

ITEM: 6.2	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A158/24
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Report Date: January 31, 2025

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Forestry	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
By-law & Compliance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
None				

BACKGROUND (SCHEDULE D, IF REQUIRED)

* Background Information contains historical development approvals considered to be related to this file.
This information should not be considered comprehensive.

Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
N/A	N/A

SCHEDULES

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A158/24

CITY WARD #:	2
APPLICANT:	Anthony Tersigni
AGENT:	Gerardo Gutierrez
PROPERTY:	246 Sylvadene Parkway, Woodbridge
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	N/A
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit an existing gazebo and shed in the rear of the property.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R1C(EN) – First Density Residential Zone (Established Neighbourhood) under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The maximum height of a residential accessory structure shall be 3.0 m. [4.14]	To permit a maximum height of 3.2 metres for a residential accessory structure (stucco shed).
2	The maximum height of a residential accessory structure shall be 3.0 m. [4.14]	To permit a maximum height of 4.07 metres for a residential accessory structure (gazebo).

HEARING INFORMATION

DATE OF MEETING: Thursday, February 6, 2025
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

INTRODUCTION

That the general intent and purpose of the by-law will be maintained.
 That the general intent and purpose of the official plan will be maintained.
 That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
 That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	January 23, 2025
Date Applicant Confirmed Posting of Sign:	December 23, 2025
Applicant Justification for Variances: <small>*As provided in Application Form</small>	Gazebo height surpass the maximum permit height
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
None	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

The Owner / Applicant shall ensure that the proposed gazebo does not negatively impact neighbours due to surface water runoff. The property should be properly graded, ensuring that surface water from the proposed addition does not flow onto adjacent lots. It's important to note that additions more than 10 m² necessitate a Grading Permit. Once the Grading Permit is obtained, please reach out to the Development Engineering Reviewer to clear the Condition imposed on this application. The Development Engineering Department does not object to the Minor Variance application A158/24, subject to the following condition(s):

Development Engineering Recommended Conditions of Approval:	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
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PARKS, FORESTRY & HORTICULTURE (PFH)

Forestry has no comment at this time.	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE

No comment no concerns	
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DEVELOPMENT FINANCE

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

no objection or comments

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC)

None

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT

None

Fire Department Recommended Conditions of Approval:	None
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RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Engineering Rex.bondad@vaughan.ca	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

IMPORTANT INFORMATION

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

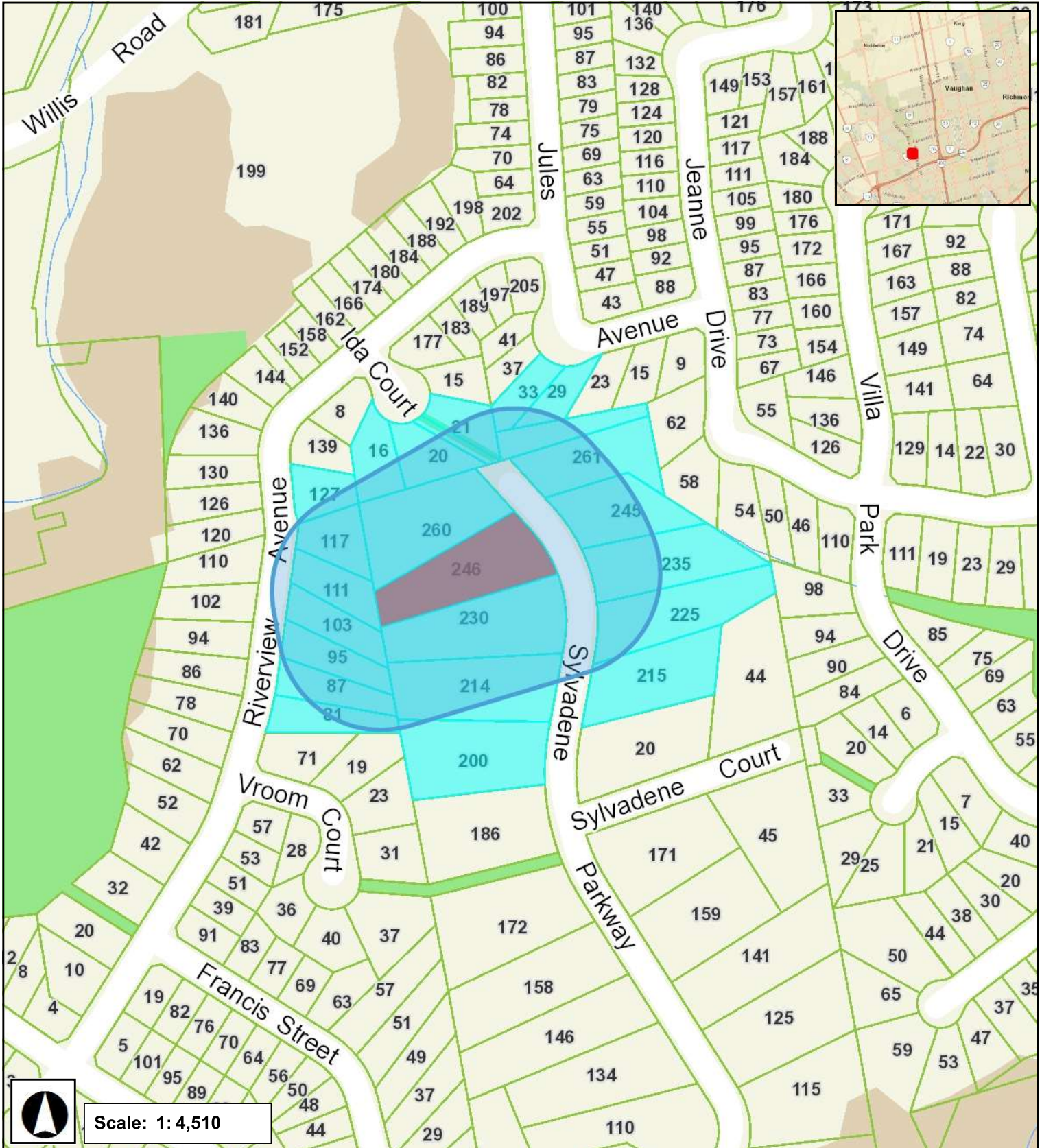
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

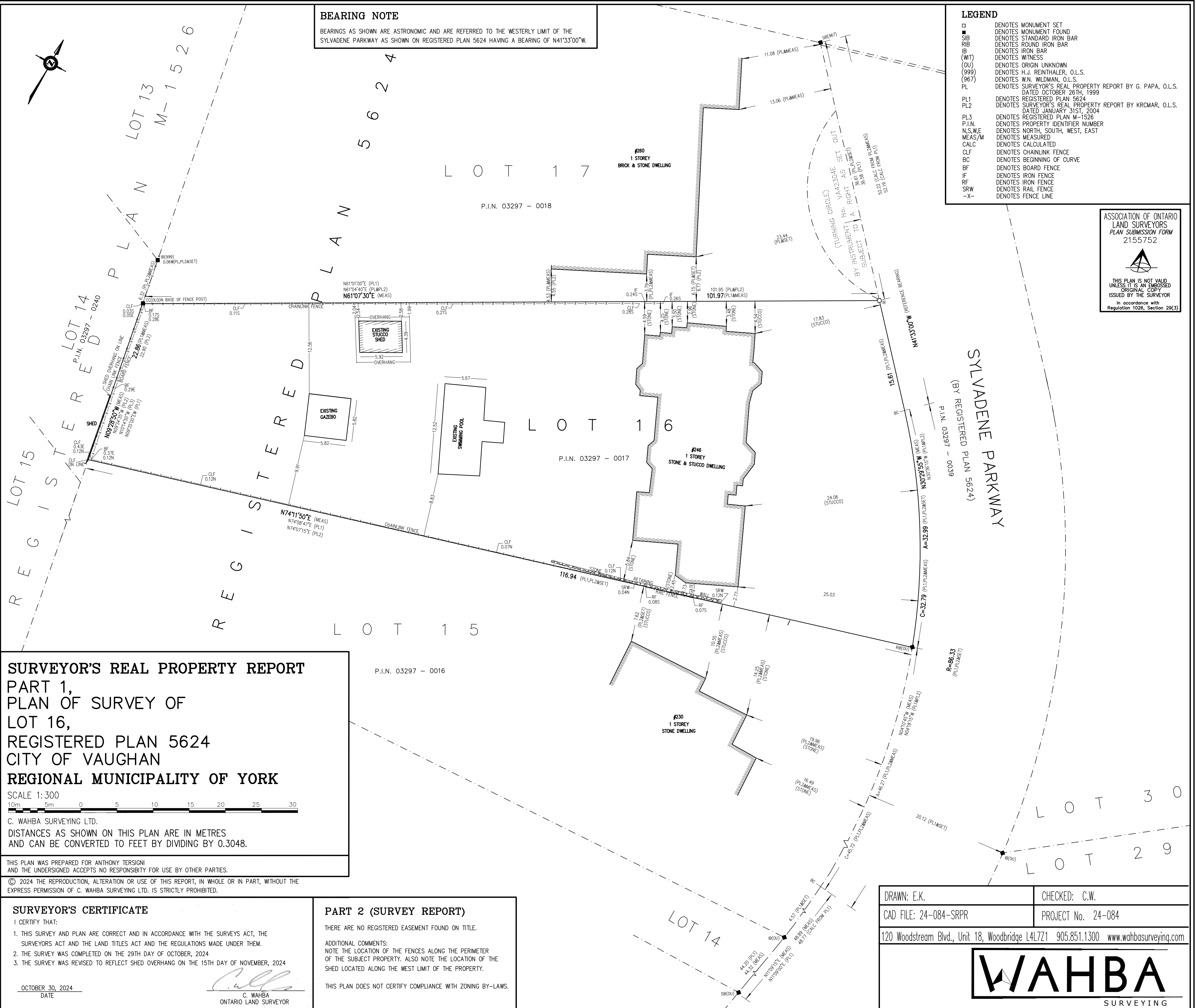
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS





BEARING NOTE
 BEARINGS AS SHOWN ARE ASTRONOMIC AND ARE REFERRED TO THE WESTERLY LIMIT OF THE SYLVADENE PARKWAY AS SHOWN ON REGISTERED PLAN 5624 HAVING A BEARING OF N41°33'00"W.

LEGEND

□	DENOTES MONUMENT SET
■	DENOTES MONUMENT FOUND
SIB	DENOTES STANDARD IRON BAR
RIB	DENOTES ROUND IRON BAR
IB	DENOTES IRON BAR
(WT)	DENOTES WITNESS
(OU)	DENOTES ORIGIN UNKNOWN
(999)	DENOTES H.J. REINTHALER, O.L.S.
(967)	DENOTES W.N. WILDMAN, O.L.S.
PL	DENOTES SURVEYOR'S REAL PROPERTY REPORT BY G. PAPA, O.L.S. DATED OCTOBER 26TH, 1999
PL1	DENOTES REGISTERED PLAN 5624
PL2	DENOTES SURVEYOR'S REAL PROPERTY REPORT BY KROMAR, O.L.S. DATED JANUARY 31ST, 2004
PL3	DENOTES REGISTERED PLAN M-1526
P.I.N.	DENOTES PROPERTY IDENTIFIER NUMBER
N,S,W,E	DENOTES NORTH, SOUTH, WEST, EAST
MEAS/M	DENOTES MEASURED
CALC	DENOTES CALCULATED
CLF	DENOTES CHAINLINK FENCE
BC	DENOTES BEGINNING OF CURVE
BF	DENOTES BOARD FENCE
IF	DENOTES IRON FENCE
RF	DENOTES IRON FENCE
SRW	DENOTES RAIL FENCE
-X-	DENOTES FENCE LINE

ASSOCIATION OF ONTARIO
 LAND SURVEYORS
 PLAN SUBMISSION FORM
 2155752

THIS PLAN IS NOT VALID
 UNLESS IT IS AN EMBOSSED
 ORIGINAL COPY
 ISSUED BY THE SURVEYOR
 In accordance with
 Regulation 1026, Section 28(3)

SURVEYOR'S REAL PROPERTY REPORT
 PART 1,
 PLAN OF SURVEY OF
 LOT 16,
 REGISTERED PLAN 5624
 CITY OF VAUGHAN
 REGIONAL MUNICIPALITY OF YORK

SCALE 1:300

C. WAHBA SURVEYING LTD.
 DISTANCES AS SHOWN ON THIS PLAN ARE IN METRES
 AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

THIS PLAN WAS PREPARED FOR ANTHONY TERSIGNI
 AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

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SURVEYOR'S CERTIFICATE
 I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 29TH DAY OF OCTOBER, 2024
- THE SURVEY WAS REVISED TO REFLECT SHED OVERHANG ON THE 15TH DAY OF NOVEMBER, 2024

OCTOBER 30, 2024
 DATE

C. WAHBA
 ONTARIO LAND SURVEYOR

PART 2 (SURVEY REPORT)
 THERE ARE NO REGISTERED EASEMENT FOUND ON TITLE.

