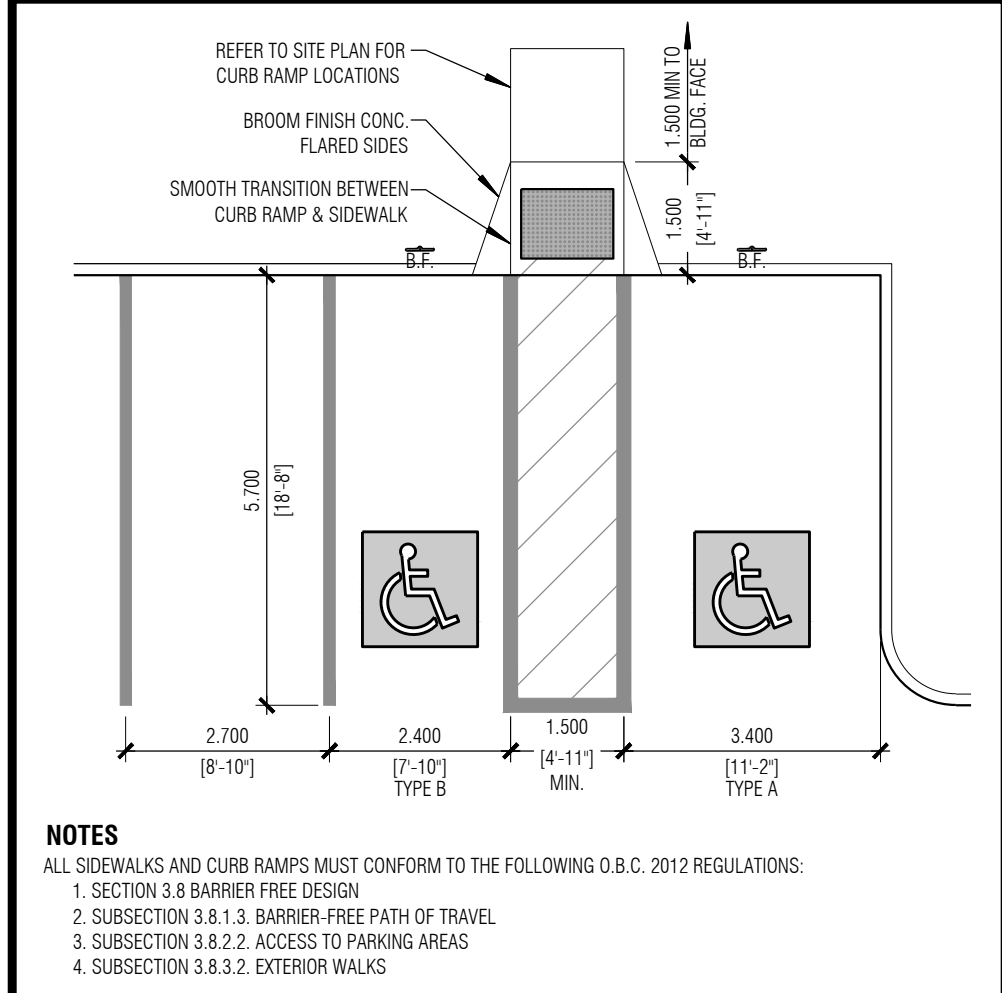
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