

<b>ITEM: 6.12</b>	<b>REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A198/24</b>
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Report Date: January 31, 2025

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Forestry	Yes <input checked="" type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	No Comments Received to Date

**PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)**

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
N/A				

**BACKGROUND (SCHEDULE D, IF REQUIRED)**

\* Background Information contains historical development approvals considered to be related to this file.  
This information should not be considered comprehensive.

Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

**ADJOURNMENT HISTORY**

\* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
N/A	N/A

<b>SCHEDULES</b>	
<b>Schedule A</b>	Drawings & Plans Submitted with the Application
<b>Schedule B</b>	Comments from Agencies, Building Standards & Development Planning
<b>Schedule C</b> (if required)	Public & Applicant Correspondence
<b>Schedule D</b> (if required)	Background



## MINOR VARIANCE APPLICATION FILE NUMBER A198/24

<b>CITY WARD #:</b>	1
<b>APPLICANT:</b>	Svitlana Shtanko, Stanislav Yesep & Myron Yesep
<b>AGENT:</b>	Kurtis Van Keulen & Jatin Coshal (Huis Design Studio Ltd.)
<b>PROPERTY:</b>	92 Richard Lovat Court, Kleinburg
<b>ZONING DESIGNATION:</b>	See below.
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	N/A
<b>PROPOSAL:</b>	Relief from the Zoning By-law is being requested to permit a second-storey addition to the existing dwelling and an addition to the existing garage.

The following variances have been requested from the City's Zoning By-law:

**The subject lands are zoned RE(EN) – Estate Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.712 under Zoning By-law 001-2021, as amended.**

#	Zoning By-law 001-2021	Variance requested
1	A maximum height of 9.5 m is permitted [Table 7-3]. See Note #1 below.	To permit a maximum height of 11.16 m.
2	Eaves, eavestroughs, and gutters are permitted to encroach a maximum of 0.5 m into any required yard [Table 4-1].	To permit eaves, eavestroughs, and gutters to encroach a maximum of 0.65 m on the south side on 2 <sup>nd</sup> floor.
3	In residential zone, where a lot contains a circular driveway, the minimum landscape of a yard in which a circular driveway is located shall be 50%, of which 60% shall be soft landscape [Section 4.19.1.3].	To permit a minimum landscape of 47.75% of the yard in which a circular driveway is located (of which 60% shall be soft landscaping).
4	A minimum interior side yard of 4.5m is required on the south side [Table 7-3] and [Section 4.5.2]. See Note #2 below.	To permit a minimum interior side yard of 4.19m for the first storey on the south side.

### HEARING INFORMATION

**DATE OF MEETING:** Thursday, February 6, 2025

**TIME:** 6:00 p.m.

**MEETING LOCATION:** Vaughan City Hall, Woodbridge Room (2<sup>nd</sup> Floor), 2141 Major Mackenzie Drive

**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

### PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

If you would like to submit written comments, please quote file number above and submit by mail or email to:

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

## HEARING INFORMATION

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to [cofa@vaughan.ca](mailto:cofa@vaughan.ca) no later than NOON on the last business day before the meeting.

**THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

## INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

## COMMITTEE OF ADJUSTMENT

<b>Date Public Notice Mailed:</b>	January 23, 2025
<b>Date Applicant Confirmed Posting of Sign:</b>	January 14, 2025
<b>Applicant Justification for Variances:</b> <small>*As provided in Application Form</small>	The purpose of this application is to be granted relief on the height, side yard setback and front landscaping by law requirements for a proposed rear and second storey addition to an existing one storey detached single family dwelling.
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b> <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
<b>COMMENTS:</b>	
None	
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None

## BUILDING STANDARDS (ZONING)

<b>**See Schedule B for Building Standards (Zoning) Comments</b>	
<b>Building Standards Recommended Conditions of Approval:</b>	None

## DEVELOPMENT PLANNING

<b>**See Schedule B for Development Planning Comments.</b>	
<b>Development Planning Recommended Conditions of Approval:</b>	None

## DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)  
 [Link to Pool Permit](#)  
 [Link to Curb Curt Permit](#)  
 [Link Culvert Installation](#)

The proposed basement extension, enclosed sunroom and shed can increase to the existing storm drainage flows having adverse effects on the neighbour's property. The Owner / Applicant shall ensure that positive drainage is achieved and that no surface drainage problems are created on adjacent private or public lands because of the construction in accordance with the City's Engineering standards. It's important note that any in-ground structure exceeding 10 m<sup>2</sup> necessitates a Grading Permit. Once the Grading Permit is obtained, please reach out to the Development Engineering Reviewer to clear the Condition imposed on this application. The proposed work by the Owner / Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater

## DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)  
 [Link to Pool Permit](#)  
 [Link to Curb Curt Permit](#)  
 [Link Culvert Installation](#)

system. Should further information be required, please contact the Development Engineering COA reviewer. The Development Engineering Department does not object to the Minor Variance application A198/24, subject to the following condition(s):

<b>Development Engineering Recommended Conditions of Approval:</b>	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan’s website: <a href="#">Permits   City of Vaughan</a> to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a>
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## PARKS, FORESTRY & HORTICULTURE (PFH)

Conditions of Approval listed below:

<b>PFH Recommended Conditions of Approval:</b>	Applicant/owner shall obtain a “Private Property Tree Removal & Protection” permit through the forestry division prior to any construction works on the subject property.
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## DEVELOPMENT FINANCE

No comment no concerns

<b>Development Finance Recommended Conditions of Approval:</b>	None
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## BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No Comments received to date

<b>BCLPS Recommended Conditions of Approval:</b>	None
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## BUILDING INSPECTION (SEPTIC)

No Comments received to date

<b>Building Inspection Recommended Conditions of Approval:</b>	None
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## FIRE DEPARTMENT

No Comments received to date

<b>Fire Department Recommended Conditions of Approval:</b>	None
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## RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Engineering <a href="mailto:Rex.bondad@vaughan.ca">Rex.bondad@vaughan.ca</a>	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan’s website: <a href="#">Permits   City of Vaughan</a> to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a>
2	Parks, Forestry and Horticulture Operations <a href="mailto:zachary.quizzetti@vaughan.ca">zachary.quizzetti@vaughan.ca</a>	Applicant/owner shall obtain a “Private Property Tree Removal & Protection” permit through the forestry division prior to any construction works on the subject property.

