

ITEM: 6.4	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A157/24
------------------	--

Report Date: November 29, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Engineering	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Forestry	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
By-law & Compliance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
TTC	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
CN Rail	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
Applicant			08/30/2024	Application Cover Letter

BACKGROUND (SCHEDULE D, IF REQUIRED)

* Background Information contains historical development approvals considered to be related to this file.
This information should not be considered comprehensive.

Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
A022/17	January 16, 2017; COA APPROVED
A072/23	July 13, 2023; COA APPROVED

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
N/A	N/A

SCHEDULES

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A157/24

CITY WARD #:	2
APPLICANT:	Primont (Islington) Inc.
AGENT:	Darrin Cohen (Weston Consulting)
PROPERTY:	7082 Islington Avenue, Vaughan
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "High-Rise Residential", subject to Site-specific Policy 13.41 by Volume 2.
RELATED DEVELOPMENT APPLICATIONS:	OP.25.005, DA.20.007, and DA.22.066
PROPOSAL:	Relief from the Zoning By-law is being requested to permit increased height for Building A (Tower 1 and 2) and Building B, Tower 3 and 4) as shown on the plans submitted with the application. Relief is also required to finalized related Site Plan Application DA.22.066

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned RA3 (H) Apartment Dwelling, subject to a holding provision, and subject to Exception 9(1323) under Zoning Bylaw 1-88.

#	Zoning By-law 1-88	Variance requested
1	A maximum building height of 22 storeys (79 m) is permitted for Building A, Tower 1. [9(1323) B1.gv]	To permit a maximum building height of 23 storeys (73 m) for Building A, Tower 1. [9(1323) B1.gv]
2	A maximum building height of 32 storeys (105 m) is permitted for Building A, Tower 2. [9(1323) B1.gv]	To permit a maximum building height of 33 storeys (103 m) for Building A, Tower 2. [9(1323) B1.gv]
3	A maximum building height of 30 storeys (97 m) is permitted for Building B, Tower 3. [9(1323) B1.gv]	To permit a maximum building height of 31 storeys (97 m) for Building B, Tower 3. [9(1323) B1.gv]
4	A maximum building height of 22 storeys (79 m) is permitted for Building B, Tower 4. [9(1323) B1.gv]	To permit a maximum building height of 23 storeys (73 m) for Building B, Tower 4. [9(1323) B1.gv]

HEARING INFORMATION

DATE OF MEETING: Thursday, December 5, 2024

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive

LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

HEARING INFORMATION

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Posted Online:	November 21, 2024
Date Applicant Confirmed Posting of Sign:	November 20, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	Increase height of proposed buildings
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

COMMENTS:

Due to the postal workers' strike, residents might experience delays in receiving public hearing notices by mail. However, the Committee of Adjustment remains committed to providing public notifications of upcoming hearings as per the Planning Act and its regulations. We will continue to:

- Publish hearing notices on the municipal website.
- Post links to agendas and application information on our webpages.
- Email links to hearing agendas to community associations, Councillors' offices and other contacts.
- Ensure a public hearing notice is posted on the property subject to an application.

For more information on Public Notices and to search for notices related to upcoming Council or Committee meetings, please visit: [Public Notices | City of Vaughan](#)

Committee of Adjustment Recommended Conditions of Approval:	None.
--	-------

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval:	None.
---	-------

DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	TBD
---	-----

DEVELOPMENT ENGINEERING

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

The Development Engineering (DE) Department does not object to Minor Variance Application A157/24 associated with Site Plan Application DA.22.066 with respect to the maximum building height.

Development Engineering Recommended Conditions of Approval:	None
--	------

PARKS, FORESTRY & HORTICULTURE (PFH)

Forestry is working with planning on this file.

PFH Recommended Conditions of Approval:	None
--	------

DEVELOPMENT FINANCE

No comment no concerns.

Development Finance Recommended Conditions of Approval:	None.
--	-------

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments.

BCLPS Recommended Conditions of Approval:	None.
--	-------

BUILDING INSPECTION (SEPTIC)

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None.
--	-------

FIRE DEPARTMENT

No comments received to date.

Fire Department Recommended Conditions of Approval:	None.
--	-------

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	TRCA yorkplan@trca.ca	That the applicant provides the required fee amount of \$2,110.00 payable to the Toronto and Region Conservation Authority.