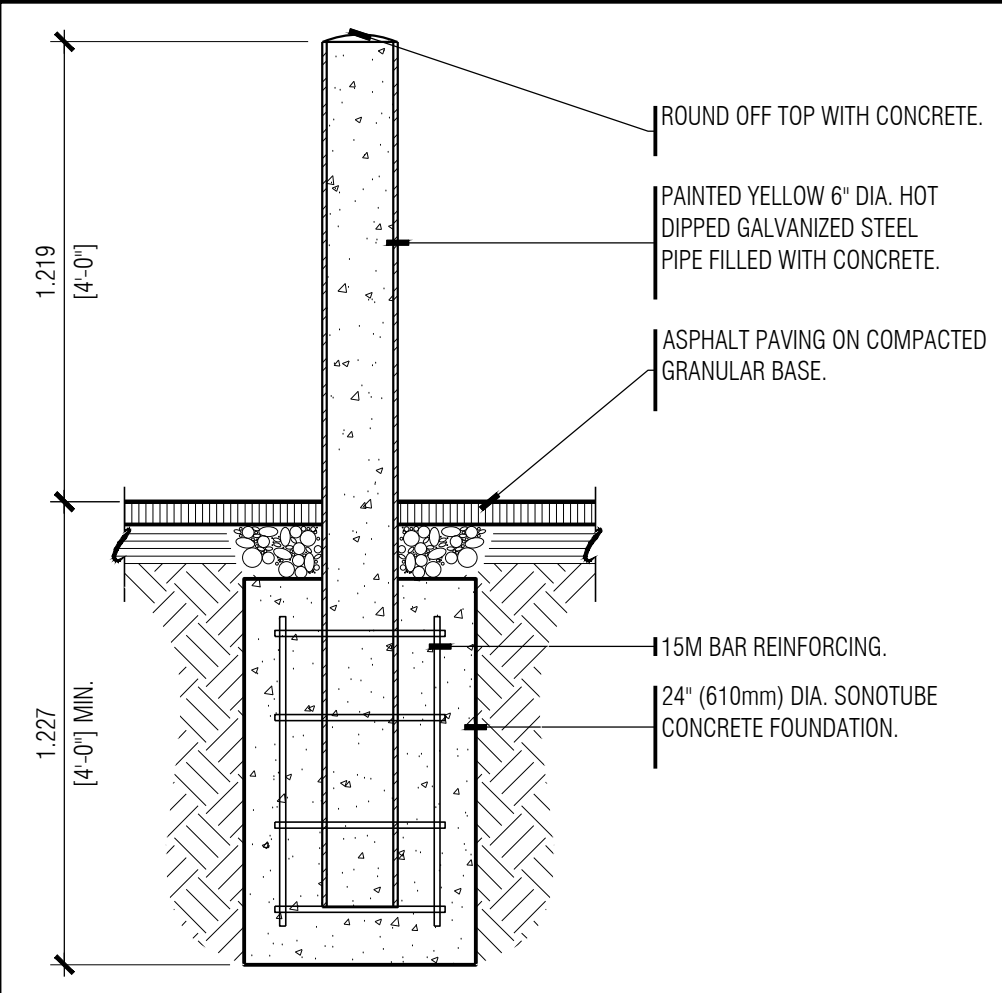
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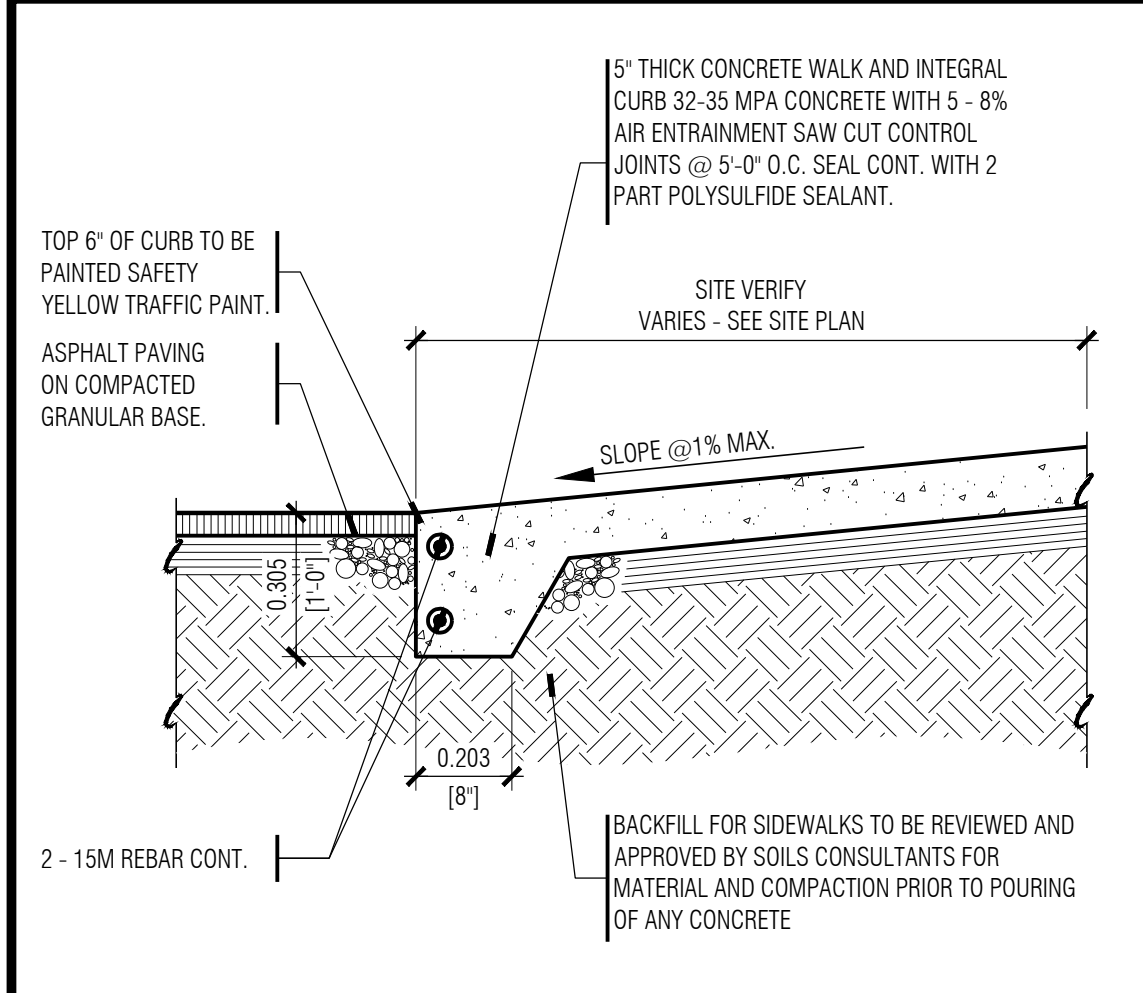
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4 BARRIER-FREE PARKING STALLS  
SP2 1:100



