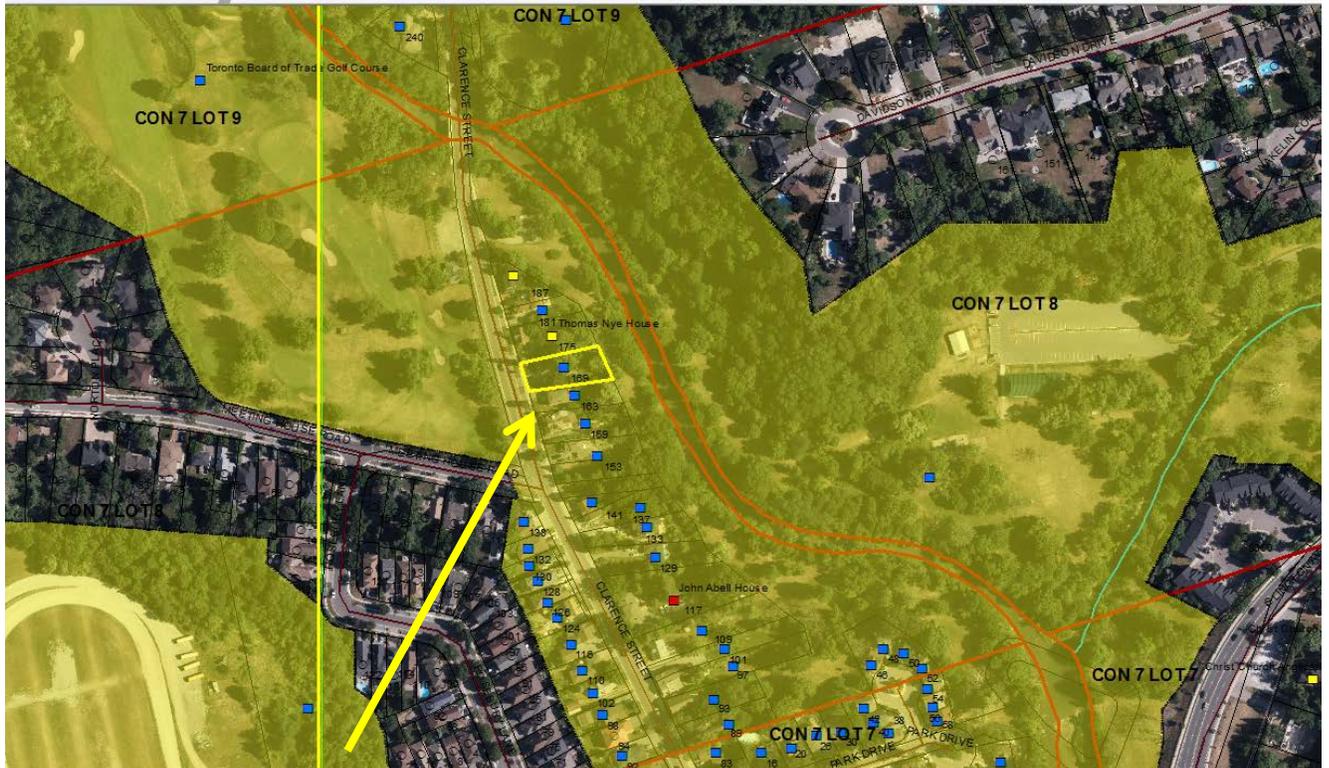
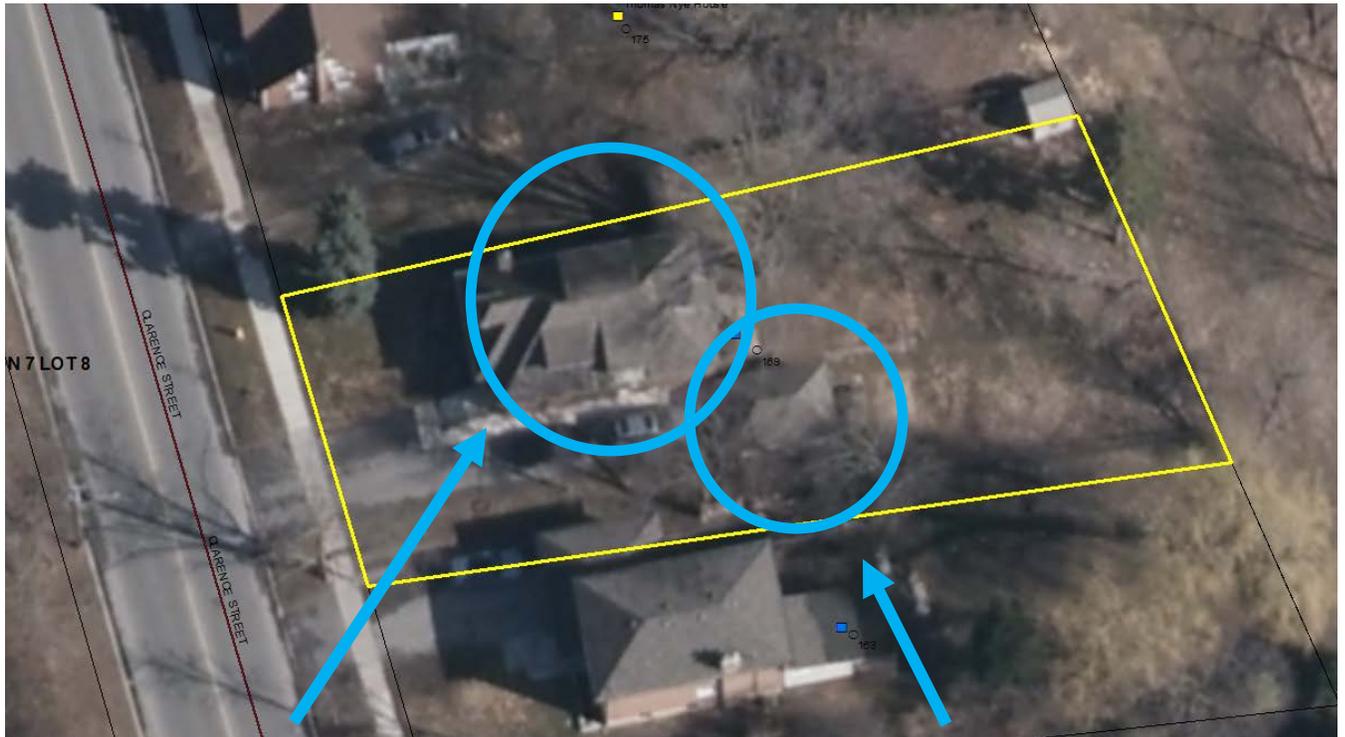