ADDITIONAL COMMENTS:
 NOTE THE LOCATION OF THE FENCES ALONG THE PERIMETER OF THE SUBJECT PROPERTY. ALSO NOTE THE LOCATION OF THE SHED LOCATED ALONG THE WEST LIMIT OF THE PROPERTY.

THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS.

DRAWN: E.K. CHECKED: C.W.
 CAD FILE: 24-084-SRPR PROJECT No. 24-084
 120 Woodstream Blvd., Unit 18, Woodbridge L4L7Z1 905.851.1300 www.wahbasurveying.com

WAHBA
 SURVEYING

Structural Engineering

UNIT 5 160 APPLEWOOD CRES.
CONCORD, ONTARIO
L4K 4E5

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS SHOWN ON THIS DRAWING. ANY DISCREPANCY SHOULD BE REPORTED TO THE ENGINEER FOR CLARIFICATION BEFORE STARTING ANY WORK.

REVISIONS

NO.	DESCRIPTION	CHECKED BY	DRAWN BY
1.	"AS BUILT"	GG	GG
2.	"AS BUILT"	GG	GG

SEAL:



PERMIT TO PRACTICE
2G ENGINEERING INC.

MEMBER NUMBER: 100206112

DATE: NOV. 21, 2024

CLIENT:

ANTHONY TERSIGNI

LOCATION:

246 SYLVADENE PARKWAY
VAUGHAN, ON.

PROJECT:

CUSTOM "AS BUILT"
GAZEBO

DRAWING TITLE:

ELEVATION

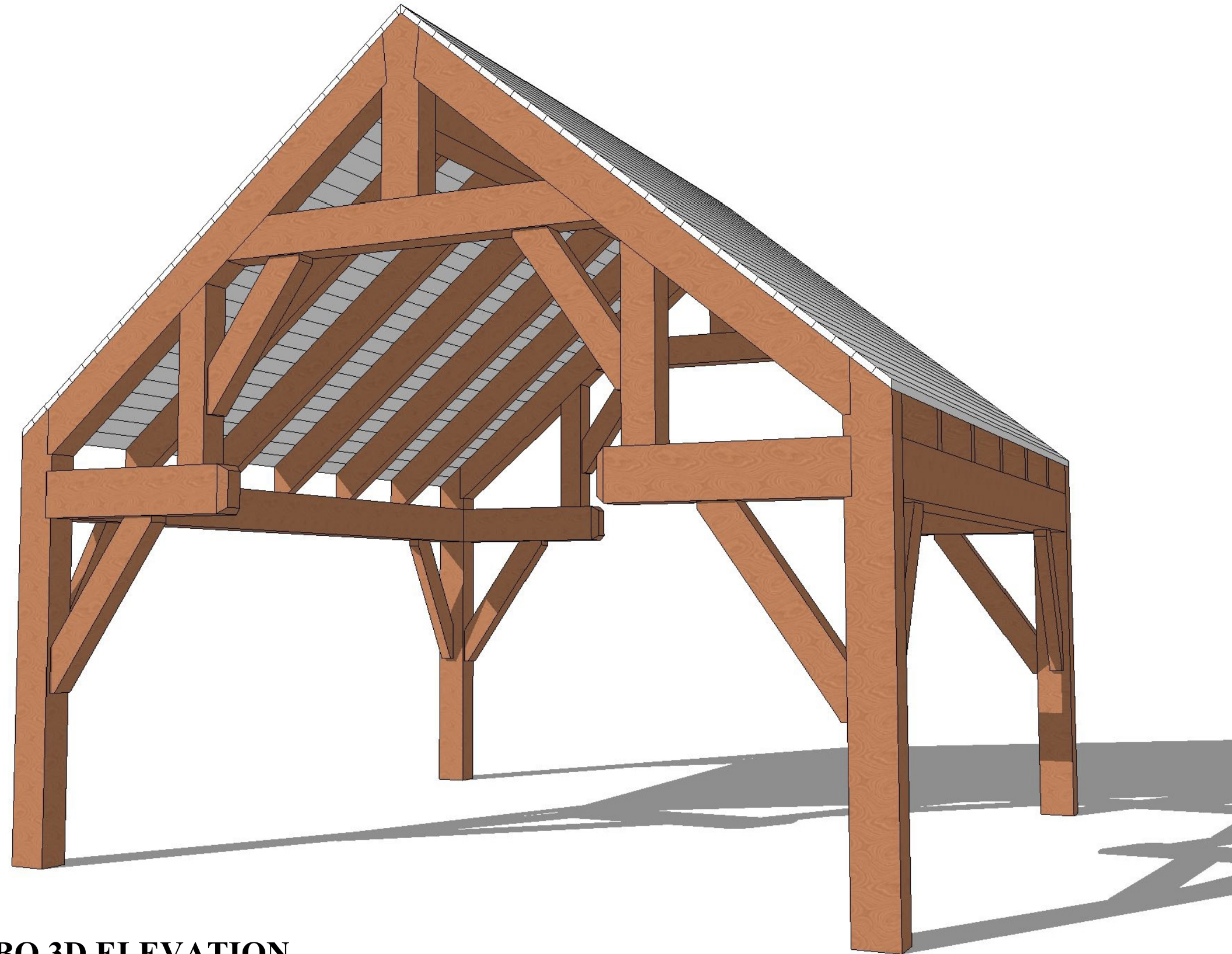
PROJECT NO:

DRAWING NO:

SCALE: N.T.S.

DRAWN BY: G.G.

AO



GAZEBO 3D ELEVATION

GENERAL NOTES

All construction to comply with requirements of the 2012 Ontario Building Code and Supplementary Standard SB-12 Table 3.1.1.11. (IP) Thermal Performance Requirements for Additions to Existing Buildings

1 THICKENED EDGE SLAB (SUPPORTING EXTERIOR WALL)

FOUNDATION FOR SHED (AS SHOWN ON DETAIL D2)

- 16' x 12" thickened edge concrete slab"
- minimum 50 mm (2") ridge insulation on undisturbed soil capable of carrying 75 KPa (1500 lbs. per sq.ft.)
- 6" concrete slab w/ 10M @ 12" o.c. E. W.
- 32 Mpa (4700 P.S.I.) at 28 days

1A THICKENED EDGE SLAB (AROUND GAZEBO)

GAZEBO'S SLAB (AS SHOWN ON DETAIL D1)

- 12' x 20" thickened edge concrete slab"
- minimum 50 mm (2") ridge insulation on undisturbed soil capable of carrying 75 KPa (1500 lbs. per sq.ft.)
- 6" concrete slab w/ 10M @ 12" o.c. E. W.
- 32 Mpa (4700 P.S.I.) at 28 days

3 FRAME WALL CONSTRUCTION

DRAINED STUCCO WALL CONSTRUCTION

- "Durock" insulated stucco system complying with CCMC No. 12969 - R. R5ci min.
- 2" of PUCCS Insulation, min. R3.75/inch
- 12.7 mm (1/2") Cement board sheathing
- No. 15 (0.7 kg/m sq.) TYVEK "house wrap"
- 12.7 mm (1/2") exterior type sheathing
- 38 X 140 mm (2" X 6") studs @ 406 mm (16") o.c.
- Double top plate Single bottom plate-

6 INTERIOR PARTITIONS

- 38 X 89 mm (2" X 4") studs at 406 mm (16") o.c. OR
- 38 X 140 mm (2" X 6") studs at 406 mm (16") o.c. as indicated on drawings
- 12.7 mm (1/2") interior drywall on exposed sides
- Single top and bottom plate
- Blocking for grab bars at main bath

8 ROOF CONSTRUCTION (FOR THE SHED)

- 10.26 kg/m sq. (No 210) asphalt shingles
- type 'S' roll roofing from edge of roof extending a minimum distance of 900 mm up the roof slope to a line not less than 300 mm (11-3/4") past the inside face of exterior wall
- starter strip No. 85 (2 kg/m sq.) (85 lb) roll roofing or roof shingle of same weight and quality as used on roof laid with tabs facing up
- 10mm (3/8") plywood sheathing with 'H' clips

ROOF STRUCTURE:

- 2-2X10 Ridge beam
- 2x8 Hip Beams
- 2x6 Jack Rafters @ 16" o.c.
- 2x6 Roof Rafters @ 16" o.c.
- approved wood trusses at 600 mm (24") o.c.
- 2"x 4" roof ties between each rafter @ middle roof slopes 4:12.
- 4" metal eaves trough on aluminum fascia and aluminum vented soffit.
- 2x6 Ceiling joists @ 16" o.c. W/ 2x4 blocking @ 2'-0" o.c.

8A ROOF CONSTRUCTION (FOR THE GAZEBO)

- 10.26 kg/m sq. (No 210) asphalt shingles
- type 'S' roll roofing from edge of roof extending a minimum distance of 900 mm up the roof slope to a line not less than 300 mm (11-3/4") past the inside face of exterior wall
- starter strip No. 85 (2 kg/m sq.) (85 lb) roll roofing or roof shingle of same weight and quality as used on roof laid with tabs facing up

ROOF STRUCTURE:

- 1X6 Male-Female connection roof board
- 2x8 D. Fr. joists @ 32" o.c.
- 12x12 D. Fr. main beams
- 8x12 end beams
- 8x8 D. Fr. ties and braces
- roof slopes 10:12.
- 4" metal eaves trough

LINTEL SCHEDULE

	METRIC	IMPERIAL
WB1	2 - 38 X 184 spf	2 - 2 x 8 spf
WB2	2 - 38 X 235 spf	2 - 2 x 10 spf
WB3	2 - 38 X 286 spf	2 - 2 x 12 spf
L1	89 X 89 X 7.9	L 3-1/2 X 3-1/2 X 5/16
L2	102 X 89 X 7.9	L 4 X 3-1/2 X 5/16
L3	127 X 89 X 7.9	L 4-7/8 X 3-1/2 X 5/16
L4	127 X 89 X 11.0	L 4-7/8 X 3-1/2 X 3/8
L5	152 X 102 X 11.0	L 6 X 4 X 3/8

DOOR SCHEDULE

- 1- Exterior doors to have a thermal resistance of RSI 0.7 or with storm door.
- 2- Glass in sidelights greater than 500 mm (19 3/4"), in storm doors, in sliding patio doors and in shower doors to be safety glass.
- 3- Doors to be resistant to forced entry in conformance to article 7.5.2 of the O.B.C.
- 4- Performance as per subsection 9.7.3.
- 5- Glazing in windows to conform with O.B.C. 9.6.1.3.
 - 1 - 3'-0" X 6'-8" X 1-3/4" insulated door
 - 2 - 2 - 2'-8" X 6'-8" X 1-3/4" insulated door
 - 3 - 2'-8" X 6'-8" X 1-3/4" solid core door
 - 4 - 1'-8" X 6'-8" X 1-3/8" slab
 - 5 - 2'-0" X 6'-8" X 1-3/8" slab
 - 6 - 2'-2" X 6'-8" X 1-3/8" slab
 - 7 - 2'-4" X 6'-8" X 1-3/8" slab
 - 8 - 2'-6" X 6'-8" X 1-3/8" slab
 - 9 - 2'-8" X 6'-8" X 1-3/8" slab
 - 10 - 2'-10" X 6'-8" X 1-3/8" slab
 - 11 - 3'-0" X 6'-8" X 1-3/8" slab
 - 12 - 2'-0" X 6'-8" X 1-3/8" slab, bifold
 - 13 - 2'-6" X 6'-8" X 1-3/8" slab, bifold
 - 14 - 2 - 2'-6" X 6'-8" X 1-3/8" slab, bifold
 - 15 - 3'-0" X 6'-8" X 1-3/8" slab, bifold
 - 16 - 2 - 3'-0" X 6'-8" X 1-3/8" slab, bifold
 - 17 - 4'-0" X 6'-8" X 1-3/8" slab, bifold
 - 18 - 2 - 4'-0" X 6'-8" X 1-3/8" slab, bifold

WINDOWS

- 1- Every floor level containing bedrooms shall be provided with one window to have minimum opening area of 0.35 m sq. (3.8 sq.ft.) with no dimension less than 380 mm (1'-3"), Sill @ 1m above finished floor max (O.B.C. 9.9.10.)
- 2- At least 5% of floor area of bedrooms and at least 10% of living and dining rooms to equal transparent openings in window. (O.B.C. 9.7.2.3.)
Natural ventilation 0.28 m sq. (3 sq.ft.) minimum. per room
- 3- Windows double glazed or with storm window. and to conform to O.B.C 9.6.1..
- 4- All dimensions shown are rough stud opening.
- 5- Windows located within 2m (6'-7") of adjacent ground level, shall conform to the requirements for resistance to forced entry O.B.C. 9.7.5.3. and Clause 5.3.5. of AAMA/WDMA/CSA 101/1.S.2/A440.
- 6- As per Article 9.9.9.1 (2) (3) of O.B.C where there is no dwelling unit above or below another dwelling unit the third floor shall be equipped with an egress window, providing unobstructed opening of not less than 1000mm (3'3") in height & 550mm (21 5/8") in width, sill located not more than 1000mm (3'3") above floor & 7000mm (23'0") above adjacent ground level or a direct access to a balcony
- 7- Protection of Windows @ stairs, ramps and landings as per article 9.8.8.1.(7) & (8)
- 8- Manufactured Windows, Doors and Skylights and their installation shall conform to O.B.C. 9.7.4.2. which includes the standard AAMA/WDMA/CSA 101/1.S.2/A440, "NAFS - North American Fenestration Standard/Specification for Windows, Doors, and Skylights"
- 9- Glazing in windows to conform with O.B.C. 9.6.1.3.