5 METAL BOLLARD  
SP2 N/A



6 BARRIER-FREE RAMP  
SP2 N/A

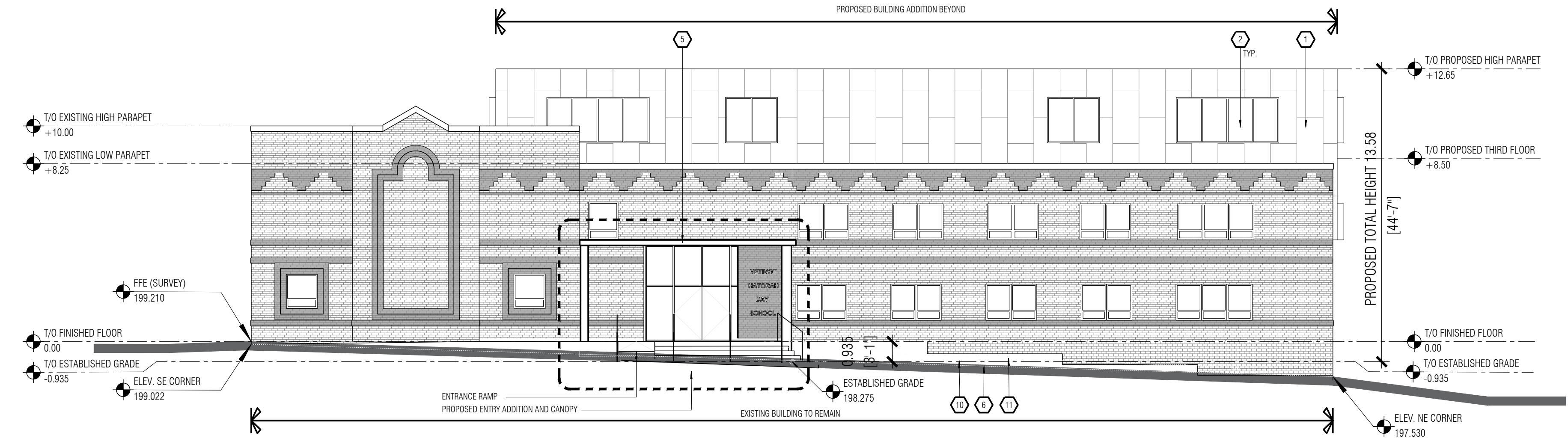
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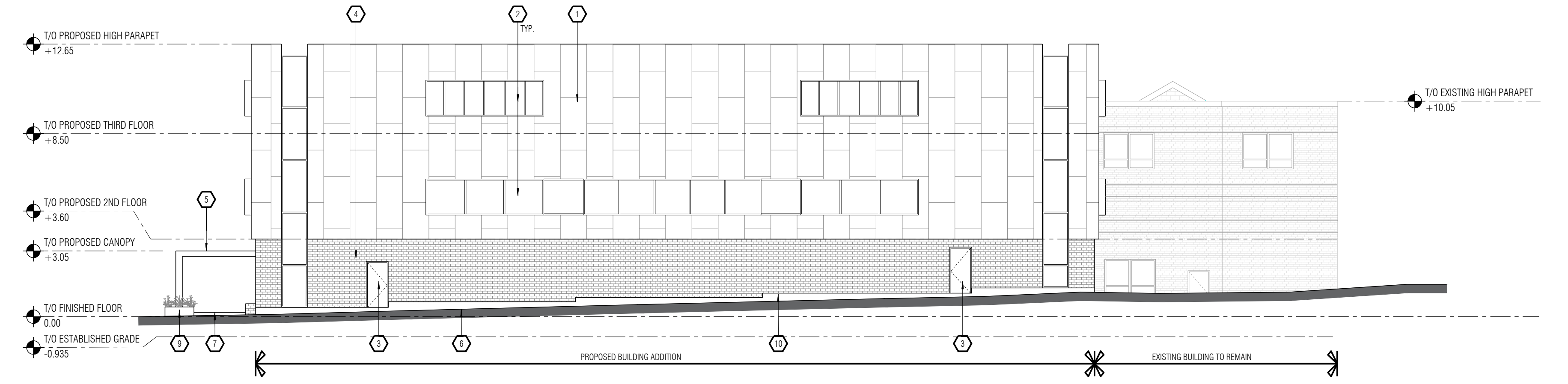
**Ramsay Planning Inc.**