*All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived*

## RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

*by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.*

## IMPORTANT INFORMATION

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

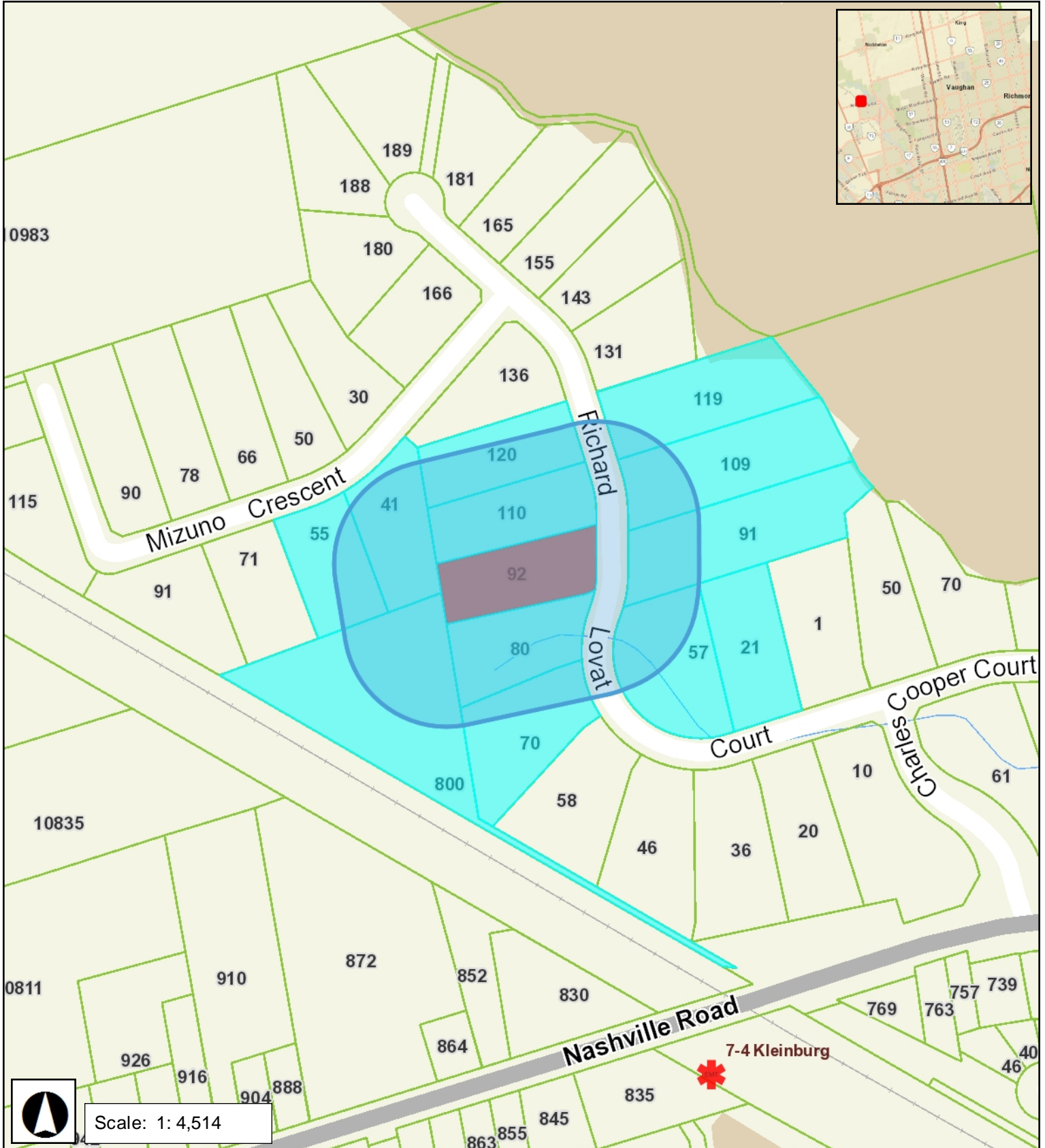
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**SCHEDULE A: DRAWINGS & PLANS**

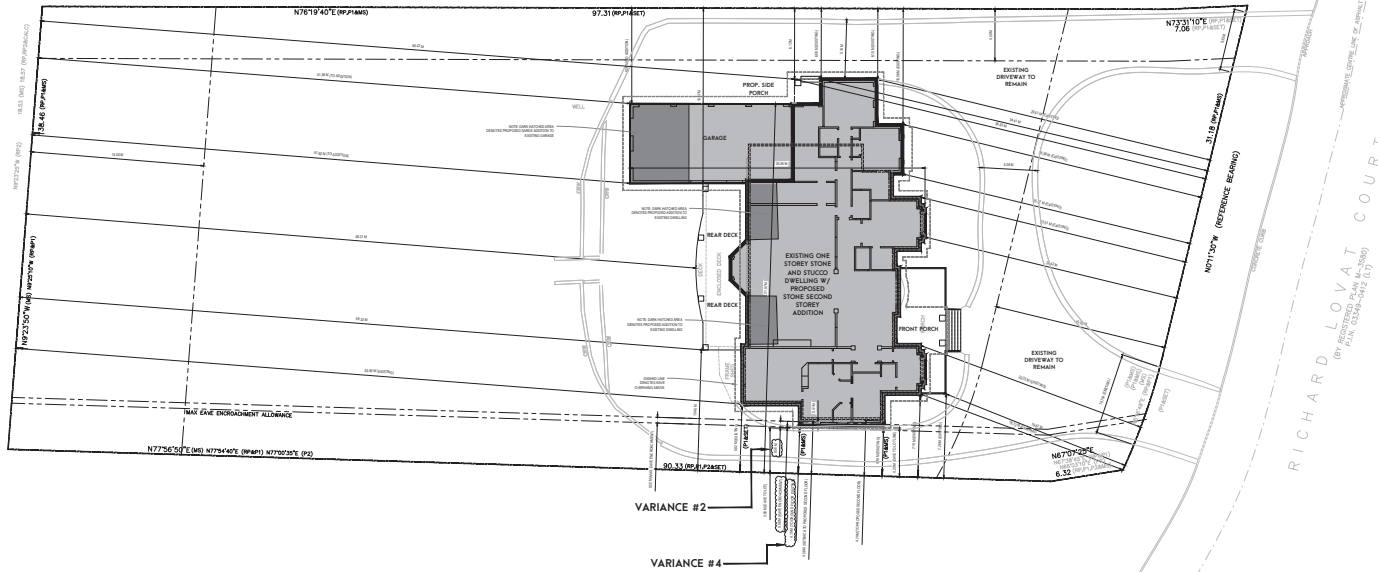


FRONT YARD LANDSCAPING	
FRONT YARD AREA	1103.43 SQ FT (101.54 SQ M)
FRONT PORCH STEPS	482.64 SQ FT (41.10 SQ M)
EXISTING DRIVEWAY/WALKWAY	5309.20 SQ FT (497.89 SQ M)
COVERAGE TOTAL	538.89 SQ M
PERCENTAGE OF HARD LANDSCAPE	82.25 %
PERCENTAGE OF SOFT LANDSCAPE	17.75%

← VARIANCE #3

HATCHING LEGEND	
SOFT AREA (SOFT LANDSCAPING)	[Hatching Pattern]
DRIVEWAY/WALKWAY AREA (HARD LANDSCAPING)	[Hatching Pattern]
PROPOSED DWELLING (HARD LANDSCAPING)	[Hatching Pattern]