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

IMPORTANT INFORMATION

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

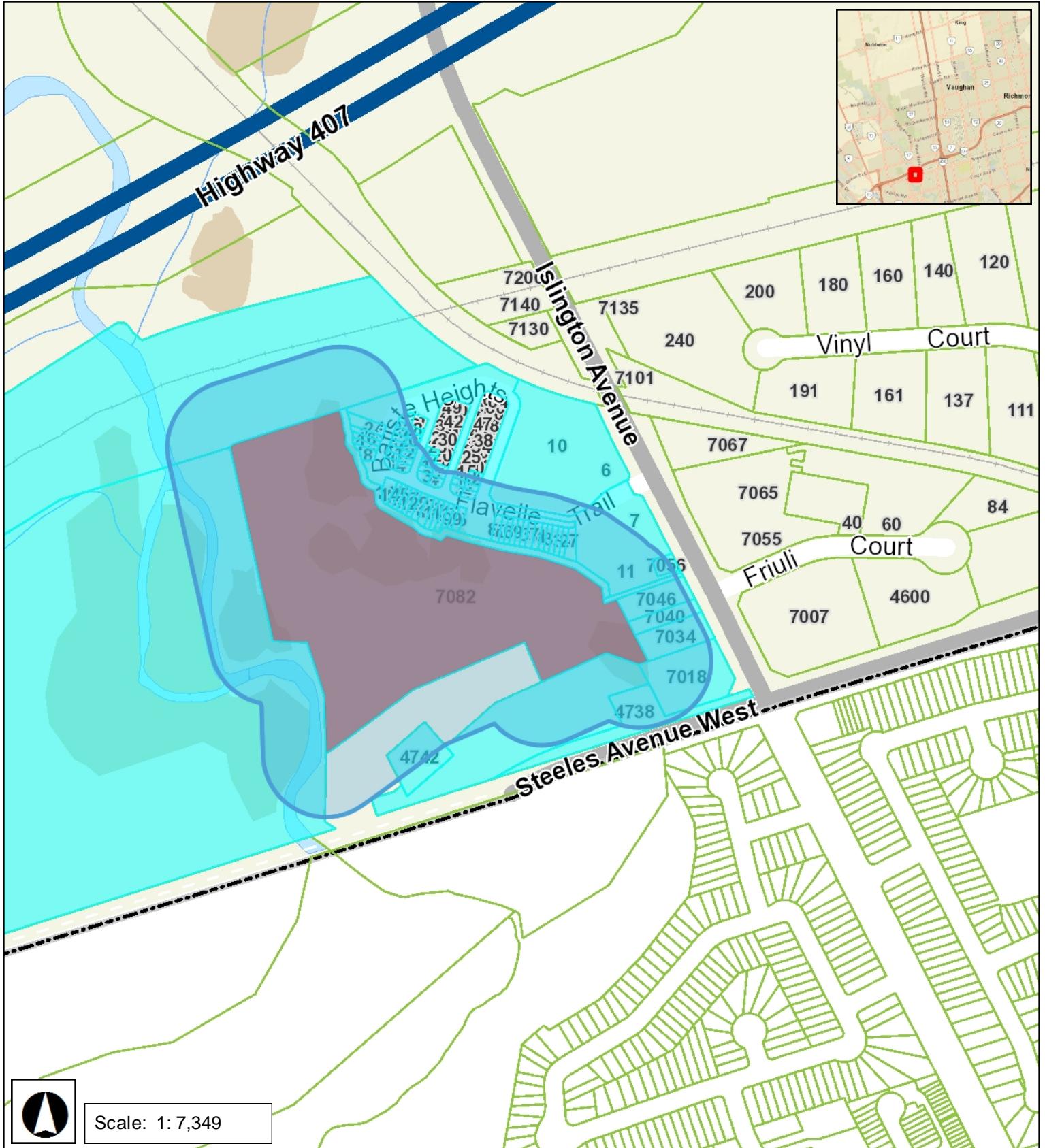
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

