

ITEM: 6.4	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER: A182/24
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Report Date: January 10, 2025

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
By-law & Compliance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Forestry	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
<p>All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.</p>				
Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
N/A				

BACKGROUND (SCHEDULE D, IF REQUIRED)	
<p><small>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</small></p>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

ADJOURNMENT HISTORY	
<small>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</small>	
Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A182/24

CITY WARD #:	2
APPLICANT:	Matthew Garisto
AGENT:	Gabriel Frasson (Moretto Design)
PROPERTY:	69 Hurricane Avenue, Woodbridge
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential".
RELATED DEVELOPMENT APPLICATIONS:	N/A
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a cabana and existing shed in the rear yard.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R2A (EN) - Second Density Residential Zone (Established Neighbourhood) under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 m [Section 4.1.4.1.].	To permit a maximum height of 3.6 m for an accessory structure (Cabana).
2	A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line [Section 4.1.2.1.b.].	To permit the accessory structure (Cabana) with a height greater than 2.8 m to be located a minimum of 1.37 m from rear lot line.
3	A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line [Section 4.1.2.1.b.].	To permit the accessory structure (Cabana) with a height greater than 2.8 m to be located a minimum of 2.24 m from interior side lot line.
4	A minimum interior side yard of 1.2 m is required from the interior side yard to the existing accessory structure (shed) [Table 7-4]. See note #1 below.	To permit the accessory structure (Existing Shed) to be located a minimum of 0.51 m from interior side lot line.

HEARING INFORMATION

DATE OF MEETING: Thursday, January 16, 2025
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

HEARING INFORMATION

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	December 20, 2024
Date Applicant Confirmed Posting of Sign:	December 31, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	The structure has already been partially built
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
N/A	
Committee of Adjustment Recommended Conditions of Approval:	N/A

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

The Owner / Applicant shall ensure that the proposed wellness retreat does not negatively impact neighbours due to surface water runoff. The property should be properly graded, ensuring that surface water from the new residence doesn't flow onto adjacent lots in accordance with the City's Engineering Standards. It's important to note that new infill residences necessitate a Grading Permit. Once the Grading Permit is obtained, please reach out to the Development Engineering Reviewer to clear the Condition imposed on this application. The Development Engineering Department does not object to the Minor Variance application A182/24, subject to the following condition(s):

Development Engineering Recommended Conditions of Approval:	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
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PARKS, FORESTRY & HORTICULTURE (PFH)

Forestry has no comments at this time.

PFH Recommended Conditions of Approval:	None
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DEVELOPMENT FINANCE

No comment no concerns

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

no comments

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC)

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT

No comments received to date.

Fire Department Recommended Conditions of Approval:	None
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RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Engineering Rex.bondad@vaughan.ca	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

IMPORTANT INFORMATION

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

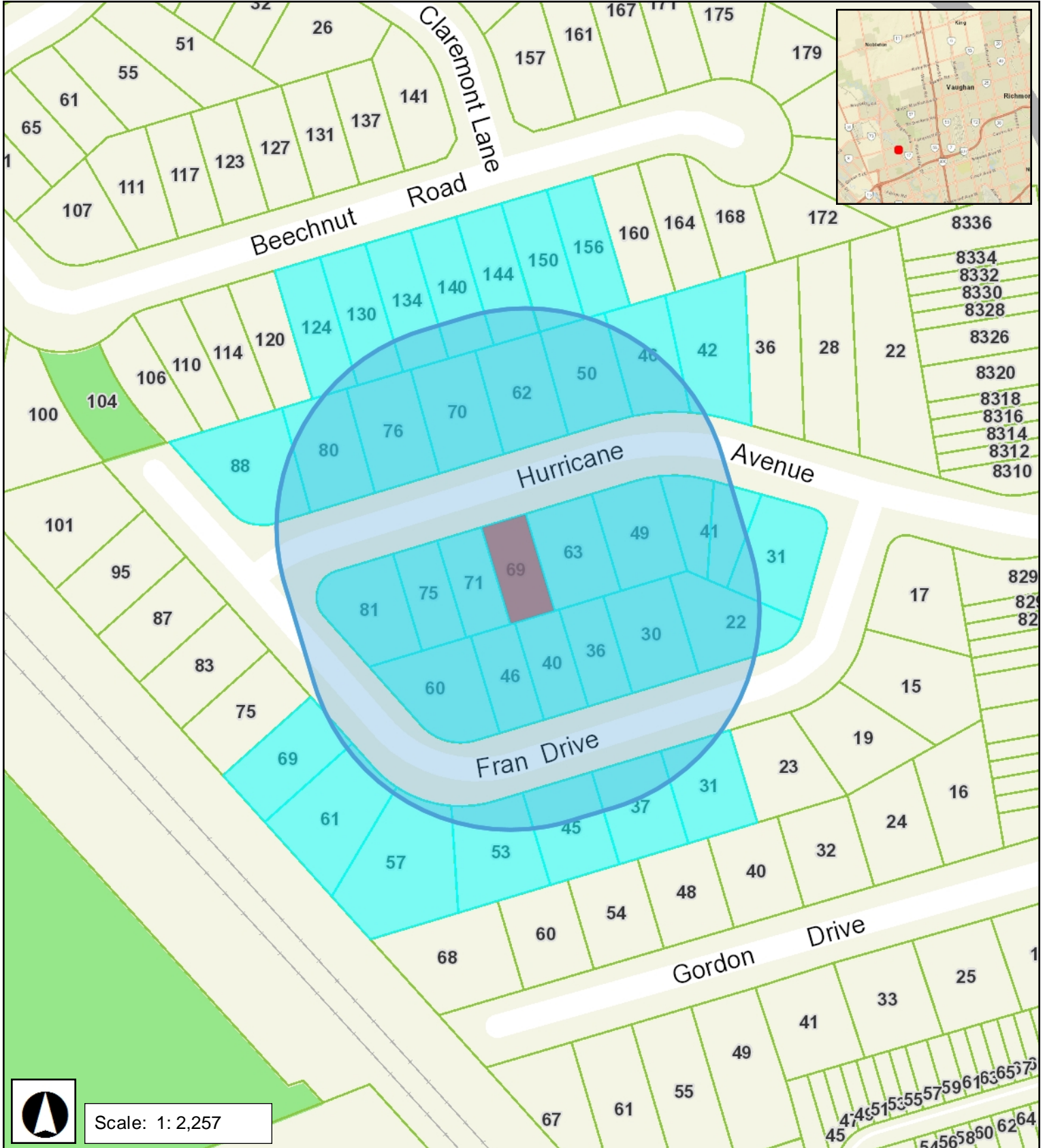
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

