

ITEM: 6.2	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER: A162/24
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Report Date: January 10, 2025

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Forestry	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
N/A				

BACKGROUND (SCHEDULE D, IF REQUIRED)

* Background Information contains historical development approvals considered to be related to this file.
This information should not be considered comprehensive.

Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
N/A	N/A

SCHEDULES

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A162/24

CITY WARD #:	1
APPLICANT:	Parul & Puneet Mehta
AGENT:	James Pfeffer, Luis Durazo & Stan Makow
PROPERTY:	38 Orico Court, Kleinburg
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential" and "Natural Areas"
RELATED DEVELOPMENT APPLICATIONS:	N/A
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a proposed dwelling and retaining well. Relief is also required to permit increased maximum driveway width.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned RE(EN) – Estate Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.574 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	For any proposed or new replacement dwelling that exceeds the existing height and is greater than 9.5 m in height, the minimum interior side yard shall be the greater (more restrictive) of b. The existing interior side yard (11.08 metres) [Section 4.5.2.b]	To permit a minimum interior side yard of 9.41 metres (south side).
2	The maximum building height shall be the least (more restrictive) of a. The requirement of the applicable zone (9.5 metres) [Section 4.5.1.a]	To permit a maximum building height of 11.81 metres.
3	A maximum encroachment of 0.6 metres is permitted for a canopy into any yard [Section 4.13, Table 4-1].	To permit a maximum encroachment of 0.99 metres for a canopy into the minimum required interior side yard (south side).
4	A retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall [Section 4.13, Table 4-1].	To permit a minimum setback of 0.62 metres for a retaining wall with a maximum height of 2.56 metres.
5	In any Residential Zone, the maximum height of a residential accessory structure shall be 3.0 m [Section 4.1.4.1].	To permit a maximum height of 3.90 metres for a residential accessory structure.
6	In a Residential Zone, the maximum driveway width of a driveway shall be 9.0 metres for a lot with a Lot Frontage of 12.0 metres or greater [Table 6-11].	To permit a maximum driveway width of 9.45 metres.

HEARING INFORMATION

DATE OF MEETING: Thursday, January 16, 2025

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive

LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

HEARING INFORMATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

That the general intent and purpose of the by-law will be maintained.

That the general intent and purpose of the official plan will be maintained.

That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.

That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	December 23, 2024
Date Applicant Confirmed Posting of Sign:	December 31, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	For the house to serve the needs of the owners as well as to be in keeping with current construction parameters (similar homes) on the street.
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
None	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING

Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
The proposed residence can increase to the existing storm drainage flows having adverse effects on the neighbour's property. The Owner / Applicant shall ensure that positive drainage is achieved and	

DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

that no surface drainage problems are created on adjacent private or public lands because of the construction in accordance with the City's Engineering standards. It's important note that any residential infill necessitates a Grading Permit. Once the Grading Permit is obtained, please reach out to the Development Engineering Reviewer to clear the Condition imposed on this application. The Owner / Applicant shall apply for a Pool Grading Permit with the Development Engineering (DE) Department. Please visit the grading permits page at City of Vaughan website to learn how to apply for the Pool Permit. If you have any question about Pool Grading Permit, please contact the Development Engineering Department through email at DEPermits@vaughan.ca. The Development Engineering Department does not object to the Minor Variance application A162/24, subject to the following condition(s):

Development Engineering Recommended Conditions of Approval:

1. The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: [Permits | City of Vaughan](#) to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
2. The Owner/Applicant shall initiate the relocation or upgrade of service connections by reaching out to the Development Inspection and Grading Department at serviceconnections@vaughan.ca or by requesting a cost estimate through the Service Request Form. The Service Request Form can be accessed in the Vaughan website at <https://www.vaughan.ca/about-city-vaughan/departments/development-engineering/service-connections>. The completed form should be accompanied by the final Lot Grading and Servicing Plan and sent via email at serviceconnections@vaughan.ca. The Owner/Applicant is responsible with covering all associated fees, including administration charges upon confirmation of the service connection estimates for the installation of necessary services. The service connection application process typically takes 4-6 weeks, so the Owner/Applicant is encouraged to allow sufficient time for the entire procedure to be completed.

PARKS, FORESTRY & HORTICULTURE (PFH)

Recommended conditions of approval listed below:

PFH Recommended Conditions of Approval:

Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to any construction works on the subject property.

DEVELOPMENT FINANCE

No comment no concerns

Development Finance Recommended Conditions of Approval:

None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date.

BCLPS Recommended Conditions of Approval:

None

BUILDING INSPECTION (SEPTIC)

No comments received to date.

Building Inspection Recommended Conditions of Approval:

None

FIRE DEPARTMENT

No comments received to date.

FIRE DEPARTMENT

Fire Department Recommended Conditions of Approval:

None

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Engineering Rex.bondad@vaughan.ca	<ol style="list-style-type: none"> 1. The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca 2. The Owner/Applicant shall initiate the relocation or upgrade of service connections by reaching out to the Development Inspection and Grading Department at serviceconnections@vaughan.ca or by requesting a cost estimate through the Service Request Form. The Service Request Form can be accessed in the Vaughan website at https://www.vaughan.ca/about-city-vaughan/departments/development-engineering/service-connections. The completed form should be accompanied by the final Lot Grading and Servicing Plan and sent via email at serviceconnections@vaughan.ca. The Owner/Applicant is responsible with covering all associated fees, including administration charges upon confirmation of the service connection estimates for the installation of necessary services. The service connection application process typically takes 4-6 weeks, so the Owner/Applicant is encouraged to allow sufficient time for the entire procedure to be completed.
2	Parks, Forestry and Horticulture Operations zachary.quizzetti@vaughan.ca	Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to any construction works on the subject property.
3	TRCA Cameron.McDonald@trca.ca	<ol style="list-style-type: none"> 1. That the applicant provides the required fee amount of \$120.00 payable to the Toronto and Region Conservation Authority. 2. That the applicant obtains a permit for the proposed works pursuant to Ontario Regulation 41/24.