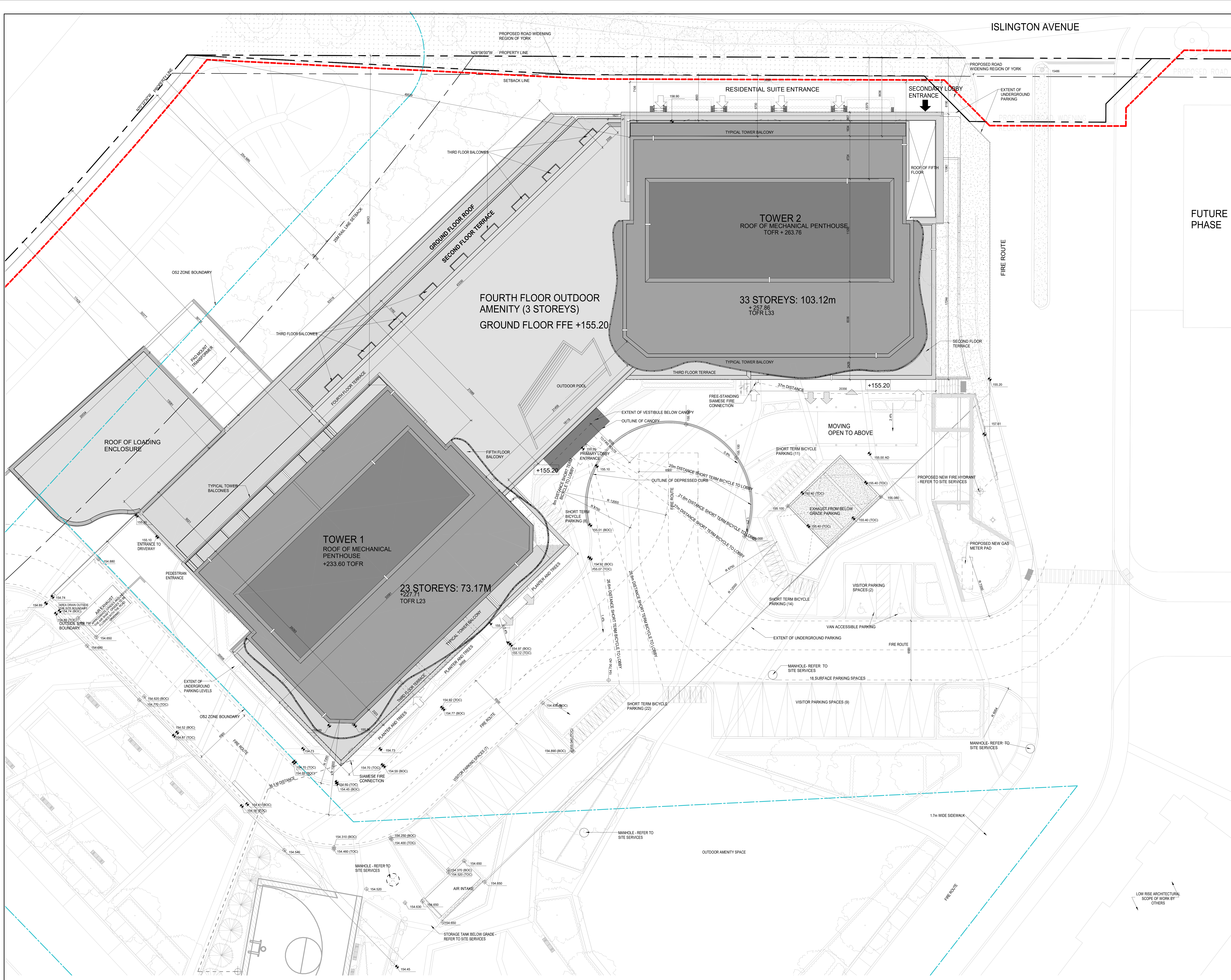
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS





KEY PLAN

SITE PLAN LEGEND

- PROPERTY LINE
- LINE OF UNDER GROUND GARAGE BELOW
- MAIN BUILDING ENTRANCE
- RETAIL ENTRANCE
- EXIT
- VEHICLE / LOADING ENTRANCE / EXIT
- FIRE HYDRANT
- SIAMSE CONNECTION
- MANHOLE COVER
- AREA DRAIN
- CATCH BASIN
- FLOOR DRAIN (PARKING SLAB)
- FLOOR DRAIN (INTERIOR)
- EXISTING LIGHT
- TYPICAL PARKING SPACE
- ACCESSIBLE VISITOR - TYPE A
- ACCESSIBLE VISITOR - TYPE B
- F.F.E. FINISH FLOOR ELEVATION
- EXISTING ELEVATION
- PROPOSED ELEVATION
- TOP OF ROOF
- BUILDING ENVELOPE
- FIRE ACCESS ROUTE HEAVY DUTY PAVING ASSEMBLY TO BE DESIGNED TO MEET THE LOADS IMPOSED BY FIRE FIGHTING EQUIPMENT.
- GREEN ROOF
- TERRACE PAVERS

