

ITEM: 6.7	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER: A324/22
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Report Date: January 10, 2025

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	No Comments Received to Date
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
<p>All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.</p>				
Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
N/A				

BACKGROUND (SCHEDULE D, IF REQUIRED)	
<p>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</p>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

ADJOURNMENT HISTORY	
<p>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</p>	
Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A324/22

CITY WARD #:	1
APPLICANT:	John Burdi
AGENT:	Lucas Cocomello (Schillerco Ltd.)
PROPERTY:	471 Westridge Drive, Kleinburg
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential".
RELATED DEVELOPMENT APPLICATIONS:	N/A
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a covered loggia, pergola and shed as well as increased maximum driveway width.

The following variances have been requested from the City's Zoning By-law:

#	Zoning By-law 001-2021	Variance requested
4	A residential accessory structure (loggia) with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. Section 4.1.2 1b	To permit a residential accessory structure with a height greater and 2.8m to be setback a minimum of 3.77m from the north interior side lot line (Variance 1 has been removed as per revised Zoning Comments received on January 6, 2025)
2	A residential accessory structure (loggia) with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. Section 4.1.2 1b	To permit a residential accessory structure with a height greater and 2.8m to be setback a minimum of 1.73 m from the south interior side lot line.
3	The maximum permitted height of a residential accessory structure(loggia) is 3.0m. Section 4.1.4 1	To permit a maximum height of 3.2m for the residential accessory structure(loggia)
4	The maximum permitted lot coverage is 30%. Exception 14.336 T-52	To permit a maximum lot coverage of 31.2%.
5	The maximum permitted height of a residential accessory structure (pergola) is 3.0m. Section 4.1.4 1	To permit a maximum height of 3.23m for the residential accessory structure(pergola).
6	The maximum permitted driveway width for a lot with a lot frontage greater than 12.0m is 9.0m. Section 6.7.3 Table 6-11	To permit a maximum driveway width of 10.36m on a lot with a lot frontage greater than 12.0m.
7	In any Residential Zone, the maximum lot coverage of all accessory buildings and residential accessory structures excluding an accessory detached garage shall be 10% or 67.0m ² , whichever is less. Section 4.1.3 2	To permit a maximum lot coverage of 129.5 m ² for all residential accessory structures.

HEARING INFORMATION

DATE OF MEETING: Thursday, January 16, 2025

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive

LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

HEARING INFORMATION

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	December 20, 2024
Date Applicant Confirmed Posting of Sign:	December 20, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	Due to the previous by and current bylaw restrictions, a minor variance application is required for this project.
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
Please note that Variance No. 1 has been removed from the zoning report, as the applicant has removed the covered BBQ area. As a result, the proposed interior side setback of 3.73m to the Loggia now complies with zoning requirements.	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments.

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	None
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DEVELOPMENT ENGINEERING

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

The Owner / Applicant shall ensure that the proposed covered concrete and stone patio does not negatively impact neighbours due to surface water runoff. The property should be properly graded, ensuring that surface water from the proposed addition does not flow onto adjacent lots. It's important to note that additions more than 10 m² necessitate a Grading Permit. Once the Grading Permit is obtained, please reach out to the Development Engineering Reviewer to clear the Condition imposed

DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

on this application. The proposed work by the Owner / Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer. The Development Engineering Department does not object to the Minor Variance application A324/22, subject to the following condition(s):

Development Engineering Recommended Conditions of Approval:	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
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PARKS, FORESTRY & HORTICULTURE (PFH)

No comments received to date

PFH Recommended Conditions of Approval:	None
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DEVELOPMENT FINANCE

No comment no concerns

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC)

No comments received to date

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT

No comments received to date

Fire Department Recommended Conditions of Approval:	None
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RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Engineering Rex.bondad@vaughan.ca	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS

471 WESTRIDGE DRIVE, KLEINBURG

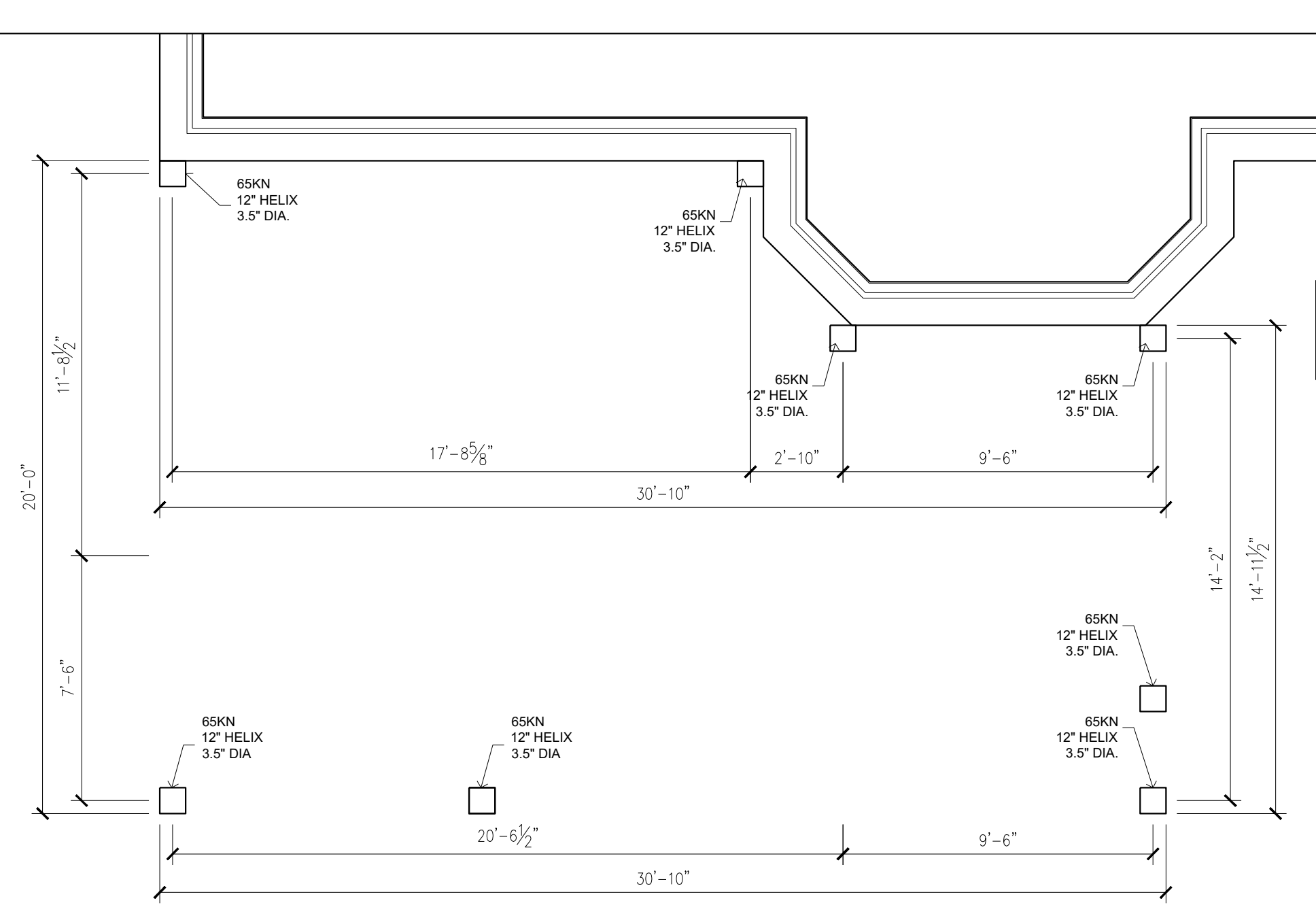


NOTES

THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF THE DESIGNER. THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND NOTIFY THE DESIGNER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL INFORMATION SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS (I.E. FLOOR LAYOUT, TRUSS LAYOUT) BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