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

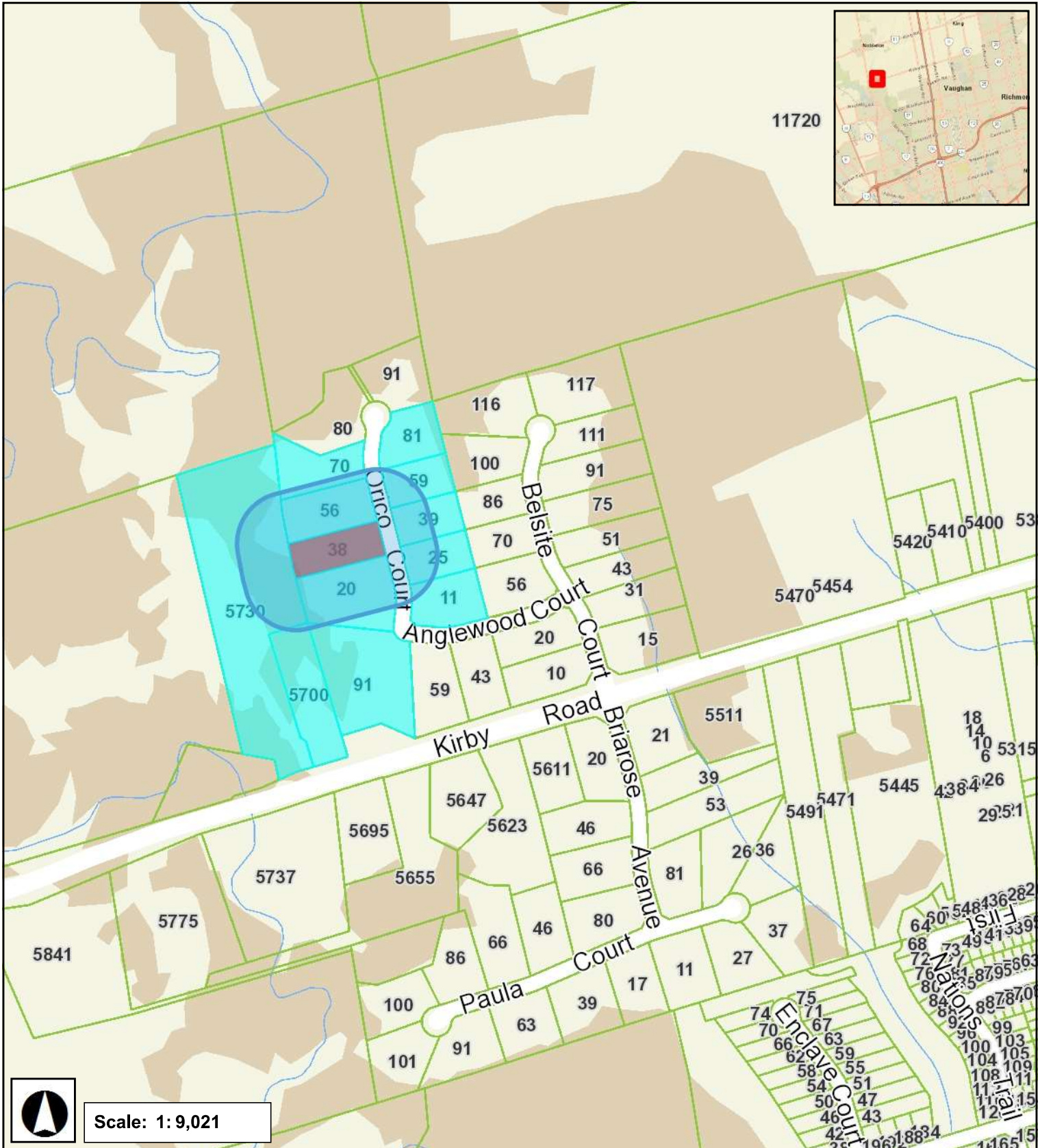
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



Site Statistics

Address: 38 Orico Court
Legal Description: Lot 9, Registered Plan 65M-3126 **Ward:** Maple / Kleinburg - Ward 1
Zoning: RE - Estate Residential Zone (Exception 574) **Zoning Designation:** Residential

Lot Area:	57090.93	ft ²	=	5303.92	m ²
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Frontage / Part Frontage					
Minimum Required	147.64	ft	=	45.00	m
Proposed (existing)	147.64	ft	=	45.00	m

Lot Coverage						
BY-LAW NO. 001-2021						
Allowable (N/A: Coverage not limited by bylaw)	N/A	ft ²	=	N/A	m ²	N/A (of lot area)
Proposed (F+D)	6804.22	ft ²	=	632.13	m ²	11.92% Above grade, as read in by-law.
BY-LAW 1-88						
Allowable	5709.09	ft ²	=	530.39	m ²	10.00% (of lot area)
Proposed						
A House	5215.00	ft ²	=	484.49	m ²	
B Cabana Enclosed	130.50	ft ²	=	12.12	m ²	
C Cabana Open Covered Area	428.72	ft ²	=	39.83	m ²	
D Cabana Total	559.22	ft ²	=	51.95	m ²	
Total (A+D)	5774.22	ft²	=	536.44	m²	10.11% Above ground level, as read in by-law.