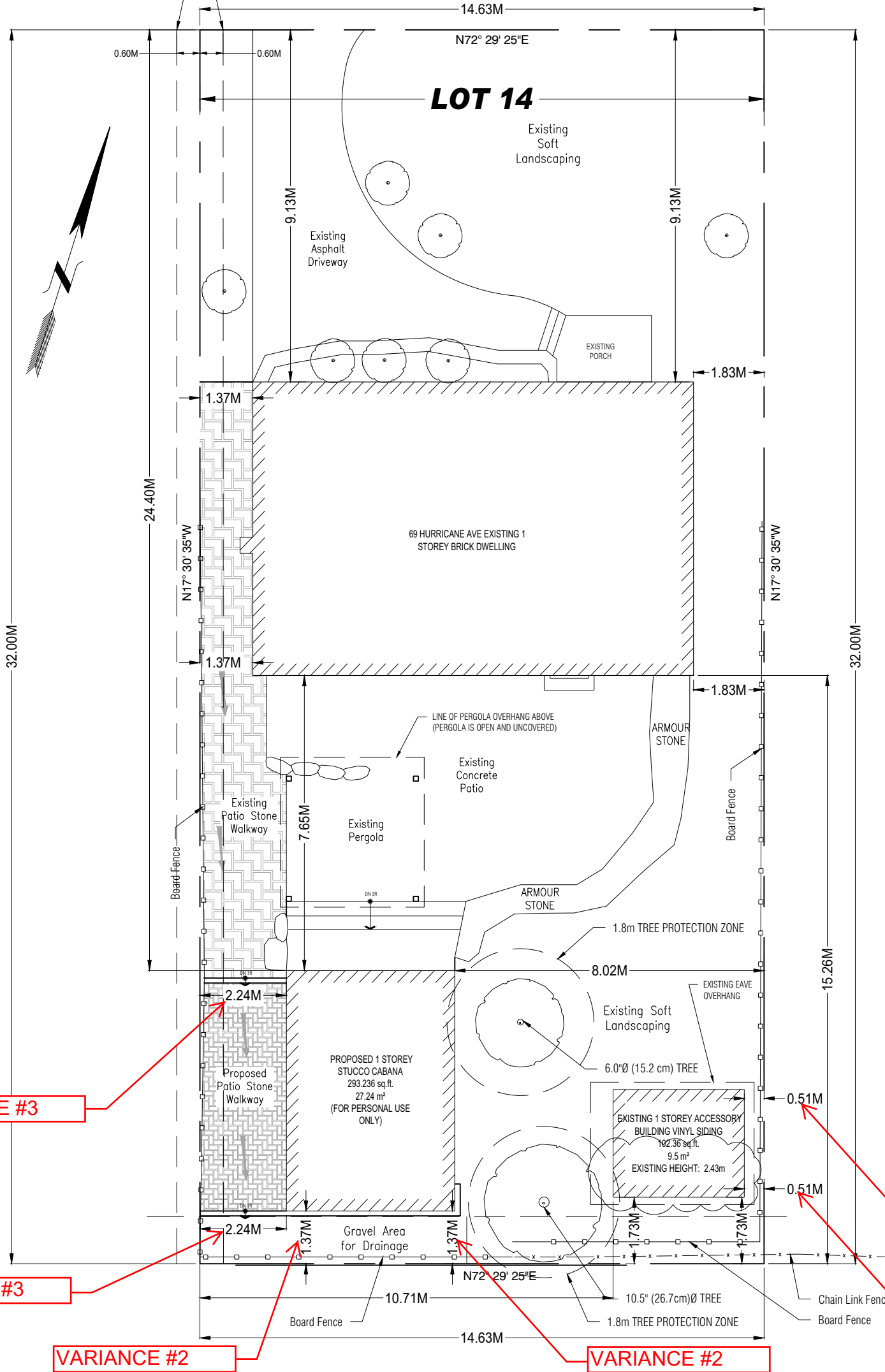
SCHEDULE A: DRAWINGS & PLANS



HURRICANE AVE

REGISTERED PLAN 4735

NO GRADE CHANGES or ALTERATIONS PERMITTED
WITHIN 0.6m OFFSET FROM LOT LINES



SOFT LANDSCAPING		m ²
EXISTING HARDSCAPE		83.66
EXISTING SHED		9.50
PROPOSED HARDSCAPE		13.37
PROPOSED RETREAT		27.24
TOTAL HARDSCAPING		133.77 (59.92%)
TOTAL SOFT LANDSCAPING		89.48 (40.08%)
TOTAL REAR LOT AREA		= 223.25 m²

LOT COVERAGE	
	m ²
EXISTING HOUSE	87.16
EXISTING SHED	9.50
PROPOSED RETREAT	27.24
TOTAL	123.90
TOTAL LOT COVERAGE	26.461%
TOTAL LOT AREA = 468.23 m²	

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

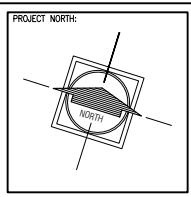
QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER SECTION 3.2.1 OF THE 2013 ONTARIO BUILDING CODE

GABRIEL FRASSON 33718
NAME BCIN

REGISTRATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C-3.2.4.1 OF THE 2013 ONTARIO BUILDING CODE

MORETTO DESIGN 34611
FIRM NAME BCIN

NO.	ISSUED/REVISION	BY	DATE
7			
6	EXIST. ACCESS. BUILD HEIGHT ADDED	GF	DEC 9/24
5	GRADE CHANGE NOTES ADDED	GF	NOV 29/24
4	ADDED REAR SOFT LANDSCAPING CALCS	GF	OCT 24/24
3	ADDED LOT COVERAGE CALCULATIONS	GF	OCT 24/24
2	SUBMIT FOR REVIEW	GF	SEPT 19/24
1	SUBMIT FOR PERMIT	GF	JULY 27/24



MORETTO DESIGN

29R ATLANTIC AVE
TORONTO, ONT.
M6K 3E7

WWW.MORETTODESIGN.COM
gabriel@morettodesign.com
TEL: (416) 822-4223

PROJECT ADDRESS:
PRIVATE RESIDENCE
NAME OF STREET
CITY OF TORONTO

PROJECT INFORMATION:
REG'D PLAN: 4735
LOT: LOT 14

DRAWING TITLE:
SITE PLAN

DATE: JULY 2024
SCALE: 1:125

PROJECT No:
MD24-01

A-01

CONSTRUCTION ASSEMBLIES

SLAB ON GRADE

100mm (4") POURED CONCRETE SLAB, 32 MPa@ 28 DAYS, 5-8% AIR ENTRAINMENT ON 100mm (4") CRUSHED STONE BELOW APPLY LAYER OF 6mil. USE 1/2" IMPERVIOUS PREMOULDED JOINT FILLER BETWEEN WALLS AND ALL MATERIALS

INSULATED WALL

STUCCO FINISH, 2" EXTRUDED POLYSTYRENE INSULATION w/ SHIPLAP JOINTS, AIR / WEATHER BARRIER (TYVEK or EQUIVALENT) LAPPED & TAPED TO PROVIDE CONTINUOUS BARRIER, 1/2" EXTERIOR TYPE SHEATING GRADE PLYWOOD ON 2X6 SPRUCE STUDS @16" O.C., 2 TOP PLATES & ONE BOTTOM PLATE, FILLED W/ BATT INSULATION (R-22), 6 mil. VAPOR/AIR BARRIER & 1/2" GWB INTERIOR FINISH

ROOF CONSTRUCTION (FLAT ROOF)

2 PLY MODIFIED BITUMEN ROOFING w/ GRANULAR ON TOP COAT ON 1/2" PLYWOOD SHEATHING. PLYWOOD ON TAPERED 2X4 SLEEPERS @ 16" O.C. SLOPED TO REAR w/ 2% GRADE FOR DRAINAGE.

GENERAL NOTES

WINDOWS (O.B.C. 9.7)

ALL WINDOWS TO BE DOUBLE GLAZED and MEET MINIMUM PERFORMANCE CRITERIA OUTLINED IN O.B.C. 9.7.3 WINDOWS LOCATED WITHIN 2m (6'-7") OF ADJACENT GROUND LEVEL SHALL CONFORM TO THE REQUIREMENTS FOR RESISTANCE TO FORCED ENTRY. CLAUSE 10.13 OF CAN3-A440.

PROTECTION of OPENABLE WINDOWS

OPENABLE WINDOWS IN SUITES OF RESIDENTIAL OCCUPNACY SHALL BE PROTECTED BY A GUARD WITH A MIN. HEIGHT OF 3'-6" OR A MECHANISM CAPABLE OF CONTROLLING THE FREE SWINGING OR SLIDING OF THE OPENABLE PART OF THE WINDOW SO AS TO LIMIT ANY CLEAR UNOBSTRUCTED OPENING TO NOT MORE THAN 4" MEASURED EITHER VERTICALLY OR HORIZONTALLY, WHERE THE OTHER DIMENSION IS GREATER THAN 15".

DOORS -EXTERIOR

ALL DOORS and THEIR COMPONENTS SEPARATING CONDITIONED SPACE FROM AN UNCONDITIONED SPACE OR THE EXTERIOR SHALL CONFORM TO THE PERFORMANCE CRITERIA AS OUTLINED IN O.B.C. 9.7.5.2. EXTERIOR SWINGING ENTRANCE DOORS SHALL HAVE A RESISTANCE TO FORCED ENTRY AS OUTLINED IN O.B.C. 9.7.5.2.

WOOD-CONCRETE SEPERATION (O.B.C. 3.3.4.8)

WOOD FRAMING NOT TREATED WITH A PRESERVATIVE, IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONCRETE BY AT LEAST 2mil POLYETHYLENE FILM, No.50 (45lb) ROLL ROOFING OR OTHER DAMPPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 150mm (6") ABOVE THE GROUND.

ALL CONSTRUCTION TO COMPLY w/ REQUIREMENTS OF THE MOST CURRENT VER5SION OF THE ONTARIO BUILDING CODE.