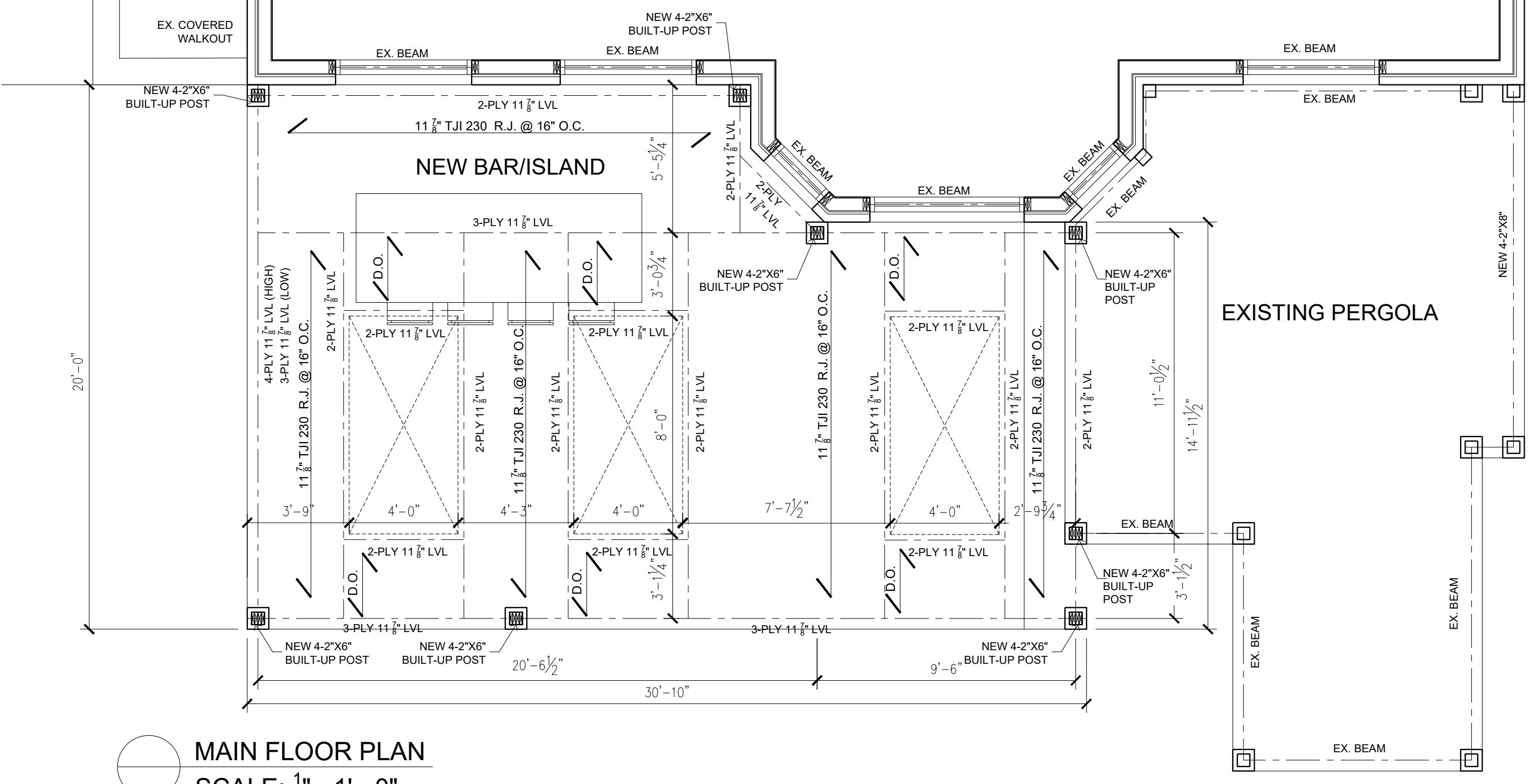
DRAWINGS SHALL NOT BE SCALED. THESE DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL THE REQUIRED BUILDING PERMITS HAVE BEEN ISSUED.

No.	DATE:	REVISION
1.	APRIL 22, 2022	ISSUED FOR PRICING
2.	JUNE 13, 2022	ISSUED FOR GRADING
3.	JUNE 13, 2022	ISSUED FOR PERMIT
4.	NOV. 8, 2024	ISSUED FOR CITY RESUBMISSION
5.	DEC. 13, 2024	ISSUED FOR C OF A COMMENTS