DATE	DESCRIPTION
2024-02-16	ADDENDUM #6
2023-10-05	ADDENDUM #4
2023-08-08	ADDENDUM #2
2023-06-28	REISSUED FOR SPA
2023-03-31	REISSUED FOR SPA
2023-03-04	LOADING REVISIONS
2022-11-02	REISSUED FOR ZONING COMMENTS
2021-07-19	REISSUED FOR BID
2021-07-16	RE-ISSUED FOR PERMIT (ABOVE GRADE)

REVISION RECORD

DATE	ISSUED FOR
2021-05-28	ISSUED FOR BID

ISSUE RECORD

True North

Project North

BDP. Quadrangle

Quadrangle Architects Limited
 901 King Street West, Suite 101, Toronto, ON M5V 3H5
 416 598 1240 www.bdpquadrangle.com

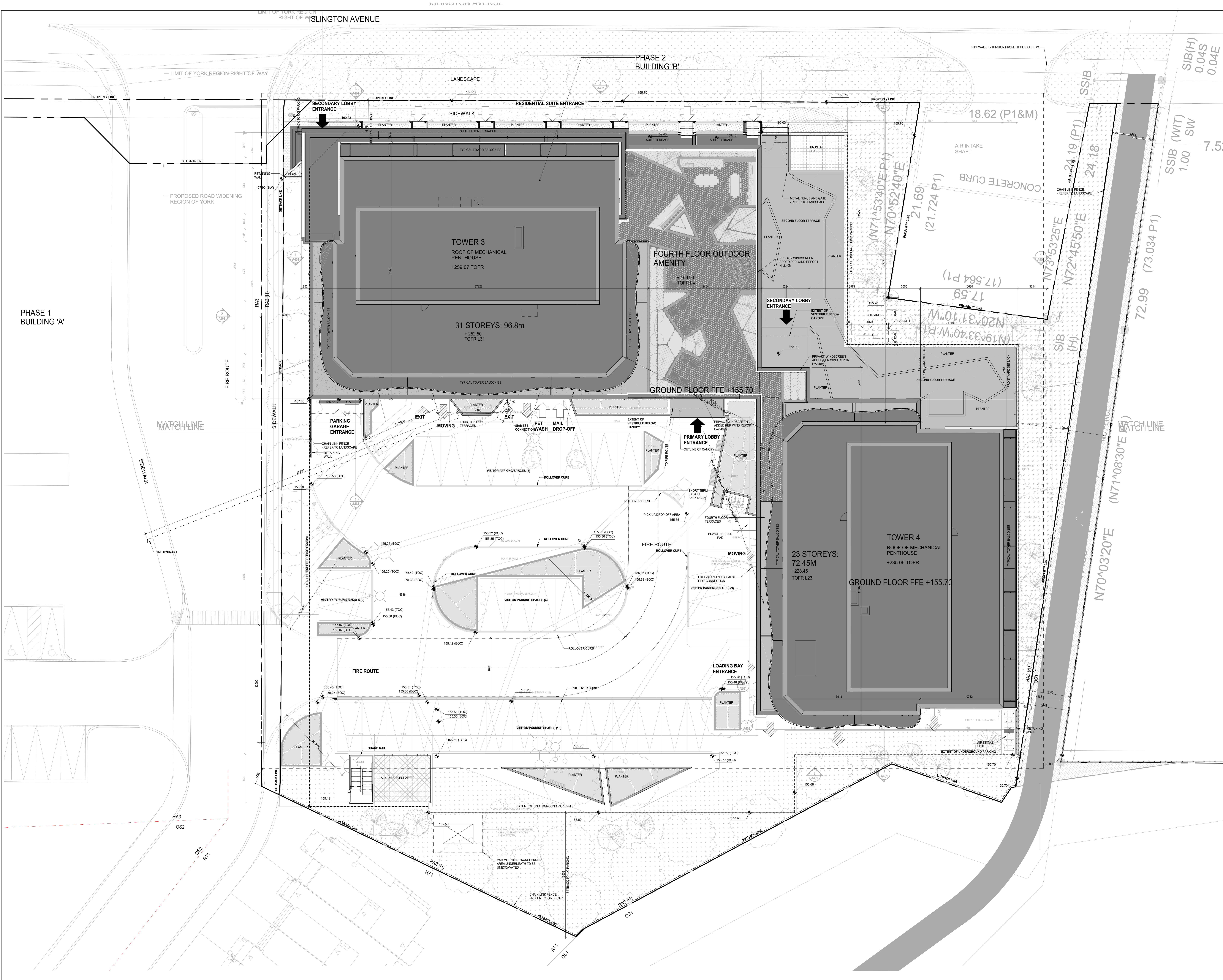
SxSW1
 7082 Islington Avenue
 Vaughan, ON