## **Appendix 3 - Elevations Plan**

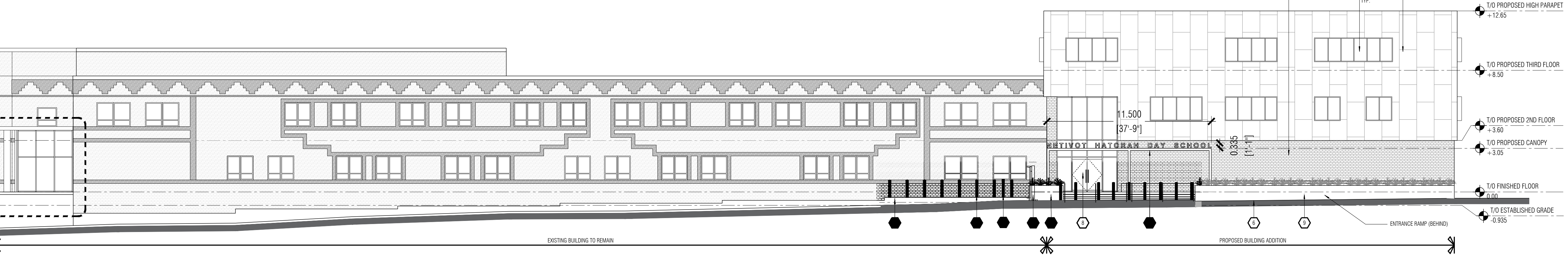
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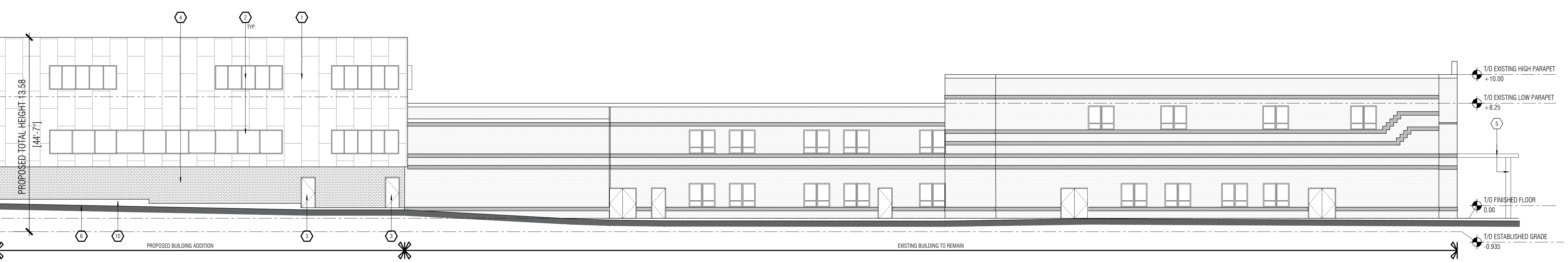
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A2.0 1:150



**3 NORTH ELEVATION**  
A2.0 1:150



**4 SOUTH ELEVATION**  
A2.0 1:150



- EXTERIOR ELEVATIONS KEYED NOTES**
- ① ALUMINUM COMPOSITE METAL (ACM) PANELS  
MANUFACTURER TBD  
COLOR TBD
  - ② CLEAR ANODIZED ALUMINUM FRAMES c/w CLEAR GLAZING WITH  
BIRD-FRIENDLY DOTS
  - ③ INSULATED HOLLOW METAL DOOR & FRAME
  - ④ ARCHITECTURAL BLOCK MASONRY VENEER c/w  
MASONRY CONTROL JOINTS 20'-0" o.c.
  - ⑤ PREFINISHED CANOPY AND FRAMING
  - ⑥ FINISHED GRADE
  - ⑦ POURED CONCRETE SIDEWALK
  - ⑧ CLEAR ANODIZED ALUMINUM DOOR c/w CLEAR GLAZING
  - ⑨ PLANTING BED
  - ⑩ EXPOSED FOUNDATION WALL
  - ⑪ LINE OF GRADE AT BUILDING EDGE

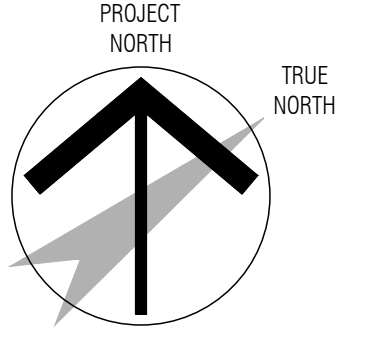
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4	RE-ISSUED FOR SITE PLAN APPROVAL	2023.09.19
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2	ISSUED FOR SITE PLAN APPROVAL	2023.04.04
1	ISSUED FOR COORDINATION	2023.03.17

REVISION   
  ISSUED   
  APPROVAL



PROJECT:  
 PROPOSED BUILDING ADDITION  
 NETIVOT HATORAH DAY SCHOOL  
 18 ATKINSON AVENUE  
 VAUGHAN, ON L4J 8C8

PREVIOUS SPA FILE NUMBERS:  
 DA.49.91.  
 DA.3.92.

DRAWING:  
**PROPOSED  
 EXTERIOR  
 ELEVATIONS**

DRAWN: S.E.	CHECKED: J.A.	JOB NUMBER: 22035
DATE (YYYY/MM/DD): 2024.07.26	SCALE: 1:150	
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## SCHEDULE D: BACKGROUND

Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A