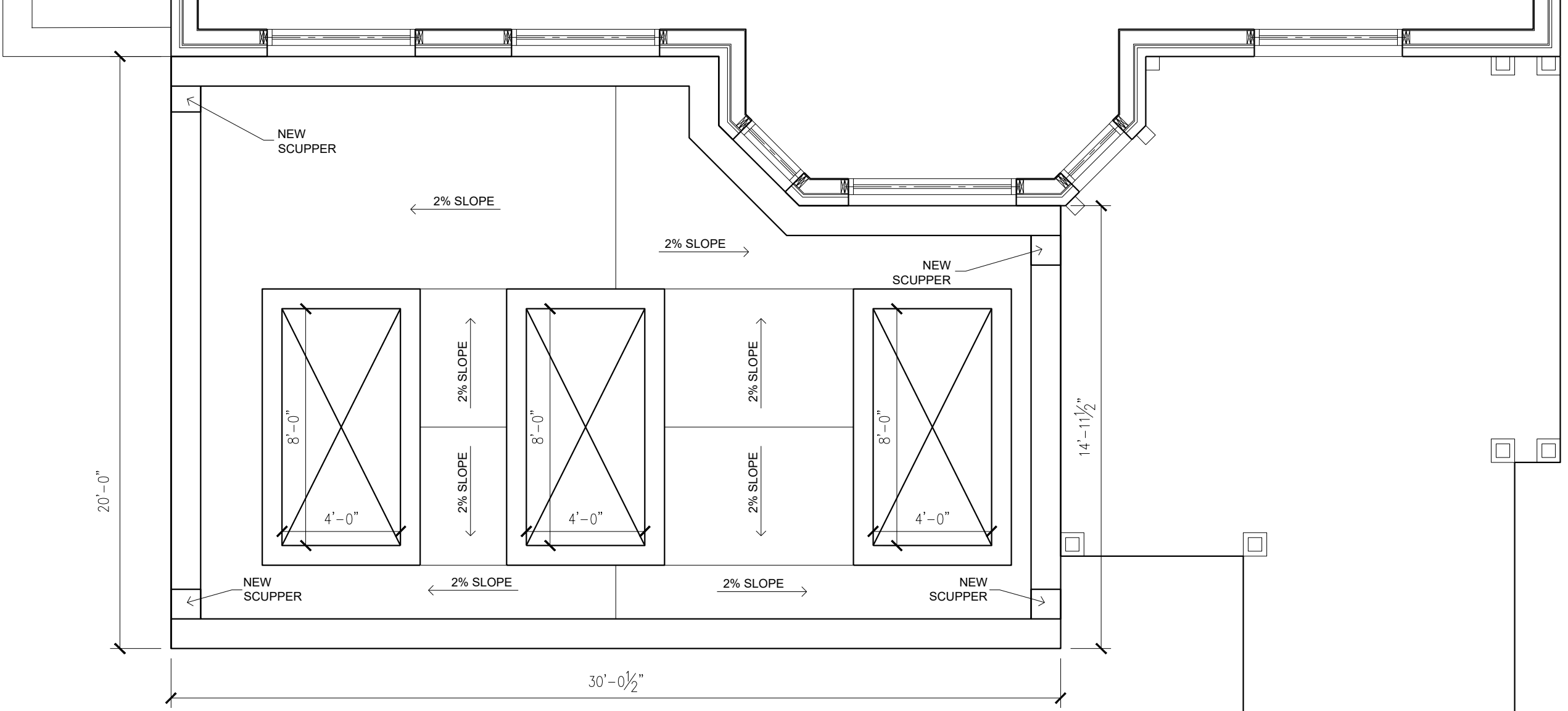


- UNFACTORED LOAD (REACTION) HELIX PILE DIAMETER**
- NOTES:
1. THE PILE HEADS ARE ASSUMED 6" MAX ABOVE THE GROUND LEVEL.
 2. THE HELICES MUST BE PLACED IN AN UNDISTURBED SOIL.
 3. THE FIRST HELIX MUST BE AT A GREATER VALUE:
 - BELOW THE FROST LINE
 - 5 X TIMES ITS DIAMETER
 - DEPTH TO REACH THE REQUIRED TORQUE
 4. THE MINIMUM DISTANCE BETWEEN PILES SHOULD BE HIGHER THAN 3" OR 3X MAX HELIX DIAMETER WHICHEVER IS GREATER.
 5. NO GEOTECHNICAL REPORT WAS AVAILABLE. THEREFORE, WE CANNOT DETERMINE THE HELIX SIZE REQUIRED NOR THE DEPTH REQUIRED.
 6. THE SOIL IS ASSUMED TO BE FLAT, NON LIQUEFIABLE AND PROVIDE LATERAL SUPPORT FOR THE HELICAL PILES.
 7. THE DRAWING MUST BE REVIEWED AND APPROVED BY ENGINEER/CONTRACTOR PRIOR TO HELICAL PILE INSTALLATION.
 8. DIMENSIONS ARE FOR INFORMATION PURPOSES ONLY AND SHOULD FIT ARCHITECTURAL/STRUCTURAL DRAWINGS.

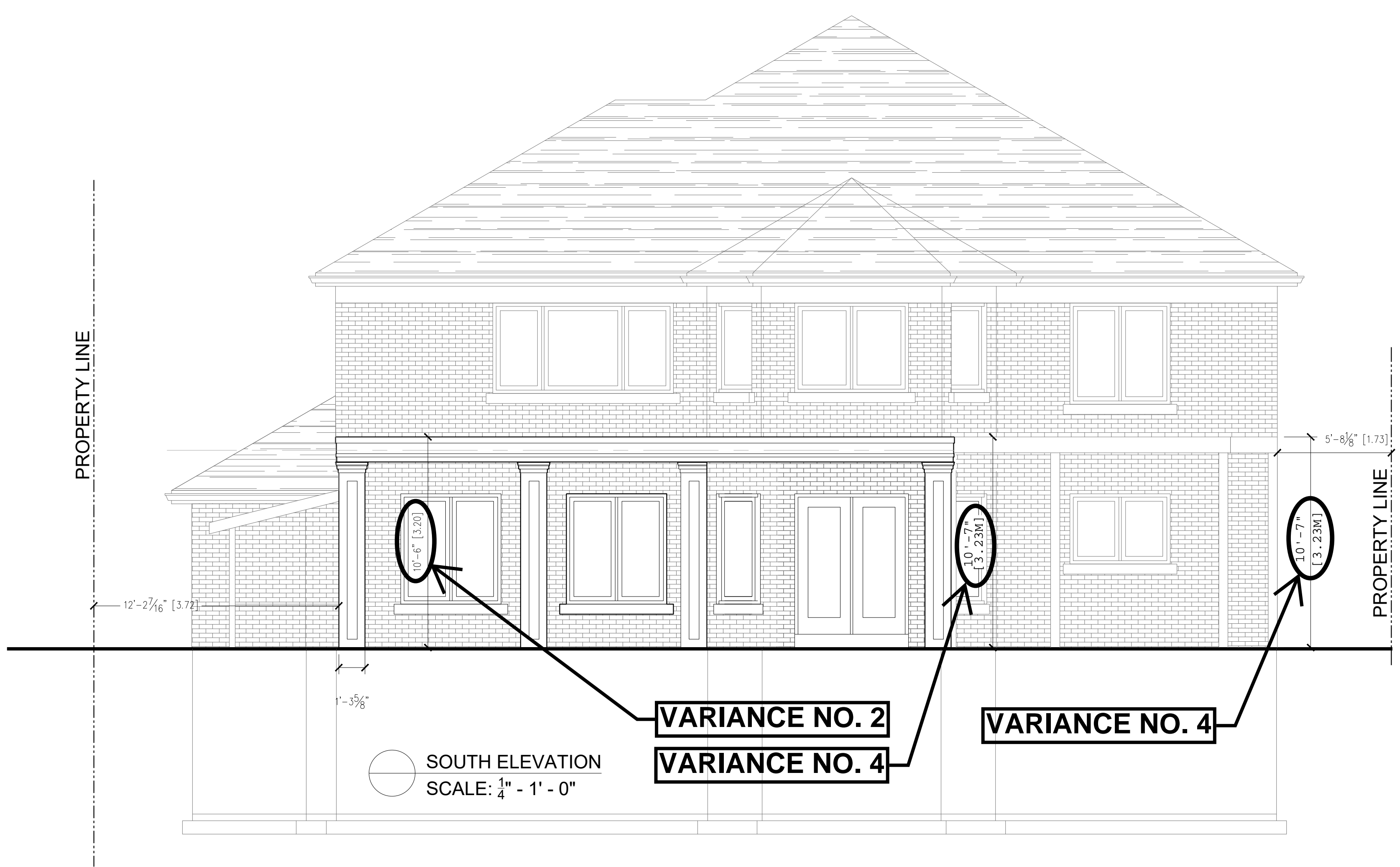
FOUNDATION PLAN
SCALE: 1/4" = 1' - 0"