Location Map



169 Clarence Street

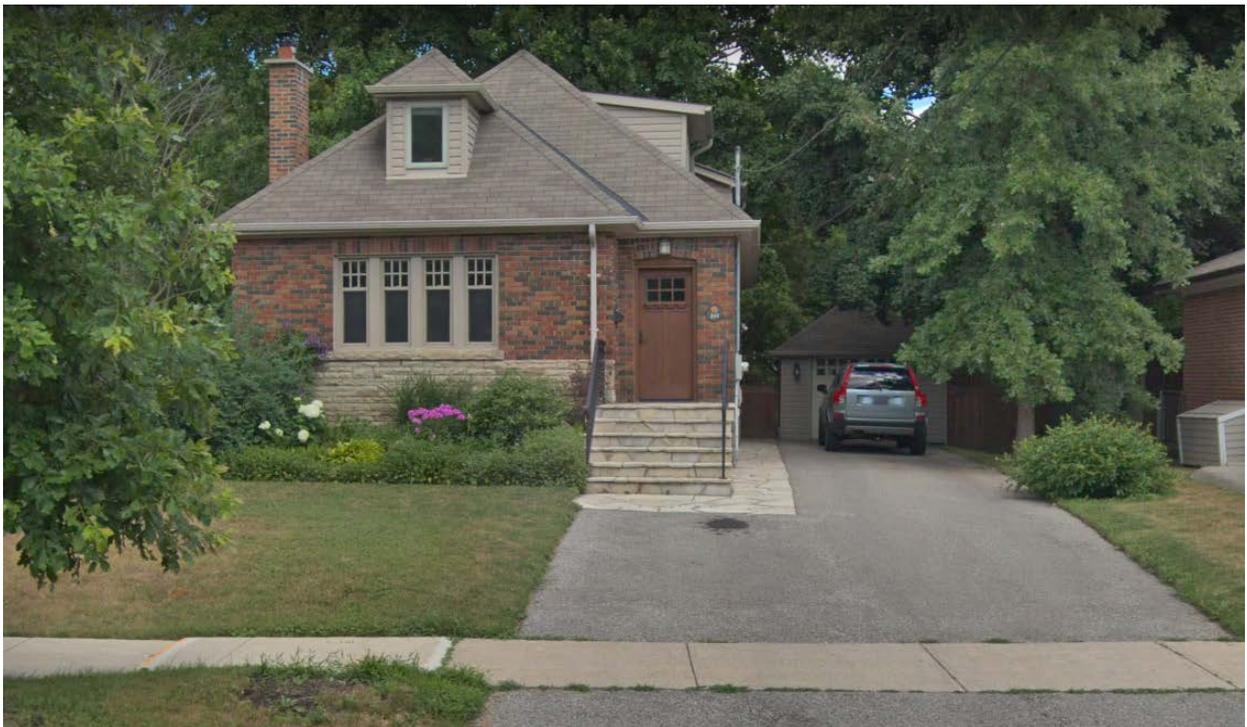
Subject Property

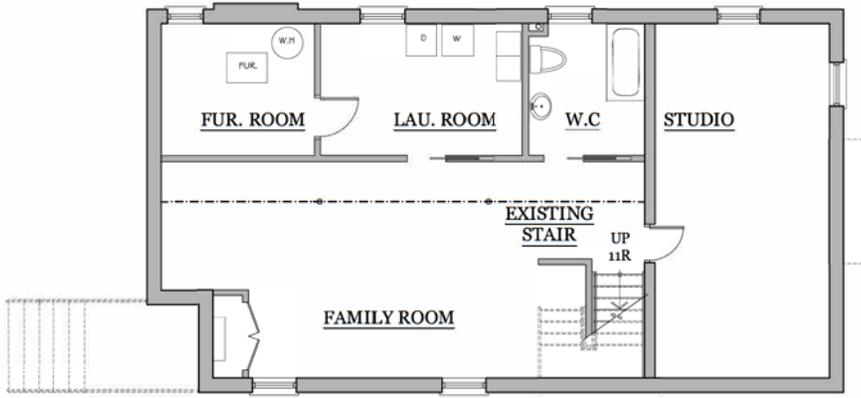


Existing dwelling

Existing garage to be demolished

Streetview of 169 Clarence Street





| | |
|--|---|
| PROPOSED RENOVATION & ADDITION | |
| Project: 169 Clarence Street, Vaughan, ON., L4L1L4 | Project #: 13021 (DA. 14.098) |

| No. | Description | Date | By |
|-----|---------------------------------------|---------------|----|
| 4. | REVISION AS PER CITY COMMENTS (4.4) | NOV 01, 2018 | RR |
| 3. | ISSUED FOR SITE DEVELOPMENT APP.(4.3) | AUG. 2, 2018 | GF |
| 2. | ISSUED FOR SITE DEVELOPMENT APP.(4.2) | JUL. 27, 2016 | GS |
| 1. | ISSUED FOR SITE DEVELOPMENT APP. | DEC. 23, 2014 | GS |



EXISTING BASEMENT FLOOR PLAN
SCALE 1/8" = 1'-0"

1
A4.1



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| | |
|--|--|
| PROPOSED RENOVATION & ADDITION | |
| Project: 169 Clarence Street, Vaughan, ON., L4L1L4 | Project #: 13021 (D.A. 14.098) |

| No. | Description | Date | By |
|-----|---------------------------------------|---------------|----|
| 4. | REVISION AS PER CITY COMMENTS (4.4) | NOV 01, 2018 | RR |
| 3. | ISSUED FOR SITE DEVELOPMENT APP.(4.3) | AUG. 2, 2018 | GF |
| 2. | ISSUED FOR SITE DEVELOPMENT APP.(4.2) | JUL. 27, 2016 | GS |
| 1. | ISSUED FOR SITE DEVELOPMENT APP. | DEC. 23, 2014 | GS |

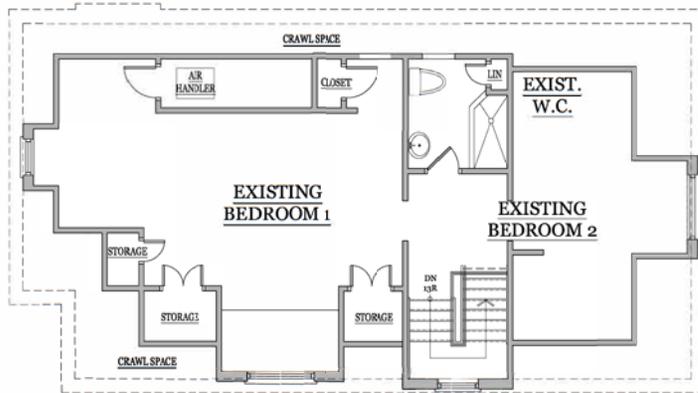


EXISTING GROUND FLOOR PLAN
SCALE 1/8" = 1'-0"

1
A5.1



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PROPOSED RENOVATION & ADDITION

Project: 169 Clarence Street, Vaughan, ON., L4L1L4

Project #: 13021 (DA 14.098)

| No. | Description | Date | By |
|-----|---------------------------------------|---------------|----|
| 4. | REVISION AS PER CITY COMMENTS (4.4) | NOV 01, 2018 | RR |
| 3. | ISSUED FOR SITE DEVELOPMENT APP (4.3) | AUG. 2, 2018 | GF |
| 2. | ISSUED FOR SITE DEVELOPMENT APP (4.2) | JUL. 27, 2016 | GS |
| 1. | ISSUED FOR SITE DEVELOPMENT APP. | DEC. 23, 2014 | GS |



EXISTING SECOND FLOOR PLAN
SCALE 1/8" = 1'-0"