ALL STRUCTURAL LUMBER TO BE GRADE SPF #1 #2
LINEN CLOSET TO BE MINIMUM 1'2" DEEP with FOUR SHELVES

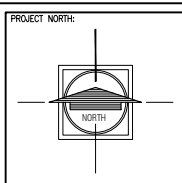
STRUCTURAL SPECIFICATIONS & GENERAL NOTES

- ALL EXTERIOR WOOD IS PRESSURE TREATED PINE.
- ROOF DESIGN BASED ON SNOW 0.55 Ss + Sr - or 23.3 psf LIVE TOP CHORD PLUS 12 psf TOP CHORD DEAD LOAD, 5 psf BOTTOM CHORD DEAD, and 10 psf LIVE LOAD BOTTOM CHORDS.
- LUMBER SHALL BE SPF No. 1/2 OR BETTER UNLESS NOTED OTHERWISE. MOISTURE CONTENT SHALL BE 19% OR LESS.
- USE PRESSURE TREATED LUMBER (CWPB APPROVED) OR APPLY SUITABLE WOOD PRESERVATIVE TO ALL WOOD IN CONTACT WITH SOIL.
- WOOD IS NOT PERMITTED TO BEAR DIRECTLY ON MASONRY OR CONCRETE WITHOUT PROTECTION. EXCEPT PRESSURE TREATED LUMBER, ISOLATE WOOD with 6 MIL (0.152mm) POLYETHYLENE SHEET.
- ALL NAILS AND FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD ARE TO BE HOT DIP GALVANIZED (TO CSA-G164) OR STAINLESS STEEL.
- FOR ALL BUILT UP MEMBERS (TRUSSES, BEAMS, LINTELS) PROVIDE A BUILT UP POST WITH AN EQUAL OR GREATER THICKNESS UNLESS NOTED OTHERWISE. ALL BUILT UP POSTS TO BE CONTINUOUS (INCLUDING TRANSFER BLOCKING AT FLOORS) DOWN TO THE FOUNDATIONS.
- ALL BUILT UP MEMBERS TO BE FASTENED TOGETHER WITH TWO 75mm (3") SPIRAL NAILS AT 300mm (12") O.C. FOR EVERY PLY UNLESS NOTED OTHERWISE. ALL BUILT UP LVL MEMBER TO BE FASTENED PER MANUFACTURERS SPECIFICATIONS.

THE LATEST VERSION OF THE ONTARIO BUILDING CODE SHALL OVERRULE ANY DISCREPANCIES FOUND BETWEEN THE GENERAL NOTES AND THE BUILDING CODE.
ALL CONSTRUCTION SHALL COMPLY WITH REQUIREMENTS OF THE LATEST VERSION OF THE ONTARIO BUILDING CODE.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.	
QUALIFICATION INFORMATION	
REQUIRED UNLESS DESIGN IS EXEMPT UNDER SECTION 3.3.1 OF THE ONTARIO BUILDING CODE	
GABRIEL FRASSON	33718
NAME	BCIN
REGISTRATION INFORMATION	
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C-3.2.4.1 OF THE 2012 ONTARIO BUILDING CODE	
MORETTO DESIGN	34611
FIRM NAME	BCIN

7			
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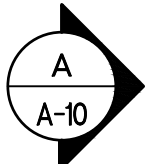
PROJECT INFORMATION:
REG'D PLAN: 4735
LOT: LOT 14

DRAWING TITLE:
WELLNESS RETREAT
GENERAL NOTES

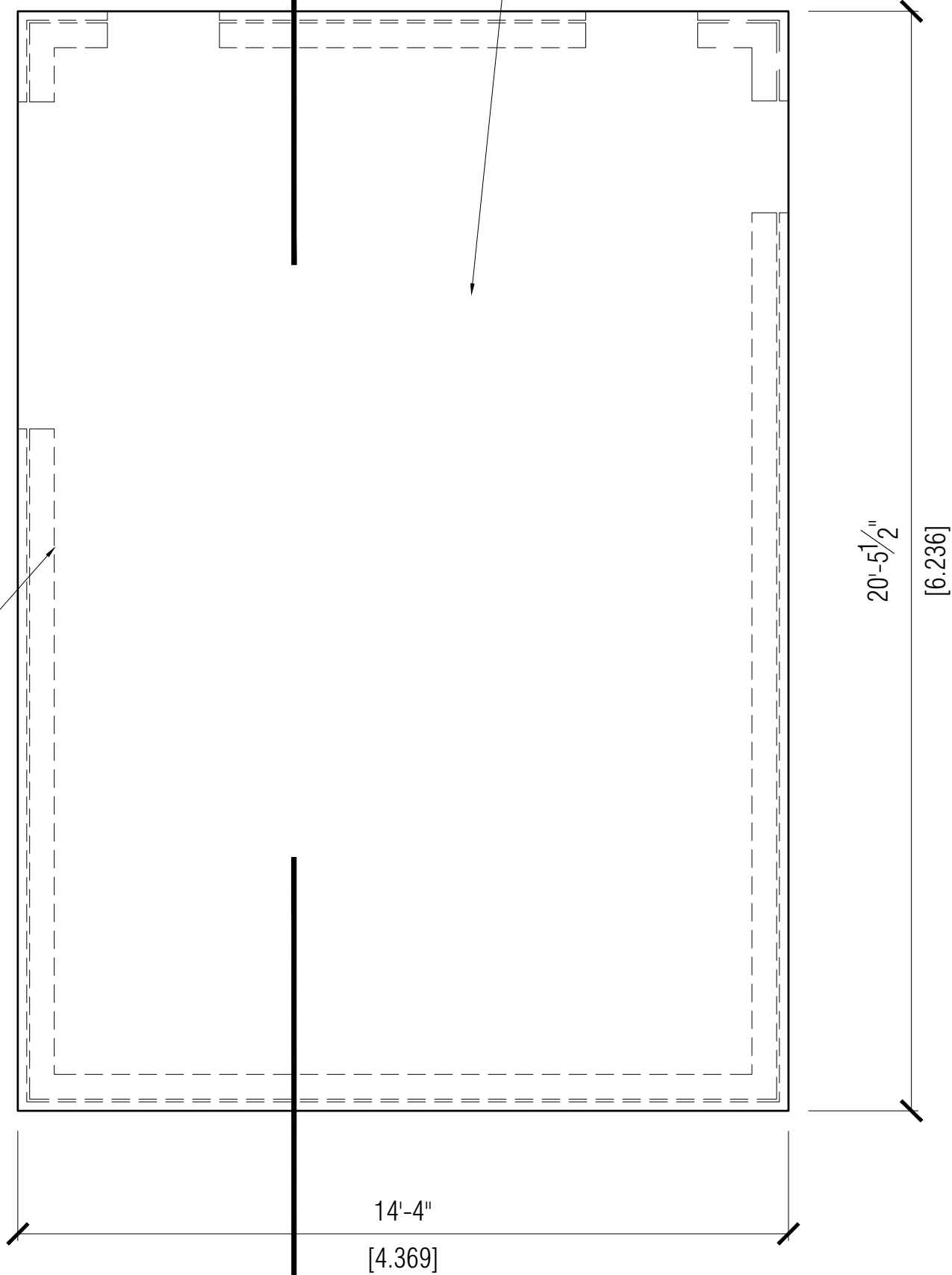
DATE: JULY 2024
SCALE: 3/8" = 1'-0"

PROJECT No:
MD24-01

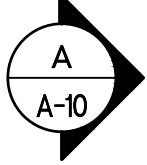
A-02



- FLOOR SLAB
- 100 mm (4") POURED CONCRETE SLAB
 - 32MPa @ 28 DAYS, 5-8% AIR ENTRAINMENT
 - 100mm (4") CRUSHED STONE



• DOTTED LINE REPRESENTS EXTERIOR WALLS



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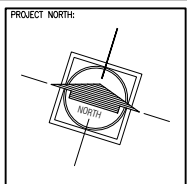
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MORETTO DESIGN □ □ □ □ □ □ □ □ □ □

29R ATLANTIC AVE
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WWW.MORETTODESIGN.COM
 gabriel@morettodesign.com
 TEL: (416) 822-4223