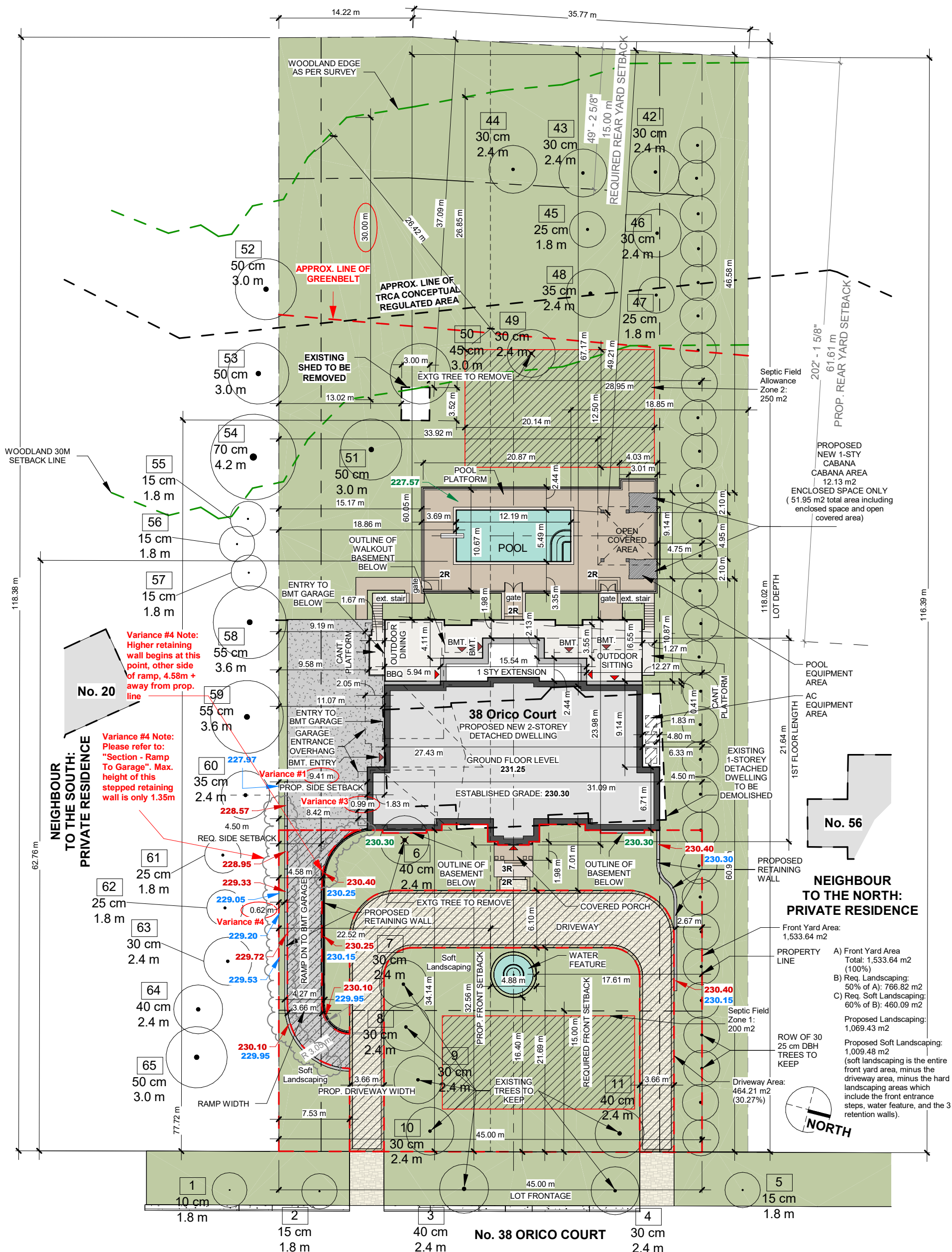
Gross Floor Area (GFA)						
F Finished Basement (Includes Parking)	6245.00	ft ²	=	580.18	m ²	(excluded from GFA)
G Parking (Basement)	1319.22	ft ²	=	122.56	m ²	(excluded from GFA)
H Ground Floor Level	5215.00	ft ²	=	484.49	m ²	Excludes Double-Height Voids
I 2nd Level	4454.00	ft ²	=	413.79	m ²	Excludes Double-Height Voids
J Ground Floor Level Voids Only (For Reference)	306.09	ft ²	=	28.44	m ²	(Elev. Shaft, Main Stair Opening, Garden Room Opening)
K 2nd Level Voids Only (For Reference)	488.38	ft ²	=	45.37	m ²	(Family Room Opening, Atrium Opening)
Total GFA (H+I)	9669.00	ft²	=	898.28	m²	16.94% (of lot area)

Height						
BY-LAW NO. 001-2021						
Allowable	31.17	ft	=	9.50	m	From est. grade to roof peak.
Proposed	38.75	ft	=	11.81	m	
BY-LAW 1-88						
Allowable (Sloped Roof)	31.17	ft	=	9.50	m	From est. grade to roof peak.
Proposed (Sloped Roof)	38.75	ft	=	11.81	m	
Geodetic Elevations						
Top of Roof	794.32	ft	=	242.11	m	
Mid Point of Roof	788.22	ft	=	240.25	m	
CL Road at CL Lot	755.31	ft	=	230.22	m	
Established Grade	755.58	ft	=	230.30	m	