NOTE: NOT TO SCALE FOR REPRESENTATION PURPOSES ONLY



	RE	R1	RIA	RIB	RIC	RID	RIE
Minimum lot <u>frontage</u> (m)	45	18 <sup>(1)</sup>	18	18	24	24	30
Minimum lot <u>area</u> (m <sup>2</sup> )	4,000	420	540	600	950	1400	845
Minimum <u>front yard</u> (m)	15	4.5 <sup>(4)</sup>	7.5 <sup>(4)</sup>	9 <sup>(4)</sup>	10 <sup>(4)</sup>	10 <sup>(4)</sup>	9 <sup>(3)(4)</sup>
Minimum <u>rear yard</u> (m)	15	7.5 <sup>(3)</sup>	7.5 <sup>(3)</sup>	12 <sup>(3)</sup>	9 <sup>(3)</sup>	12 <sup>(3)</sup>	7.5 <sup>(3)</sup>
Minimum <u>interior side yard</u> (m)	4.5	1.2 <sup>(3)</sup>	1.5 <sup>(3)</sup>	1.5 <sup>(3)</sup>	1.5	1.5	1.5
Minimum <u>exterior side yard</u> (m)	10	2.4 <sup>(4)</sup>	4.5 <sup>(4)</sup>	4.5 <sup>(4)</sup>	4.5 <sup>(4)</sup>	4.5 <sup>(4)</sup>	9
Maximum lot <u>coverage</u> (%)	-	-	40	40	35	35	20 <sup>(1)</sup>
Maximum <u>height</u> (m)	9.5	9.5	9.5	11	9.5	11	11

**NOTE:** EXISTING GRADES TO REMAIN. NO ALTERATIONS TO THE GRADING OF THE LOT.

**NOTE:** EXISTING SWALE AND DRIVEWAY TO REMAIN AS IS.

FINISHED GRADE CALCULATION	
ELEVATION CHANGE	ELEVATION
1	218.14
2	218.18
3	218.19
4	218.27
5	218.37
6	218.29
7	218.28
8	218.20
9	218.23
10	218.28
11	218.20
12	218.18
13	218.26
14	218.16
15	218.16
<b>TOTAL:</b>	<b>3273.39</b>
<b>EST. GRADE</b>	<b>218.23</b>

SITE STATISTICS			
ADDRESS:	92 Richard Lovat		
ZONING:	RE		
LOT AREA	4005.91 m <sup>2</sup>	Proposed	Required
LOT FRONTAGE (EXISTING)	41.98 m	41.98 m	45.00 m
FINISHED GRADE			218.23
HEIGHT TO TOP OF FLAT ROOF		11.16 m	
HEIGHT TO HIGHEST POINT	VARIANCE #1	11.16 m	9.50 m
HEIGHT TO ROOF MIDPOINT		9.43 m	
<b>FLOOR AREA</b>	Proposed	Required	
GROUND FLOOR	359.45 m <sup>2</sup>	N/A	
SECOND FLOOR	316.18 m <sup>2</sup>	N/A	
BASEMENT (NOT INCLUDED)	359.91 m <sup>2</sup>	N/A	
OPEN TO BELOW AREAS TO DEDUCT	52 m <sup>2</sup>	N/A	
<b>TOTAL FLOOR AREA</b>	<b>628.63 m<sup>2</sup></b>	N/A	m <sup>2</sup>
<b>LOT COVERAGE</b>	Proposed	Required	
DWELLING FOOTPRINT (INCL GARAGE)	455.56 m <sup>2</sup>		
FRONT PORCH / SIDE PORCH	46.03 m <sup>2</sup>		
REAR PORCH/DECK	53.82 m <sup>2</sup>		
OTHER	5.37 m <sup>2</sup>		
Lot cov. for Porches only	2.49%		
<b>TOTAL LOT COVERAGE:</b>	<b>560.89 m<sup>2</sup></b>		
<b>MAX ALLOWED = 20% / 23%</b>	<b>14.00%</b>		N/A%
<b>SETBACKS</b>	Proposed	Required (MIN.)	
FRONT YARD	18.72 m	15 m	
INTERIOR SIDE YARD	VARIANCE #4	4.19 m	4.5 m
INTERIOR SIDE YARD (GARAGE SIDE)	6.08 m	4.5 m	
REAR YARD	51.38 m	15 m	

ARCHITECTURAL SITE PLAN



FRONT YARD LANDSCAPING	
FRONT YARD AREA	1103.43 SQ FT (101.54 SQ M)
FRONT PORCH STEPS	462.60 SQ FT (41.10 SQ M)
EXISTING DRIVEWAY/WALKWAY	539.20 SQ FT (49.78 SQ M)
COVERAGE TOTAL	158.89 SQ M
PERCENTAGE OF HARD LANDSCAPE	82.25 %
PERCENTAGE OF SOFT LANDSCAPE	17.75 %