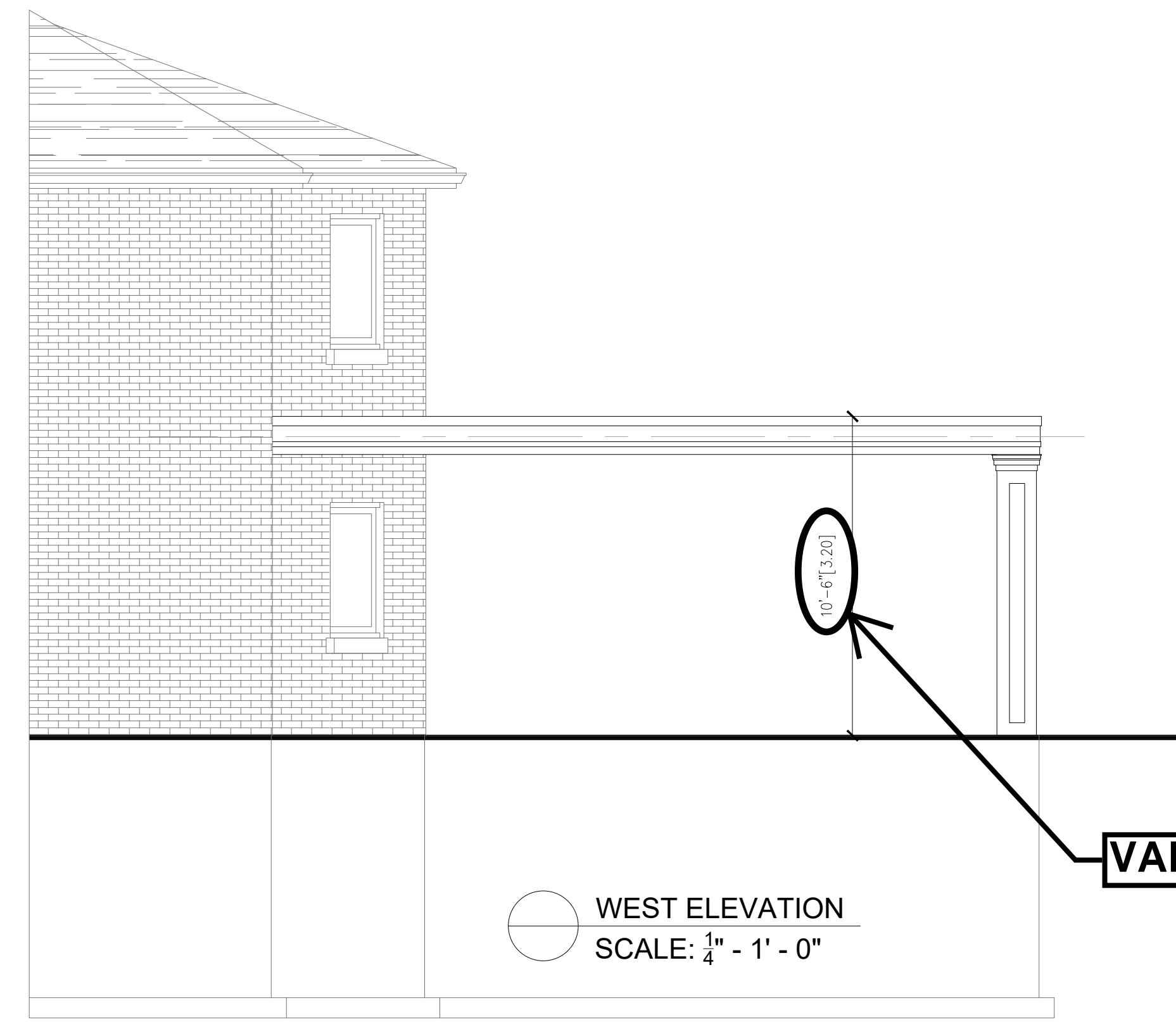
MAIN FLOOR PLAN
SCALE: 1/4" = 1' - 0"



ROOF PLAN
SCALE: 1/4" = 1' - 0"



SOUTH ELEVATION
SCALE: 1/4" = 1' - 0"



WEST ELEVATION
SCALE: 1/4" = 1' - 0"