17087As indicated R, J.L.
 PROJECT SCALE DRAWN/REVIEWED

Site Plan

A101

Note: This drawing is the property of the Architect and may not be reproduced without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions against all discrepancies to the Architect and obtain clarification prior to construction.



KEY PLAN

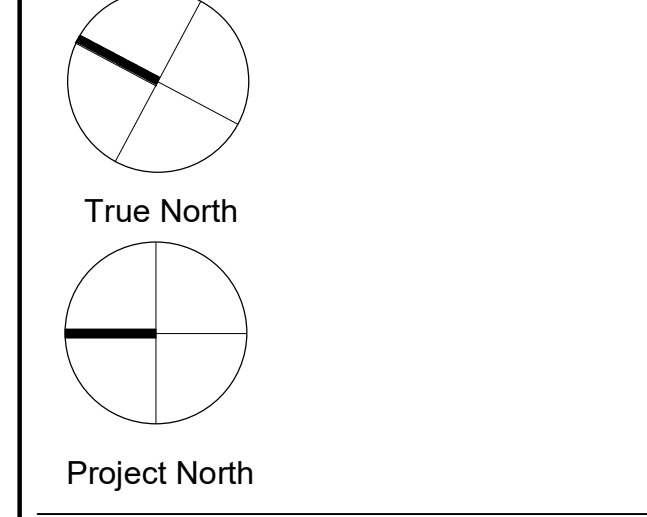
SITE PLAN LEGEND

- PROPERTY LINE
- LINE OF UNDER GROUND GARAGE BELOW
- MAIN BUILDING ENTRANCE
- RETAIL ENTRANCE
- EXIT
- VEHICLE / LOADING ENTRANCE / EXIT
- FIRE HYDRANT
- SIAMISE CONNECTION
- MANHOLE COVER
- AREA DRAIN
- CATCH BASIN
- FLOOR DRAIN (PARKING SLAB)
- FLOOR DRAIN (INTERIOR)
- EXISTING LIGHT
- TYPICAL PARKING SPACE
- ACCESSIBLE VISITOR - TYPE A
- ACCESSIBLE VISITOR - TYPE B
- FINISH FLOOR ELEVATION
- EXISTING ELEVATION
- PROPOSED ELEVATION
- TOP OF ROOF
- BUILDING ENVELOPE
- FIRE ACCESS ROUTE HEAVY DUTY PAVING ASSEMBLY TO BE DESIGNED TO MEET THE LOADS IMPOSED BY FIRE FIGHTING EQUIPMENT
- GREEN ROOF
- TERRACE PAVERS

REVISION RECORD

Date	No.	Description
2024-XX-XX	1	ISSUED FOR ADDENDUM 3
2023-03-28		SPA REVISIONS

Date	Issued For
2024-07-29	REISSUED FOR SPA
2024-07-05	ISSUED FOR TENDER
2024-05-03	ISSUED FOR M&E TENDER
2024-02-21	REISSUED FOR SPA
2023-08-02	REISSUED FOR SPA
2022-03-18	ISSUED FOR BID
2021-12-10	BUILDING PERMIT - TOWER 3, TOWER 4, AND PODIUM
2021-06-09	ISSUED FOR SPA



BDP. Quadrangle

Quadrangle Architects Limited
 The York Building Centre, Suite 2100, Toronto, ON M5V 0B8
 416 598 1240 www.bdpquadrangle.com