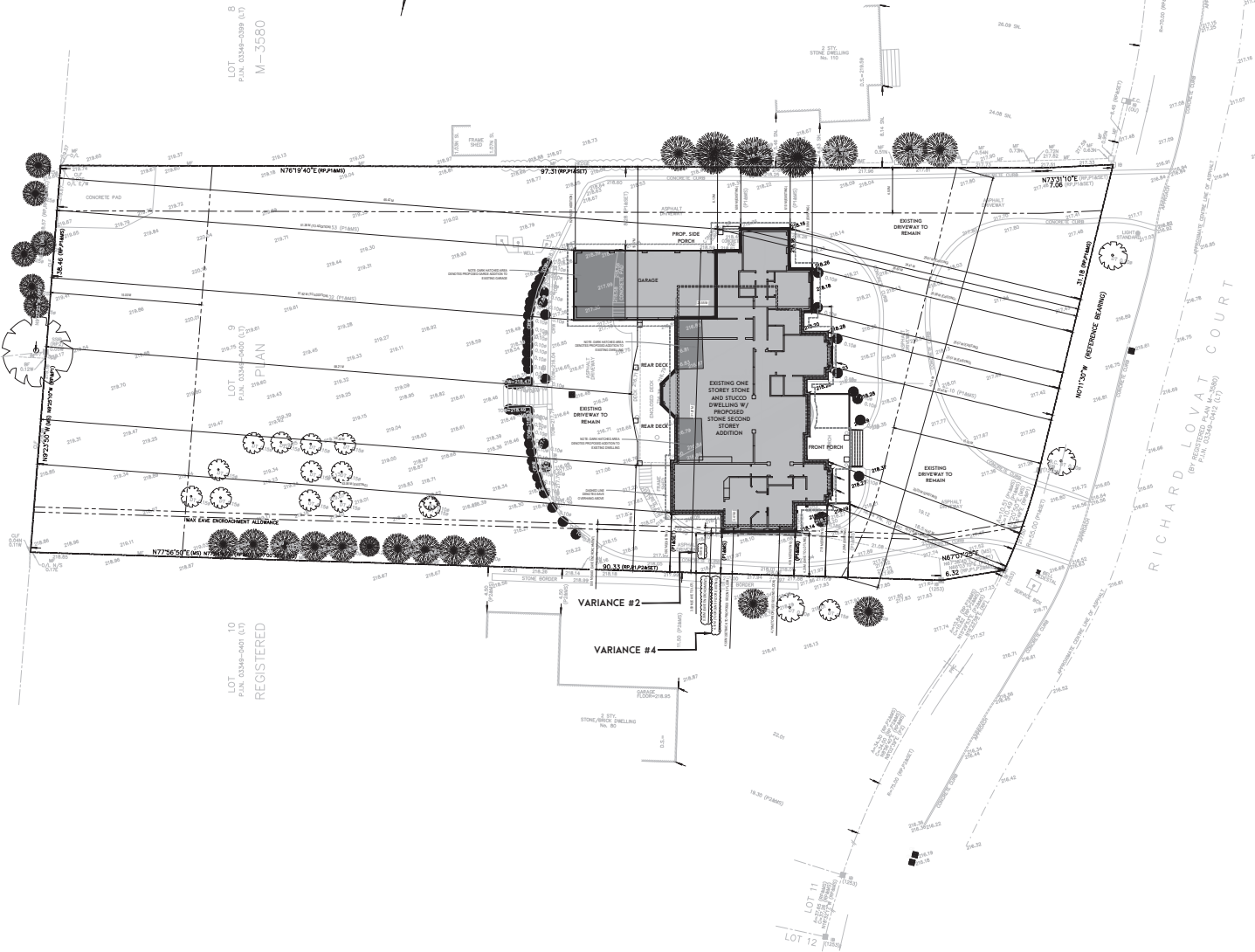
← VARIANCE #3

HATCHING LEGEND	
SOFT AREA (SOFT LANDSCAPING)	[Hatching Pattern]
DRIVEWAY/WALKWAY AREA (HARD LANDSCAPING)	[Hatching Pattern]
PROPOSED DWELLING (HARD LANDSCAPING)	[Hatching Pattern]

NOTE: NOT TO SCALE FOR REPRESENTATION PURPOSES ONLY



LOT 20  
 P.A.N. 03349-0381 (U.O.)  
 REGISTERED PLAN M-4129  
 LOT 9  
 P.A.N. 03349-0401 (U.O.)  
 REGISTERED PLAN M-3580  
 LOT 10  
 P.A.N. 03349-0401 (U.O.)  
 REGISTERED PLAN M-3580



	RE	R1	RIA	R1B	RIC	R1D	R1E
Minimum lot frontage (m)	45	18 <sup>(1)</sup>	18	18	24	24	30
Minimum lot area (m <sup>2</sup> )	4,000	420	540	600	950	1400	845
Minimum front yard (m)	15	4.5 <sup>(2)</sup>	7.5 <sup>(3)</sup>	9 <sup>(4)</sup>	10 <sup>(4)</sup>	10 <sup>(4)</sup>	9 <sup>(2)(4)</sup>
Minimum rear yard (m)	15	7.5 <sup>(2)</sup>	7.5 <sup>(2)</sup>	12 <sup>(2)</sup>	9 <sup>(2)</sup>	12 <sup>(2)</sup>	7.5 <sup>(2)</sup>
Minimum interior side yard (m)	4.5	1.2 <sup>(2)</sup>	1.5 <sup>(2)</sup>	1.5 <sup>(2)</sup>	1.5	1.5	1.5
Minimum exterior side yard (m)	10	2.4 <sup>(2)</sup>	4.5 <sup>(2)</sup>	4.5 <sup>(2)</sup>	4.5 <sup>(2)</sup>	4.5 <sup>(2)</sup>	9
Maximum lot coverage (%)	-	-	40	40	35	35	20 <sup>(2)</sup>
Maximum height (m)	9.5	9.5	9.5	11	9.5	11	11

**NOTE:**  
EXISTING GRADES TO REMAIN. NO ALTERATIONS TO THE GRADING OF THE LOT.

**NOTE:**  
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<b>LOT COVERAGE</b>	Proposed	Required	
DWELLING FOOTPRINT (INCL GARAGE)	455.56 m <sup>2</sup>		
Lot cov. for house footprint only	11.37%		
FRONT PORCH / SIDE PORCH	46.03 m <sup>2</sup>		
REAR PORCH/DECK	53.82 m <sup>2</sup>		
OTHER	5.37 m <sup>2</sup>		
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INTERIOR SIDE YARD (GARAGE SIDE)	0.08 m	4.5 m	
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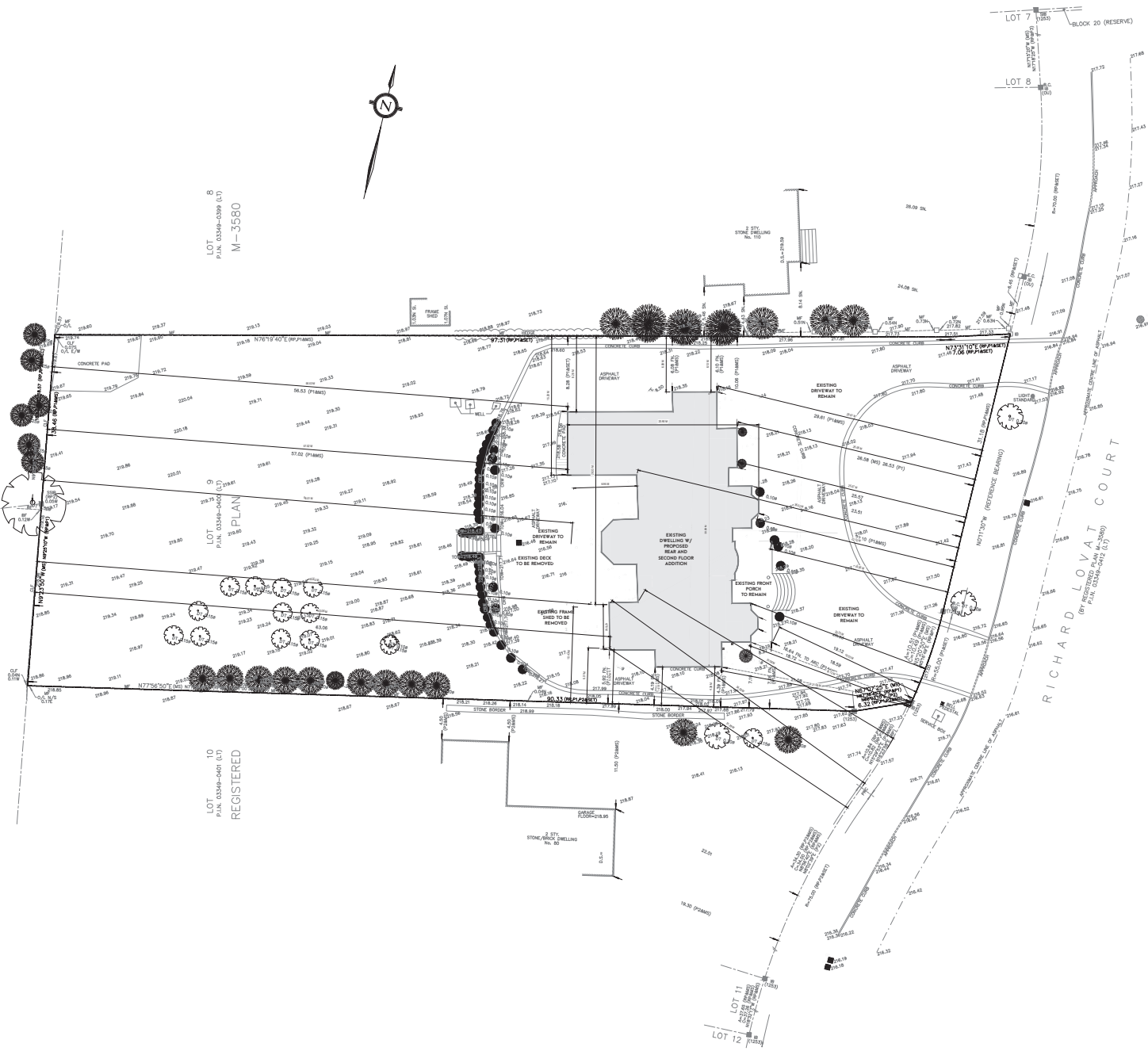
ARCHITECTURAL SITE PLAN