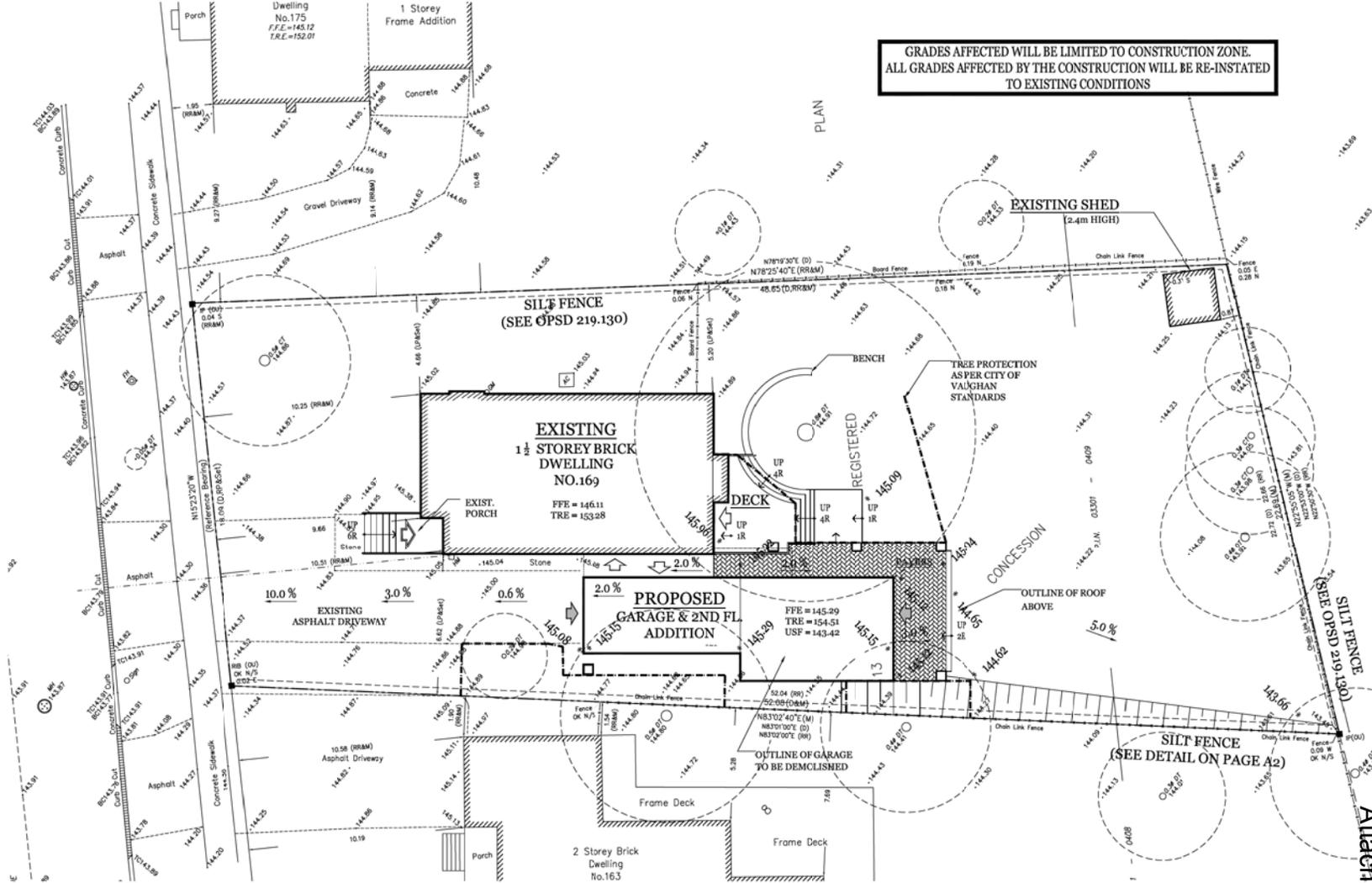
1
A6.1

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| LEGEND | |
|--------|---|
| FFE | FINISHED FLOOR ELEVATION |
| TFW | TOP OF FOUNDATION WALL |
| TBS | TOP OF BASEMENT SLAB |
| USF | UNDER SIDE FOOTING |
| USFR | UNDER SIDE FOOTING @ REAR WOB |
| USFG | UNDER SIDE FOOTING @ GARAGE |
| UP R | NUMBER OF RISERS TO UPWARD |
| DN R | NUMBER OF RISERS TO DOWNWARD |
| WOB | WALKOUT BASEMENT |
| TRE | TOP OF ROOF ELEVATION |
| | MAIN ENTRANCE DOOR |
| | MAN DOOR |
| | GARAGE DOOR |
| | FLOOR DRAIN |
| | AIR CONDITIONING |
| | SANITARY MANHOLE |
| | STORM MANHOLE |
| | CATCH BASIN MANHOLE |
| | PROPERTY LINE |
| | PRIVACY FENCE |
| | TRANSFORMER |
| | HYDRANT AND VALVE |
| | EXISTING GRADES TO BE MAINTAINED |
| | PROPOSED GRADES |
| | EMBANKMENT (MAX 3:1 SLOPE UNLESS OTHERWISE NOTED) |
| | STREET TREE |
| | STREET LIGHT |
| | DOWNSPOUT |
| | SILT FENCE |

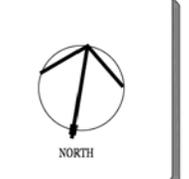
| SITE DATA | |
|---------------------------------|---|
| SINGLE FAMILY DETACHED DWELLING | |
| ZONE | R3 |
| LOT NUMBER | PART OF LOT 13 |
| LOT AREA | 1,006.36SM (10,832SF) |
| BLDG. AREA | 239.86 (2,581SF) (INCL. NEW & EXISTING) |
| NO. OF STOREYS | 2 (NEW) - 1 1/2 (EXISTING) |



GRADES AFFECTED WILL BE LIMITED TO CONSTRUCTION ZONE.
ALL GRADES AFFECTED BY THE CONSTRUCTION WILL BE RE-INSTATED TO EXISTING CONDITIONS

| PROPOSED RENOVATION & ADDITION | |
|--|-----------------------|
| Project: | Project #: |
| 169 Clarence Street, Vaughan, ON., L4L1L4 | 13021 (DA. 14.098) |

| No. | Description | Date | By |
|-----|---------------------------------------|---------------|----|
| 4 | REVISION AS PER CITY COMMENTS (4.4) | NOV 01, 2018 | RR |
| 3 | ISSUED FOR SITE DEVELOPMENT APP (4.3) | AUG. 2, 2018 | GF |
| 2 | ISSUED FOR SITE DEVELOPMENT APP (4.2) | JUL. 27, 2016 | GS |
| 1 | ISSUED FOR SITE DEVELOPMENT APP. | DEC. 23, 2014 | GS |



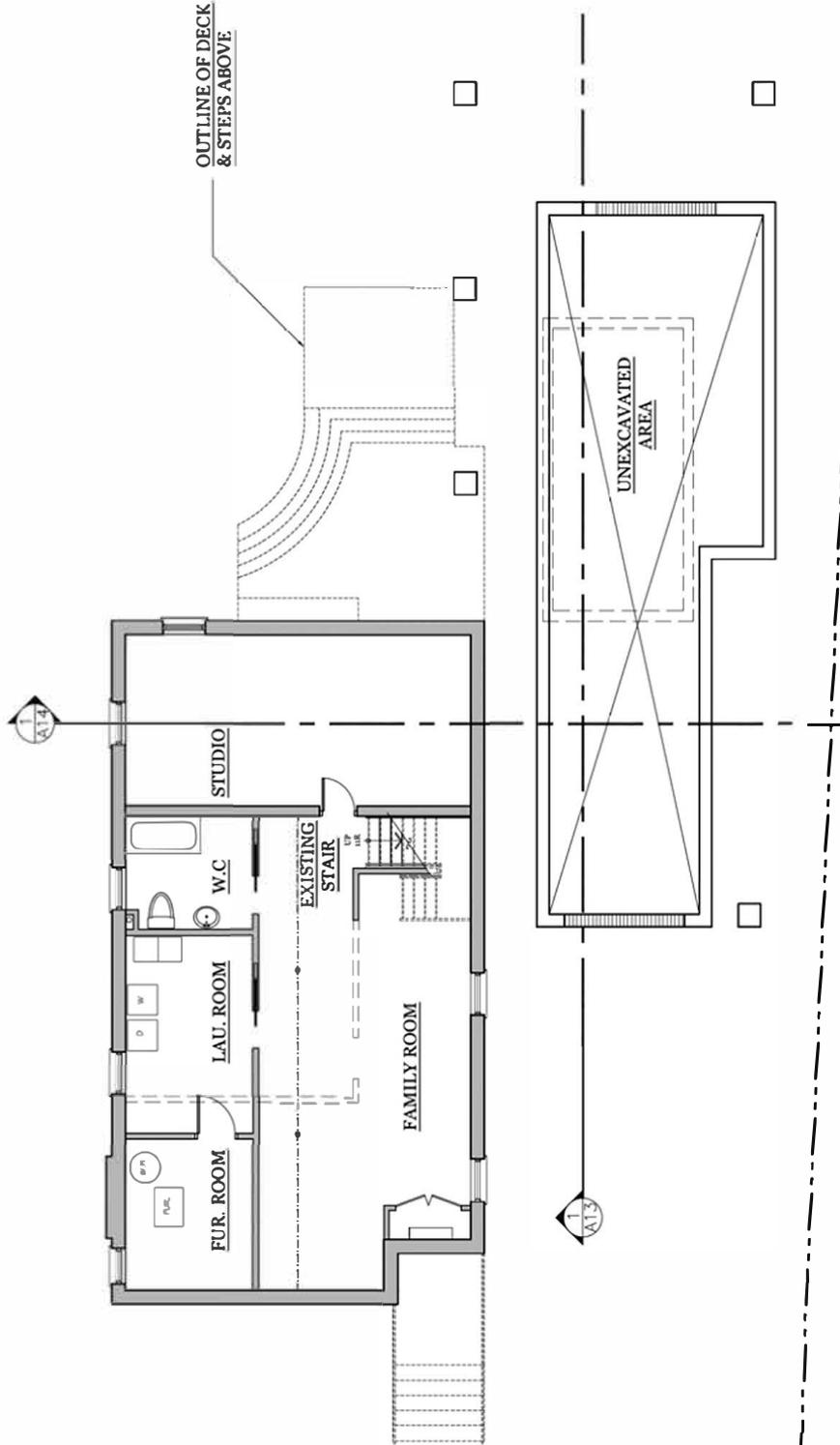
SITE GRADING PLAN
SCALE 1/16" = 1'-0"

1
A3.1



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giorgio@frascadesignandplanning.com

Attachment #5 Proposed Site Plan



BASEMENT FLOOR PLAN 1
A4

SCALE 1/8" = 1'-0"



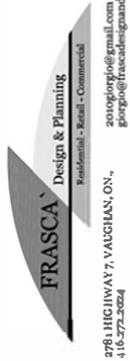
| No. | Description | Date | By |
|-----|-------------------------------------|---------------|----|
| 1. | ISSUED FOR SITE DEVELOPMENT APP. | DEC. 23, 2014 | GS |
| 2. | ISSUED FOR SITE DEVELOPMENT APP(4a) | JUL. 27, 2016 | GS |
| 3. | ISSUED FOR SITE DEVELOPMENT APP(4a) | AUG. 2, 2018 | GF |
| 4. | REVISION AS PER CITY COMMENTS(4a) | NOV. 01, 2018 | RR |