PROJECT ADDRESS:
 PRIVATE RESIDENCE
 NAME OF STREET
 CITY OF TORONTO

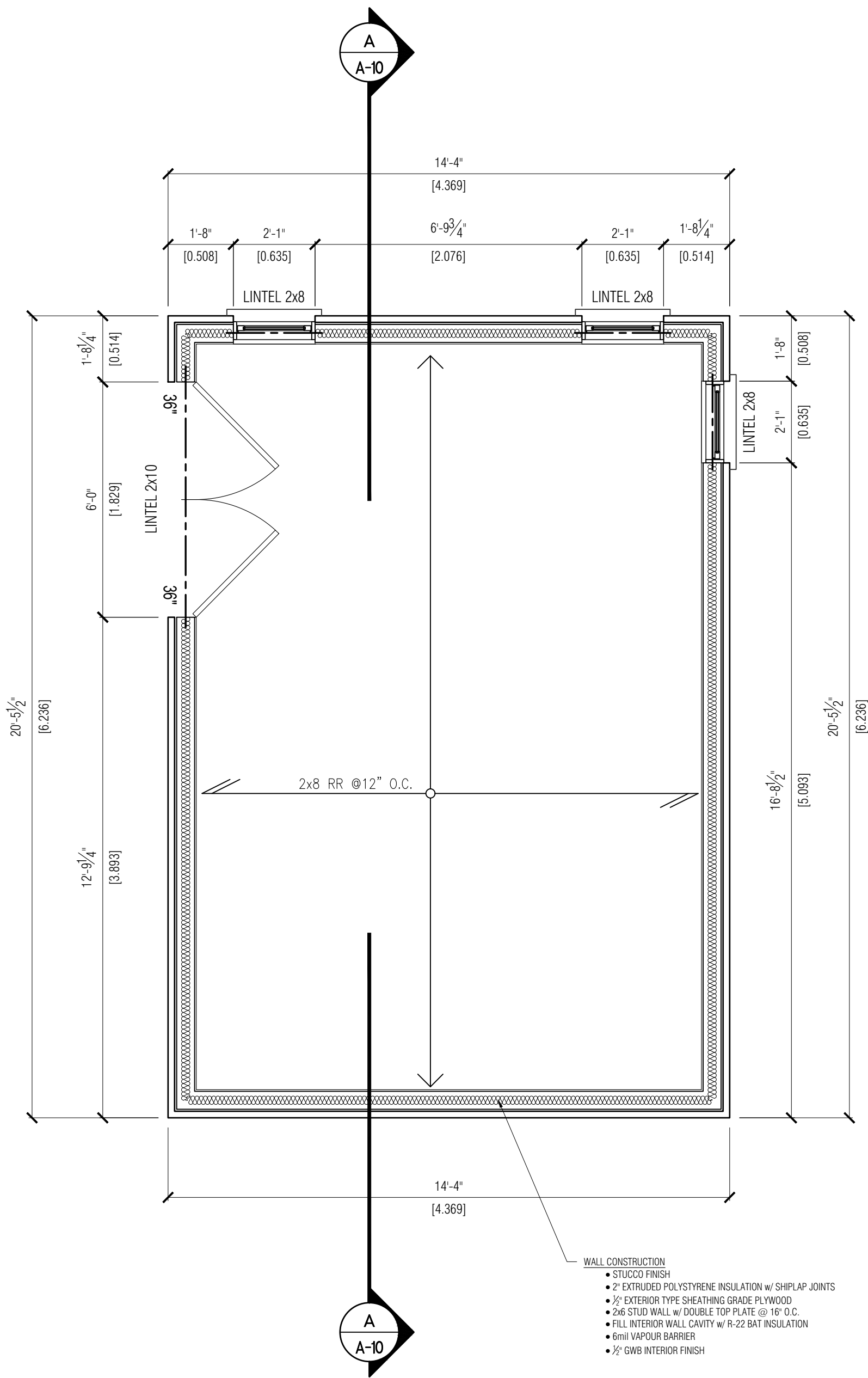
PROJECT INFORMATION:
 REG'D PLAN: 4735
 LOT: LOT 14

DRAWING TITLE:
**WELLNESS RETREAT
 FLOOR PLAN**

DATE: JULY 2024
 SCALE: 3/8" = 1'-0"

PROJECT No:
 MD24-01

A-03



- WALL CONSTRUCTION**
- STUCCO FINISH
 - 2" EXTRUDED POLYSTYRENE INSULATION w/ SHIPLAP JOINTS
 - 1/2" EXTERIOR TYPE SHEATHING GRADE PLYWOOD
 - 2x6 STUD WALL w/ DOUBLE TOP PLATE @ 16" O.C.
 - FILL INTERIOR WALL CAVITY w/ R-22 BAT INSULATION
 - 6mil VAPOUR BARRIER
 - 1/2" GWB INTERIOR FINISH

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

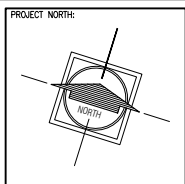
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1	SUBMIT FOR PERMIT	GF	JULY 27/24
NO.	ISSUED/REVISION	BY	DATE



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 NAME OF STREET
 CITY OF TORONTO

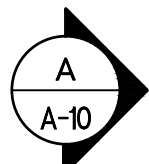
PROJECT INFORMATION:
 REG'D PLAN: 4735
 LOT: LOT 14

DRAWING TITLE:
**WELLNESS RETREAT
 FLOOR PLAN**

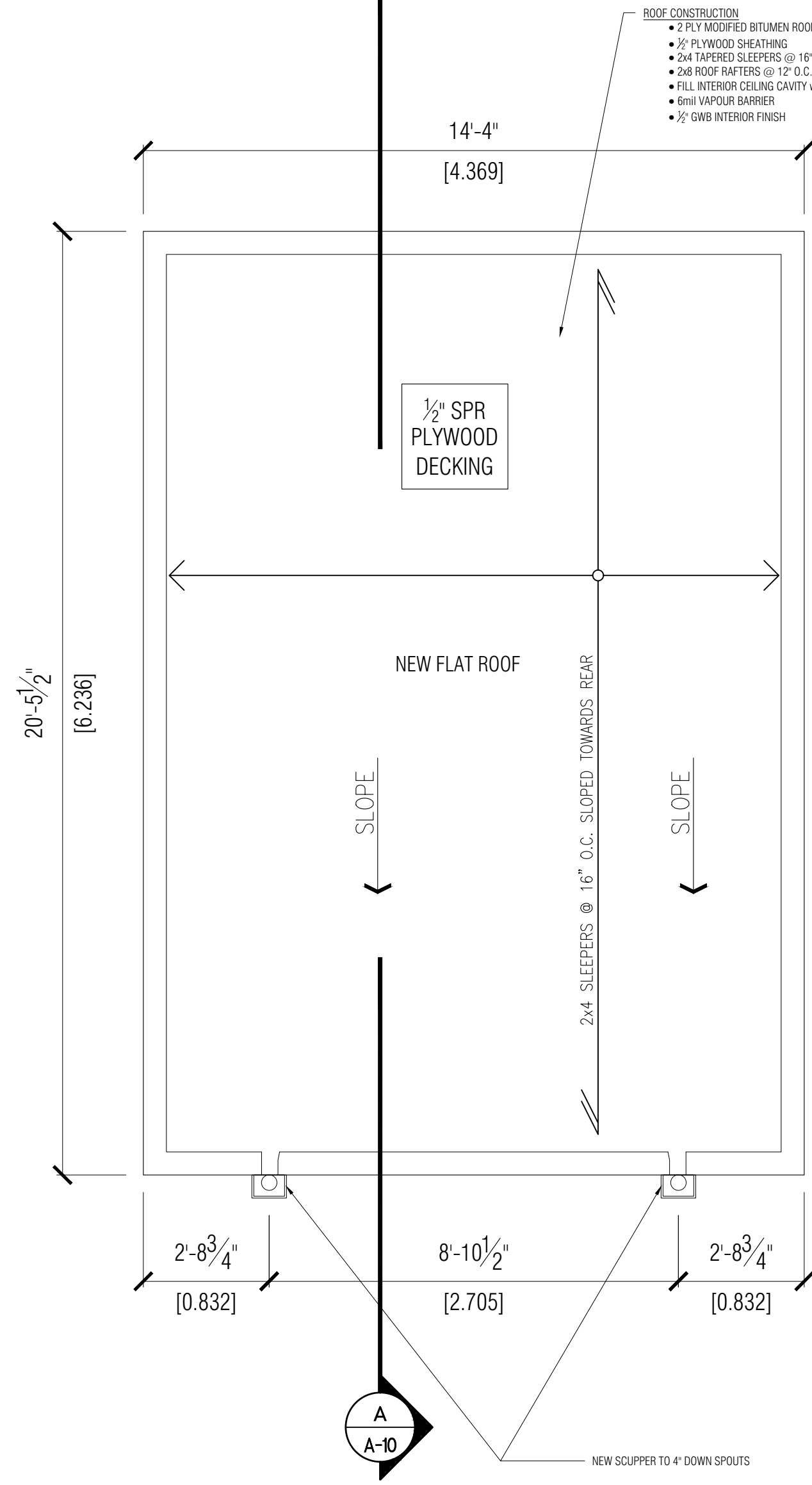
DATE: JULY 2024
 SCALE: 3/8" = 1'-0"

PROJECT No:
 MD24-01

A-04



- ROOF CONSTRUCTION**
- 2 PLY MODIFIED BITUMEN ROOF w/ GRANULAR ON TOP COAT
 - 1/2" PLYWOOD SHEATHING
 - 2x4 TAPERED SLEEPERS @ 16" O.C. SLOPED TO REAR
 - 2x8 ROOF RAFTERS @ 12" O.C.
 - FILL INTERIOR CEILING CAVITY w/ R-28 BATT INSULATION
 - 6mil VAPOUR BARRIER
 - 1/2" GWB INTERIOR FINISH



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

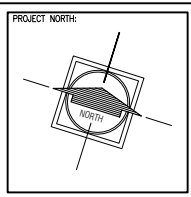
QUALIFICATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER SECTION 2.3.5.1 OF THE ONTARIO BUILDING CODE

GABRIEL FRASSON 33718
 NAME BCIN

REGISTRATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C-3.2.4.1 OF THE 2012 ONTARIO BUILDING CODE

MORETTO DESIGN 34611
 FIRM NAME BCIN

7			
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4			
3			
2	SUBMIT FOR REVIEW	GF	SEPT 19/24
1	SUBMIT FOR PERMIT	GF	JULY 27/24
NO.	ISSUED/REVISION	BY	DATE