SEALS

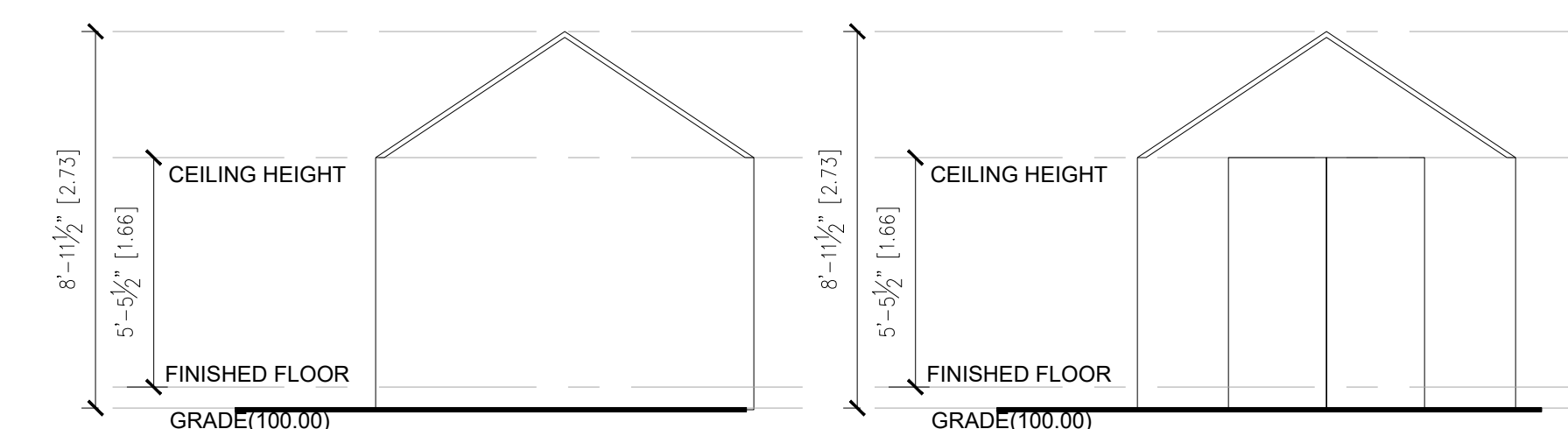
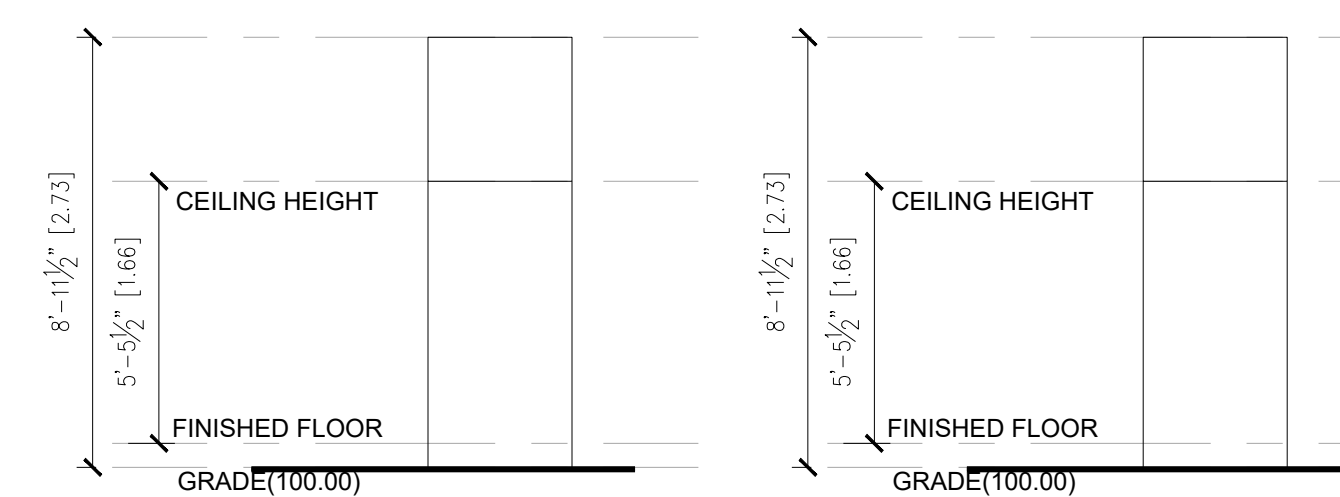
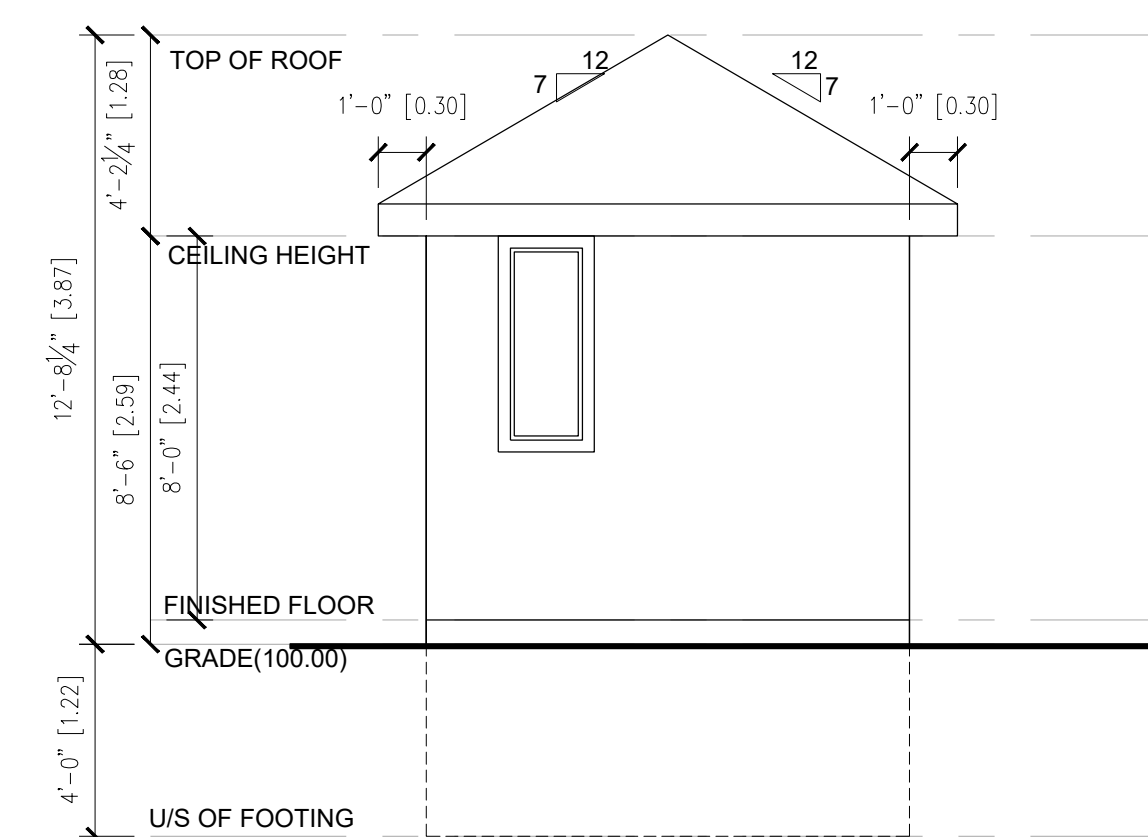
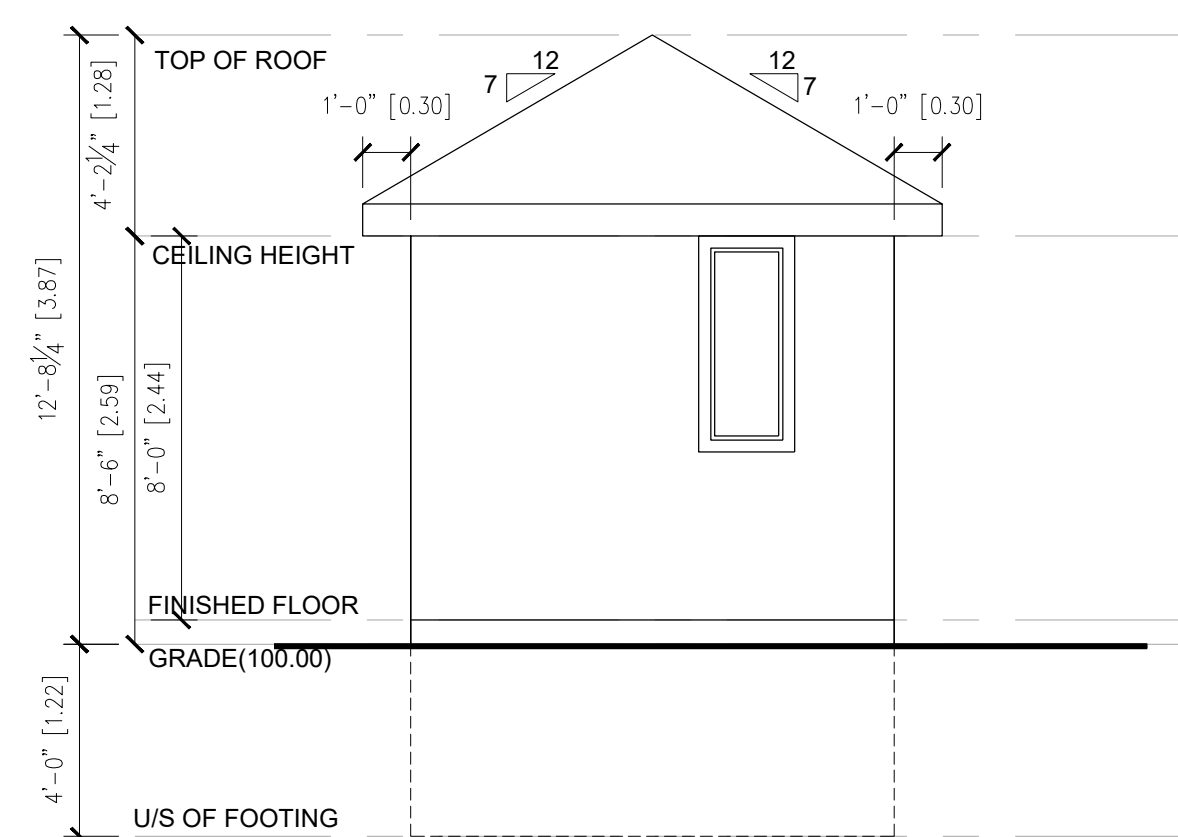
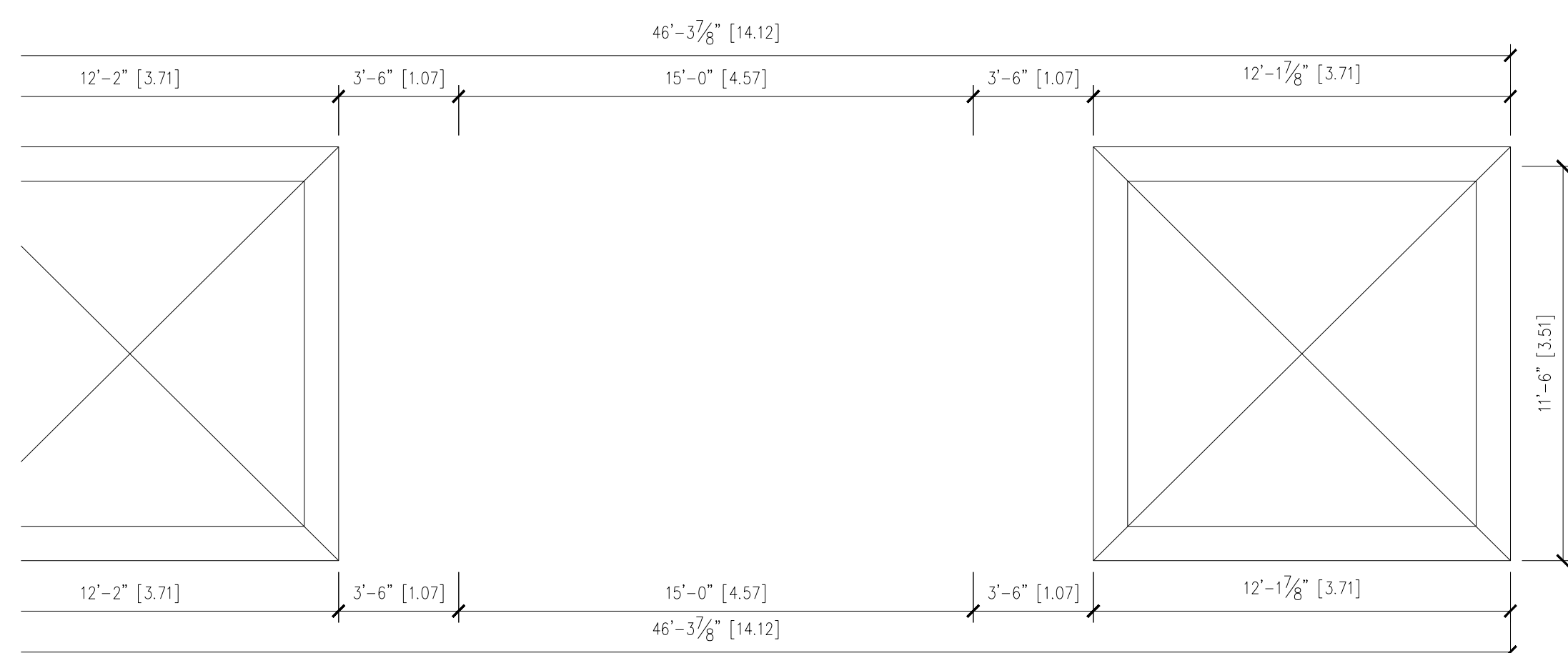
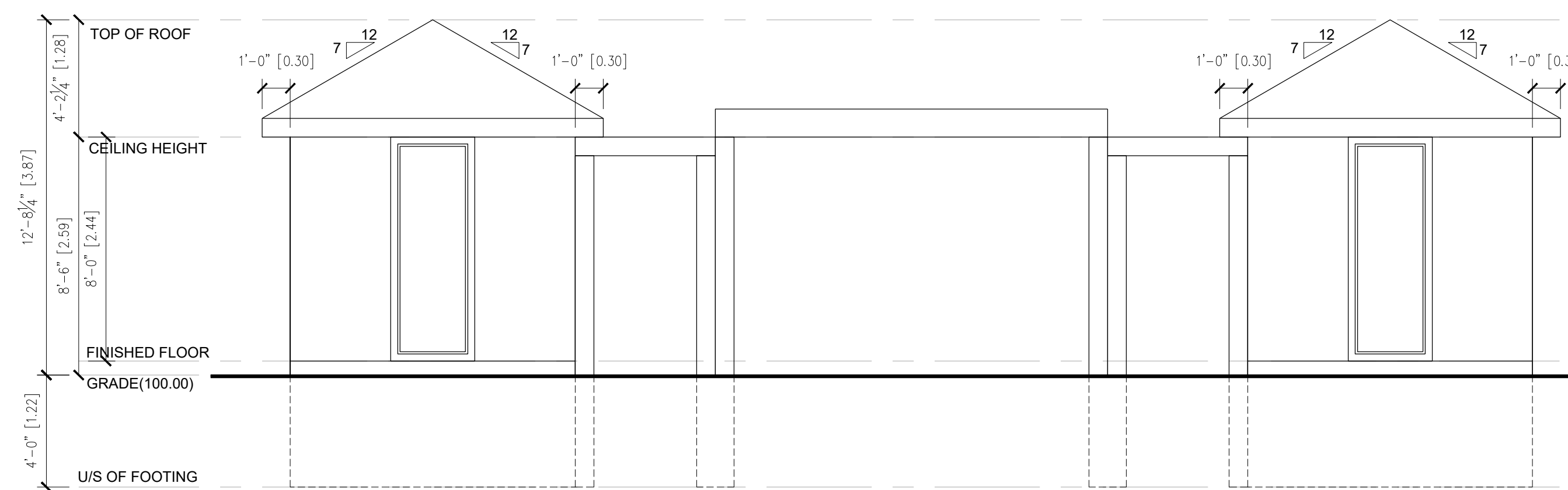