Building Length						
Allowable	N/A	ft	=	N/A	m	
Proposed	78.67	ft	=	23.98	m	(measured to basement extension)

Minimum Required Setbacks						
Front						
Minimum Required	49.21	ft	=	15.00	m	
Proposed	106.82	ft	=	32.56	m	
Interior Side (North)						
Minimum Required	14.76	ft	=	4.50	m	
Proposed	14.76	ft	=	4.50	m	
Interior Side (South)						
Minimum Required	36.35	ft	=	11.08	m	
Proposed	30.87	ft	=	9.41	m	Variance #1
Rear						
Minimum Required	49.21	ft	=	15.00	m	
Proposed	202.13	ft	=	61.61	m	

ABUTTING WEST:
GREENBELT LANDS



Variance #4 Note:
Higher retaining wall begins at this point, other side of ramp, 4.58m + away from prop. line

Variance #4 Note:
Please refer to: "Section - Ramp To Garage". Max. height of this stepped retaining wall is only 1.35m

**NEIGHBOUR TO THE SOUTH:
PRIVATE RESIDENCE**

**NEIGHBOUR TO THE NORTH:
PRIVATE RESIDENCE**

Front Yard Area:
1,533.64 m²

PROPERTY LINE

A) Front Yard Area
Total: 1,533.64 m²
(100%)

B) Req. Landscaping:
50% of A): 766.82 m²

C) Req. Soft Landscaping:
60% of B): 460.09 m²

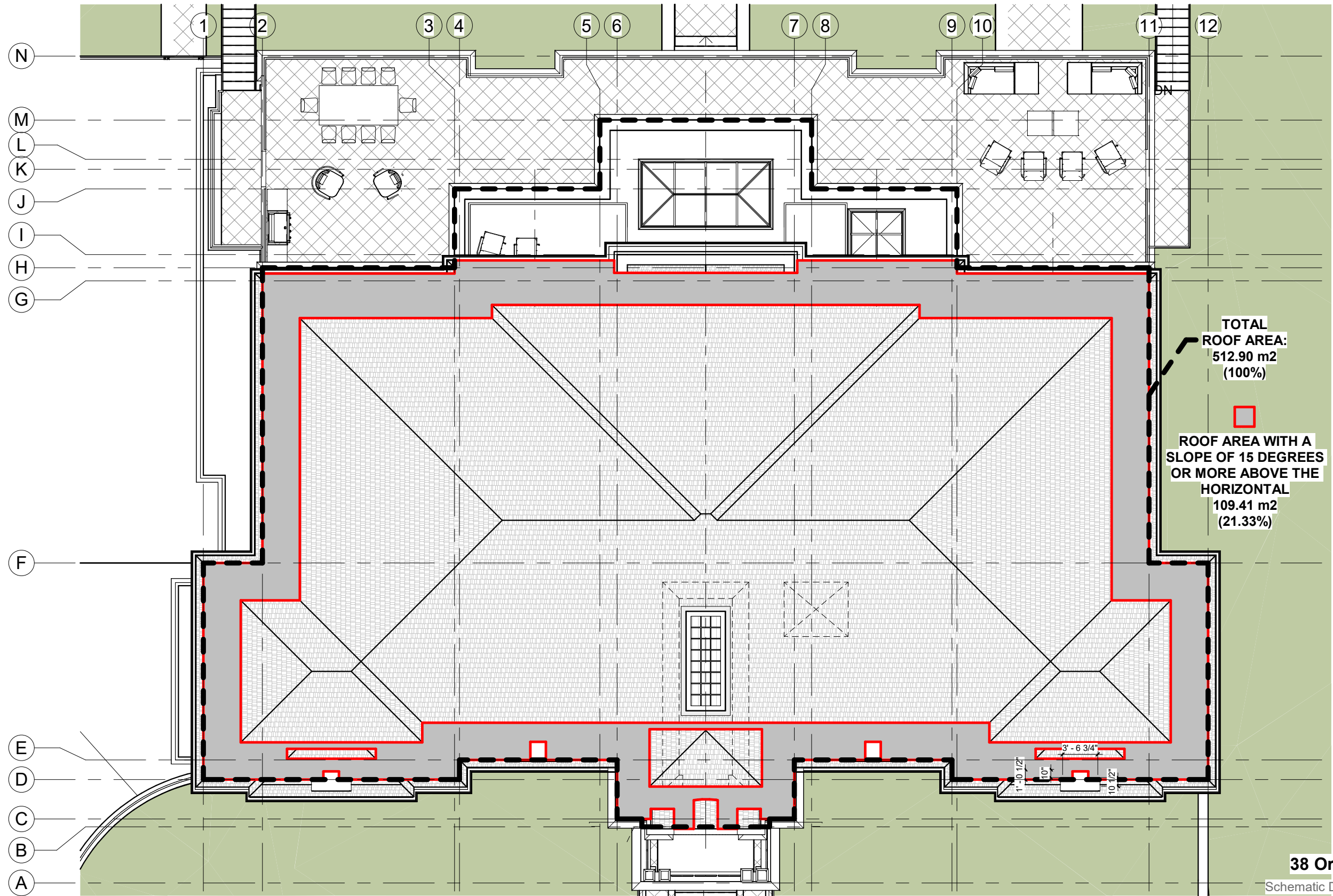
Proposed Landscaping:
1,069.43 m²

Proposed Soft Landscaping:
1,009.48 m²
(soft landscaping is the entire front yard area, minus the hard landscaping areas which include the front entrance steps, water feature, and the 3 retention walls).