As per Supplementary Standard SB-12

- 1- Windows and skylights to comply with supplementary standard SB-12 Table 3.1.1.2.A. (SI) or (IP) compliance package 'A1'
- 2- Max. U-value for windows & sliding glass doors is 1.6 (0.28) with energy rating of 25 where the ratio of the gross area of windows, sidelights, skylights, glazing in doors and sliding glass doors to the gross area of peripheral walls is not more than 17%
- 3- If the ratio of the gross area of windows, sidelights, skylights, glazing in doors and sliding glass doors to the gross area of peripheral walls is more than 17% but less than 22%, the max. U-value for windows & sliding glass doors is 1.4 (0.25) unless the requirements of article 3.1.1.4. are met.
- 4- If the ratio is more than 22% the building shall comply with subsection 3.1.2. Performance Compliance of SB-12
- 5- Max. U-value of skylights is 2.8 (0.49)

WORK PROCEDURES

THESE DRAWINGS HAS BEEN PREPARE BASED ON A VISUAL SITE INSPECTION WITH LIMITED ACCESS AND FROM INFORMATION AND PICTURES PROVIDED TO OUR OFFICE BY THE OWNER. IF ANY DISCREPANCIES IS FOUND COMMUNICATE TO OUR OFFICE IMMEDIATELY.

Structural Engineering

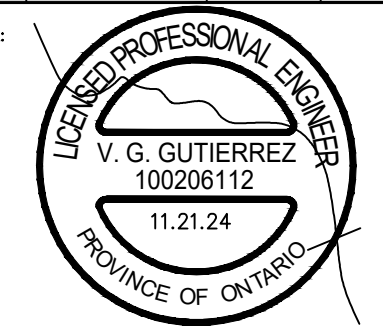
UNIT 5 160 APPLEWOOD CRES.
CONCORD. ONTARIO
L4K 4E5

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS SHOWN ON THIS DRAWING. ANY DISCREPANCY SHOULD BE REPORTED TO THE ENGINEER FOR CLARIFICATION BEFORE STARTING ANY WORK.

REVISIONS

NO.	DESCRIPTION	CHECKED BY	DRAWN BY
1.	"AS BUILT"	GG	GG

SEAL:



PERMIT TO PRACTICE
2G ENGINEERING INC.

MEMBER NUMBER: 100206112

DATE: NOV. 21, 2024

CLIENT:
ANTHONY TERSIGNI

LOCATION:
246 SYLVADENE PARKWAY
VAUGHAN. ON.

PROJECT:
CUSTOM "AS BUILT"
GAZEBO AND SHED

DRAWING TITLE:
GENERAL NOTES

PROJECT NO:

DRAWING NO:

SCALE: N.T.S.

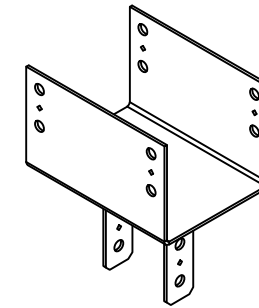
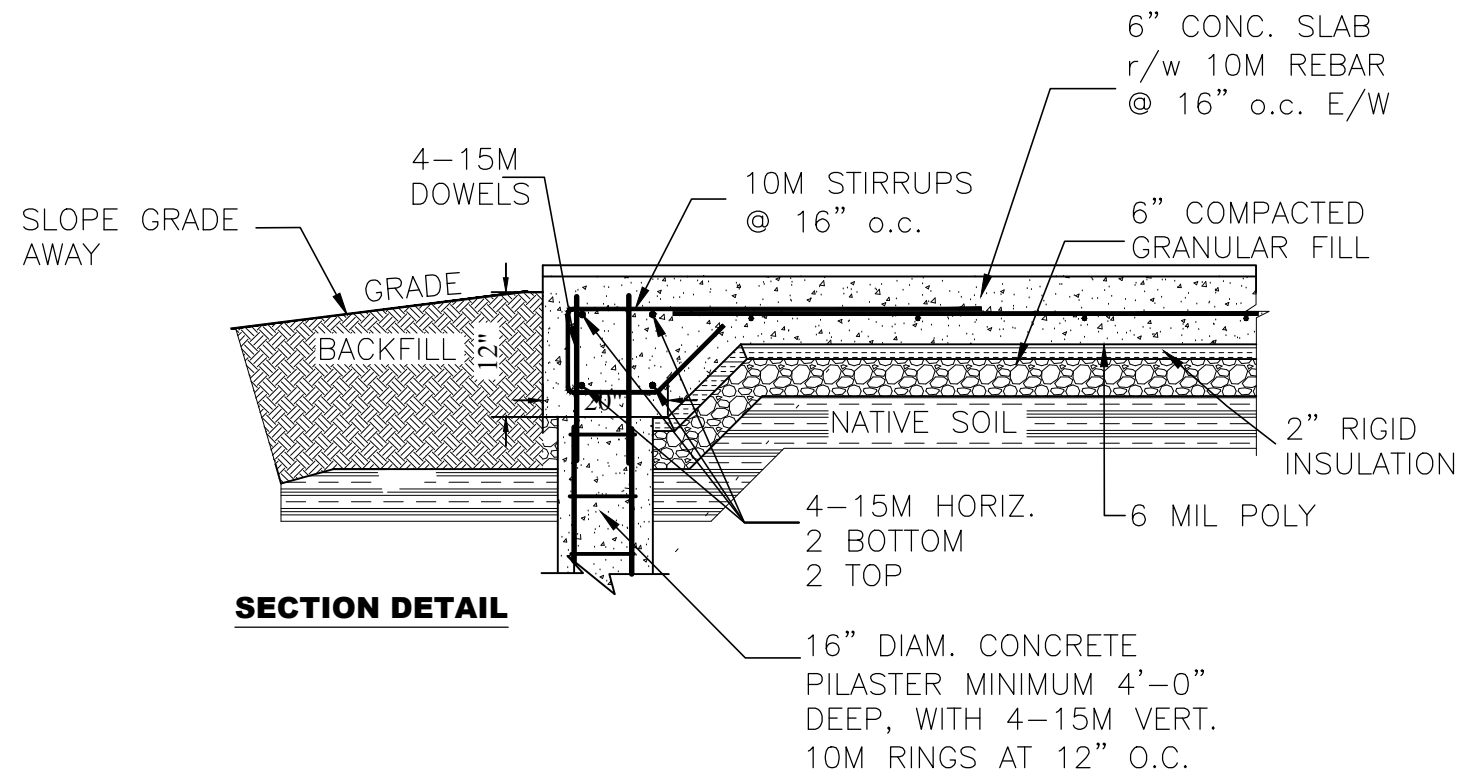
DRAWN BY: G.G.

GN

Structural Engineering

UNIT 5 160 APPLEWOOD CRES.
CONCORD, ONTARIO
L4K 4E5

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS SHOWN ON THIS DRAWING. ANY DISCREPANCY SHOULD BE REPORTED TO THE ENGINEER FOR CLARIFICATION BEFORE STARTING ANY WORK.



COLUMN CONNECTOR CC128
BY SIMPSON STRONG TIE.

SECTION DETAIL

DESIGN NOTES:

1. Designed by **2G ENGINEERING**
2. Design based on:
2012 Ontario Building Code.
CAN/CSA A23.3-04 Design of Concrete Structures
3. Standard Construction Practices.
4. Contractor to confirm all dimensions prior to start project.
5. Contractor to confirm required property set backs as per City Regulation.
6. Site inspection is required prior to pouring concrete.
7. Please contact Engineer a minimum 2 days in advance.

SPECIFICATIONS:

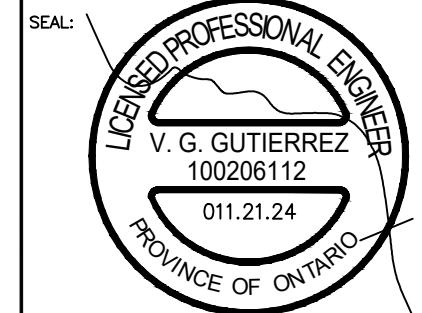
1. All material and construction procedures shall conform with:
Local Building Code
CSA A23.1, A23.2, A23.3, A5, G30.18.
2. Concrete Compressive strength (28 days) 32 MPa minimum.
3. Corner bars shall be cold bent at mid point.
4. Bars according to G30.18 Grade 400 MPa.
5. All bending details, dimensions, anchorage, cut-off lengths, bar supports, spacers and location of reinforcing splices shall be in accordance with CSA A23.3 latest edition, unless noted otherwise.
6. All reinforcing splices shall be located at point of minimum stress.
7. All fill material shall be placed in horizontal layers not exceeding 6" (150mm) and shall be compacted to 98% standard proctor density.
8. Slope grade away from the wall so that no water accumulation in the wall structure
9. Min. concrete cover for reinforcement shall be as follows:
A. Concrete deposited against soil: 3" (75 mm)
B. Conc. exposed to weather after removal of form work: 2" (50 mm)
C. Slab and walls, except as noted in A and B: 3/4" (20 mm).

FOR CONTINUITY OF REINFORCEMENT (CSA A23.3-04)

BAR SIZE	MIN. LAP SPLICE	CORNER BAR LENGTH
10M	1' 4" (400 mm)	3' (900 mm)
15M	2' 0" (600 mm)	4' (1200 mm)
20M	2' 6" (750 mm)	5' (1500 mm)

REVISIONS

NO.	DESCRIPTION	CHECKED BY	DRAWN BY
1.	"AS BUILT"	GG	GG



PERMIT TO PRACTICE
2G ENGINEERING INC.

MEMBER NUMBER: 100206112

DATE: NOV. 21, 2024

CLIENT:
ANTHONY TERSIGNI

LOCATION:
246 SYLVADENE PARKWAY
VAUGHAN, ON.

PROJECT:
CUSTOM "AS BUILT"
GAZEBO

DRAWING TITLE:
THICKENED SLAB DETAIL

PROJECT NO:

DRAWING NO:

SCALE: N.T.S.

D1

DRAWN BY: G.G.

Structural Engineering

UNIT 5 160 APPLEWOOD CRES
CONCORD, ONTARIO
L4K 4E5

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REVISIONS

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1.	"AS BUILT"	GG	GG
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SEAL:



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2G ENGINEERING INC.