MORETTO DESIGN

29R ATLANTIC AVE
 TORONTO, ONT.
 M6K 3E7

WWW.MORETTODESIGN.COM
 gabriel@morettodesign.com
 TEL: (416) 822-4223

PROJECT ADDRESS:
 PRIVATE RESIDENCE
 NAME OF STREET
 CITY OF TORONTO

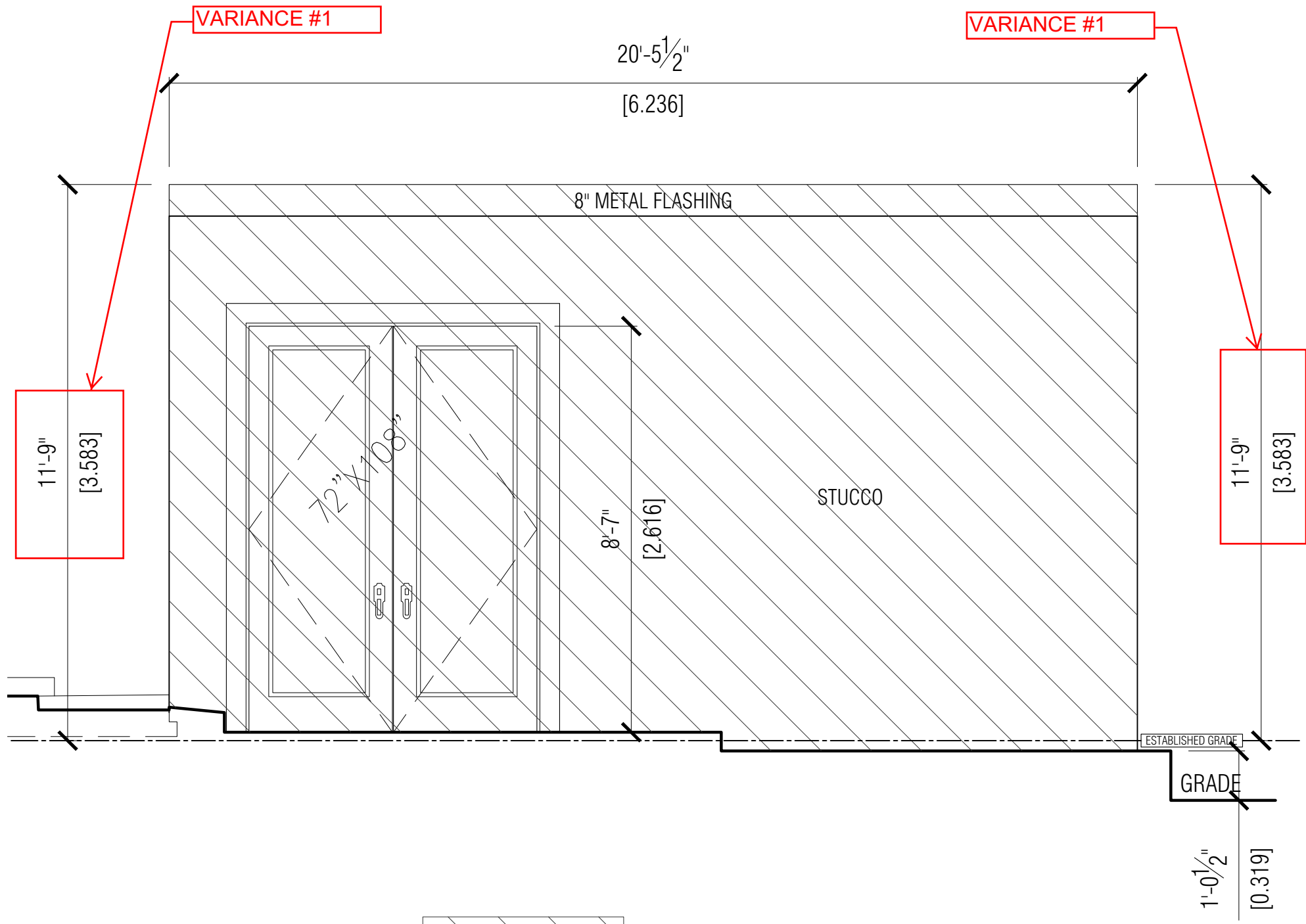
PROJECT INFORMATION:
 REG'D PLAN: 4735
 LOT: LOT 14

DRAWING TITLE:
 WELLNESS RETREAT
 ROOF PLAN

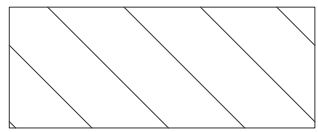
DATE: JULY 2024
SCALE: 3/8" = 1'-0"

PROJECT No: MD24-01

A-05



HATCHED AREA INDICATES EXPOSED BUILDING FACE AREA FOR CALCULATION
 22.27 m² (239.76 sq.ft.)



EXPOSED BUILDING FACE AREA - 22.27 m² (239.76 sq.ft.)
 UNPROTECTED OPENINGS: ALLOWED -15.00% - 3.34 m² (35.96 sq.ft.)
 PROPOSED - 13.144% - 2.927 m² (31.514 sq.ft.)

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

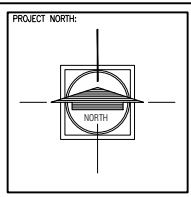
QUALIFICATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER SECTION 3.2.4.1 OF THE 2012 ONTARIO BUILDING CODE

GABRIEL FRASSON 33718
 NAME BCIN

REGISTRATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C - 3.2.4.1 OF THE 2012 ONTARIO BUILDING CODE

MORETTO DESIGN 34611
 FIRM NAME BCIN

7			
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3	ESTABLISH GRADE ADDED	GF	OCT 24/24
2	SUBMIT FOR REVIEW	GF	SEPT 19/24
1	SUBMIT FOR PERMIT	GF	JULY 27/24
NO.	ISSUED/REVISION	BY	DATE



MORETTO DESIGN

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 TORONTO, ONT.
 M6K 3E7

WWW.MORETTODESIGN.COM
 gabriel@morettodesign.com
 TEL: (416) 822-4223

PROJECT ADDRESS:
 PRIVATE RESIDENCE
 NAME OF STREET
 CITY OF TORONTO

PROJECT INFORMATION:
 REG'D PLAN: 4735
 LOT: LOT 14

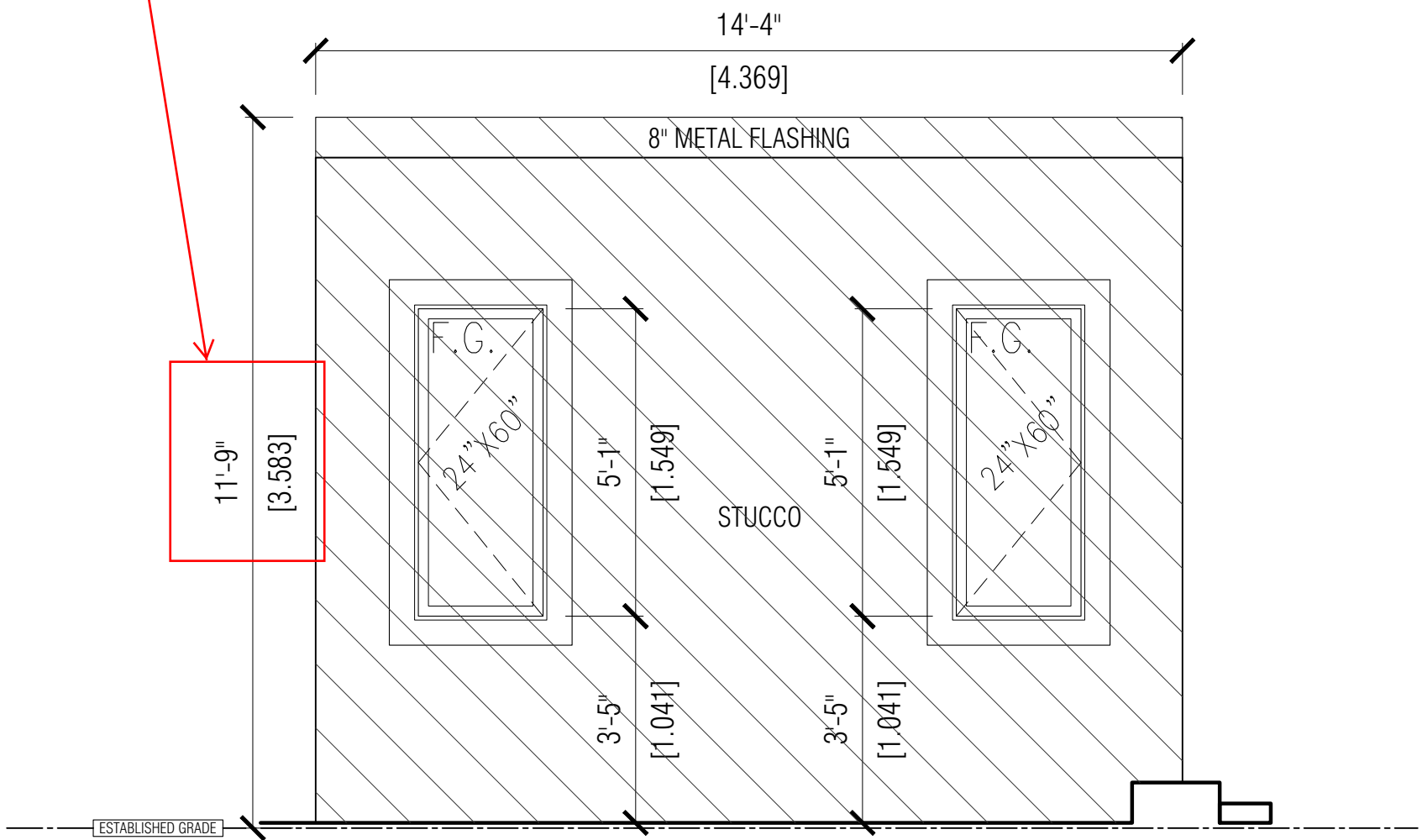
DRAWING TITLE:
**WELLNESS RETREAT
 WEST ELEVATION**