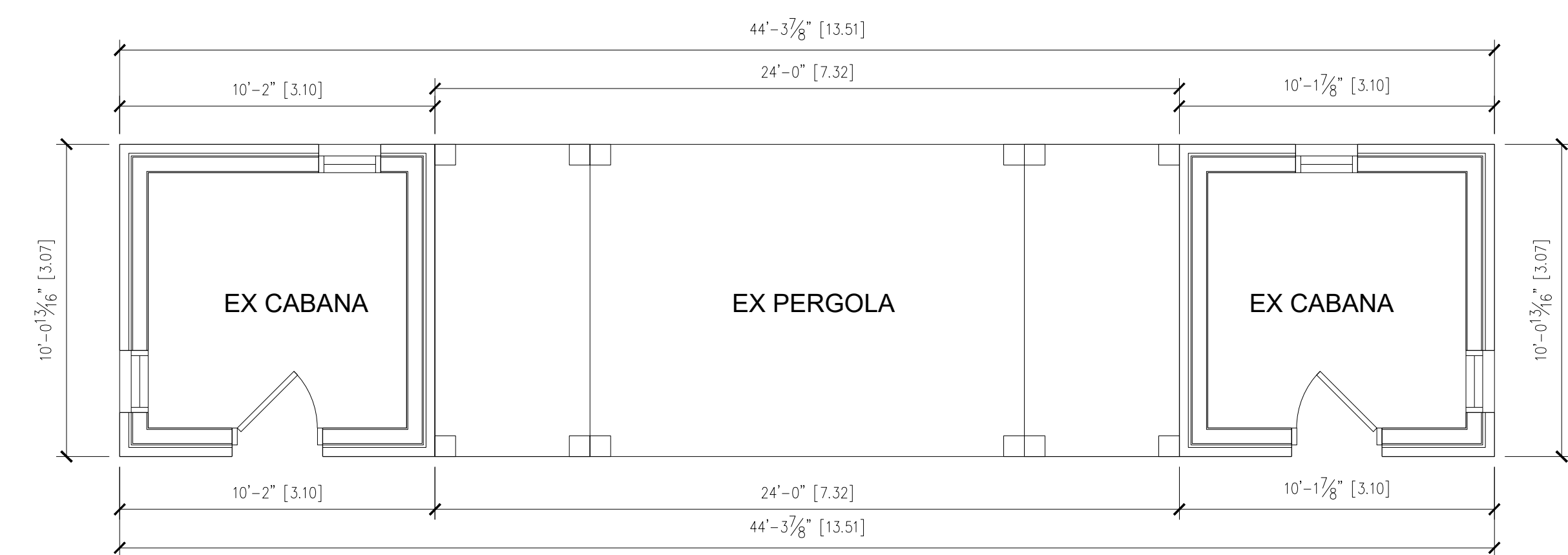
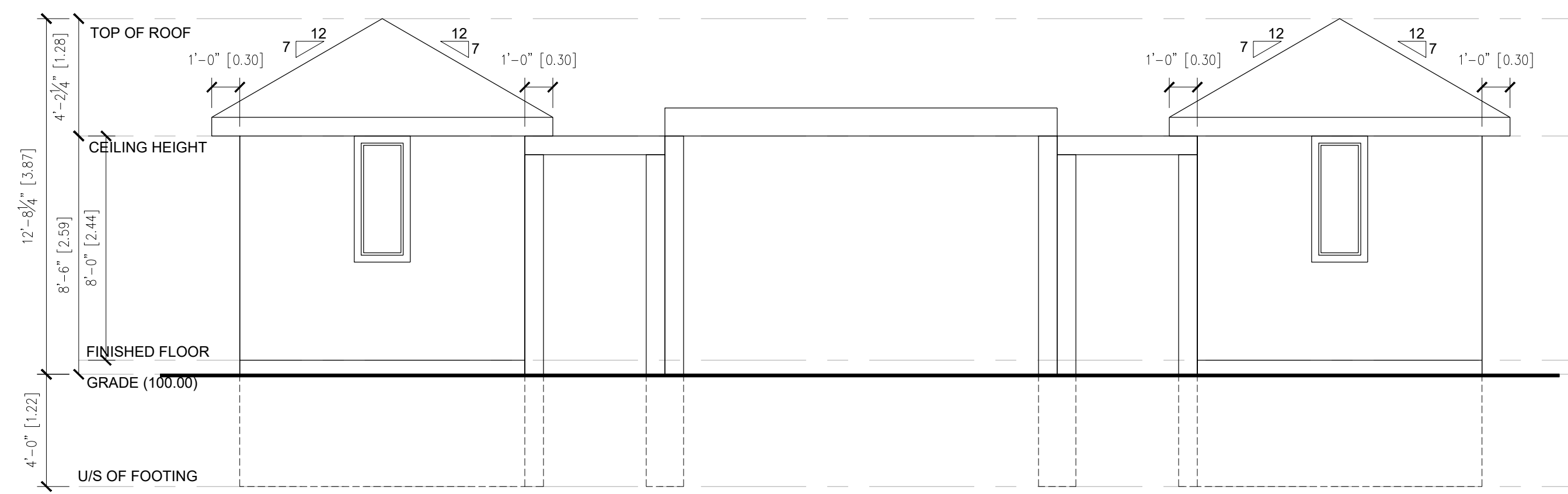
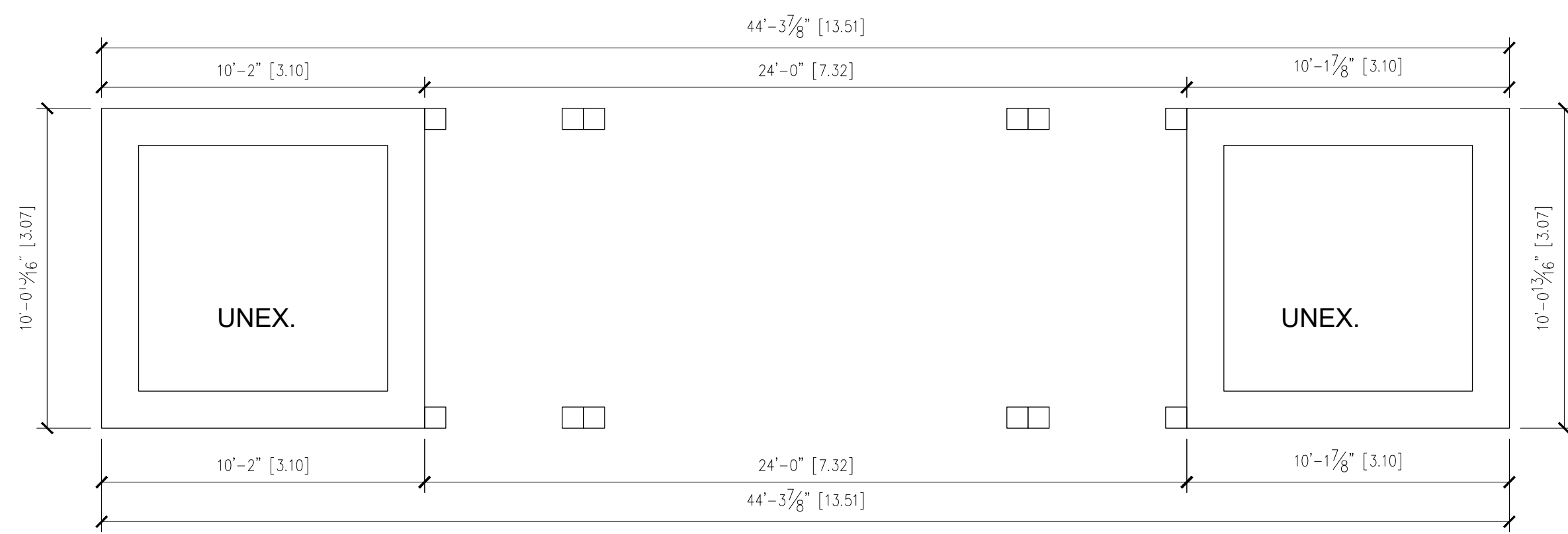
SE SCHILLER ENGINEERING
340 CHURCH ST.,
OAKVILLE, ON L6J 1P1
PHONE: 905-822-1666
EMAIL: TRAVIS@SCHILLERCO.CA