MEMBER NUMBER: 100206112

DATE: NOV. 21, 2024

CLIENT:

ANTHONY TERSIGNI

LOCATION:

246 SYLVADENE PARKWAY
VAUGHAN, ON.

PROJECT:

CUSTOM "AS BUILT"
GAZEBO

DRAWING TITLE:

FOUNDATION PLAN

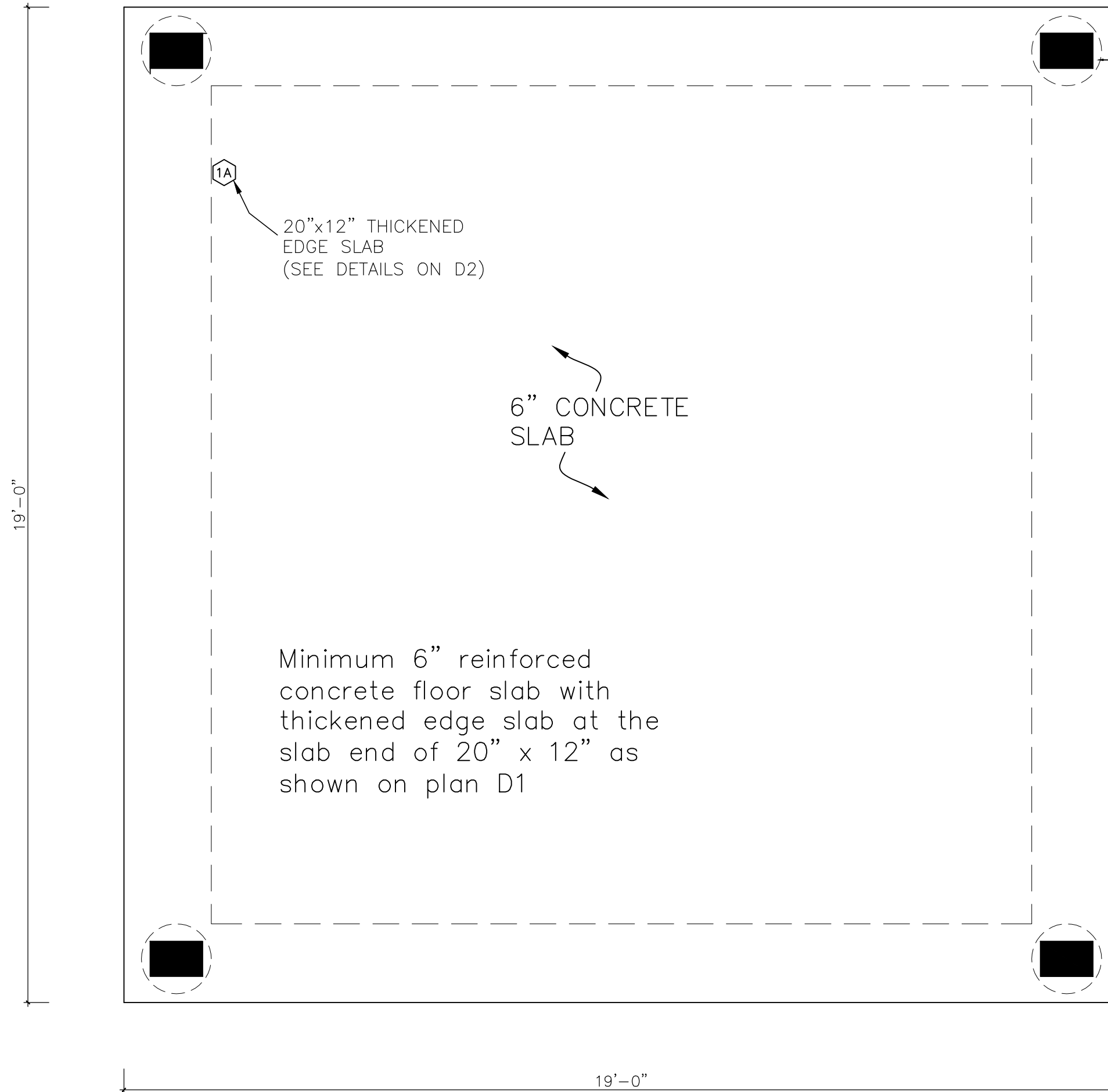
PROJECT NO:

DRAWING NO:

SCALE: N.T.S.

DRAWN BY: G.G.

A1



FOUNDATION PLAN

Structural Engineering

UNIT 5 160 APPLEWOOD CRES.
CONCORD, ONTARIO
L4K 4E5

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1.	"AS BUILT"	GG	GG
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SEAL:



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2G ENGINEERING INC.

MEMBER NUMBER: 100206112

DATE: NOV. 21, 2024

CLIENT:

ANTHONY TERSIGNI

LOCATION:

246 SYLVADENE PARKWAY
VAUGHAN, ON.

PROJECT:

CUSTOM "AS BUILT"
GAZEBO

DRAWING TITLE:

SECTION

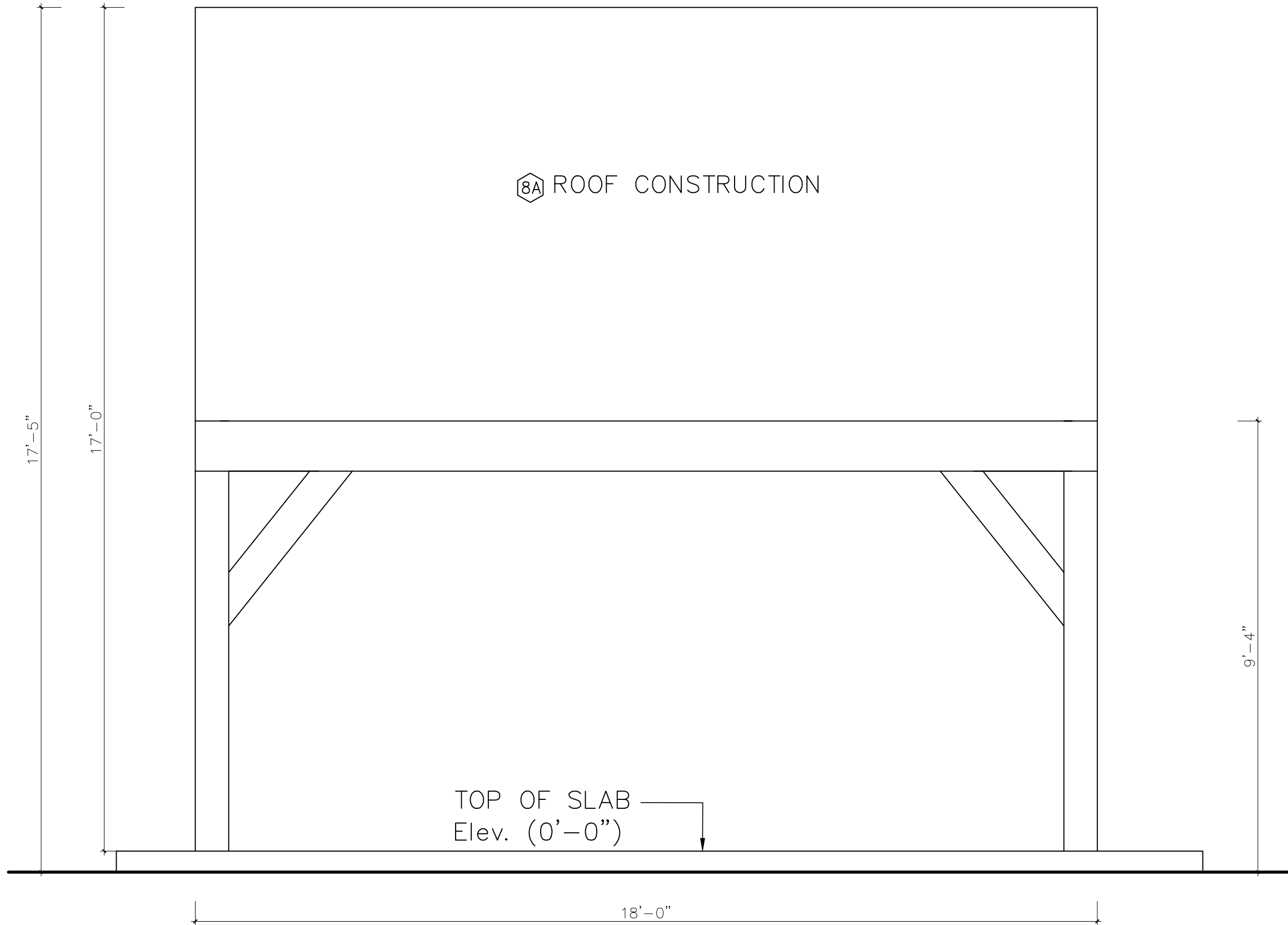
PROJECT NO:

DRAWING NO:

SCALE: N.T.S.

DRAWN BY: G.G.

A10



8A ROOF CONSTRUCTION

TOP OF SLAB
Elev. (0'-0")

LEFT AND RIGHT ELEVATION

Structural Engineering

UNIT 5 160 APPLEWOOD CRES.
CONCORD, ONTARIO
L4K 4E5

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1.	"AS BUILT"	GG	GG
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SEAL:



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2G ENGINEERING INC.

MEMBER NUMBER: 100206112

DATE: NOV. 21, 2024

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ANTHONY TERSIGNI

LOCATION:

246 SYLVADENE PARKWAY
VAUGHAN, ON.

PROJECT:

CUSTOM "AS BUILT"
GAZEBO

DRAWING TITLE:

SECTION

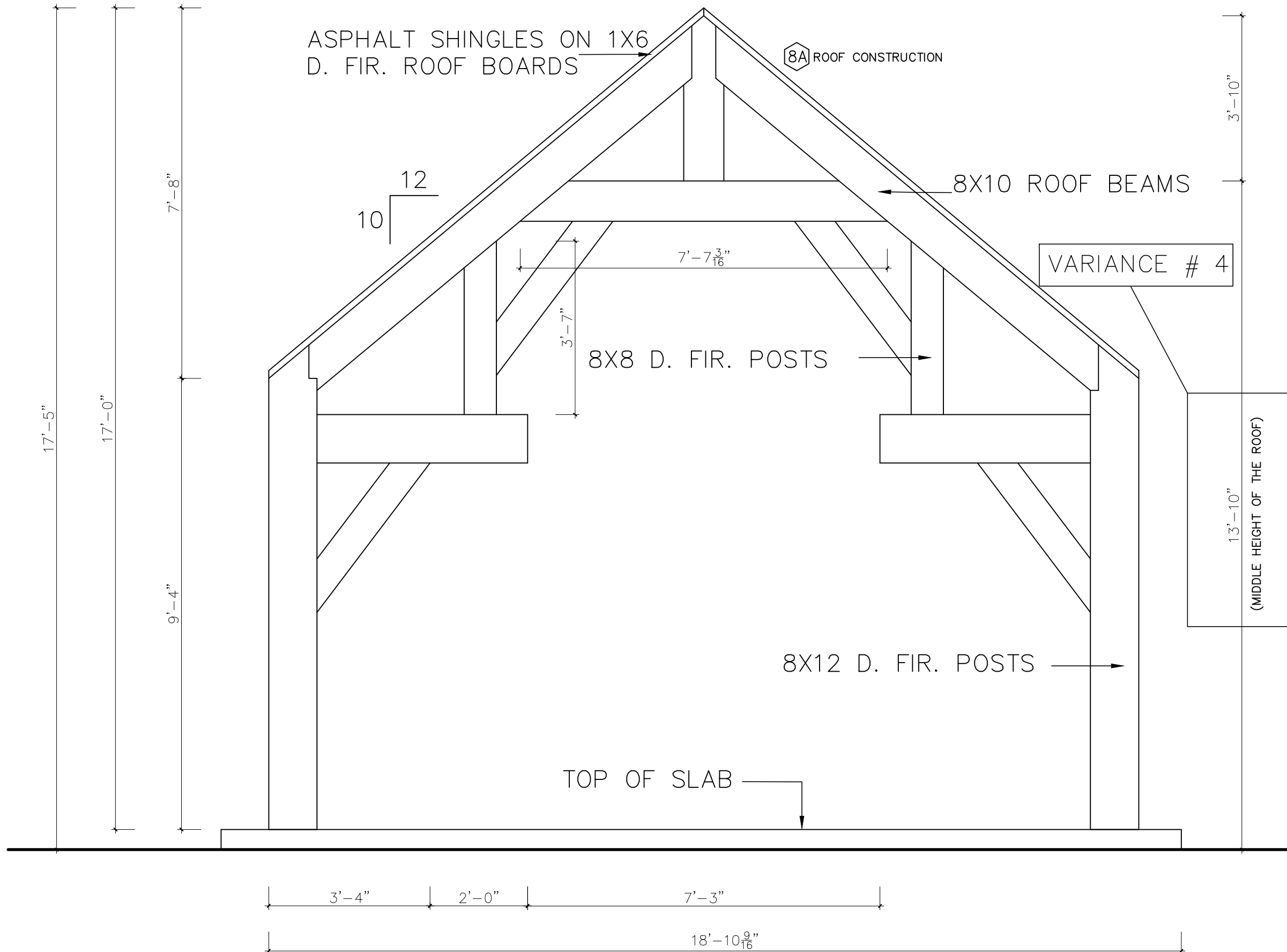
PROJECT NO:

SCALE: N.T.S.

DRAWN BY: G.G.

DRAWING NO:

A2



GAZEBO SECTION

Structural Engineering

UNIT 5 160 APPLEWOOD CRES.
CONCORD, ONTARIO
L4K 4E5

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NO.	DESCRIPTION	CHECKED BY	DRAWN BY
1.	"AS BUILT"	GG	GG
2.	"AS BUILT"	GG	GG

SEAL:



PERMIT TO PRACTICE
2G ENGINEERING INC.