DATE: JULY 2024
 SCALE: 3/8" = 1'-0"

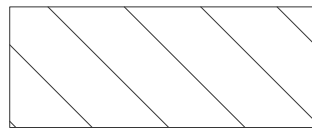
PROJECT No:
 MD24-01

A-06

VARIANCE #1



HATCHED AREA INDICATES EXPOSED BUILDING FACE AREA FOR CALCULATION
15.942 m² (171.60 sq.ft.)



EXPOSED BUILDING FACE AREA - 15.942 m² (171.60 sq.ft.)
UNPROTECTED OPENINGS: ALLOWED - NO LIMIT
PROPOSED - 9.572 % - 1.526 m² (16.427 sq.ft.)

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

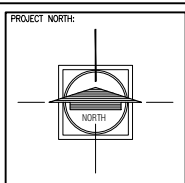
QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER SECTION 3.2.4.1 OF THE 2012 ONTARIO BUILDING CODE

GABRIEL FRASSON 33718
NAME BCIN

REGISTRATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C - 3.2.4.1 OF THE 2012 ONTARIO BUILDING CODE

MORETTO DESIGN 34611
FIRM NAME BCIN

7			
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3	ESTABLISH GRADE ADDED	GF	OCT 24/24
2	SUBMIT FOR REVIEW	GF	SEPT 19/24
1	SUBMIT FOR PERMIT	GF	JULY 27/24
NO.	ISSUED/REVISION	BY	DATE



MORETTO DESIGN

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TORONTO, ONT.
M6K 3E7

WWW.MORETTODESIGN.COM
gabriel@morettodesign.com
TEL: (416) 822-4223

PROJECT ADDRESS:
PRIVATE RESIDENCE
NAME OF STREET
CITY OF TORONTO

PROJECT INFORMATION:
REG'D PLAN: 4735
LOT: LOT 14

DRAWING TITLE:
WELLNESS RETREAT
NORTH ELEVATION

DATE: JULY 2024
SCALE: 3/8" = 1'-0"

PROJECT No:
MD24-01

A-07

VARIANCE #1

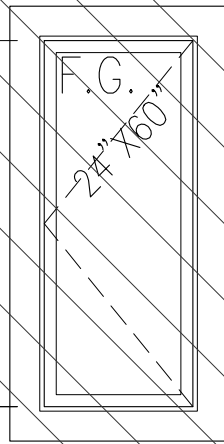
VARIANCE #1

20'-5 1/2"

[6.236]

8" METAL FLASHING

STUCCO



5'-1"

[1.549]

3'-4"

[1.014]

11'-9"

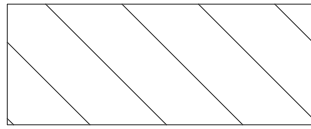
[3.583]

11'-9"

[3.583]

ESTABLISHED GRADE

HATCHED AREA INDICATES EXPOSED BUILDING FACE AREA FOR CALCULATION 22.27 m² (239.76 sq.ft.)



EXPOSED BUILDING FACE AREA - 22.27 m² (239.76 sq.ft.)

UNPROTECTED OPENINGS: ALLOWED - NO LIMIT

PROPOSED - 3.426% - 0.763 m² (8.214 sq.ft.)

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

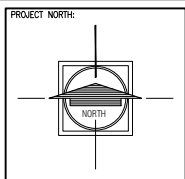
QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER SECTION 3.2.4.1 OF THE 2012 ONTARIO BUILDING CODE

GABRIEL FRASSON 33718
NAME BCIN

REGISTRATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C - 3.2.4.1 OF THE 2012 ONTARIO BUILDING CODE

MORETTO DESIGN 34611
FIRM NAME BCIN

7			
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3	ESTABLISH GRADE ADDED	GF	OCT 24/24
2	SUBMIT FOR REVIEW	GF	SEPT 19/24
1	SUBMIT FOR PERMIT	GF	JULY 27/24
NO.	ISSUED/REVISION	BY	DATE



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TORONTO, ONT.
M6K 3E7

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TEL: (416) 822-4223

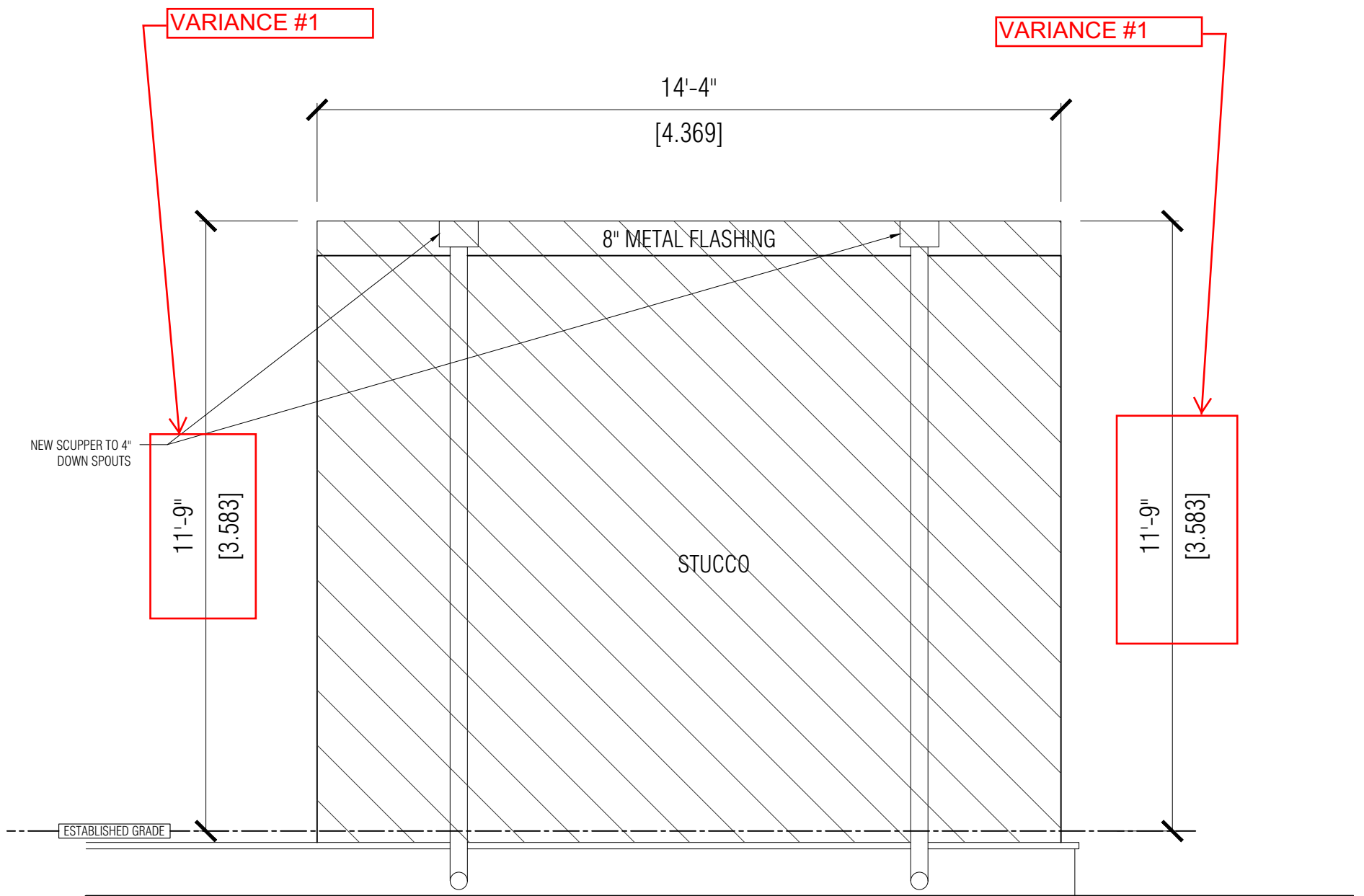
PROJECT ADDRESS:
PRIVATE RESIDENCE
NAME OF STREET
CITY OF TORONTO

PROJECT INFORMATION:
REG'D PLAN: 4735
LOT: LOT 14

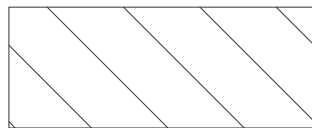
DRAWING TITLE:
WELLNESS RETREAT
EAST ELEVATION

DATE: JULY 2024
SCALE: 3/8" = 1'-0"
PROJECT No: MD24-01

A-08



HATCHED AREA INDICATES EXPOSED BUILDING
FACE AREA FOR CALCULATION
15.942 m² (171.60 sq.ft.)