CLIENT
PRIVATE RESIDENCE

PROJECT
471 WESTRIDGE DRIVE,
VAUGHAN, ON.

PAGE
FLOOR PLAN AND ELEVATIONS

APPROVED BY: TS
DATE: NOV 2024
SCALE: 3/16"=1'-0"
PROJECT No. 2021SE318



NOTES

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SEALS

SE SCHILLER ENGINEERING LTD.
 340 CHURCH ST.,
 OAKVILLE, ON L6J 1P1
 PHONE: 905-822-1666
 EMAIL: TRAVIS@SCHILLERCO.CA

CLIENT
 PRIVATE RESIDENCE

PROJECT
 471 WESTRIDGE DRIVE,
 VAUGHAN, ON.

PAGE
 CABANA AND SHED DRAWINGS

APPROVED BY: TS
DATE: NOV 2024
SCALE: 3/16"=1'-0"
PROJECT No. 2021SE318

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: February 15th 2024

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A324-22**

Related Files:

Applicant John Burdi

Location 471 Westridge Drive



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

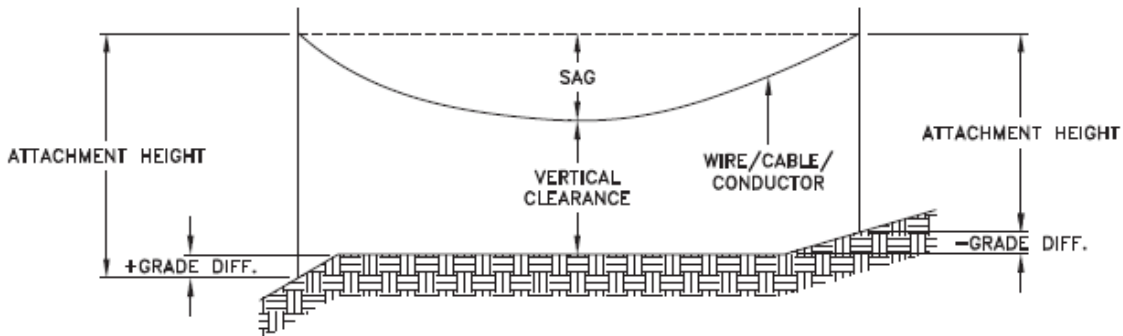
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