MEMBER NUMBER: 100206112

DATE: NOV. 21, 2024

CLIENT:

ANTHONY TERSIGNI

LOCATION:

246 SYLVADENE PARKWAY
VAUGHAN, ON.

PROJECT:

CUSTOM "AS BUILT"
GAZEBO

DRAWING TITLE:

SECTION

PROJECT NO:

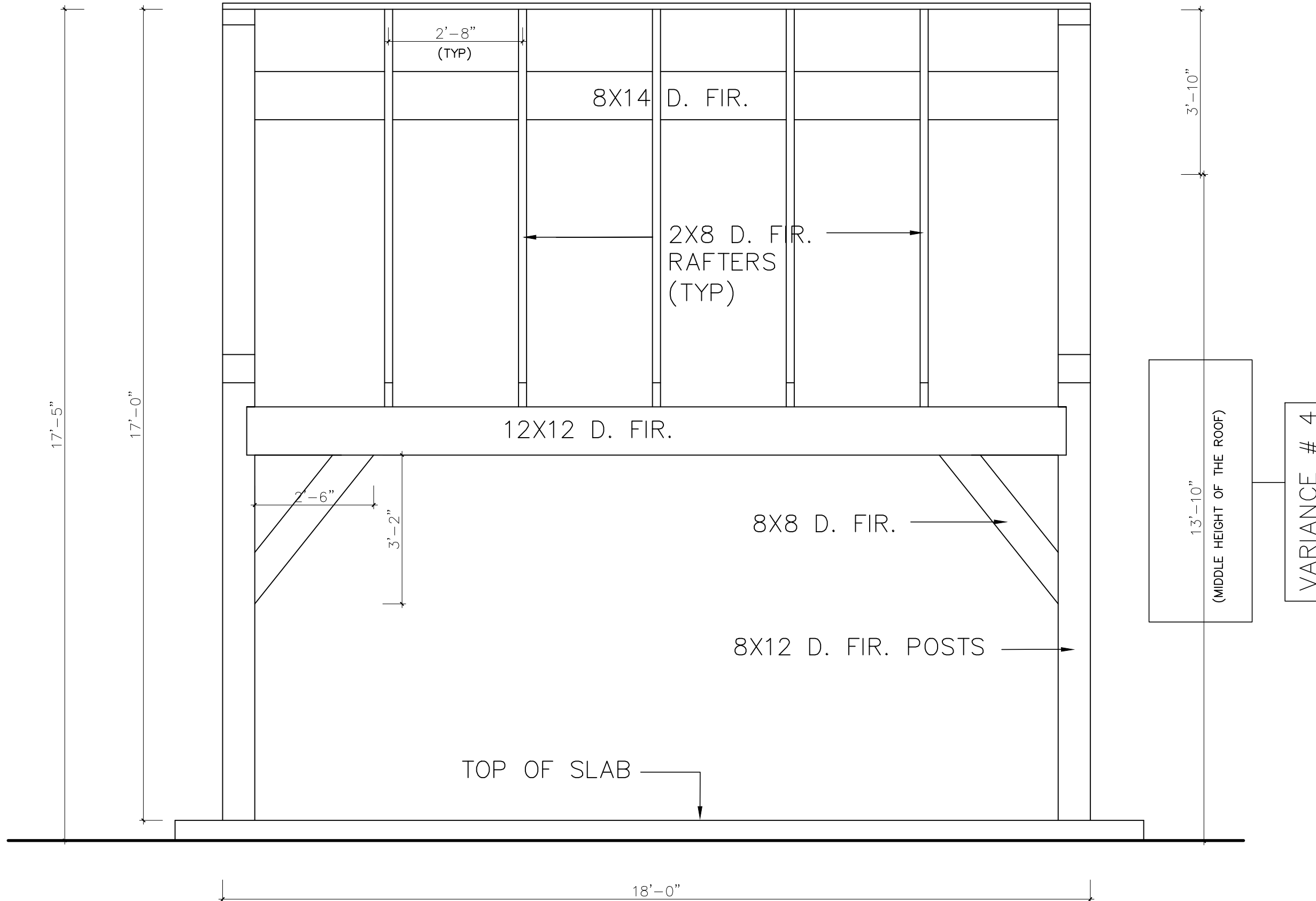
DRAWING NO:

SCALE: N.T.S.

DRAWN BY: G.G.

A3

8A ROOF CONSTRUCTION



GAZEBO SECTION

Structural Engineering

UNIT 5 160 APPLEWOOD CRES.
CONCORD, ONTARIO
L4K 4E5

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2.	"AS BUILT"	GG	GG

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2G ENGINEERING INC.

MEMBER NUMBER: 100206112

DATE: NOV. 21, 2024

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ANTHONY TERSIGNI

LOCATION:

246 SYLVADENE PARKWAY
VAUGHAN, ON.

PROJECT:

CUSTOM "AS BUILT"
GAZEBO

DRAWING TITLE:

SECTION

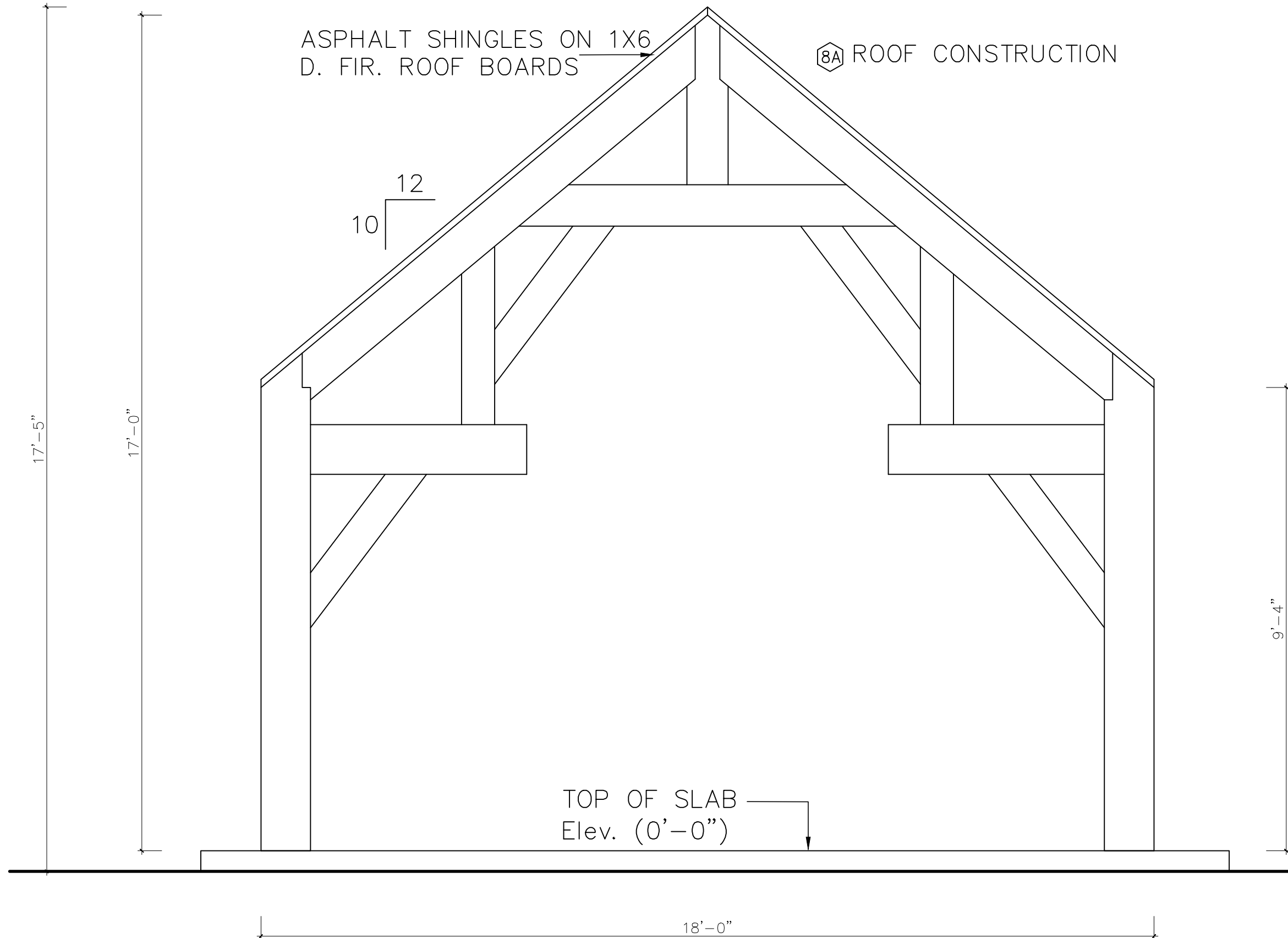
PROJECT NO:

DRAWING NO:

SCALE: N.T.S.

DRAWN BY: G.G.

A9

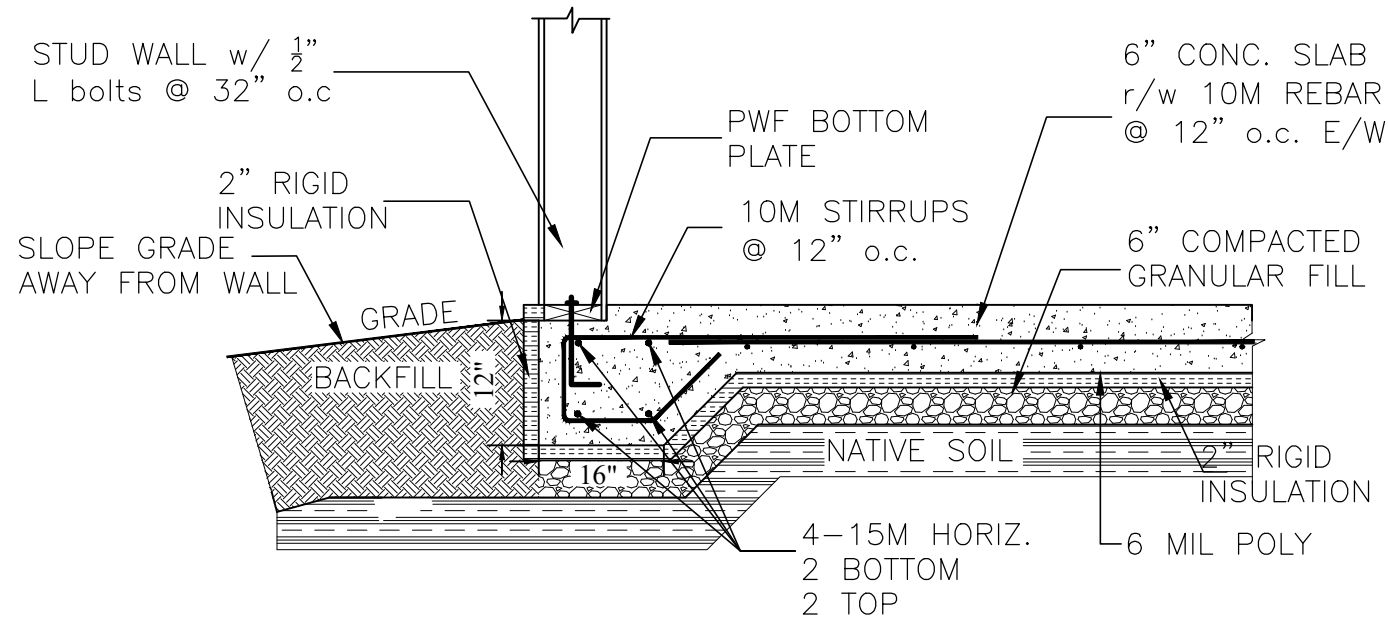


FRONT AND REAR ELEVATION

Structural Engineering

UNIT 5 160 APPLEWOOD CRES.
CONCORD, ONTARIO
L4K 4E5

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SECTION DETAIL

WORK PROCEDURES

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DESIGN NOTES:

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REVISIONS

NO.	DESCRIPTION	CHECKED BY	DRAWN BY
1.	"AS BUILT"	GG	GG
2.	"AS BUILT"	GG	GG

SEAL:



PERMIT TO PRACTICE
2G ENGINEERING INC.

MEMBER NUMBER: 100206112

DATE: NOV. 21, 2024

CLIENT:

ANTHONY TERSIGNI

LOCATION:

246 SYLVADENE PARKWAY
VAUGHAN, ON.

PROJECT:

CUSTOM "AS BUILT" SHED

DRAWING TITLE:

FOUNDATION DETAIL

PROJECT NO:

DRAWING NO:

SCALE: N.T.S.

D2

DRAWN BY: G.G.

Structural Engineering

UNIT 5 160 APPLEWOOD CRES.
CONCORD, ONTARIO
L4K 4E5

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2G ENGINEERING INC.

MEMBER NUMBER: 100206112

DATE: NOV. 21, 2024

CLIENT:
ANTHONY TERSIGNI

LOCATION:
246 SYLVADENE PARKWAY
VAUGHAN, ON.