LOT 20  
P.L.N. 02549-048 (L.T.)  
REGISTERED PLAN M-4129

LOT 26, CONCESSION 9  
P.L.N. 02549-016 (L.T.)  
PART 1, PLAN 65R-18013

LOT 8  
P.L.N. 02549-039 (L.T.)  
M-3580

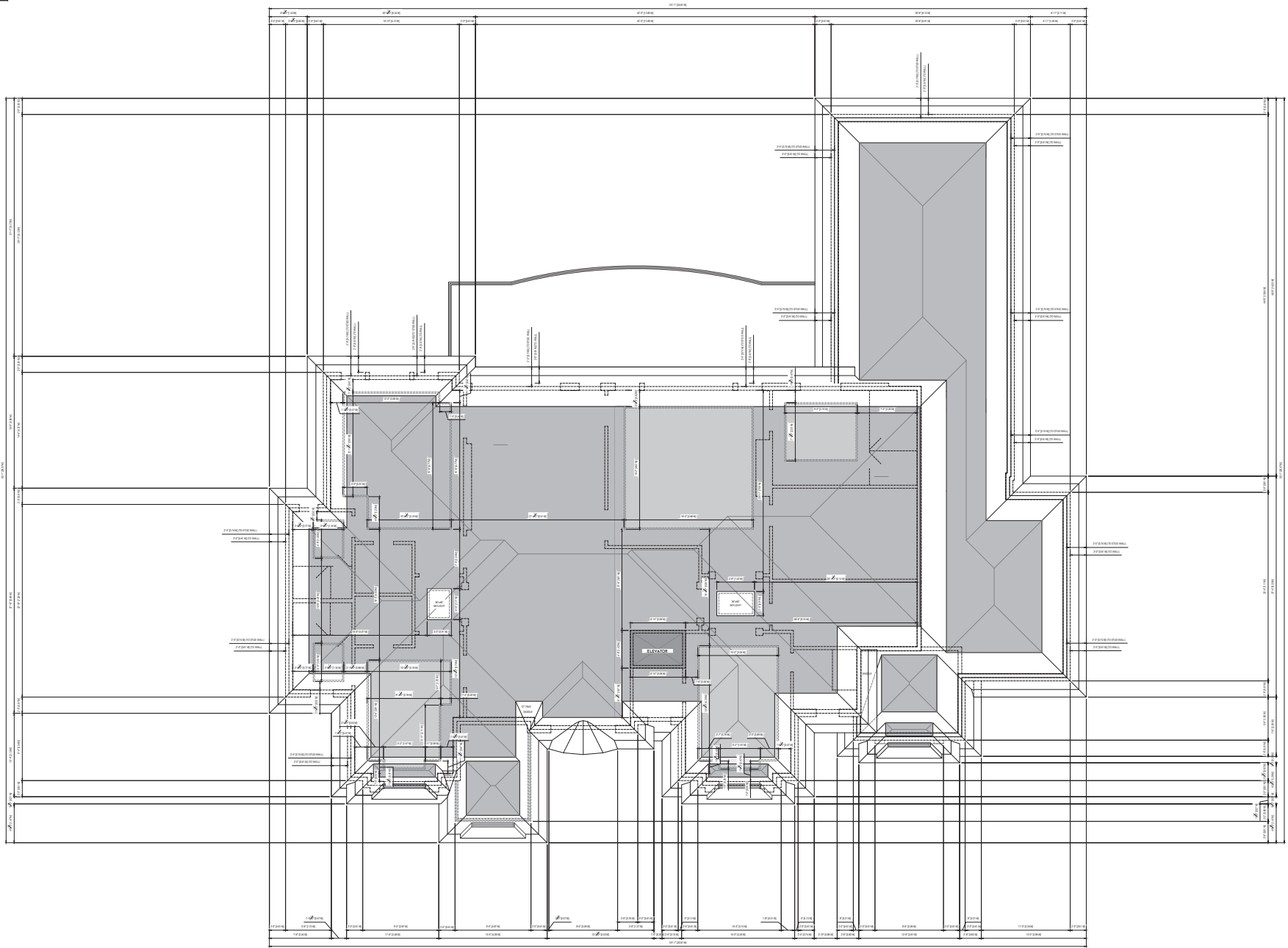
LOT 10  
P.L.N. 02549-040 (L.T.)  
REGISTERED



EXISTING SURVEY

<p>huis design studio CUSTOM HOME DESIGN</p>	<p>DATE: 2024-07-15 SCALE: AS SHOWN PROJECT: 2024-07-15</p>	<p>DATE: 2024-07-15 SCALE: AS SHOWN PROJECT: 2024-07-15</p>	<p>DATE: 2024-07-15 SCALE: AS SHOWN PROJECT: 2024-07-15</p>	<p>DATE: 2024-07-15 SCALE: AS SHOWN PROJECT: 2024-07-15</p>
	<p>DATE: 2024-07-15 SCALE: AS SHOWN PROJECT: 2024-07-15</p>	<p>DATE: 2024-07-15 SCALE: AS SHOWN PROJECT: 2024-07-15</p>	<p>DATE: 2024-07-15 SCALE: AS SHOWN PROJECT: 2024-07-15</p>	<p>DATE: 2024-07-15 SCALE: AS SHOWN PROJECT: 2024-07-15</p>

**ROOF CALCULATIONS**  
 TOTAL ROOF AREA: 8000.70 SQ.FT  
 SLOPED ROOF AREA: 2147.63 SQ.FT  
 TOTAL FLAT ROOF AREA (1.98): 3653.07 SQ.FT  
 (45.78%)