EXPOSED BUILDING FACE AREA - 15.942 m² (171.60 sq.ft.)
UNPROTECTED OPENINGS: ALLOWED - N/A
PROPOSED - 0% - 15.742 m² (169.441 sq.ft.)

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

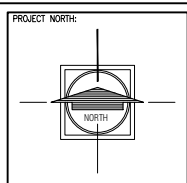
QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER SECTION 3.2.4.1 OF THE 2012 ONTARIO BUILDING CODE

GABRIEL FRASSON 33718
NAME BCIN

REGISTRATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C - 3.2.4.1 OF THE 2012 ONTARIO BUILDING CODE

MORETTO DESIGN 34611
FIRM NAME BCIN

7			
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3	ESTABLISH GRADE ADDED	GF	OCT 24/24
2	SUBMIT FOR REVIEW	GF	SEPT 19/24
1	SUBMIT FOR PERMIT	GF	JULY 27/24
NO.	ISSUED/REVISION	BY	DATE



MORETTO DESIGN □ □ □ □ □ □ □ □ □ □

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TORONTO, ONT.
M6K 3E7

WWW.MORETTODESIGN.COM
gabriel@morettodesign.com
TEL: (416) 822-4223

PROJECT ADDRESS:
PRIVATE RESIDENCE
NAME OF STREET
CITY of TORONTO

PROJECT INFORMATION:
REG'D PLAN: 4735
LOT: LOT 14

DRAWING TITLE:
WELLNESS RETREAT
SOUTH ELEVATION

DATE: JULY 2024
SCALE: 3/8" = 1'-0"

PROJECT No:
MD24-01

A-09

ROOF CONSTRUCTION

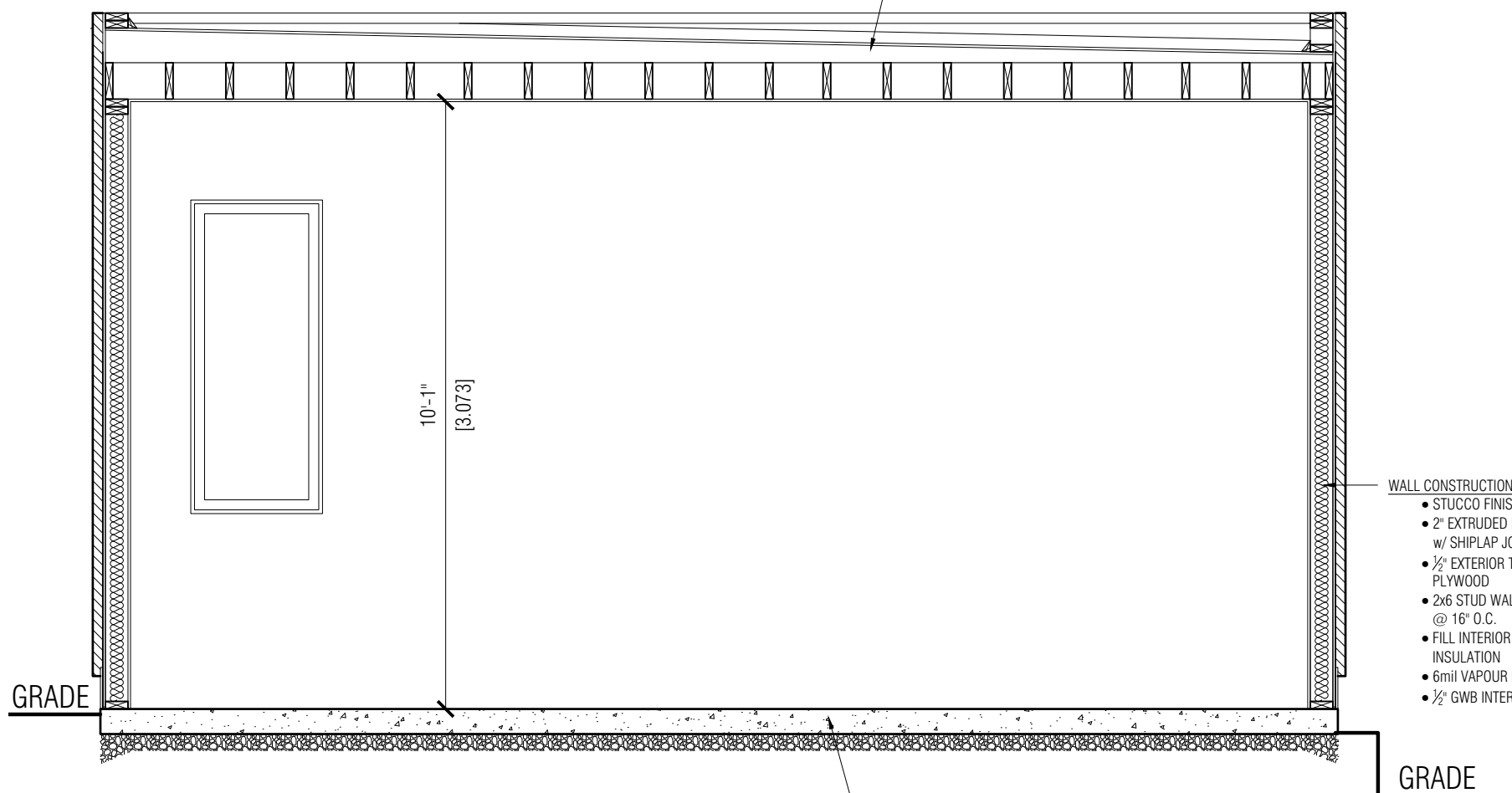
- 2 PLY MODIFIED BITUMEN ROOF w/ GRANULAR ON TOP COAT
- ½" PLYWOOD SHEATHING
- 2x4 TAPERED SLEEPERS @ 16" O.C. SLOPED TO REAR
- 2x8 ROOF RAFTERS @ 12" O.C.
- FILL INTERIOR CEILING CAVITY w/ R-28 BATT INSULATION
- 6mil VAPOUR BARRIER
- ½" GWB INTERIOR FINISH

WALL CONSTRUCTION

- STUCCO FINISH
- 2" EXTRUDED POLYSTYRENE INSULATION w/ SHIPLAP JOINTS
- ½" EXTERIOR TYPE SHEATHING GRADE PLYWOOD
- 2x6 STUD WALL w/ DOUBLE TOP PLATE @ 16" O.C.
- FILL INTERIOR WALL CAVITY w/ R-22 BATT INSULATION
- 6mil VAPOUR BARRIER
- ½" GWB INTERIOR FINISH

FLOOR SLAB

- 100 mm (4") POURED CONCRETE SLAB
- 32MPa @ 28 DAYS, 5-8% AIR ENTRAINMENT
- 100mm (4") CRUSHED STONE



GRADE

GRADE

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

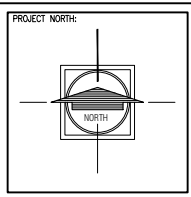
QUALIFICATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER SECTION 3.1 OF THE ONTARIO BUILDING CODE

GABRIEL FRASSON 33718
 NAME BCIN

REGISTRATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C-3.2.4.1 OF THE 2012 ONTARIO BUILDING CODE

MORETTO DESIGN 34611
 FIRM NAME BCIN

7			
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3			
2	SUBMIT FOR REVIEW	GF	SEPT 19/24
1	SUBMIT FOR PERMIT	GF	JULY 27/24
NO.	ISSUED/REVISION	BY	DATE



MORETTO DESIGN □ □ □ □ □

29R ATLANTIC AVE
 TORONTO, ONT.
 M6K 3E7

WWW.MORETTODESIGN.COM
 gabriel@morettodesign.com
 TEL: (416) 822-4223

PROJECT ADDRESS:
 PRIVATE RESIDENCE
 NAME OF STREET
 CITY OF TORONTO

PROJECT INFORMATION:
 REG'D PLAN: 4735
 LOT: LOT 14

DRAWING TITLE:
A-A SECTION

DATE: JULY 2024
 SCALE: 3/8" = 1'-0"