Septic Field Zone 1:
200 m²

Driveway Area:
464.21 m²
(30.27%)

ROW OF 30
25 cm DBH
TREES TO
KEEP



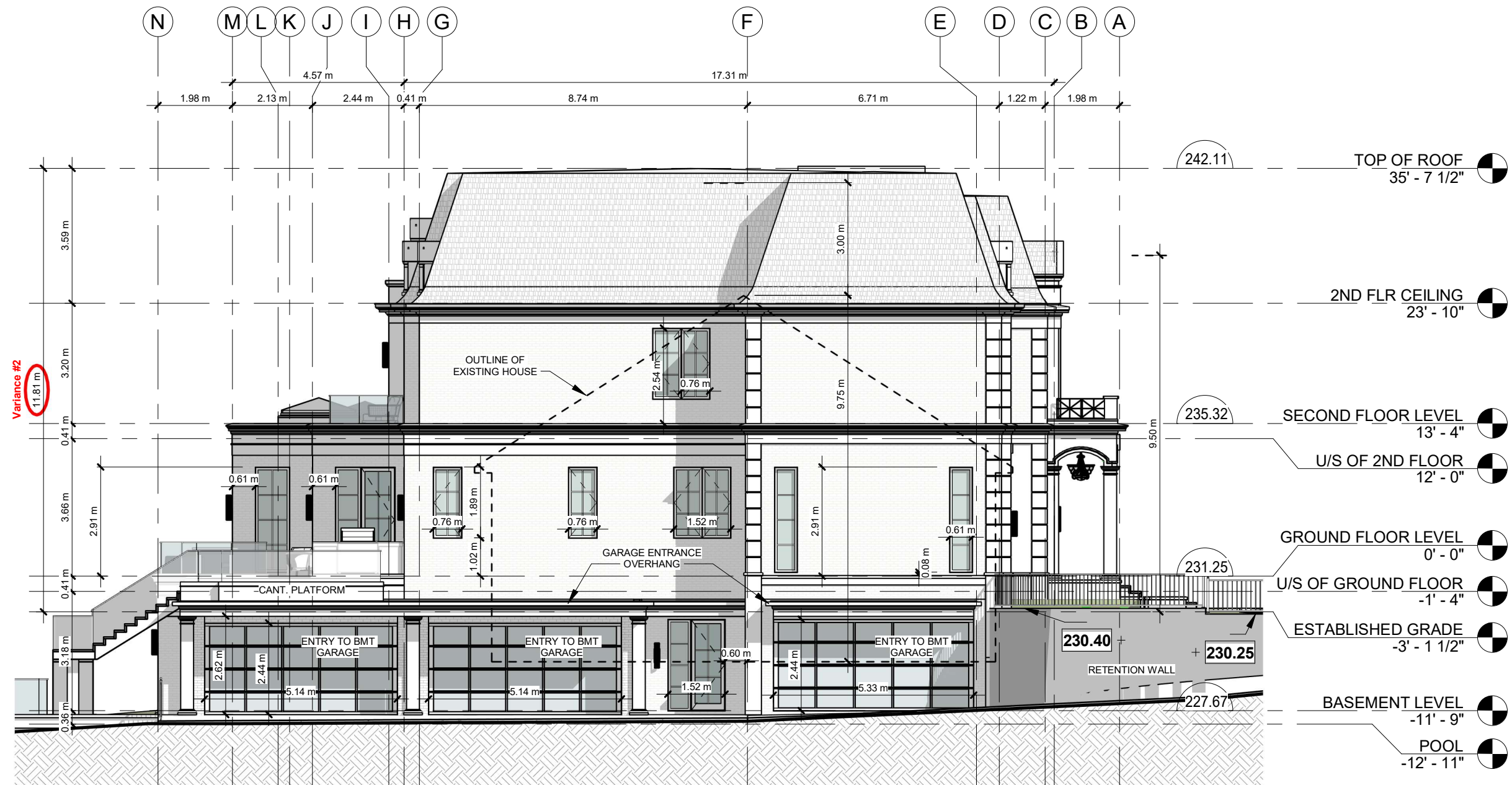
**TOTAL
ROOF AREA:**
512.90 m²
(100%)