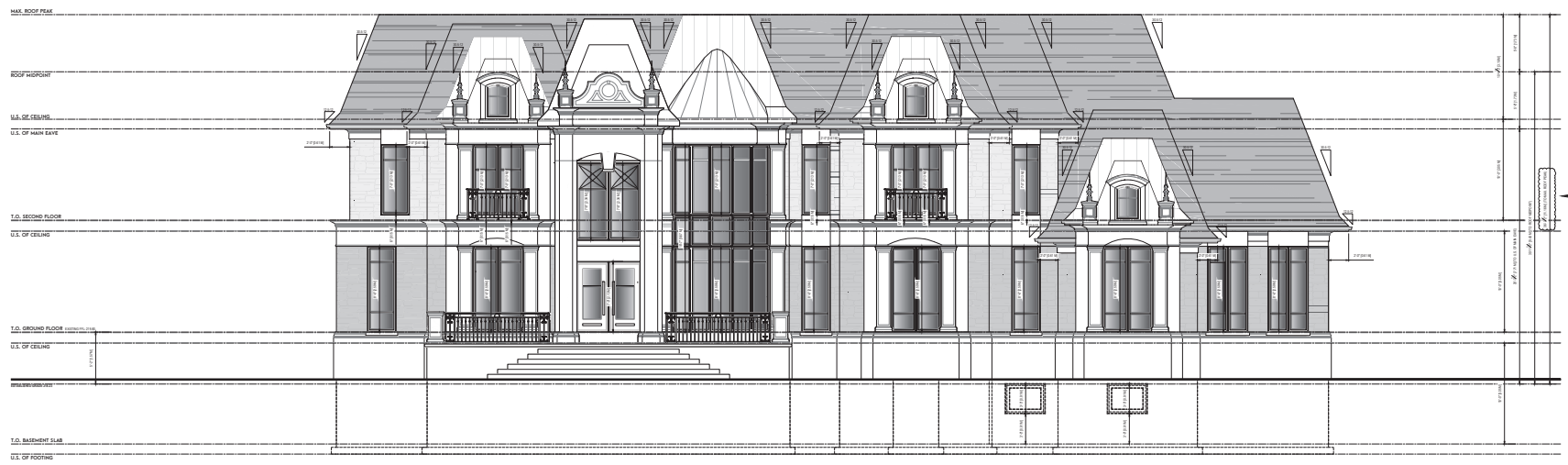


ROOF PLAN

<p>huis design studio        CUSTOM HOME DESIGN</p>	<p>OWNER: [REDACTED]</p>	<p>PROJECT: [REDACTED]</p>	<p>DATE: [REDACTED]</p>
	<p>ARCHITECT: [REDACTED]</p>	<p>ENGINEER: [REDACTED]</p>	<p>CONTRACTOR: [REDACTED]</p>

EXTERIOR FACADE LEGEND	
NATURAL STONE VENEER PROPOSED	
THINS STONE VENEER COVER ON EXISTING EXT. WALLS	

FINISHED GRADE CALCULATION	
ELEVATION CHANGE	ELEVATION
1	218.14
2	218.18
3	218.19
4	218.27
5	218.37
6	218.29
7	218.28
8	218.20
9	218.23
10	218.28
11	218.20
12	218.18
13	218.26
14	218.16
15	218.16
<b>TOTAL:</b>	<b>3273.39</b>
<b>EST. GRADE</b>	<b>218.23</b>



← VARIANCE #1



**NOTE:** COLOUR ELEVATIONS JUST FOR EXTERIOR VISUAL REPRESENTATION, 3D COLOUR ELEVATIONS ARE NOT TO SCALE

FRONT ELEVATION

<p>huis design studio CUSTOM HOME DESIGN</p>	<p>PROJECT: [unreadable]</p> <p>DATE: [unreadable]</p> <p>SCALE: [unreadable]</p> <p>DESIGNED BY: [unreadable]</p> <p>DRAWN BY: [unreadable]</p>	<p>PROJECT: [unreadable]</p> <p>DATE: [unreadable]</p> <p>SCALE: [unreadable]</p> <p>DESIGNED BY: [unreadable]</p> <p>DRAWN BY: [unreadable]</p>	<p>PROJECT: [unreadable]</p> <p>DATE: [unreadable]</p> <p>SCALE: [unreadable]</p> <p>DESIGNED BY: [unreadable]</p> <p>DRAWN BY: [unreadable]</p>	<p>PROJECT: [unreadable]</p> <p>DATE: [unreadable]</p> <p>SCALE: [unreadable]</p> <p>DESIGNED BY: [unreadable]</p> <p>DRAWN BY: [unreadable]</p>
--	--	--	--	--

EXTERIOR FACADE LEGEND	
NATURAL STONE VENEER PROPOSED	
THINS STONE VENEER COVER ON EXISTING EXT. WALLS	

FINISHED GRADE CALCULATION	
ELEVATION CHANGE	ELEVATION
1	218.14
2	218.18
3	218.19
4	218.27
5	218.37
6	218.29
7	218.28
8	218.20
9	218.23
10	218.28
11	218.20
12	218.18
13	218.25
14	218.16
15	218.16
<b>TOTAL:</b>	<b>3273.39</b>
<b>EST. GRADE</b>	<b>218.23</b>



**NOTE: COLOUR ELEVATIONS JUST FOR EXTERIOR VISUAL REPRESENTATION, 3D COLOUR ELEVATIONS ARE NOT TO SCALE**

RIGHT ELEVATION

hais design studio  
CUSTOM HOME DESIGN

**GENERAL NOTES**

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE (IRC) AND THE 2018 INTERNATIONAL ENERGY EFFICIENCY CODE (IEEC).

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AT ALL TIMES.

4. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.

5. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A SAFE AND SOUND CONDITION AT ALL TIMES.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.

7. THE CONTRACTOR SHALL MAINTAIN THE SITE AT ALL TIMES.

8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.

9. THE CONTRACTOR SHALL MAINTAIN THE SITE AT ALL TIMES.

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.

**REVISIONS**

NO.	DATE	DESCRIPTION
1	10/15/2023	ISSUED FOR PERMITS
2	10/15/2023	ISSUED FOR PERMITS
3	10/15/2023	ISSUED FOR PERMITS
4	10/15/2023	ISSUED FOR PERMITS
5	10/15/2023	ISSUED FOR PERMITS
6	10/15/2023	ISSUED FOR PERMITS
7	10/15/2023	ISSUED FOR PERMITS
8	10/15/2023	ISSUED FOR PERMITS
9	10/15/2023	ISSUED FOR PERMITS
10	10/15/2023	ISSUED FOR PERMITS

**PROJECT DATA**

PROJECT NO: 2023-001

CLIENT: [REDACTED]

ADDRESS: [REDACTED]

CITY: [REDACTED]

STATE: [REDACTED]

ZIP: [REDACTED]

DATE: 10/15/2023

SCALE: 1/8" = 1'-0"

PROJECT TYPE: CUSTOM HOME DESIGN

**EXTERIOR FACADE LEGEND**

NATURAL  
STONE VENEER PROPOSED



THINS STONE VENEER COVER  
ON EXISTING EXT. WALLS



**FINISHED GRADE CALCULATION**

ELEVATION CHANGE	ELEVATION
1	218.14
2	218.18
3	218.19
4	218.27
5	218.37
6	218.29
7	218.28
8	218.20
9	218.23
10	218.28
11	218.20
12	218.18
13	218.25
14	218.16
15	218.16
<b>TOTAL:</b>	<b>3273.39</b>
<b>EST. GRADE</b>	<b>218.23</b>



**NOTE:** COLOUR ELEVATIONS  
JUST FOR EXTERIOR VISUAL  
REPRESENTATION, 3D COLOUR  
ELEVATIONS ARE NOT TO SCALE

REAR ELEVATION

**huis design studio**  
 CUSTOM HOME DESIGN

PROJECT: [REDACTED]  
 ADDRESS: [REDACTED]  
 DATE: [REDACTED]

DRAWING NO.: [REDACTED]  
 SHEET NO.: [REDACTED]



SCALE: [REDACTED]