PROJECT No:
 MD24-01

A-10

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: December 12th 2024
Attention: **Christine Vigneault**
RE: Request for Comments

File No.: **A182-24**

Related Files:

Applicant: Matthew Garisto

Location 69 Hurricane Avenue



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

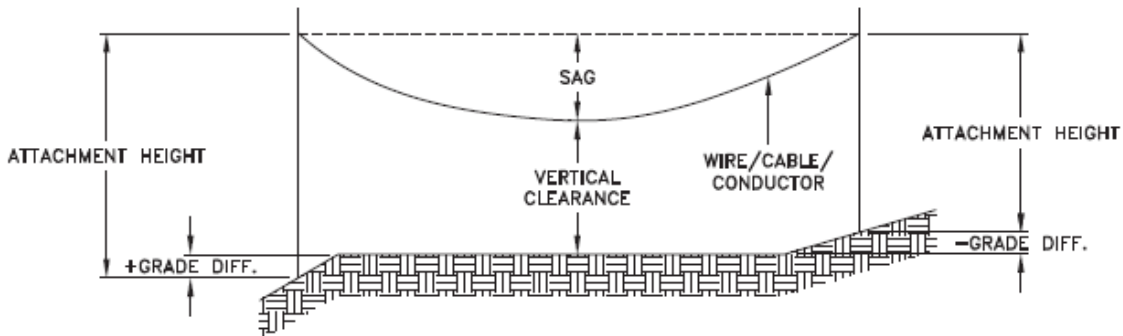
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

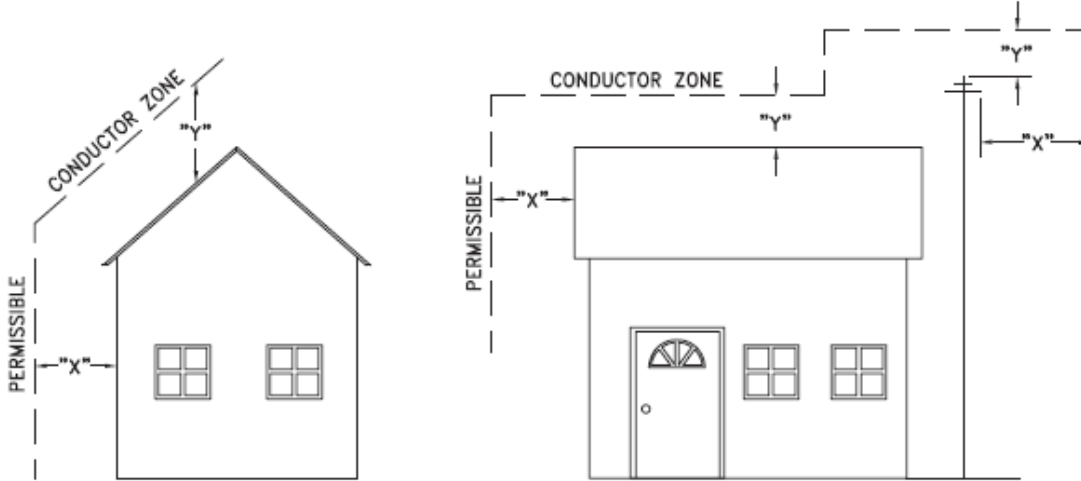
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Niloufar Youssefi, Building Standards Department
Date: December 10, 2024
Applicant: Matthew Garisto
Location: PLAN RP4735 Lot 14 municipally known as 69 Hurricane Avenue
File No.(s): A182/24

Zoning Classification:

The subject lands are zoned R2A (EN) - Second Density Residential Zone (Established Neighbourhood) under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 m [Section 4.1.4.1.].	To permit a maximum height of 3.6 m for an accessory structure (Cabana).
2	A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line [Section 4.1.2.1.b.].	To permit the accessory structure (Cabana) with a height greater than 2.8 m to be located a minimum of 1.37 m from rear lot line.
3	A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line [Section 4.1.2.1.b.].	To permit the accessory structure (Cabana) with a height greater than 2.8 m to be located a minimum of 2.24 m from interior side lot line.
4	A minimum interior side yard of 1.2 m is required from the interior side yard to the existing accessory structure (shed) [Table 7-4]. See note #1 below.	To permit the accessory structure (Existing Shed) to be located a minimum of 0.51 m from interior side lot line.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

Order No. 24-114153, Order to Comply for, Issue Date: May 13, 2024

Building Permit(s) Issued:

Building Permit No. 24-114178 for Shed/Gazebo - New, Issue Date: (Not Yet Issued)

Other Comments:

Zoning By-law 001-2021	
1	An accessory building and residential accessory structure shall be subject to the interior side yard requirements for the principal building on the lot, as indicated in the applicable zone [Section 4.1.2.1.a.].
2	Applicant to be advised that the following uses of an accessory building or structure shall be prohibited: <ul style="list-style-type: none"> a. The use of an accessory building or accessory structure for human habitation; and b. The use of an accessory building or accessory structure to a dwelling for gain or for profit [Section 4.1.1.4.] In addition, an accessory building or structure, or any part thereof, shall not be used for a home occupation [Section 5.9.7].

General Comments	
3	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development and Parks Planning
Date: January 06, 2025
Name of Owner: Matthew Garisto
Location: 69 Hurricane Avenue
File No.(s): A182/24

Proposed Variance(s):

1. To permit a maximum height of **3.6 m** for the accessory structure (cabana).
2. To permit the accessory structure (cabana) with a height greater than 2.8 m to be located a minimum of **1.37 m** from the rear lot line.
3. To permit the accessory structure (cabana) with a height greater than 2.8 m to be located a minimum of **2.24 m** from the west interior side lot line.
4. To permit the accessory structure (shed) to be located a minimum of **0.51 m** from the east interior side lot line.

By-Law 001-2021 Requirement(s):

1. In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be **3.0 m**.
2. A residential accessory structure with a height greater than 2.8 m shall not be located closer than **2.4 m** to any lot line.
3. A residential accessory structure with a height greater than 2.8 m shall not be located closer than **2.4 m** to any lot line.
4. A minimum interior side yard of **1.2 m** is required from the interior side yard to the existing accessory structure (shed).

Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owner is seeking relief to permit two accessory structures in the rear yard with the above-noted variances.

The Development and Parks Planning Department has no objections to Variance 1 to increase the maximum permitted height of the proposed cabana from 3.0 m to 3.6 m. The intent of the maximum height provision is to prevent negative massing impacts on neighbouring properties. The proposed flat roofed cabana has a gross floor area of 27.24 m² and the rear yard is appropriately sized to accommodate the footprint of the proposed cabana. Privacy fences exist along the west and rear lot lines to mitigate any concerns. As such, the proposed increase in height is not anticipated to incur negative massing or privacy concerns and maintains the general intent of the Zoning By-law.

The Development and Parks Planning Department has no objections to Variance 2 and 3 to reduce the rear lot line setback and the west interior side yard setback to the proposed cabana. The intent of the setback provisions is to ensure adequate spatial separation to allow for access, maintenance, stormwater management, and to limit massing impacts. The proposed cabana is set back 2.24 m from the west interior lot line and 1.37 m from the south rear lot line. The proposed setbacks maintain the general intent of the Zoning By-law and are considered minor in nature.

The Development and Parks Planning Department has no objections to Variance 4 to reduce the east interior side lot setback from 1.2 m to 0.51 m to permit an existing shed. Development Engineering staff have reviewed the application and do not have concerns about the shed's impact on stormwater retention and runoff. The shed is 2.43 m in height and is not anticipated to have any negative massing or privacy impacts on the neighbouring property.

Accordingly, the Development and Parks Planning Department supports the requested variances and is of the opinion that the proposal is minor in nature, maintains the general

intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development and Parks Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Harry Zhao, Planner 1

Janany Nagulan, Senior Planner

From: [Cameron McDonald](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A182/24 (69 HURRICANE AVENUE) – REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Friday, December 13, 2024 8:52:33 AM
Attachments: [image002.png](#)

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Hello,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from the TRCA.

Based on the above, we have no comments/requirements.

Regards,

Cameron McDonald

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:(437)880-1925)

E: cameron.mcdonald@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](#) | trca.ca



From: [Development Services](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A182/24 (69 HURRICANE AVENUE) – REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Monday, December 16, 2024 10:13:27 AM
Attachments: [image001.png](#)
[image003.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hi there,

The Region has completed its review of minor variance application A182/24 and has no comment. Please provide a copy of the notice of decision for our records.

Many thanks,

Christine Meehan, B.U.R.Pl., B. B. A | Planner (Intake Lead), Economic and Development Services Branch, Corporate Services Department

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 | christine.meehan@york.ca | www.york.ca

Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
N/A				

SCHEDULE D: BACKGROUND

Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A