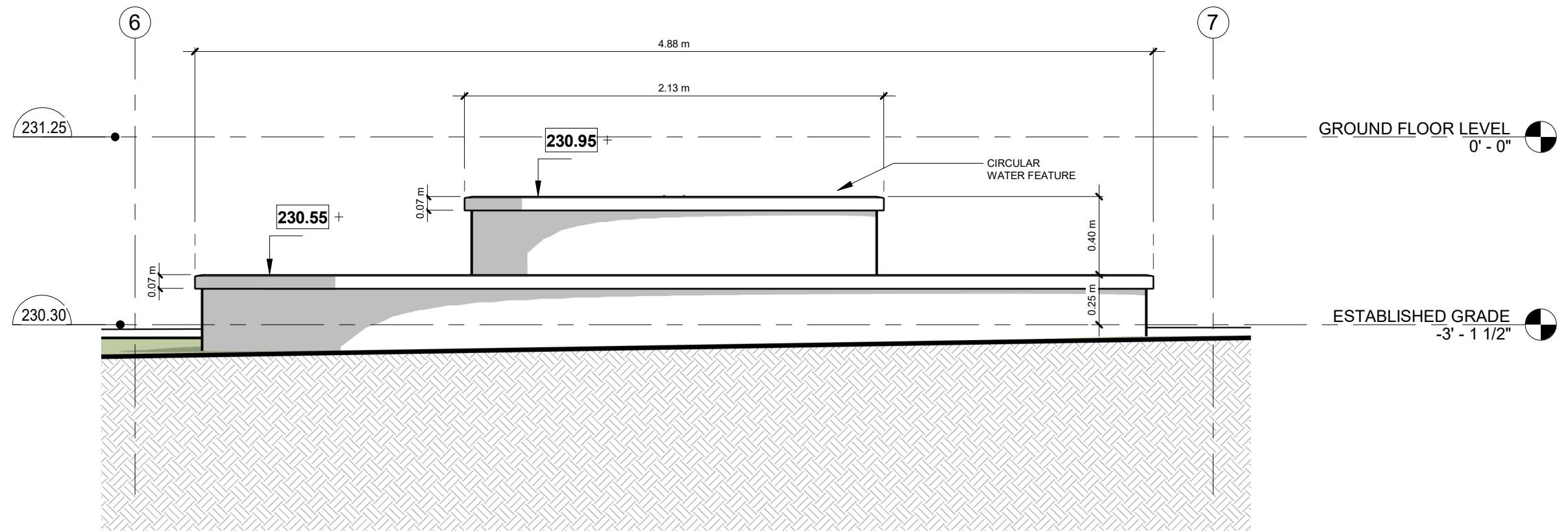
**ROOF AREA WITH A
SLOPE OF 15 DEGREES
OR MORE ABOVE THE
HORIZONTAL**
109.41 m²
(21.33%)

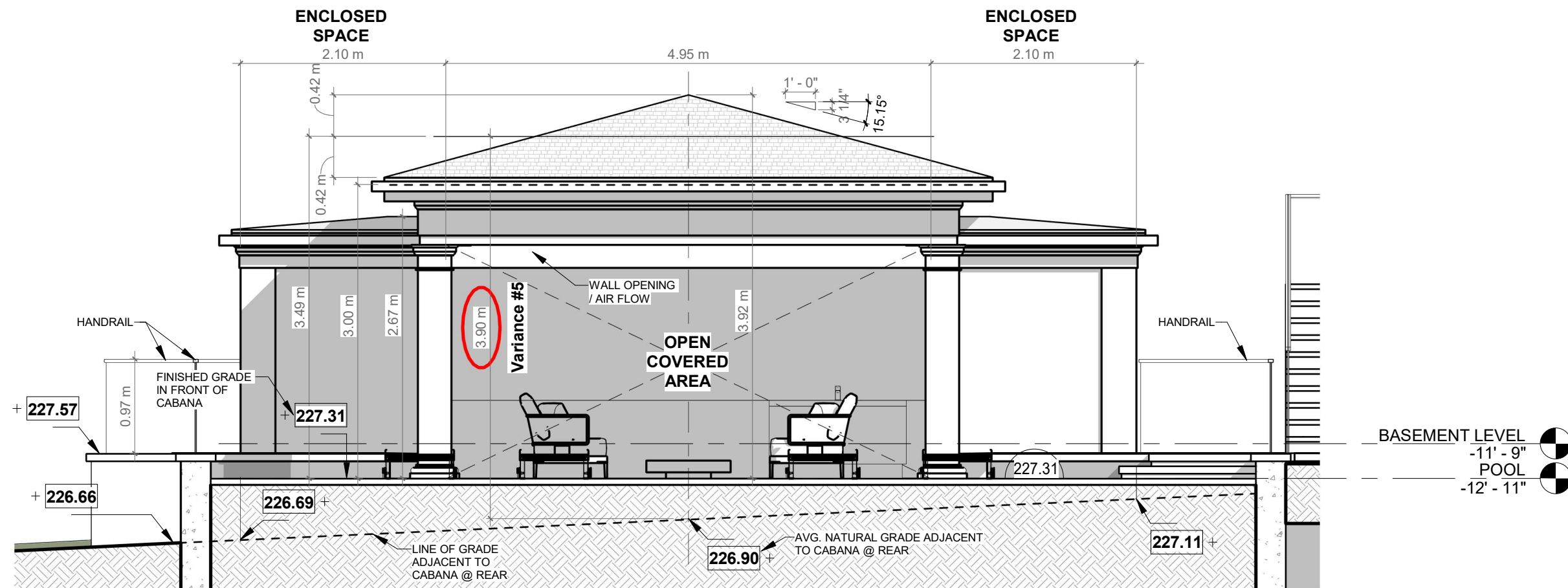












SCALE: 1:50



MAKOW ASSOCIATES
ARCHITECT INC.

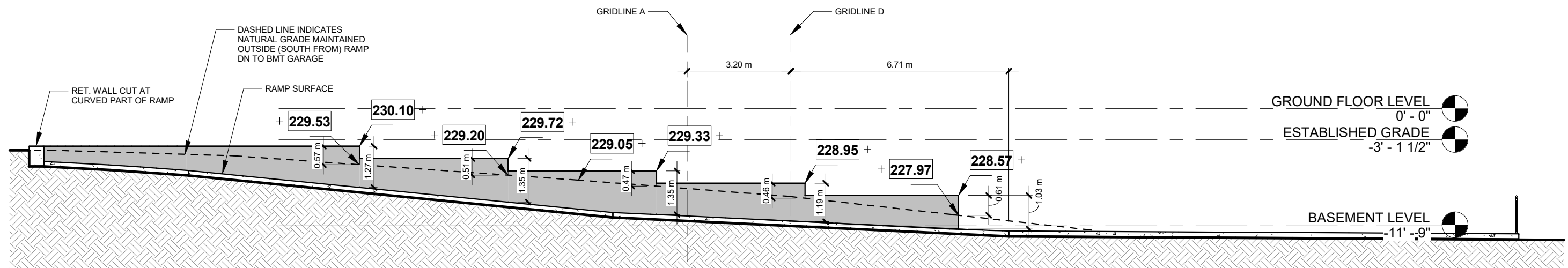
95 St. Clair Avenue West, Suite 306, Toronto, Ontario Canada M4V 1N7 TEL (416) 944 - 3510 FAX (416) 944 - 3512