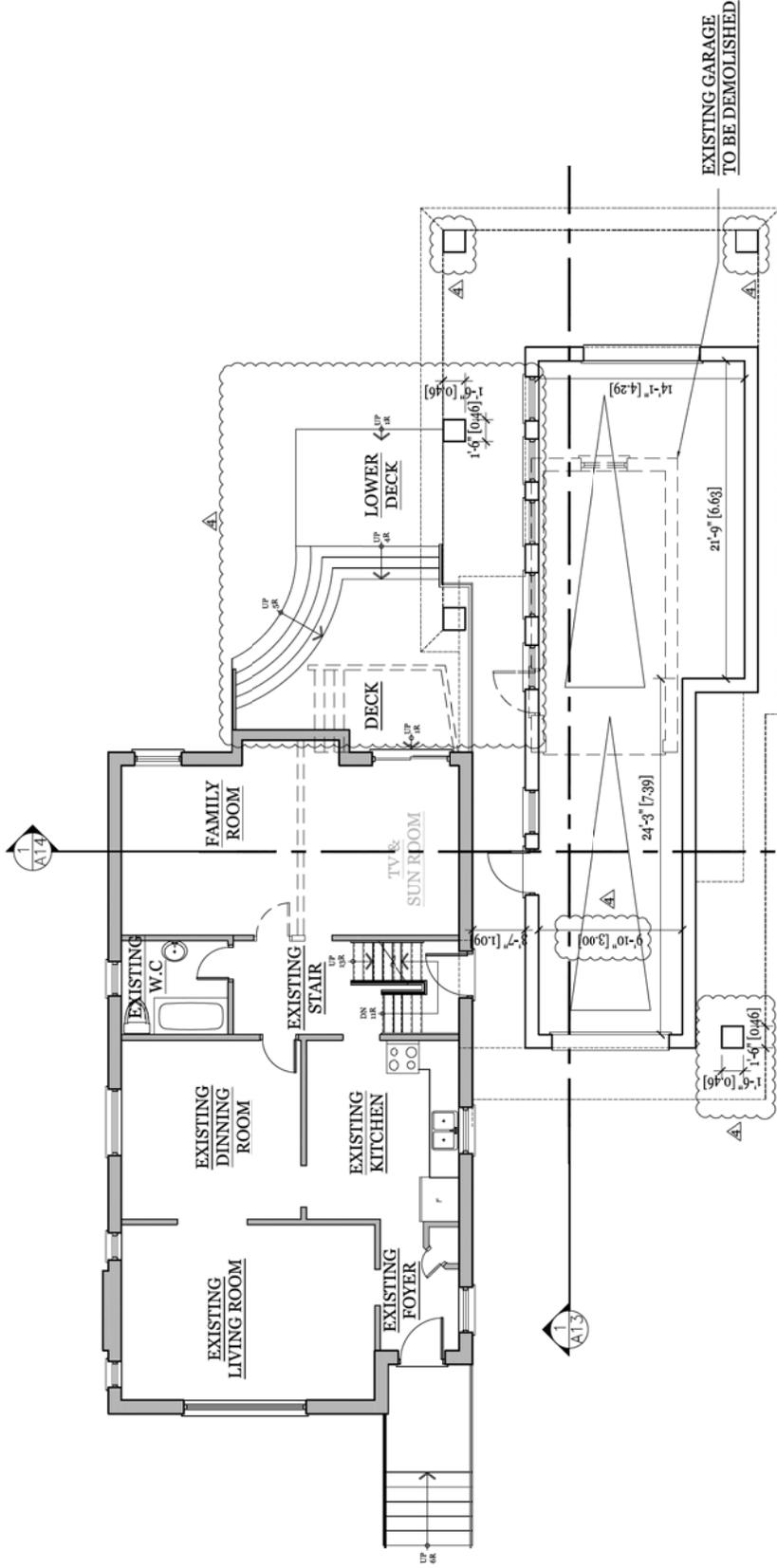
| No. | Description | Date | By |
|-----|-------------------------------------|---------------|----|
| 1. | ISSUED FOR SITE DEVELOPMENT APP. | DEC. 23, 2014 | GS |
| 2. | ISSUED FOR SITE DEVELOPMENT APP(4a) | JUL. 27, 2016 | GS |
| 3. | ISSUED FOR SITE DEVELOPMENT APP(4a) | AUG. 2, 2018 | GF |
| 4. | REVISION AS PER CITY COMMENTS(4a) | NOV. 01, 2018 | RR |

PROPOSED RENOVATION & ADDITION

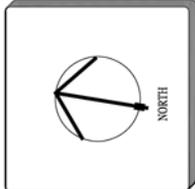
Project #:
13021
(DA. 14.098)

169 Clarence Street,
Vaughan, ON., L4L 1L4





GROUND FLOOR PLAN
SCALE 1/8"=1'-0"



| No. | Description | Date | By |
|-----|---------------------------------------|---------------|----|
| 4. | REVISION AS PER CITY COMMENTS (4.4) | NOV 01, 2018 | RR |
| 3. | ISSUED FOR SITE DEVELOPMENT APP (4.3) | AUG. 2, 2018 | GF |
| 2. | ISSUED FOR SITE DEVELOPMENT APP (4.2) | JUL. 27, 2016 | GS |
| 1. | ISSUED FOR SITE DEVELOPMENT APP. | DEC. 23, 2014 | GS |

| No. | Description | Date | By |
|-----|-------------|------|----|
| | | | |
| | | | |
| | | | |
| | | | |

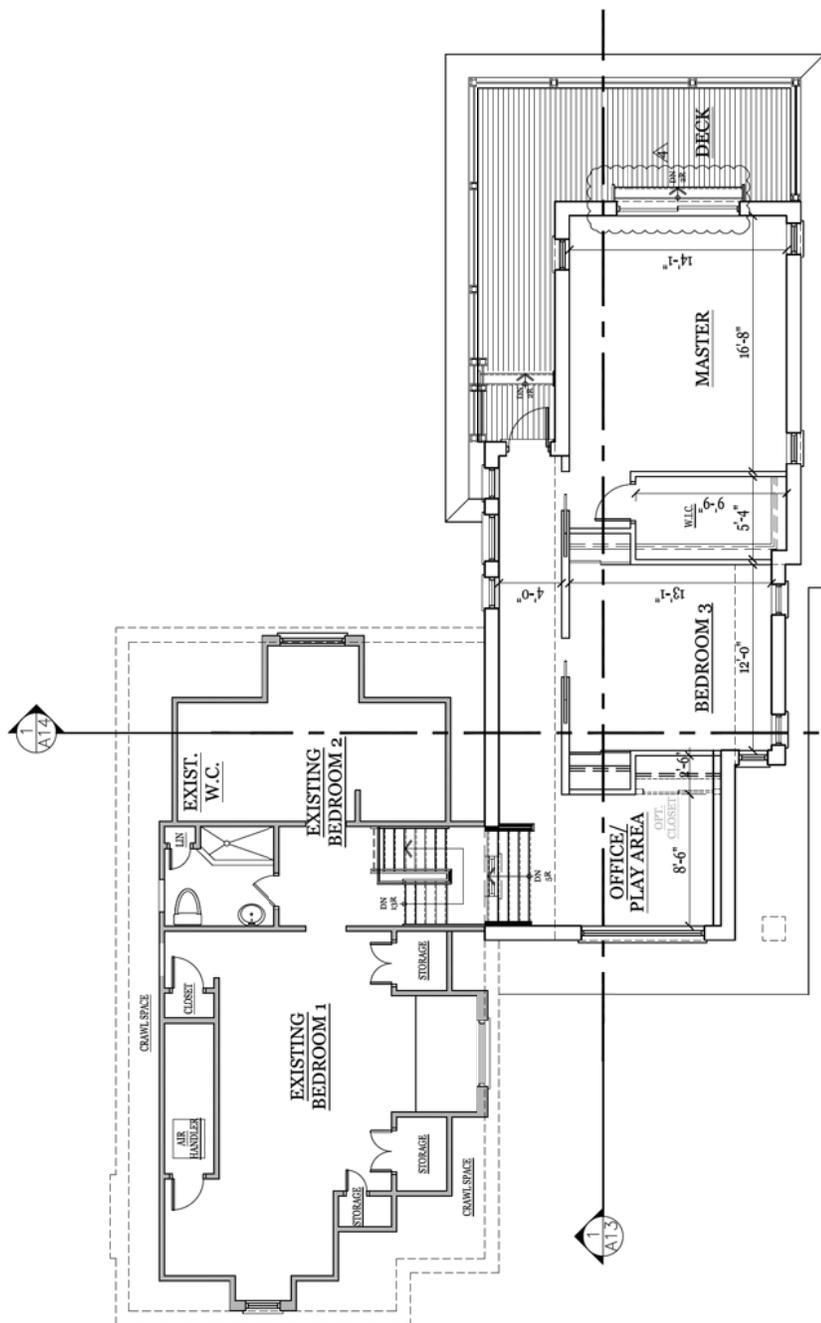
PROPOSED RENOVATION & ADDITION

Project #:
13021
(DA. 14.098)