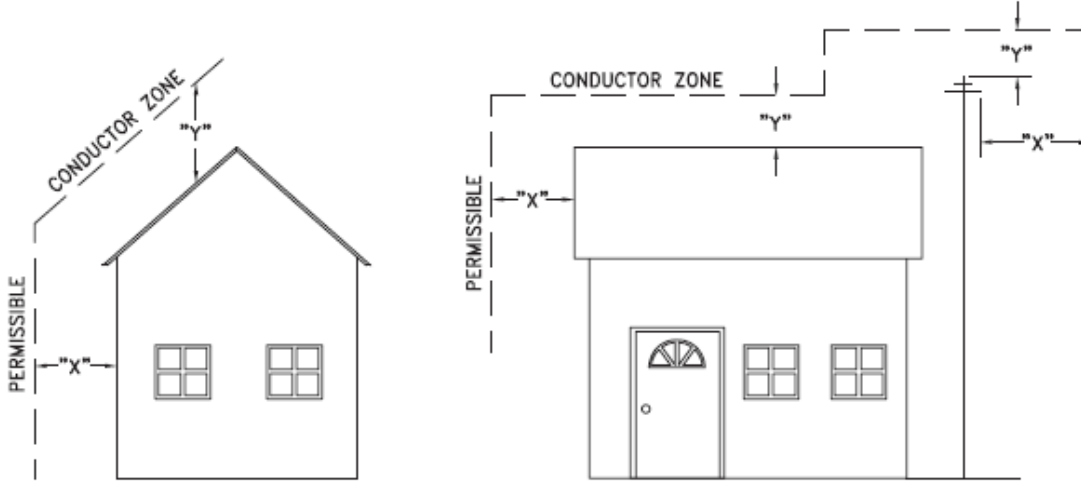
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Niloufar Youssefi, Building Standards Department
Date: January 03, 2025
Applicant: John Burdi
Location: 471 Westridge Drive,
 PLAN 65M2863 Lot 49
File No.(s): A324/22

Zoning Classification:

The subject lands are zoned R1B(EN) –First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.336 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A residential accessory structure (loggia) with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. Section 4.1.2 1b	To permit a residential accessory structure with a height greater and 2.8m to be setback a minimum of 1.73 m from the south interior side lot line.
2	The maximum permitted height of a residential accessory structure(loggia) is 3.0m . Section 4.1.4 1	To permit a maximum height of 3.2m for the residential accessory structure(loggia)
3	The maximum permitted lot coverage is 30% . Exception 14.336 T-52	To permit a maximum lot coverage of 31.2% .
4	The maximum permitted height of a residential accessory structure (pergola) is 3.0m . Section 4.1.4 1	To permit a maximum height of 3.23m for the residential accessory structure(pergola).
5	The maximum permitted driveway width for a lot with a lot frontage greater than 12.0m is 9.0m . Section 6.7.3 Table 6-11	To permit a maximum driveway width of 10.36m on a lot with a lot frontage greater than 12.0m.
6	In any Residential Zone, the maximum lot coverage of all accessory buildings and residential accessory structures excluding an accessory detached garage shall be 10% or 67.0m² , whichever is less. Section 4.1.3 2	To permit a maximum lot coverage of 129.5 m² for all residential accessory structures.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file.

Building Permit(s) Issued:

None.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development and Parks Planning
Date: January 06, 2025
Name of Owner: John Burdi
Location: 471 Westridge Drive
File No.(s): A324/22

Proposed Variance(s):

1. To permit a residential accessory structure with a height greater and 2.8 m to be setback a minimum of **1.73 m** from the south interior side lot line.
2. To permit a maximum height of **3.2 m** for the residential accessory structure (loggia)
3. To permit a maximum lot coverage of **31.2%**.
4. To permit a maximum height of **3.23 m** for the residential accessory structure (cabana).
5. To permit a maximum driveway width of **10.36 m** on a lot with a lot frontage greater than 12.0 m.
6. To permit a maximum lot coverage of **129.5 m²** for all residential accessory structures.

By-Law 001-2021 Requirement(s):

1. A residential accessory structure (loggia) with a height greater than 2.8 m shall not be located closer than **2.4 m** to any lot line.
2. The maximum permitted height of a residential accessory structure (loggia) is **3.0 m**.
3. The maximum permitted lot coverage is **30%**.
4. The maximum permitted height of a residential accessory structure (cabana) is **3.0 m**.
5. The maximum permitted driveway width for a lot with a lot frontage greater than 12.0 m is **9.0 m**.
6. In any Residential Zone, the maximum lot coverage of all accessory buildings and residential accessory structures excluding an accessory detached garage shall be 10% or **67.0 m²**, whichever is less.

Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential".

Comments:

The Owner is seeking relief to permit a loggia and a cabana in the rear yard, as well as a driveway in the front yard with the above-noted variances.

The Development and Parks Planning Department has no objections to Variances 1 and 2 to increase the maximum permitted height for the existing loggia from 3.0 m to 3.2 m and to decrease the minimum setback from 2.4 m to 1.73 m. The loggia maintains a similar setback to the north lot line as the existing dwelling. The loggia is unenclosed and is not anticipated to incur any negative massing or privacy impacts on the neighbouring property.

The Development and Parks Planning Department has no objections to Variance 4 to increase the maximum permitted height of the rear yard cabana from 3.0 m to 3.23 m. The cabana consists of two storage sheds connected by an unenclosed wood pergola. The cabana is modest in massing and complies with minimum setback provisions.

Variance 5 seeks to increase the maximum permitted driveway width from 9.0 m to 10.36 m. The driveway is approximately 7.4 m wide at the lot line and flares out to 10.36 m at its widest point to service the three-door garage. The driveway is adequately screened by a variety of vegetation in the front yard, and does not have any negative visual impacts on the public realm.

The Development and Parks Planning Department has no objections to Variances 3 and 6 to increase the maximum permitted lot coverage from 30% to 31.2% and to increase the

maximum permitted accessory structure lot coverage from 67 m² to 129.5 m². The size of the lot is adequate to support the proposed accessory structures in the rear yard while maintaining a variety of hard and soft landscaping features. The proposed structures in the rear yard can be considered appropriate for the development of the land and does not constitute an overdevelopment.

Accordingly, the Development and Parks Planning Department supports the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development and Parks Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Harry Zhao, Planner 1

Janany Nagulan, Senior Planner

Received from Planning Dept.

February 21, 2024 at 10:12pm

A324/22



Received from Planning Dept.

February 21, 2024 at 10:12pm

A324/22



Received from Planning Dept.

February 21, 2024 at 10:12pm

A324/22



Received from Planning Dept.

February 21, 2024 at 10:12pm

A324/22



Lenore Providence

Subject: FW: [External] RE: 324/22 - REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: Kristen Regier <Kristen.Regier@trca.ca>
Sent: Wednesday, February 14, 2024 3:38 PM
To: Committee of Adjustment <CofA@vaughan.ca>
Cc: Prabhdeep Kaur <Prabhdeep.Kaur@vaughan.ca>
Subject: [External] RE: 324/22 - REQUEST FOR COMMENTS, CITY OF VAUGHAN

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

The subject property at 471 Westridge Drive, Vaughan is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

Kristen Regier, MA (she / her)
Planner
Development Planning and Permits | Development and Engineering Services
Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)
E: kristen.regier@trca.ca
A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
N/A				

SCHEDULE D: BACKGROUND

Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A