PREPARED BY: [REDACTED]  
 CHECKED BY: [REDACTED]

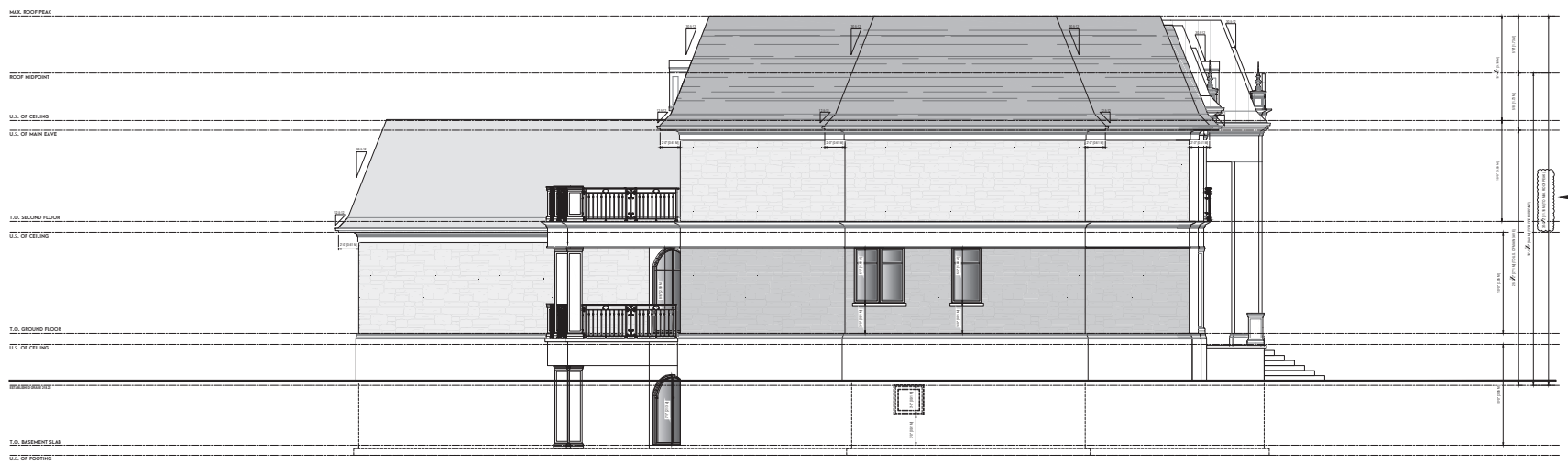
PROJECT MANAGER: [REDACTED]

ARCHITECT: [REDACTED]

A203

EXTERIOR FACADE LEGEND	
NATURAL STONE VENEER PROPOSED	
THINS STONE VENEER COVER ON EXISTING EXT. WALLS	

FINISHED GRADE CALCULATION	
ELEVATION CHANGE	ELEVATION
1	218.14
2	218.18
3	218.19
4	218.27
5	218.37
6	218.29
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8	218.20
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11	218.20
12	218.18
13	218.25
14	218.16
15	218.16
<b>TOTAL:</b>	<b>3273.39</b>
<b>EST. GRADE</b>	<b>218.23</b>



**NOTE: COLOUR ELEVATIONS JUST FOR EXTERIOR VISUAL REPRESENTATION, 3D COLOUR ELEVATIONS ARE NOT TO SCALE**

LEFT ELEVATION

 <p>huis design studio CUSTOM HOME DESIGN</p>	<p>DATE: 2024-08-15</p> <p>PROJECT: 218.23</p> <p>SCALE: 1/8" = 1'-0"</p>	<p>REVISIONS:</p> <table border="1"> <tr><th>NO.</th><th>DESCRIPTION</th><th>DATE</th></tr> <tr><td>1</td><td>ISSUED FOR PERMIT</td><td>2024-08-15</td></tr> </table>	NO.	DESCRIPTION	DATE	1	ISSUED FOR PERMIT	2024-08-15	<p>OWNER: [REDACTED]</p> <p>ARCHITECT: [REDACTED]</p> <p>PROJECT NO: [REDACTED]</p> <p>DATE: [REDACTED]</p>
	NO.	DESCRIPTION	DATE						
1	ISSUED FOR PERMIT	2024-08-15							
<p>PROJECT: 218.23</p> <p>SCALE: 1/8" = 1'-0"</p> <p>DATE: 2024-08-15</p>	<p>OWNER: [REDACTED]</p> <p>ARCHITECT: [REDACTED]</p> <p>PROJECT NO: [REDACTED]</p> <p>DATE: [REDACTED]</p>	<p>REVISIONS:</p> <table border="1"> <tr><th>NO.</th><th>DESCRIPTION</th><th>DATE</th></tr> <tr><td>1</td><td>ISSUED FOR PERMIT</td><td>2024-08-15</td></tr> </table>	NO.	DESCRIPTION	DATE	1	ISSUED FOR PERMIT	2024-08-15	<p>OWNER: [REDACTED]</p> <p>ARCHITECT: [REDACTED]</p> <p>PROJECT NO: [REDACTED]</p> <p>DATE: [REDACTED]</p>
NO.	DESCRIPTION	DATE							
1	ISSUED FOR PERMIT	2024-08-15							



3D ELEVATIONS



**SCHEDULE B:  
COMMENTS FROM AGENCIES, BUILDING STANDARDS &  
DEVELOPMENT PLANNING**

<b>Department / Agency</b> <small>*Comments Received</small>	<b>Conditions Required</b>		<b>Nature of Comments</b>
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions

<b>External Agencies</b> <small>*Comments Received</small>	<b>Conditions Required</b>		<b>Nature of Comments</b> <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	No Comments Received to Date

**Date:** December 12<sup>th</sup> 2024

**Attention:** **Christine Vigneault**

**RE:** Request for Comments

**File No.:**

**Related Files:** **A198-24**

**Applicant:** Huis Design Studio LTD.

**Location** 92 Richard Lovat Court



Discover the possibilities

### COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

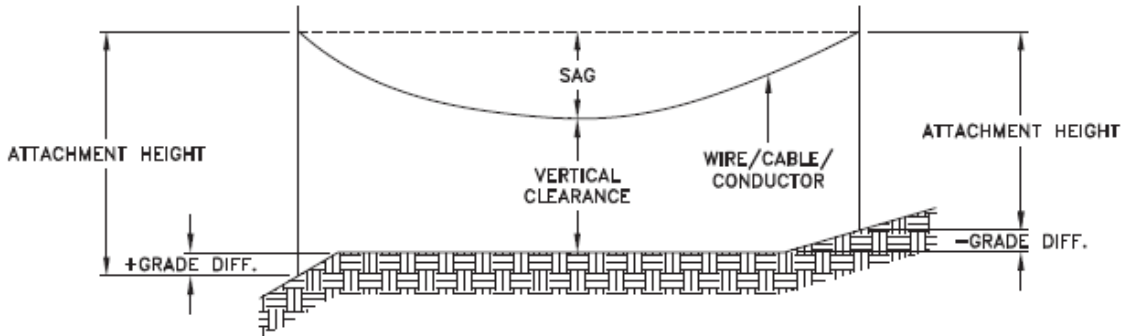
Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG  
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)  
 ± GRADE DIFFERENCE  
 + 0.3m (VEHICLE OR RAILWAY LOCATION)  
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