38 Orico Court

Schematic Design Phase

CABANA FRONT ELEVATION

2024-12-23 3:22:18 PM



SCALE 1:125

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions

Date: October 17th 2024

Attention: **Christine Vigneault**

RE:

File No.: **A162-24**

Related Files:

Applicant Makow Associates Architect Inc.

Location 38 Orico Court



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

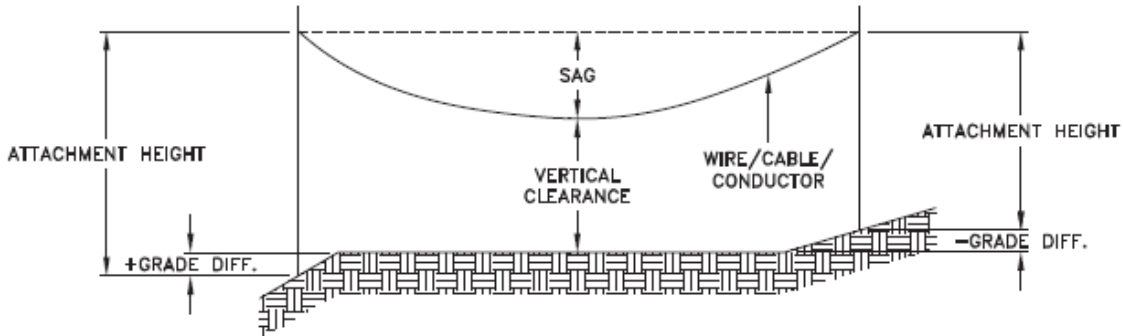
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Lindsay Haviland, Building Standards Department
Date: December 20, 2024
Applicant: Makow Associates Architect Inc.
Location: 38 Orico Court
 PLAN 65M3126 Lot 9
File No.(s): A162/24

Zoning Classification:

The subject lands are zoned RE(EN) – Estate Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.574 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	For any proposed or new replacement dwelling that exceeds the existing height and is greater than 9.5 m in height, the minimum interior side yard shall be the greater (more restrictive) of b. The existing interior side yard (11.08 metres) [Section 4.5.2.b]	To permit a minimum interior side yard of 9.41 metres (south side).
2	The maximum building height shall be the least (more restrictive) of a. The requirement of the applicable zone (9.5 metres) [Section 4.5.1.a]	To permit a maximum building height of 11.81 metres.
3	A maximum encroachment of 0.6 metres is permitted for a canopy into any yard [Section 4.13, Table 4-1].	To permit a maximum encroachment of 0.99 metres for a canopy into the minimum required interior side yard (south side).
4	A retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall [Section 4.13, Table 4-1].	To permit a minimum setback of 0.62 metres for a retaining wall with a maximum height of 2.56 metres.
5	In any Residential Zone, the maximum height of a residential accessory structure shall be 3.0 m [Section 4.1.4.1].	To permit a maximum height of 3.90 metres for a residential accessory structure.
6	In a Residential Zone, the maximum driveway width of a driveway shall be 9.0 metres for a lot with a Lot Frontage of 12.0 metres or greater [Table 6-11].	To permit a maximum driveway width of 9.45 metres.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m²

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

2	The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).
3	The subject lands are located within the Greenbelt.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development and Parks Planning
Date: January 07, 2025
Name of Owners: Puneet Mehta, Parul Mehta
Location: 38 Orico Court
File No.(s): A162/24

Proposed Variance(s):

1. To permit a minimum south interior side yard of **9.41 m**.
2. To permit a maximum building height of **11.81 m**.
3. To permit a maximum encroachment of **0.99 m** for a canopy into the minimum required south interior side yard.
4. To permit a minimum setback of **0.62 m** for a retaining wall with a maximum height of **2.56 m**.
5. To permit a maximum height of **3.90 m** for a residential accessory structure.
6. To permit a maximum driveway width of **9.45 m**.

By-Law 001-2021 Requirement(s):

1. For any proposed or new replacement dwelling that exceeds the existing height and is greater than 9.5 m in height, the minimum interior side yard shall **11.08 m**.
2. The maximum building height shall be **9.5 m**.
3. A maximum encroachment of **0.6 m** is permitted for a canopy into any yard.
4. A retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall.
5. In any Residential Zone, the maximum height of a residential accessory structure shall be **3.0 m**.
6. In a Residential Zone, the maximum driveway width of a driveway shall be **9.0 m** for a lot with a Lot Frontage of 12.0 m or greater.

Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential" and "Natural Areas"

Comments:

The Owner is seeking relief to permit a new detached dwelling with a rear yard cabana with the above-noted variances.

The Development and Parks Planning Department has no objections to Variances 1 and 3 to decrease the minimum south interior side yard from 11.08 m to 9.41 m and to increase the maximum permitted encroachment of a garage overhang into the south interior side yard from 0.6 m to 0.99 m. The 9.41 m setback is measured to a portion of the south dwelling wall that is bumped out at the front dwelling. The remaining south dwelling wall is setback 11.07 m from the lot line. The proposed side yard setback is sufficient to accommodate a private driveway and garage entrance. The reduced setback and increased encroachment are not anticipated to incur negative massing impacts on the property to the south and are considered minor in nature.