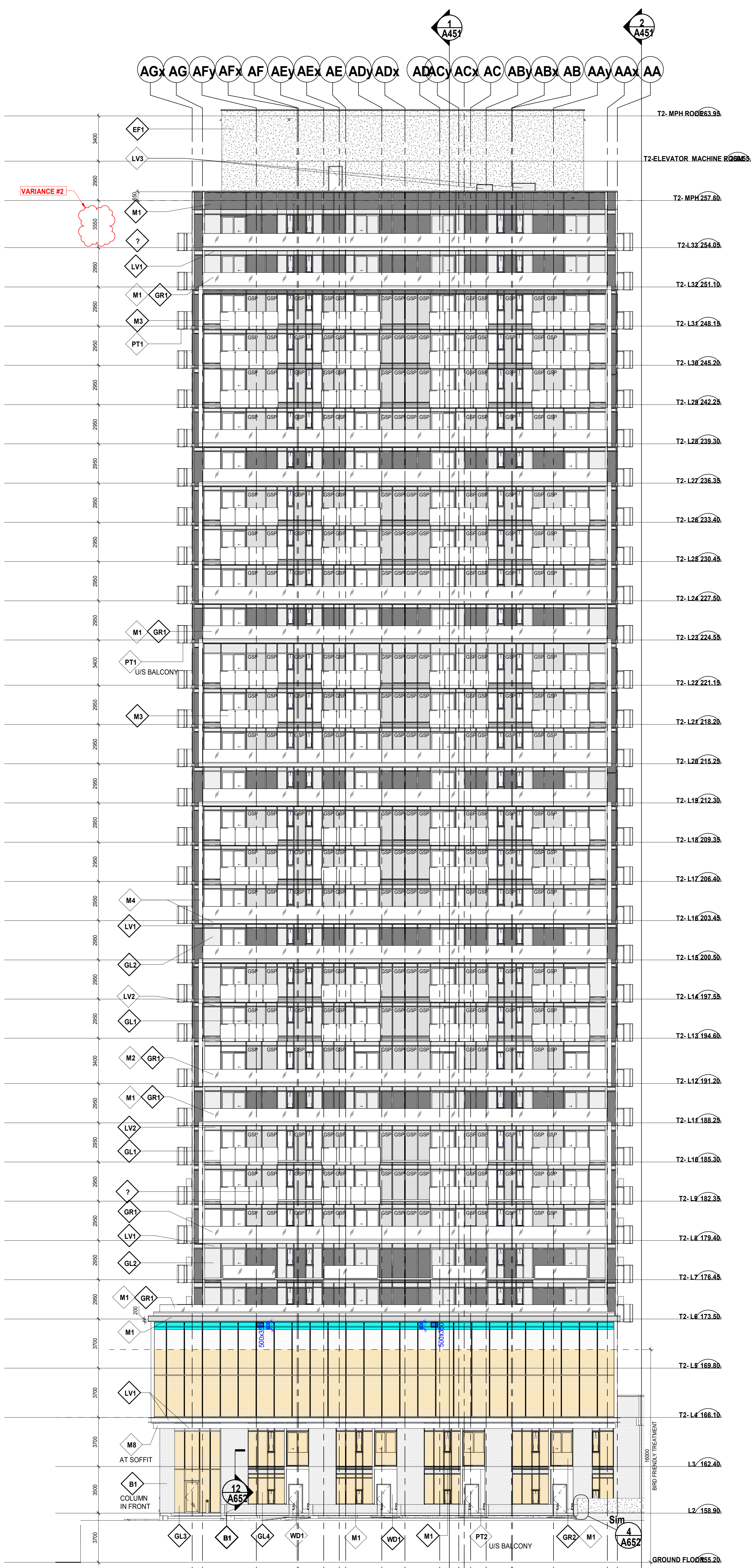
Hillmont
 7082 Islington Avenue
 Phase 2
 Vaughan, ON.