**NOTES:**

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

**CONVERSION TABLE**

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

**REFERENCES**

SAGS AND TENSIONS | SECTION 02

**MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS**

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

**NOTES**

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

**MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)**

**Certificate of Approval**  
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04  
Debbie Dadwani, P.Eng. 2010-MAY-05  
Name Date  
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:  
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

**To:** Committee of Adjustment  
**From:** Niloufar Youssefi, Building Standards Department  
**Date:** December 10, 2024  
**Applicant:** Huis Design Studio LTD.  
**Location:** 92 Richard Lovat Court  
 PLAN 65M3580 Lot 9  
**File No.(s):** A198/24

**Zoning Classification:**

The subject lands are zoned RE(EN) – Estate Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.712 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A maximum height of <b>9.5 m</b> is permitted [Table 7-3]. See Note #1 below.	To permit a maximum height of <b>11.16 m</b> .
2	Eaves, eavestroughs, and gutters are permitted to encroach a maximum of <b>0.5 m</b> into any required yard [Table 4-1].	To permit eaves, eavestroughs, and gutters to encroach a maximum of <b>0.65 m</b> on the south side on 2 <sup>nd</sup> floor.
3	In residential zone, where a lot contains a circular driveway, the minimum landscape of a yard in which a circular driveway is located shall be 50%, of which 60% shall be soft landscape [Section 4.19.1.3].	To permit a minimum landscape of <b>47.75%</b> of the yard in which a circular driveway is located (of which 60% shall be soft landscaping).
4	A minimum interior side yard of <b>4.5m</b> is required on the south side [Table 7-3] and [Section 4.5.2]. See Note #2 below.	To permit a minimum interior side yard of <b>4.19m</b> for the first storey on the south side.

**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file.

**Building Permit(s) Issued:**

Building Permit No. 24-123535 for Single Detached Dwelling - Addition, Issue Date: (Not Yet Issued)

**Other Comments:**

Zoning By-law 001-2021	
1	Applicant has confirmed that the existing dwelling has a maximum height of 9.6 m. Therefore, a maximum height of <b>9.5m</b> is permitted [Table 7-3] and [Section 4.5.1].
2	Please be advised that the interior side yard of <b>4.19 m</b> from the <u>south</u> interior side lot line to the 1 <sup>st</sup> storey is considered as Legal Non-Compliance, however the proposed 2 <sup>nd</sup> storey shall comply with the bylaw requirements [Section 1.10.2]. A minimum interior side yard of <b>4.5 m</b> is required on the south side [Table 7-3] and [Section 4.5.2]. A minimum interior side yard of <b>6.08 m</b> is required for the north interior side yard (existing interior side yard) [Section 4.5.2]. <b>This is in compliance.</b>

General Comments	
3	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.

**From:** [Douglas Best](#)  
**To:** [Committee of Adjustment Mailbox](#)  
**Subject:** A198/24 Vaughan - Fire - Complete No Conditions (Gianluca Russo)  
**Date:** Friday, January 3, 2025 3:03:48 PM

---

Please note that Vaughan - Fire process is now complete for a COA folder with the following details:

File No: A198/24

Type: Minor Variance - Minor Type 1

Address: 92 Richard Lovat Ct

Comments:

Conditions:

**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer

**From:** Nancy Tuckett, Director of Development and Parks Planning

**Date:** January 24, 2025

**Name of Owners:** Myron Yesep, Stanislav Yesep, Svitlana Shtanko

**Location:** 92 Richard Lovat Court

**File No.(s):** A198/24

---

**Proposed Variance(s):**

1. To permit a maximum height of **11.16 m**.
2. To permit eaves, eavestroughs, and gutters to encroach a maximum of **0.65 m** on the south side on 2nd floor.
3. To permit a minimum landscape of **47.75%** of the yard in which a circular driveway is located (of which 60% shall be soft landscaping).
4. To permit a minimum south interior side yard of **4.19 m**.

**By-Law 001-2021 Requirement(s):**

1. A maximum height of **9.5 m** is permitted.
2. Eaves, eavestroughs, and gutters are permitted to encroach a maximum of **0.5 m** into any required yard.
3. In residential zone, where a lot contains a circular driveway, the minimum landscape of a yard in which a circular driveway is located shall be **50%**, of which 60% shall be soft landscape.
4. A minimum interior side yard of **4.5 m** is required.

**Official Plan:**

Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

**Comments:**

The Owners are seeking relief to permit the addition of a second storey and the expansion of the footprint of the existing dwelling with the above-noted variances.

The Development and Parks Planning Department has no objections to Variance 1 to increase the maximum permitted dwelling height from 9.5 m to 11.16 m to accommodate the addition of a second storey. The dwelling is setback 18.72 m from the front lot line. The proposed height increase is not anticipated to create massing concerns as the setbacks from the public realm and neighbouring properties mitigates any negative impacts. The proposed height increase is consistent with approved heights in the area and is anticipated to maintain the character of the neighbourhood.

The Development and Parks Planning Department has no objections to Variance 2 to increase the maximum permitted roof overhang from 0.5 m to 0.65 m. The 0.15 m exceedance is minor in nature and is not anticipated to be visually perceptible. Development Engineering staff have reviewed the variance and does not anticipate negative impacts on the stormwater management of the lot.

The Development and Parks Planning Department has no objections to Variance 3 to decrease the minimum landscape percentage of the front yard from 50% to 47.75%. The 2.25 % deficiency is minor in nature and meets the general intent of the zoning provision.

The Development and Parks Planning Department has no objections to Variance 4 to decrease the minimum permitted side yard setback from 4.5 m to 4.19 m. The setback of the second storey addition is proposed to be consistent with the first storey. A 4.19 m setback is sufficient to accommodate access between the front and rear yards and meets the general intent of the zoning provision.

Accordingly, the Development and Parks Planning Department supports the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.



**Recommendation:**

The Development and Parks Planning Department recommends approval of the application.

**Conditions of Approval:**

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

**Comments Prepared by:**

Harry Zhao, Planner 1

Janany Nagulan, Senior Planner

**From:** [Development Services](#)  
**To:** [Committee of Adjustment Mailbox](#)  
**Subject:** [External] RE: A198/24 - REQUEST FOR COMMENTS, CITY OF VAUGHAN  
**Date:** Thursday, December 19, 2024 11:42:55 AM  
**Attachments:** [image001.png](#)

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**CAUTION!** This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good morning,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Regards,

*Gabrielle*

**Gabrielle Hurst MCIP, RPP** | Associate Planner, Development Planning, Economic and Development Services Branch | The Regional Municipality of York | 1-877 464 9675 ext 71538 | [gabrielle.hurst@york.ca](mailto:gabrielle.hurst@york.ca) | [www.york.ca](http://www.york.ca)

---

**SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE**

<b>Correspondence Type</b>	<b>Name</b>	<b>Address</b>	<b>Date Received (mm/dd/yyyy)</b>	<b>Summary</b>
N/A				

## SCHEDULE D: BACKGROUND

Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A