The Development and Parks Planning Department has no objections to Variance 2 to increase the maximum permitted height of the dwelling from 9.5 m to 11.81 m. The proposed detached dwelling has a mansard roof and is proposed to be set back 32.56 m from the front lot line. The dwelling maintains sufficient spatial separation from the street frontage and is not anticipated to have visual impacts on the public realm. As such, the requested height variance is minor in nature and the proposed dwelling mass maintains the general character of the large lot neighbourhood.

The Development and Parks Planning Department has no objections to Variance 4 to reduce the setback of the retaining wall, 2.56 m in height, from 2.56 m to 0.62 m. The retaining wall is located between the south lot line and the proposed private driveway. The driveway is located on a slope and the retaining wall is required for grading purposes. The intent of the setback provision is to ensure sufficient spatial separation between retaining

walls and neighbouring properties and to minimize massing and safety concerns. As the grade is higher on the south side of the retaining wall than the north side, the mass of the retaining wall is not anticipated to be perceptible from lot to the south. The proposed retaining wall meets the intent of the setback provision. Development Engineering staff have also reviewed the retaining wall and do not have any concerns.

The Development and Parks Planning Department has no objections to Variance 5 to increase the rear yard cabana height from 3.0 m to 3.90 m. The cabana consists of two storage sheds connected by an unenclosed covered area. The cabana is modest in massing and complies with minimum setback and lot coverage provisions. The proposed cabana will be screened by a row of existing coniferous trees to the north, and is not anticipated to negatively impact the lot to the north.

The Development and Parks Planning Department has no objections to Variance 6 to increase the maximum permitted driveway width from 9.0 m to 9.45 m. The proposed dwelling is serviced by a circular driveway that is 9.45 m at its widest point. The driveway is adequately screened by a variety of vegetation in the front yard, and does not have any negative visual impacts on the public realm.

Environmental Planning staff have reviewed the proposal and are satisfied that no proposed development is located within the Greenbelt Plan area or within 30 m of any significant woodland features located on the Subject Lands.

Accordingly, the Development and Parks Planning Department supports the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development and Parks Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Harry Zhao, Planner 1
Janany Nagulan, Senior Planner

October 22, 2024

PER-DPP-2024-00332

SENT BY E-MAIL: Christine.Vigneault@vaughan.ca

Christine Vigneault
Secretary Treasurer
Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

Dear Christine:

**Re: Minor Variance Application A162/24
Lot 9, Plan 65M3129
38 Orico Court
City of Vaughan, Region of York
Applicant: Makow Associates Architect Inc.**

This letter acknowledges receipt of the above-noted application circulated by the City of Vaughan. The materials were received by Toronto and Region Conservation Authority (TRCA) on October 16, 2024. TRCA staff have reviewed the application and offer the following comments for the consideration of the Committee of Adjustment.

Purpose of the Application

It is our understanding that the purpose of the above noted application is to request the following variance under By-Law 001-2021:

By-Law 001-2021:

- To permit an interior side yard of 9.41 metres (south side);
- To permit an interior side yard of 9.58 metres (to uncovered platform and stairs – south side);
- To permit a maximum height of 11.81 metres; and,
- To permit a retaining wall to be setback a minimum of 0.62 metres from the south side lot line.

The noted variance is being requested to facilitate the construction of a two-storey replacement residential dwelling.

Ontario Regulation 41/24

A portion of the subject property is located within TRCA's Regulated Area as it is adjacent to a Valley Corridor, associated with a tributary of the Humber River Watershed. In accordance with

Ontario Regulation 41/24, development, interference or alteration may be permitted in the Regulated Area where it can be demonstrated to TRCA's satisfaction that the control of flooding, erosion, dynamic beaches, unstable soils, or bedrock will not be affected.

Application-Specific Comments

Based on a review of the plans submitted with this application, staff have no concerns with the variances requested under By-law 001-2021, as the proposed two-storey dwelling is located outside of TRCA's Regulated Area.

The applicant is proposing a septic field at the rear of the subject property, where a portion is within TRCA's Regulated Area. As such, a permit is required in accordance with Ontario Regulated 41/24.

If additional approvals beyond this Minor Variance is required for this property, please circulate the details to TRCA for review.

Fees

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$120.00 (Screening Letter – Residential / Minor Projects) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

Recommendations

Based on the comments noted above, TRCA has **no objection** to the approval of Minor Variance Application A162/24 subject to the following conditions:

1. That the applicant provides the required fee amount of \$120.00 payable to the Toronto and Region Conservation Authority.
2. That the applicant obtains a permit for the proposed works pursuant to Ontario Regulation 41/24.

We trust these comments are of assistance. Should you have any questions, please contact me at 437-880-1925 or at cameron.mcdonald@trca.ca

Sincerely,

Cameron McDonald

Cameron McDonald
Planner I
Development Planning and Permits

From: [Development Services](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A162/24 - 38 ORICO COURT - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Thursday, October 24, 2024 5:16:42 PM
Attachments: [image001.png](#)
[image003.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

The Regional Municipality of York has completed its review of the minor variance application – A162/24 (38 ORICO COURT) and has no comment.

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Planning | Economic and Development Services Branch | Corporate Services Department

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
N/A				

SCHEDULE D: BACKGROUND

Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A