PROJECT:
CUSTOM "AS BUILT" SHED

DRAWING TITLE:
ELEVATIONS

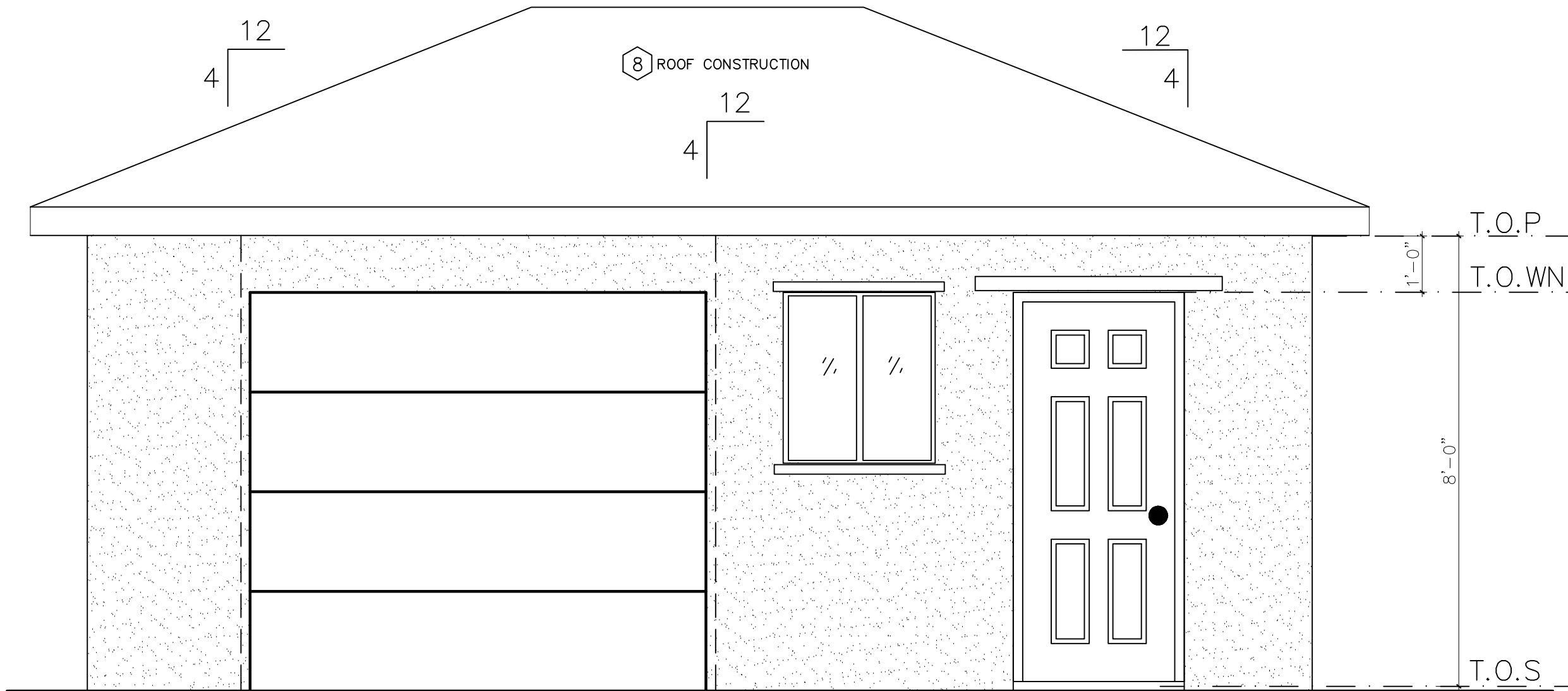
PROJECT NO:

DRAWING NO:

SCALE: N.T.S.

DRAWN BY: G.G.

A6



FRONT ELEVATION

Structural Engineering

UNIT 5 160 APPLEWOOD CRES.
CONCORD, ONTARIO
L4K 4E5

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1.	"AS BUILT"	GG	GG
2.	"AS BUILT"	GG	GG

SEAL:



PERMIT TO PRACTICE
2G ENGINEERING INC.

MEMBER NUMBER: 100206112

DATE: NOV. 21, 2024

CLIENT:

ANTHONY TERSIGNI

LOCATION:

246 SYLVADENE PARKWAY
VAUGHAN, ON.

PROJECT:

CUSTOM "AS BUILT" SHED

DRAWING TITLE:

ELEVATIONS

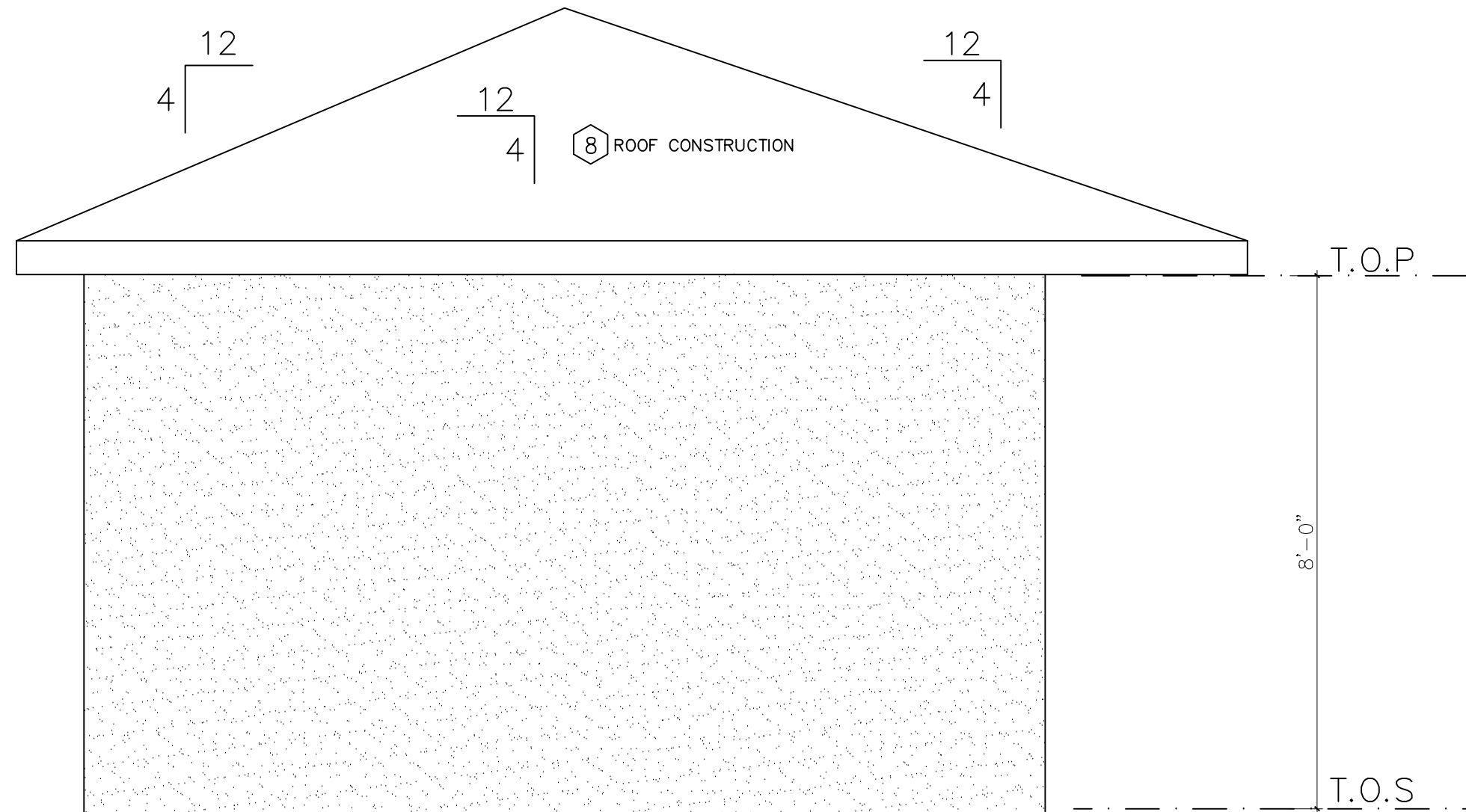
PROJECT NO:

DRAWING NO:

SCALE: N.T.S.

DRAWN BY: G.G.

A8



LEFT AND RIGHT ELEVATION

Structural Engineering

UNIT 5 160 APPLEWOOD CRES.
CONCORD, ONTARIO
L4K 4E5

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2.	"AS BUILT"	GG	GG



PERMIT TO PRACTICE
2G ENGINEERING INC.

MEMBER NUMBER: 100206112

DATE: NOV. 21, 2024

CLIENT:
ANTHONY TERSIGNI

LOCATION:
246 SYLVADENE PARKWAY
VAUGHAN, ON.

PROJECT:
CUSTOM "AS BUILT" SHED

DRAWING TITLE:
FLOOR PLAN

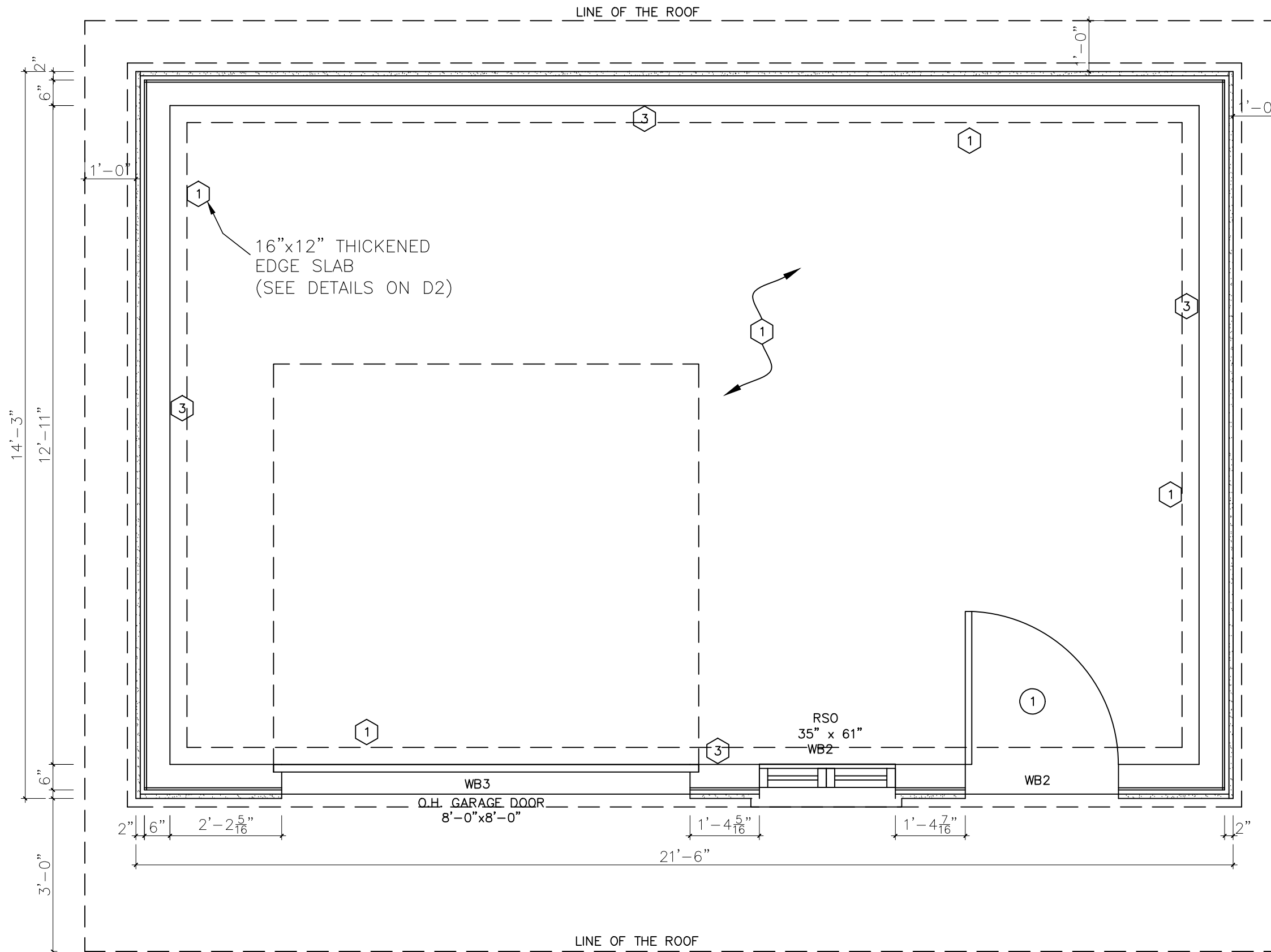
PROJECT NO:

DRAWING NO:

SCALE: N.T.S.