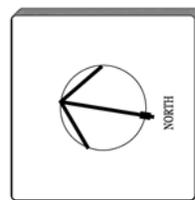
Project:
169 Clarence Street,
Vaughan, ON., L4L1L4

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giorgio@frascadesignandplanning.com
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SECOND FLOOR PLAN
SCALE 1/8" = 1'-0"



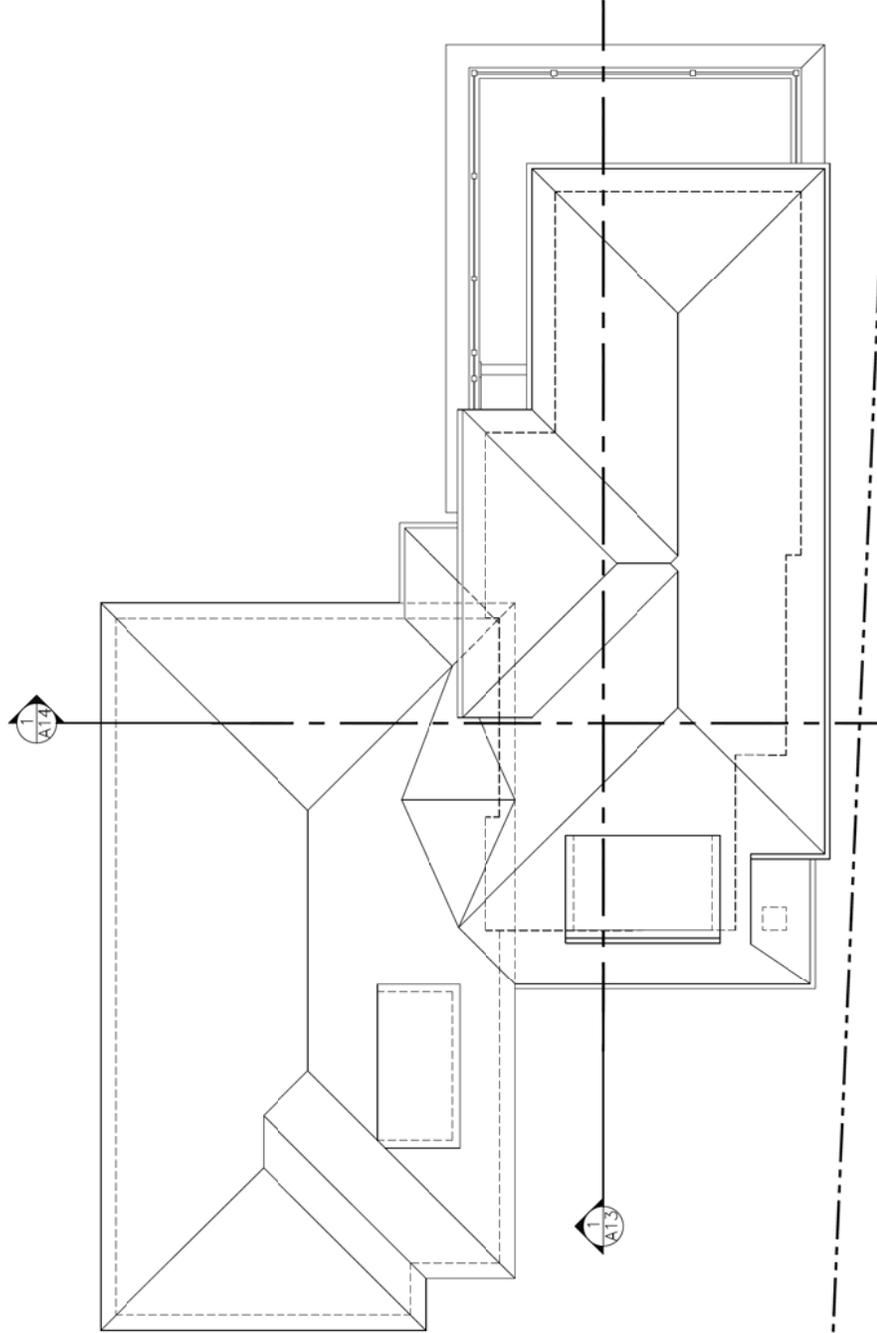
| No. | Description | Date | By |
|-----|----------------------------------|---------------|----|
| 1. | ISSUED FOR SITE DEVELOPMENT APP. | DEC. 23, 2014 | GS |
| 2. | ISSUED FOR SITE DEVELOPMENT APP. | JUL. 27, 2016 | GS |
| 3. | ISSUED FOR SITE DEVELOPMENT APP. | AUG. 2, 2018 | GF |
| 4. | REVISION AS PER CITY COMMENTS | NOV 01, 2018 | RR |

| | | | |
|--|--|-------------|--|
| PROPOSED RENOVATION & ADDITION | | | |
| Project #: | | 13021 | |
| Project #: | | (DA-14-098) | |
| 169 Clarence Street, Vaughan, ON, L4L 1L4 | | | |

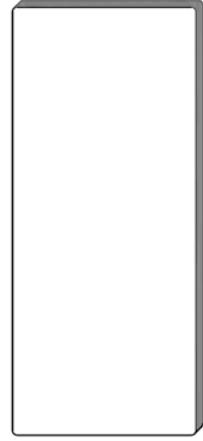
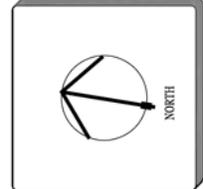
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416-272-2024

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george@frascadesignandplanning.com

1
A6



ROOF PLAN
SCALE 1/8" = 1'-0"



| No. | Description | Date | By |
|-----|---------------------------------------|---------------|----|
| 4 | REVISION AS PER CITY COMMENTS (4.4) | NOV 01, 2018 | RR |
| 3 | ISSUED FOR SITE DEVELOPMENT APP (4.3) | AUG. 2, 2018 | GF |
| 2 | ISSUED FOR SITE DEVELOPMENT APP (4.2) | JUL. 27, 2016 | GS |
| 1 | ISSUED FOR SITE DEVELOPMENT APP. | DEC. 23, 2014 | GS |

PROPOSED RENOVATION & ADDITION

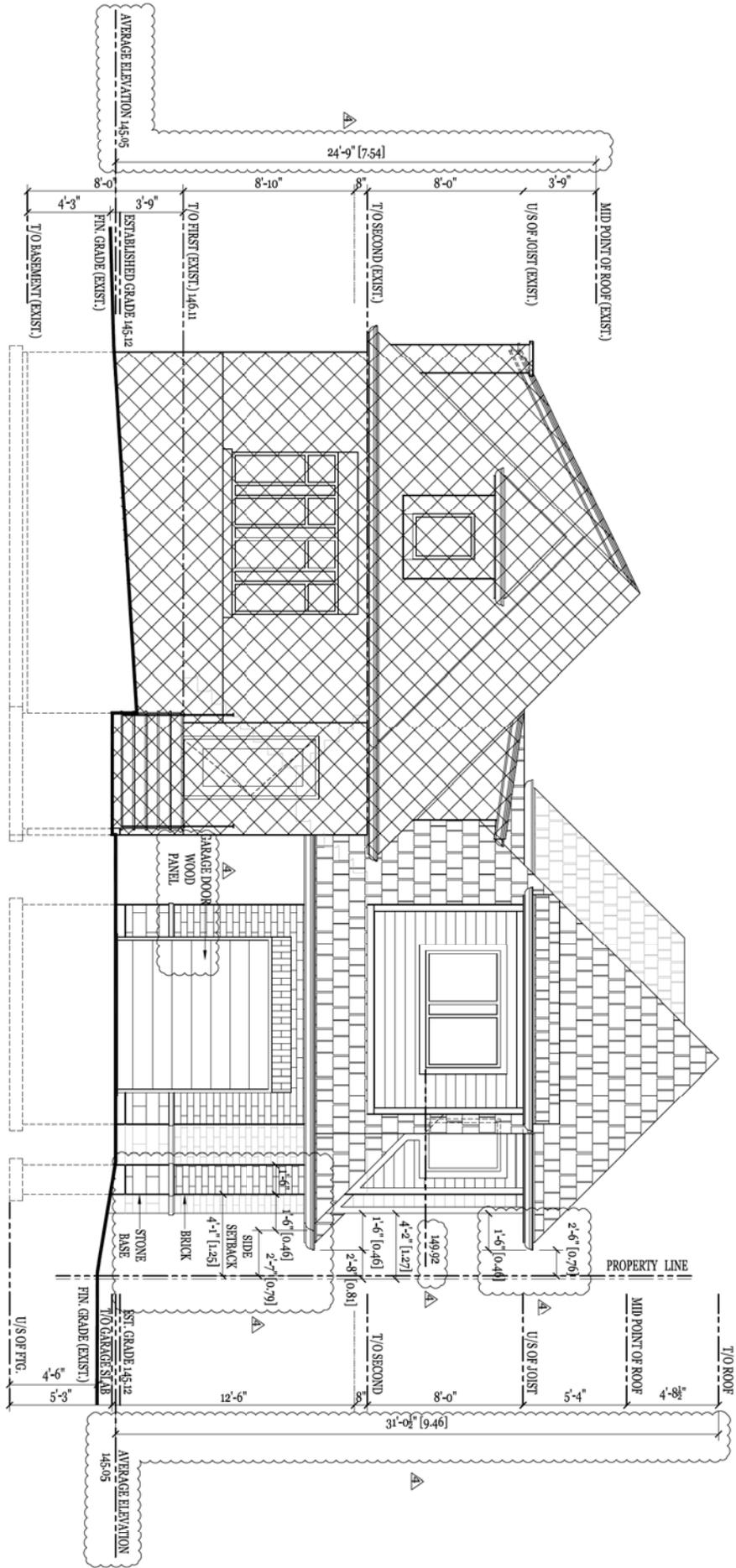
Project #:
13021
(DA-14-098)