DRAWN BY: G.G.

A4



PLAN VIEW

Structural Engineering

UNIT 5 160 APPLEWOOD CRES.
CONCORD, ONTARIO
L4K 4E5

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1.	"AS BUILT"	GG	GG
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SEAL:



PERMIT TO PRACTICE
2G ENGINEERING INC.

MEMBER NUMBER: 100206112

DATE: NOV. 21, 2024

CLIENT:
ANTHONY TERSIGNI

LOCATION:
246 SYLVADENE PARKWAY
VAUGHAN, ON.

PROJECT:
CUSTOM "AS BUILT" SHED

DRAWING TITLE:
ROOF PLAN

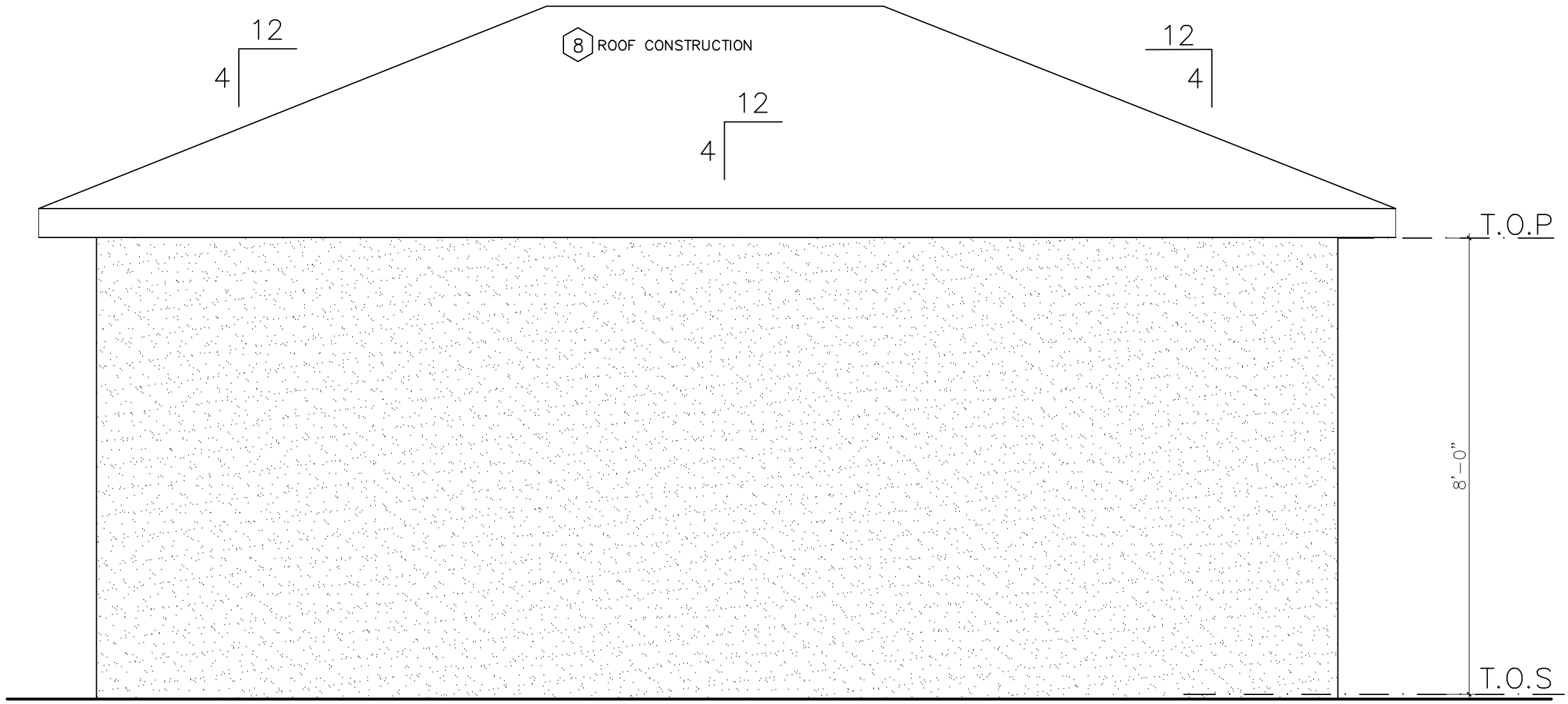
PROJECT NO:

DRAWING NO:

SCALE: N.T.S.

DRAWN BY: G.G.

A7



REAR ELEVATION

Structural Engineering

UNIT 5 160 APPLEWOOD CRES.
CONCORD, ONTARIO
L4K 4E5

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REVISIONS

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1.	"AS BUILT"	GG	GG
2.	"AS BUILT"	GG	GG

SEAL:



PERMIT TO PRACTICE
2G ENGINEERING INC.

MEMBER NUMBER: 100206112

DATE: NOV. 21, 2024

CLIENT:

ANTHONY TERSIGNI

LOCATION:

246 SYLVADENE PARKWAY
VAUGHAN, ON.

PROJECT:

CUSTOM "AS BUILT" SHED

DRAWING TITLE:

ROOF PLAN

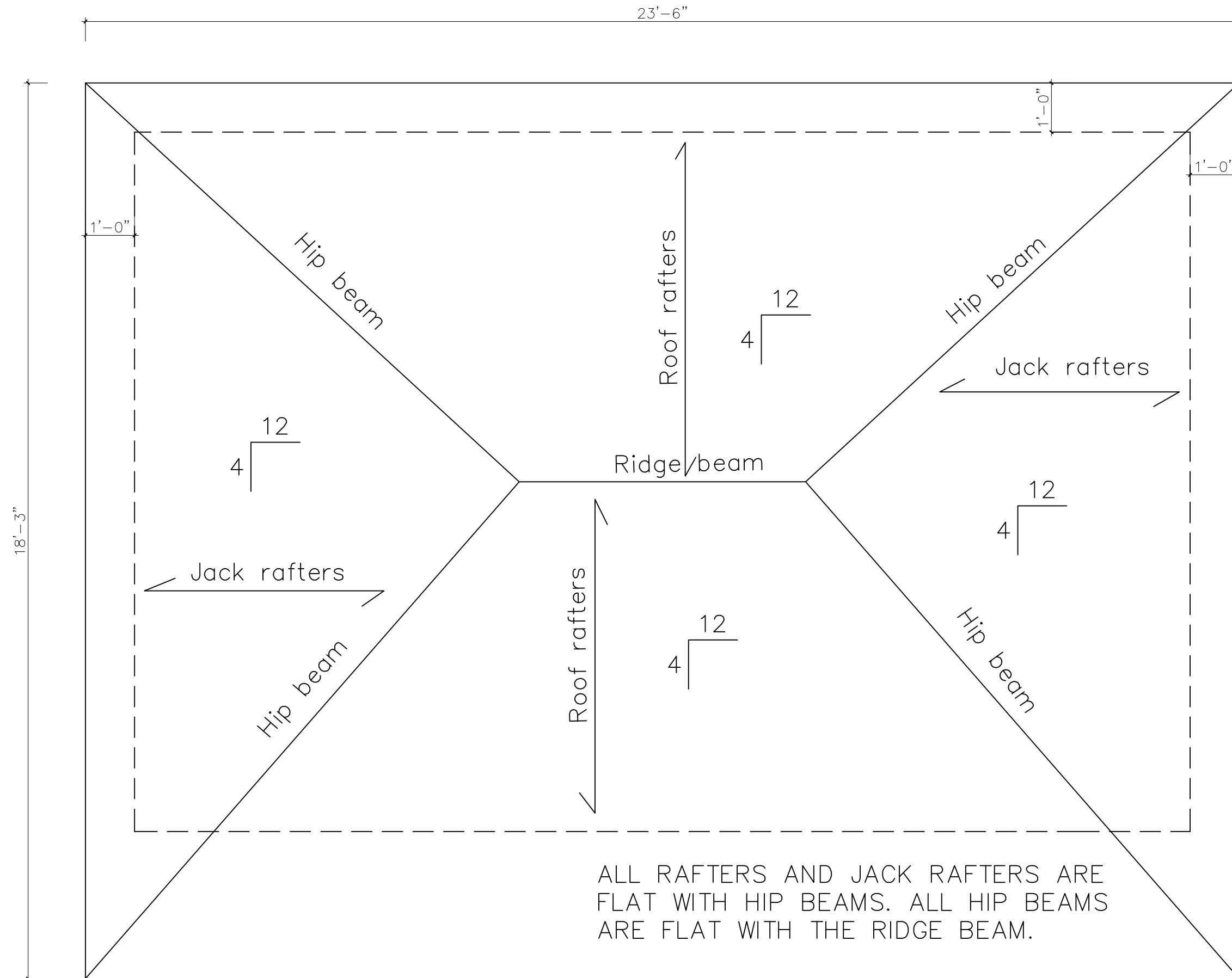
PROJECT NO:

DRAWING NO:

SCALE: N.T.S.

DRAWN BY: G.G.

A5



ROOF PLAN

Structural Engineering

UNIT 5 160 APPLEWOOD CRES.
CONCORD, ONTARIO
L4K 4E5

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SEAL:



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2G ENGINEERING INC.

MEMBER NUMBER: 100206112

DATE: NOV. 21, 2024

CLIENT:

ANTHONY TERSIGNI

LOCATION:

246 SYLVADENE PARKWAY
VAUGHAN, ON.

PROJECT:

CUSTOM "AS BUILT" SHED

DRAWING TITLE:

SECTIONS

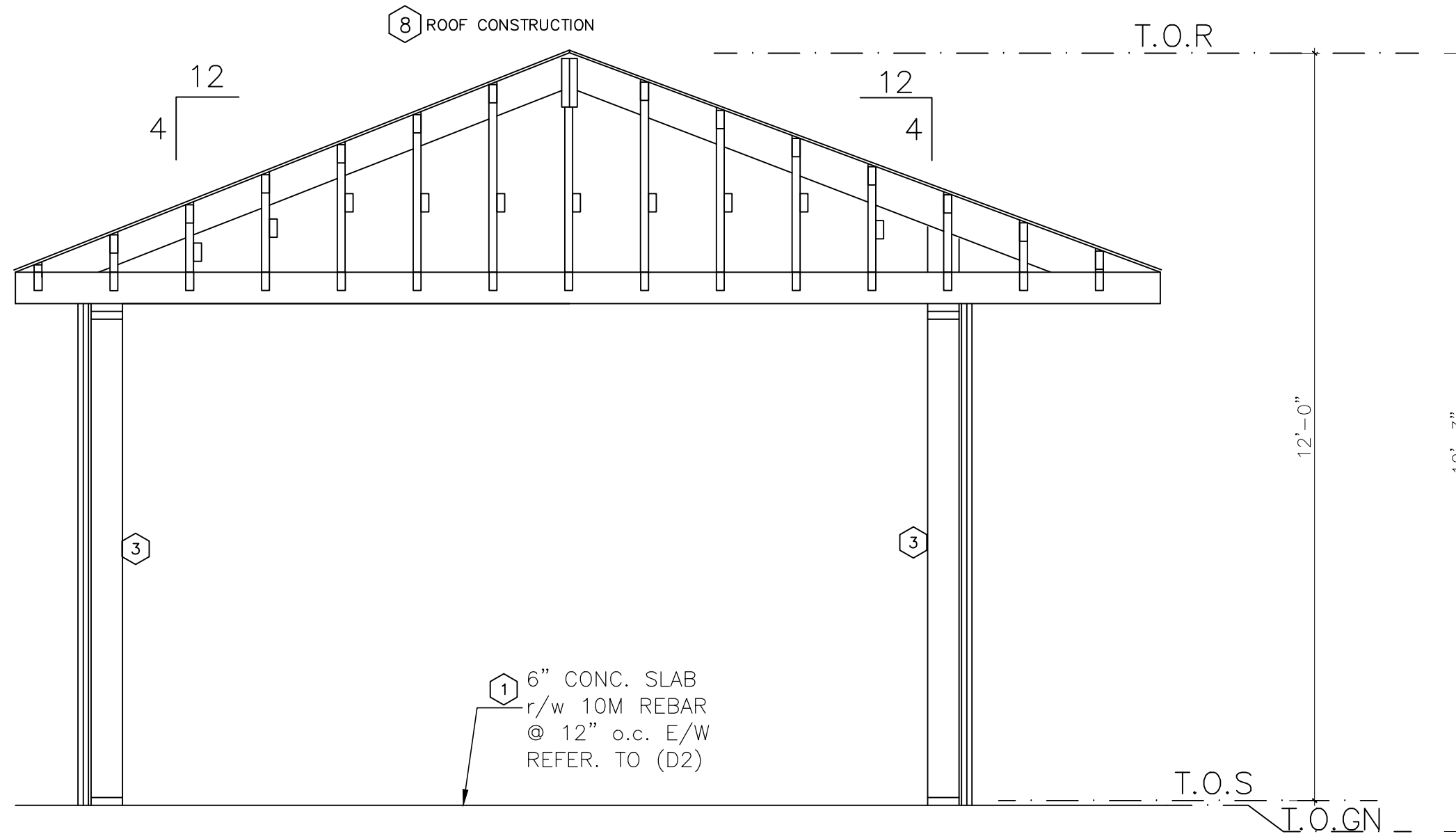
PROJECT NO:

DRAWING NO:

SCALE: N.T.S.