Project:
169 Clarence Street,
Vaughan, ON - L4L1L4

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Residential - Retail - Commercial

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giorgio@frascadesignandplanning.com
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416-272-2024

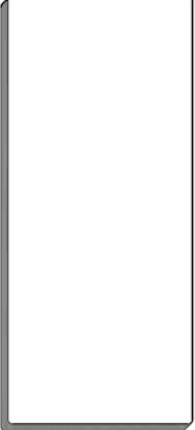
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A7



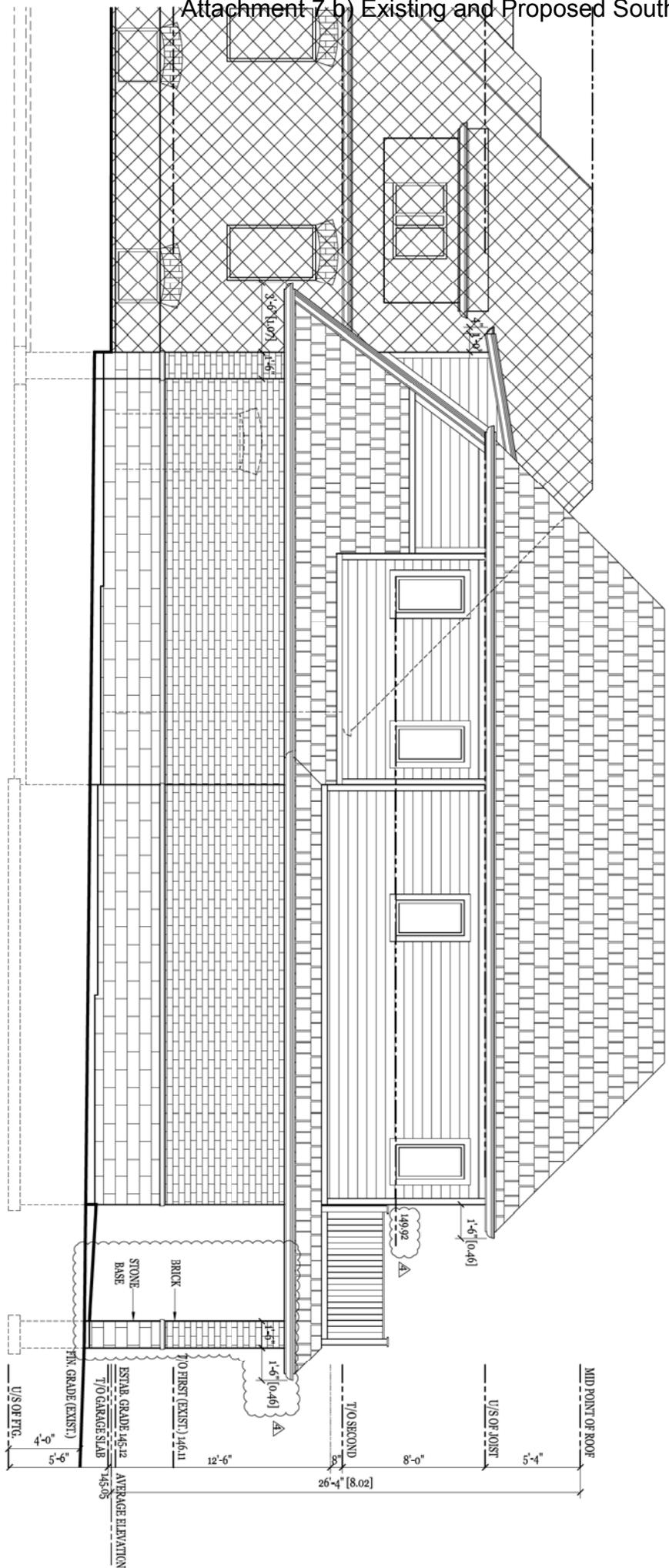
PROPOSED RENOVATION & ADDITION

Project: 169 Clarence Street, Vaughan, ON, L4L1L4
 Project #: 19021
 (D.A. 14-098)

| No. | Description | Date | By |
|-----|------------------------------------|---------------|----|
| 1. | ISSUED FOR SITE DEVELOPMENT APP. | DEC. 23, 2014 | CS |
| 2. | ISSUED FOR SITE DEVELOPMENT APP. | JUL. 27, 2016 | CS |
| 3. | ISSUED FOR SITE DEVELOPMENT APP. | AUG. 2, 2018 | CS |
| 4. | REVISION AS PER CITY COMMENTS (44) | OCT. 25, 2018 | RR |



EXISTING & PROPOSED WEST ELEVATION
 SCALE 3/16" = 1'-0"

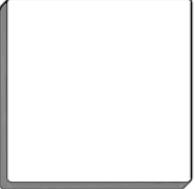
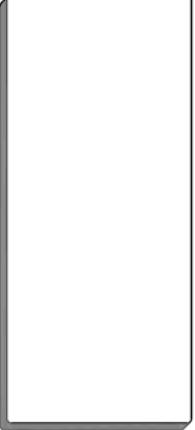


See Sheet A11 for Continuation

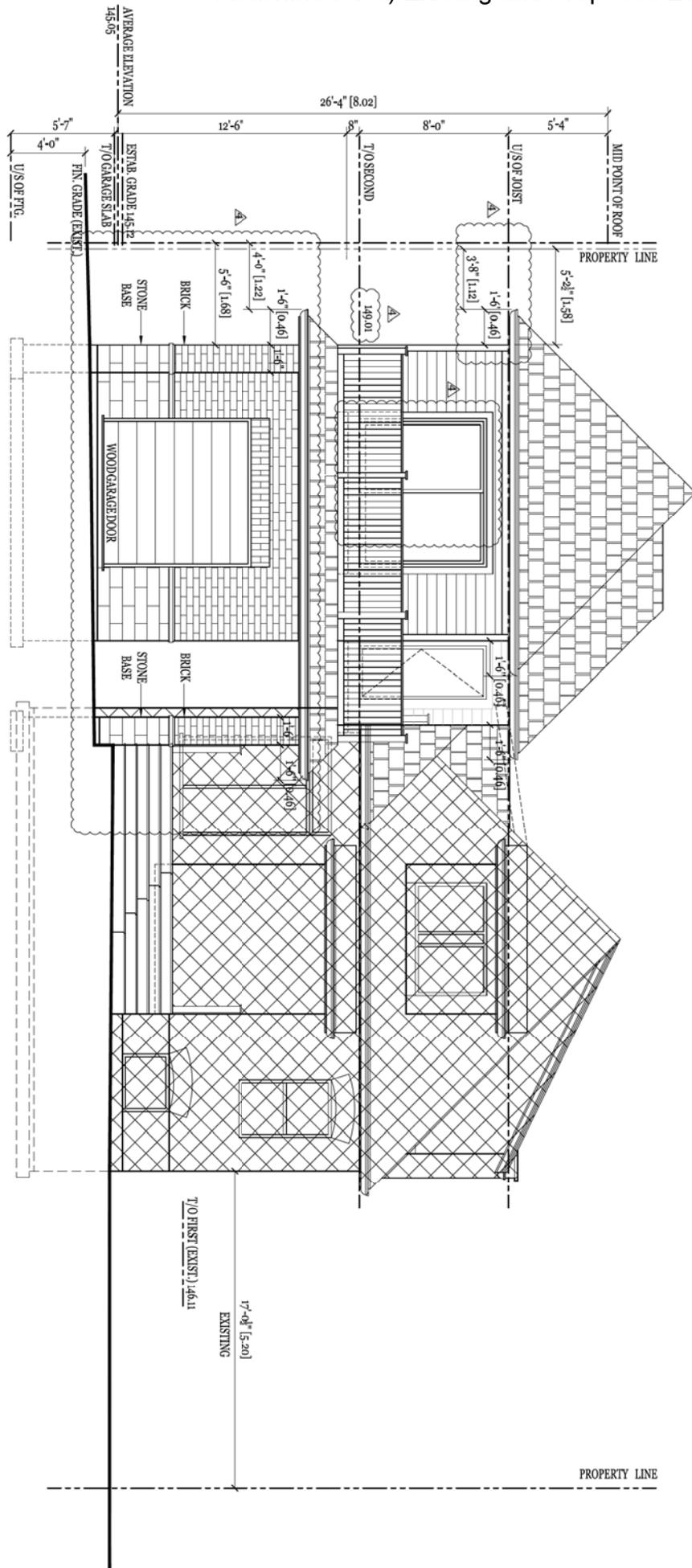
PROPOSED RENOVATION & ADDITION

Project: 169 Clarence Street, Vaughan, ON, L4L1L4
 Project #: 19021 (DA 14498)

| No. | Description | Date | By |
|-----|--------------------------------------|---------------|----|
| 1. | ISSUED FOR SITE DEVELOPMENT APP.(42) | DEC. 23, 2014 | CS |
| 2. | ISSUED FOR SITE DEVELOPMENT APP.(42) | JUL. 27, 2016 | CS |
| 3. | ISSUED FOR SITE DEVELOPMENT APP.(43) | AUG. 2, 2018 | CS |
| 4. | REVISION AS PER CITY COMMENTS (44) | OCT. 25, 2018 | RR |



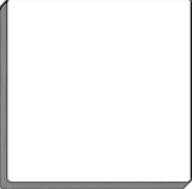
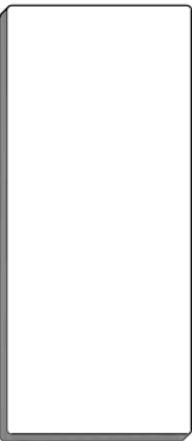
EXISTING & PROPOSED SOUTH ELEVATION
 SCALE 3/16"=1'-0"



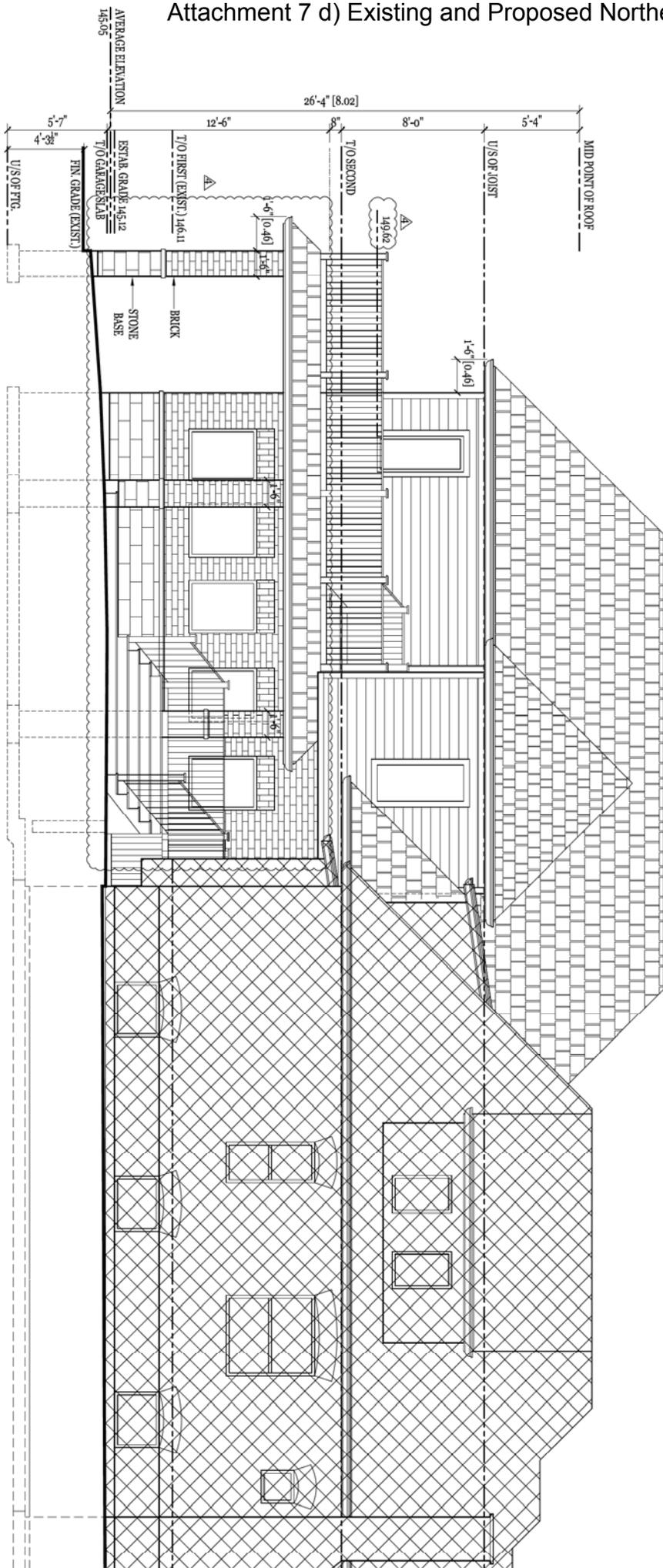
PROPOSED RENOVATION & ADDITION

Project: 169 Clarence Street, Vaughan, ON, L4L1L4
 Project #: 19021 (DA 14298)

| No. | Description | Date | By |
|-----|--------------------------------------|---------------|----|
| 1. | ISSUED FOR SITE DEVELOPMENT APP (42) | DEC. 23, 2014 | CS |
| 2. | ISSUED FOR SITE DEVELOPMENT APP (42) | JUL. 27, 2016 | CS |
| 3. | ISSUED FOR SITE DEVELOPMENT APP (43) | AUG. 2, 2018 | RR |
| 4. | REVISION AS PER CITY COMMENTS (44) | OCT. 25, 2018 | RR |



EXISTING & PROPOSED EAST ELEVATION
 SCALE 3/16"=1'-0"

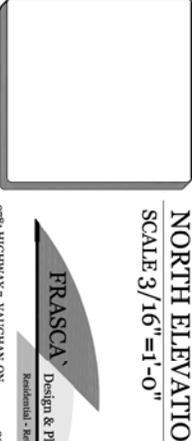


PROPOSED RENOVATION & ADDITION

Project: 169 Clarence Street, Vaughan, ON, L4L1L4

Project #: 19021 (DA 14298)

| No. | Description | Date | By |
|-----|--------------------------------------|---------------|----|
| 1. | ISSUED FOR SITE DEVELOPMENT APP (42) | DEC. 23, 2014 | CS |
| 2. | ISSUED FOR SITE DEVELOPMENT APP (42) | JUL. 27, 2016 | CS |
| 3. | ISSUED FOR SITE DEVELOPMENT APP (43) | AUG. 2, 2018 | CS |
| 4. | REVISION AS PER CITY COMMENTS (44) | OCT. 25, 2018 | RR |



EXISTING & PROPOSED NORTH ELEVATION
 SCALE 3/16" = 1'-0"

See Sheet A11 for Continuation



1 EXISTING ASPHALT SHINGLES



2 WOOD GARAGE DOOR



3 EXISTING BRICK



4 EXISTING BLOCK



5 EXISTING FLAGSTONE



6 ASPHALT SHINGLES IKO - SHADOW SLATE



7 JAMES HARDIE KHAKI BROWN



8 THE BOWERSTON SHALE COMPANY HOOSIER BELND V/M



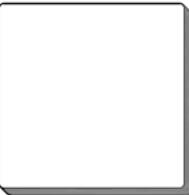
9 ARRISCAFT RENAISSANCE SANDRIFT ROCKED



10 1"x 4" CEADER PLANKS

| | |
|--|---|
| PROPOSED RENOVATION & ADDITION | |
| Project: 169 Clarence Street, Vaughan, ON., L4L1L4 | Project #: 13021 (DA. 14.098) |

| No. | Description | Date | By |
|-----|--|---------------|----|
| 4. | ISSUED FOR SITE DEVELOPMENT APP (44) OPTION 04 | NOV. 01, 2018 | RR |
| 3. | ISSUED FOR SITE DEVELOPMENT APP (43) OPTION 03 | AUG. 02, 2018 | GF |
| 2. | ISSUED FOR SITE DEVELOPMENT APP (42) | JUL. 27, 2016 | GS |
| 1. | ISSUED FOR SITE DEVELOPMENT APP. | DEC. 23, 2014 | GS |



ARCHITECTURAL MATERIAL BOARD
SCALE NTS



January 26th, 2018

ARBORIST REPORT

Costa Residence

169 Clarence Street, Vaughan, Ontario

BACKGROUND

Nick Miele was retained to conduct an inventory of the existing trees located at 169 Clarence Street, as they pertain to the City of Vaughan Tree By-laws. Field work was completed on January 11th, 2018, this report relates to the condition of the trees as observed on that date.