DRAWN BY: G.G.

A9



BUILDING SECTION

ALL RAFTERS AND JACK RAFTERS ARE FLAT WITH HIP BEAMS. ALL HIP BEAMS ARE FLAT WITH THE RIDGE BEAM.

WORK PROCEDURES

THESE DRAWINGS HAS BEEN PREPARE BASED ON A VISUAL SITE INSPECTION WITH LIMITED ACCESS AND FROM INFORMATION AND PICTURES PROVIDED TO OUR OFFICE BY THE OWNER. IF ANY DISCREPANCIES IS FOUND COMMUNICATE O OUR OFFICE IMMEDIATELY.

Structural Engineering

UNIT 5 160 APPLEWOOD CRES.
CONCORD, ONTARIO
L4K 4E5

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2.	"AS BUILT"	GG	GG



PERMIT TO PRACTICE
2G ENGINEERING INC.

MEMBER NUMBER: 100206112

DATE: NOV. 21, 2024

CLIENT:
ANTHONY TERSIGNI

LOCATION:
246 SYLVADENE PARKWAY
VAUGHAN, ON.

PROJECT:
CUSTOM "AS BUILT" SHED

DRAWING TITLE:
SECTIONS

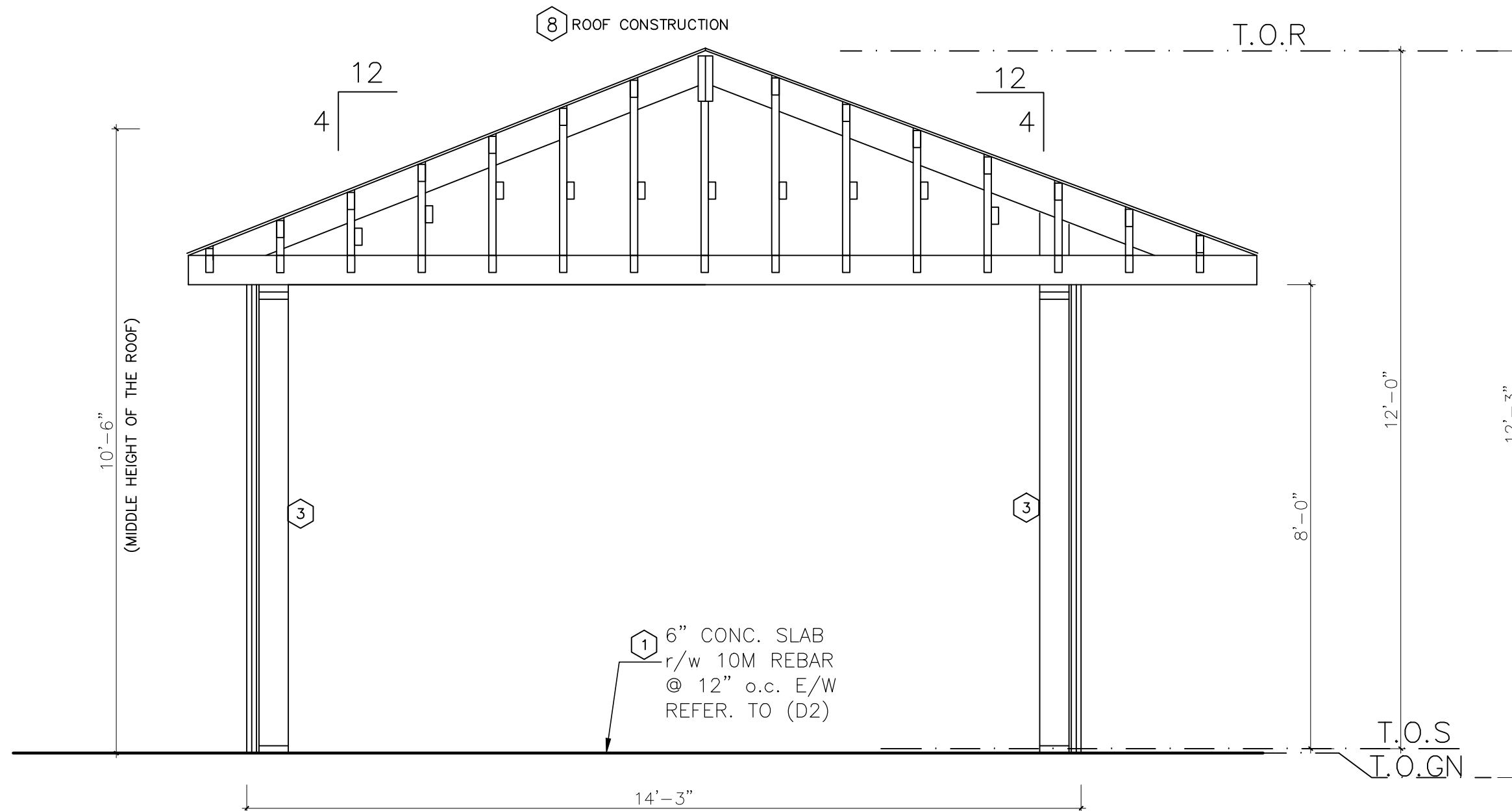
PROJECT NO:

DRAWING NO:

SCALE: N.T.S.

DRAWN BY: G.G.

A11



BUILDING SECTION

ALL RAFTERS AND JACK RAFTERS ARE FLAT WITH HIP BEAMS. ALL HIP BEAMS ARE FLAT WITH THE RIDGE BEAM.

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**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: December 23rd 2024

Attention: **Christine Vigneault**

RE: Request for Comments

File No.:

Related Files: **A158-24**

Applicant: 2G Engineering

Location 246 Sylvadene Parkway



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

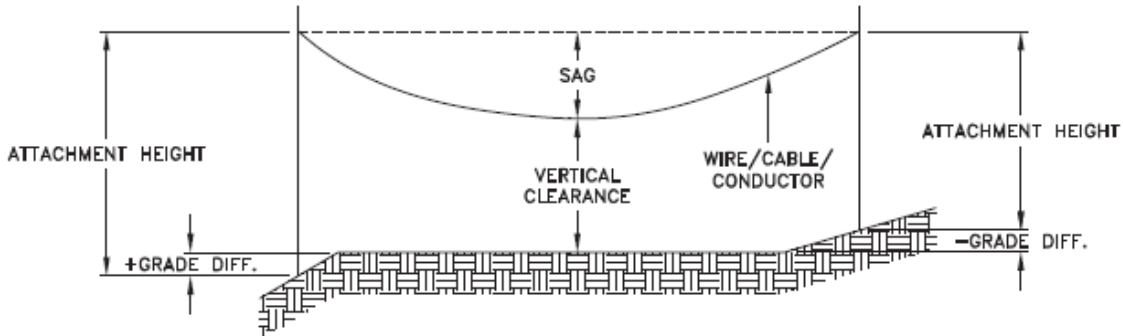
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

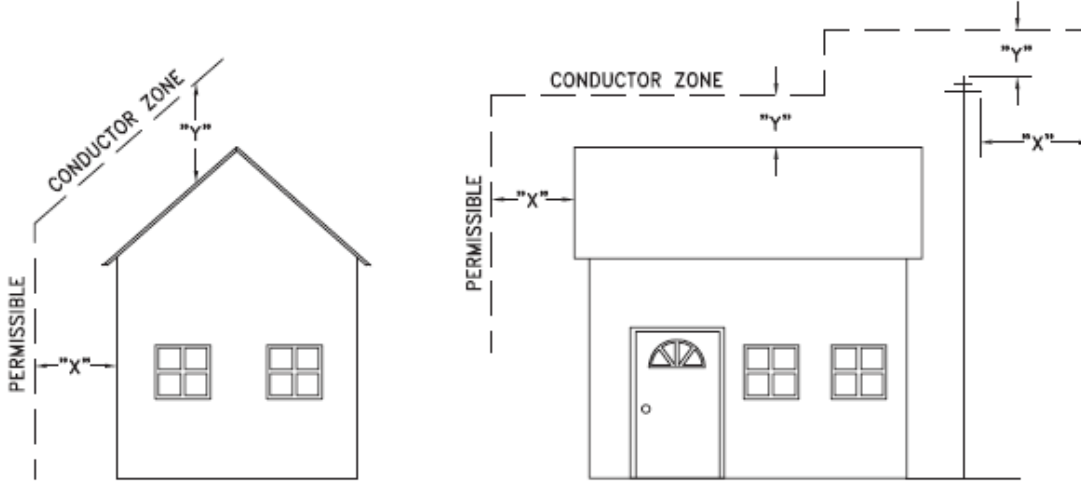
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Sean Fitzpatrick, Building Standards Department
Date: December 20, 2024
Applicant: 2G Engineering
Location: 246 Sylvadene Parkway
 PLAN RP5624 Lot 16
File No.(s): A158/24

Zoning Classification:

The subject lands are zoned R1C(EN) – First Density Residential Zone (Established Neighbourhood) under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The maximum height of a residential accessory structure shall be 3.0 m. [4.14]	To permit a maximum height of 3.2 metres for a residential accessory structure (stucco shed).
2	The maximum height of a residential accessory structure shall be 3.0 m. [4.14]	To permit a maximum height of 4.07 metres for a residential accessory structure (gazebo).

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

Order No. 24-118053, Order to Comply for , Issue Date: Jun 05, 2024

Building Permit(s) Issued:

Building Permit No. 04-000947 for Single Detached Dwelling - New, Issue Date: Sep 09, 2004
 Building Permit No. 24-123196 for Shed/Gazebo - New, Issue Date: (Not Yet Issued)

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

From: [Brett Rutledge](#)
To: [Committee of Adjustment Mailbox](#)
Subject: A158/24 Vaughan - Parks - Complete No Conditions (Matthew Ka)
Date: Thursday, January 2, 2025 1:59:19 PM

Please note that Vaughan - Parks process is now complete for a COA folder with the following details:

File No: A158/24

Type: Minor Variance - Minor Type 1

Address: 246 Sylvadene Pkwy

Comments:

Conditions:

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development and Parks Planning
Date: January 21, 2025
Name of Owner: Anthony Tersigni
Location: 246 Sylvadene Parkway
File No.(s): A158/24

Proposed Variance(s):

1. To permit a maximum height of **3.2 m** for a residential accessory structure (shed).
2. To permit a maximum height of **4.07 m** for a residential accessory structure (gazebo).

By-Law 001-2021 Requirement(s):

1. The maximum height of a residential accessory structure shall be **3.0 m**.
2. The maximum height of a residential accessory structure shall be **3.0 m**.

Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owner is seeking relief to permit two residential accessory structures in the rear yard with the above-noted variances.

The Development and Parks Planning Department has no objections to Variance 1 to increase the maximum permitted height of the existing shed from 3.0 m to 3.2 m. The proposed shed has a hipped roof and is compliant with setback and lot coverage requirements. The requested variance is minor in nature and is not anticipated to incur negative massing impacts on the neighbouring properties.

The Development and Parks Planning Department has no objections to Variance 2 to increase the maximum permitted height of the proposed gazebo from 3.0 m to 4.07 m. The proposed gazebo has a sloped roof and is unenclosed. The proposed gazebo has a modest footprint and is appropriately set back from the north and south side lot lines. The proposed gazebo is therefore not anticipated to negatively impact neighbouring properties.

Accordingly, the Development and Parks Planning Department supports the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development and Parks Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Harry Zhao, Planner 1
Janany Nagulan, Senior Planner

From: [Cameron McDonald](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A158/24 - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Monday, January 6, 2025 11:28:37 AM
Attachments: [image001.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from the TRCA.

Based on the above, we have no comments/requirements.

Regards,

Cameron McDonald

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:(437)880-1925)

E: cameron.mcdonald@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](#) | trca.ca



From: [Development Services](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A158/24 - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Monday, January 6, 2025 8:48:24 AM

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good morning,

The Regional Municipality of York has completed its review of the above minor variance application and has no comment.

Regards,

Gabrielle

Gabrielle Hurst MCIP, RPP | Associate Planner, Development Planning, Economic and Development Services Branch | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

SCHEDULE D: BACKGROUND

Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A