PROCEDURE

The on-site inventory of existing trees was carried out using the current survey of the property and relies on the accuracy of this survey. The inventory includes by-law trees within the site boundary, all trees within adjacent public boulevards, and all private trees within 6.0 metres of the site boundary as per City of Vaughan's guidelines.

This inventory is summarized graphically in the Tree Inventory Plan TI-1, which shall always be read in conjunction with this report and shall form part of this report. For the purposes of this report, trees and groupings of trees are identified in terms of species, size, condition, and recommendations.

The following rating system was used in describing the general condition of the trees inventoried:

Good (G): Indicates a condition of vigour and no major concerns;

Fair (F): Indicates an adequate tree, which may have some minor issues;

Poor (P): Indicates declining health, bad form, or other more serious issues;

Dead (D): Indicates a dead tree that should be removed.

ASSUMPTIONS AND LIMITING CONDITIONS

- Care has been taken to obtain all information from reliable sources. All data has been verified insofar as possible and is assumed to be correct; however Nick Miele can neither guarantee nor be responsible for the accuracy of information provided by others.
- It is assumed that the properties are not in violation of any applicable codes, ordinances, statutes, or other governmental regulations.
- Unless otherwise required by law, possession of this report or a copy thereof does not imply right of publication or use for any purpose in whole or in part by any other than the person or company by whom it was commissioned.
- The use of excerpts from this report or alterations to this report, without the authorization of Nick Miele will invalidate the entire report. This report may not be used for any purpose other than its intended purpose as outlined.

- Unless expressed otherwise: 1) information contained in this report covers only those items that were examined and reflect the condition of those items at the time of inspection; and 2) the inspection is limited to visual examination or accessible items without dissection, excavation, probing, or coring. There is no warranty or guarantee, expressed or implied, that problems or deficiencies in the plants inventoried may not arise in the future.
- The determination of ownership of any subject tree(s) is the responsibility of the owner and any civil or common-law issues, which may exist between property owners with respect to trees, must be resolved by the owner. The recommendation to remove or maintain any tree(s) does not grant authority to encroach in any manner onto adjacent private properties.

SUMMARY OF TREES INVENTORIED

The following table summarizes the on-site trees.

| Tree # | Common Name | Botanical Name | DBH (CM) | Condition | Comments | Recommendation |
|--------|-------------|----------------|----------|-----------|----------|----------------|
| 1 | Oak | Quercus sp. | 5 | Fair | | Retain |
| 2 | Spruce | Picea sp. | 53 | Fair | | Retain |
| 3 | Crabapple | Malus sp. | 11 | Fair | | Retain |
| 4 | Apple | Malus sp. | 22 | Fair | | Retain |
| 5 | Maple | Acer sp. | 81 | Fair | | Retain |
| 6 | Birch | Betula sp. | 12 | Fair | | Retain |
| 7 | Spruce | Picea sp. | 31 | Fair | | Retain |
| 8 | Spruce | Picea sp. | 30 | Fair | | Retain |
| 9 | Maple | Acer sp. | 42 | Fair | | Retain |
| 10 | Maple | Acer sp. | 32 | Fair | | Retain |
| 11 | Maple | Acer sp. | 31 | Fair | | Retain |
| 12 | Maple | Acer sp. | 42 | Fair | | Retain |
| 13 | Maple | Acer sp. | 51 | Fair | | Retain |
| 14 | Oak | Quercus sp. | 22 | Fair | | Retain |

TREE PROTECTION RECOMMENDATIONS

The following standards shall apply to any trees that are identified to be retained. Where the municipality enforces its own standards, those of the governing municipality shall supersede the recommendations contained herein. In all other instances, the following recommendations shall be treated as minimum standards for tree protection and retention.

1.0 ESTABLISH A TREE PROTECTION ZONE

The purpose of the tree protection zone is to prevent root damage, soil compaction and soil contamination during construction activities. Workers and machinery shall not disturb the tree protection zone in any way. In order to prevent access, the following recommendations are offered.

- Install tree protection hoarding as per City of Vaughan detail TP1.
- Allow no fill, equipment, supplies, or waste within the tree protection zone.
- Maintain the tree protection hoarding in good condition for the duration of construction.
- Tree protection hoarding is not to be removed until all construction activities have been completed.

2.0 ROOT PRUNING

Where possible, hand dig areas closest to each tree to prevent any unnecessary tearing or pulling of roots. Removal of roots that are greater than 2.5 centimetres in diameter or roots that are injured or diseased should be performed as follows:

- Preserve the root bark ridge (similar in structure to the branch bark ridge). Directional Root Pruning (DRP) is the recommended technique and should be employed during hand excavation around tree roots. Roots are similar to branches in their response to pruning practices. With DRP, objectionable and severely injured roots are properly cut to a lateral root that is growing downward or in a favorable direction.
- All roots needing to be pruned or removed shall be cut cleanly with sharp hand tools, by a Certified Arborist.
- No wound dressings or pruning paint shall be used to cover the ends of each cut.
- All roots requiring pruning shall be cut using any of the following tools:
Large or small loppers, Hand pruners, Small hand saws, Woundscribers
- Avoid prolonged exposure of tree roots during construction - keep exposed roots moist and dampened with mulching materials, irrigation or wrap in burlap if exposed for longer than 4 hours.

3.0 FERTILIZATION AND IRRIGATION

The following measures are recommended:

- Aeration and deep root fertilize to ensure that all trees receive the appropriate nutrients for healthy growth.
- Fertilizer must be a low nitrogen formula such as 5-30-30 to promote root growth rather than shoot growth.
- If construction occurs during July and / or August, roots must be irrigated during conditions of drought.

4.0 ESTABLISH MAINTENANCE PROGRAM

Pre-Construction:

- Prune all trees to remove any deadwood and obstruction prune as required.

During Construction:

- Irrigate tree preservation zones during drought conditions (June through September), in an attempt to reduce the effects of drought stress.
- Inspect the site every month to ensure that all tree protection fence / hoarding is in place and in good condition, inspect the trees to monitor condition.

Post-Construction:

- Prune crowns to remove any newly developed deadwood only. Do not remove any live growth.
- Inspect the trees three times per year (May, July, and September) to monitor condition for a minimum period of 2 additional years.

5.0 LANDSCAPING

Any landscaping completed within the tree preservation zones, after construction is completed and tree protection fencing / hoarding has been removed, is to be carried out in such a way that it will not cause damage to any of the trees or their roots. The trees must be protected to the same standards listed earlier in this report, but without the use of tree protection fence or hoarding.

The following guidelines are recommended:

- **No grade changes** are permitted which include adding and/or removing soil.
- **No excavation** is permitted that can cause damage to the roots of the tree.
- **No heavy equipment** can be used to compact the soil within the tree preservation zone.
- Where possible, hard surface paving around trees to be protected should be constructed using permeable products such as interlocking stone. Areas to be paved must be hand dug when encroaching within the tree protection zone.

CONCLUSIONS

It is our opinion that the trees identified for retention can be successfully retained if the recommendations contained herein are followed.

Kindly direct any questions regarding this report to the undersigned.

Respectfully submitted,



Nick A. Miele BLA, OALA, CSLA, ISA
ISA Certified Arborist No. ON-1251A



**PROPOSED
RENOVATION & ADDITION**

Project: 169 Clarence Street,
Vaughan, ON., L4L1L4

Project #: 13021
(DA. 14.098)

| No. | Description | Date | By |
|-----|--------------------------------------|---------------|----|
| 1. | ISSUED FOR SITE DEVELOPMENT APP (44) | NOV. 01, 2018 | RR |



**STREETSCAPE VIEW
(CLARENCE STREET)**
SCALE NTS

1
R2



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