17087 As indicated EK R/L
 PROJECT SCALE DRAWN REVIEWED

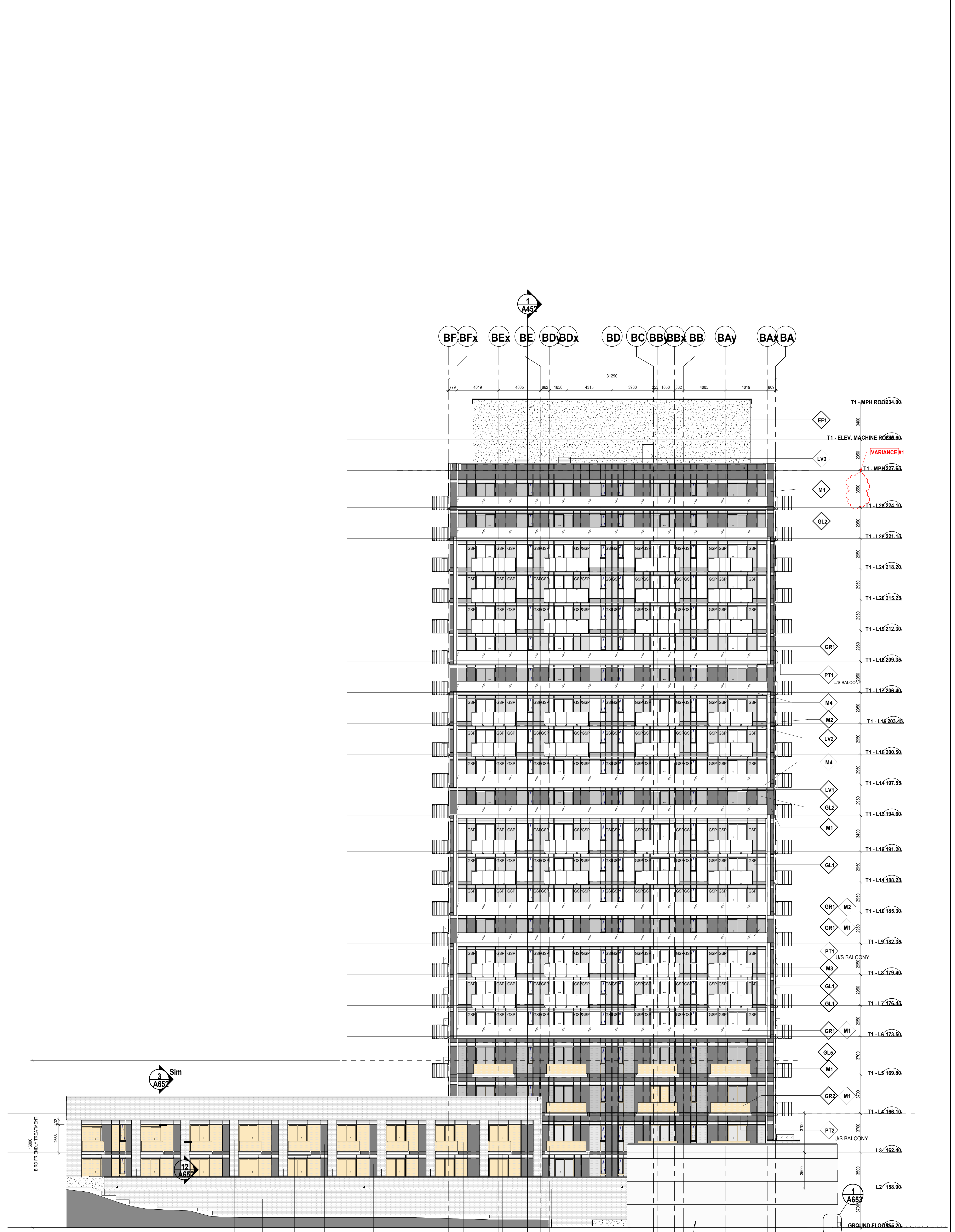
Site Plan

A101

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all notes and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.



1 A402 East Elevation of Tower 2
SCALE: 1:150



2 A402 Northeast Elevation of Tower 1
SCALE: 1:150

KEY PLAN

MATERIAL LEGEND:

- RESIDENTIAL VISION GLASS
- GUARDIAN SUNGUARD ADVANCED ARCHITECTURAL GLASS AG 50 SPANDREL GLASS
- TELEGREY - 6mm PPG CLEAR
- RESIDENTIAL VISION GLASS (GREY TINT)
- GUARDIAN SUNGUARD ADVANCED ARCHITECTURAL GLASS AG 50 WITH CRISTAL CLEAR OVER GLASS SUBSTRATE
- COURTAIN WALL GLAZING WITH BIRD FRIENDLY FRIT PATTERN GUARDIAN SUNGUARD ADVANCED ARCHITECTURAL
- RESIDENTIAL VISION GLASS WITH BIRD FRIENDLY FRIT PATTERN GUARDIAN SUNGUARD ADVANCED ARCHITECTURAL GLASS
- RESIDENTIAL VISION GLASS (GREY TINT) WITH BIRD FRIENDLY FRIT PATTERN GUARDIAN SUNGUARD ADVANCED ARCHITECTURAL GLASS
- ARCHITECTURAL GLASS AG 50 WITH CRISTAL CLEAR OVER GLASS SUBSTRATE DETERMINED BY MANUFACTURER TO BE
- GLASS GUARD RAIL WITH BIRD FRIENDLY FRIT PATTERN MANUFACTURER TO BE DETERMINED
- GLASS GUARD RAIL WITH BIRD FRIENDLY FRIT PATTERN MANUFACTURER TO BE DETERMINED
- WINDOW MULLIONS METAL SPANDREL PANELS, SLAB EDGE COVER, BALCONY EDGE COVER, RAILING SUPPORT POSTS DURANAR SUNSTORM COSMIC GRAY MICH BY PPG INDUSTRIES INC.
- WINDOW MULLIONS METAL SPANDREL PANELS, SLAB EDGE COVER, BALCONY EDGE COVER, RAILING SUPPORT POSTS DURANAR SUNSTORM COSMIC GRAY MICH BY PPG INDUSTRIES INC.
- PERFORATED METAL PANEL BALCONY GUARD DURANAR GRAMM WHITE BY PPG INDUSTRIES INC.
- ALUMINUM FRAME FEATURE DURANAR GRAMM WHITE BY PPG INDUSTRIES INC.
- METAL FLASHING AND PARAPET CAP FLASHING DEEP GREY BY VICWEST INC.
- METAL FLASHING AND PARAPET CAP FLASHING CHARCOAL BY VICWEST INC.
- METAL SOFFIT DURANAR IC CHANGOLD DUST BY PPG INDUSTRIES INC.
- EPS
- BRICK DARK IRONSPOT SMOOTH MODULAR BY ENDICOTT
- WOOD FINISH SIMILAR TO PRODEMA PRODEY WALK TO BE DETERMINED
- PAINT FINISH - UNDERSIDE OF BALCONY
- PAINT FINISH - UNDERSIDE OF BALCONY
- PAINT FINISH - EXTERIOR HOLLOW METAL DOORS
- PAINT FINISH - OVERHEAD DOOR
- STAIN FINISH TO MATCH M11
- RESIDENTIAL WINDOW SYSTEM LOUVER FINISHED TO MATCH M1
- RESIDENTIAL WINDOW SYSTEM LOUVER FINISHED TO MATCH M2
- ARCHITECTURAL LOUVER FINISHED TO MATCH M9

BIRD FRIENDLY GLAZING LEGEND:

- BF1 - VISION GLASS (GL4 AND GL5), BALCONY RAILING GLASS (GR2) FRIT, 5mm COATS, SPACING OF 50mm x 50mm

Date	No.	Description
2024-11-15		CoA
2023-12-15		ADDENDUM #5
2023-12-14		REISSUED FOR SPA
2023-10-05		ADDENDUM #4
2023-06-08		ADDENDUM #2
2023-06-28		REISSUED FOR SPA
2023-06-06		ADDENDUM #1
2023-03-04		LOADING REVISIONS
2021-07-19	1	REISSUED FOR BID
2021-07-16	1	RE-ISSUED FOR PERMIT (ABOVE GRADE)

REVISION RECORD

Date	No.	Description
2021-05-28		ISSUED FOR BID
		Issued For

ISSUE RECORD

BDP. Quadrangle

Quadrangle Architects Limited
401 King Street West, Suite 101 Toronto, ON M5V 3H5
t 416 598 1240 www.bdpquadrangle.com

SxSW1
7082 Islington Avenue
Vaughan, ON

17087As indicate AB RJL
PROJECT SCALE DRAWN REVIEWED

Northeast Elevation of Tower 1
East Elevation of Tower 2

A402

Note: This drawing is the property of the Architect and may not be reproduced without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions at all times and at discrepancies to the Architect and obtain clarification prior to construction.

Bird Safe Treatment Exterior Specification Checklist
 Applicant to include checklist on Elevation Drawing(s) at first site plan submission. Drawing(s) to be stamped and signed by an OAA member.

Mandatory Primary Treatments for all site and draft plan applications.
At Grade Condition (check to confirm the below is applied)

- Bird safe treatment (s) are applied on minimum 90% of contiguous glass panel area, and within 16m from finished grade or to the height of the adjacent mature tree canopy, whichever is greater.
- Treatments are applied to all glass panel areas that creates fly-through conditions and are adjacent to natural heritage features.
- Treatments are identified and re-lined on the elevation drawing(s).

Roof Landscape Conditions (check to confirm the below is applied)

- Development contains no glass panel within 16m from roof level finished grade.
- If glazing is adjacent to green roofs and/or rooftop vegetation, bird safe treatment is applied at a height of 4m from the surface of the green roof or the height of the adjacent mature vegetation, whichever is greater.

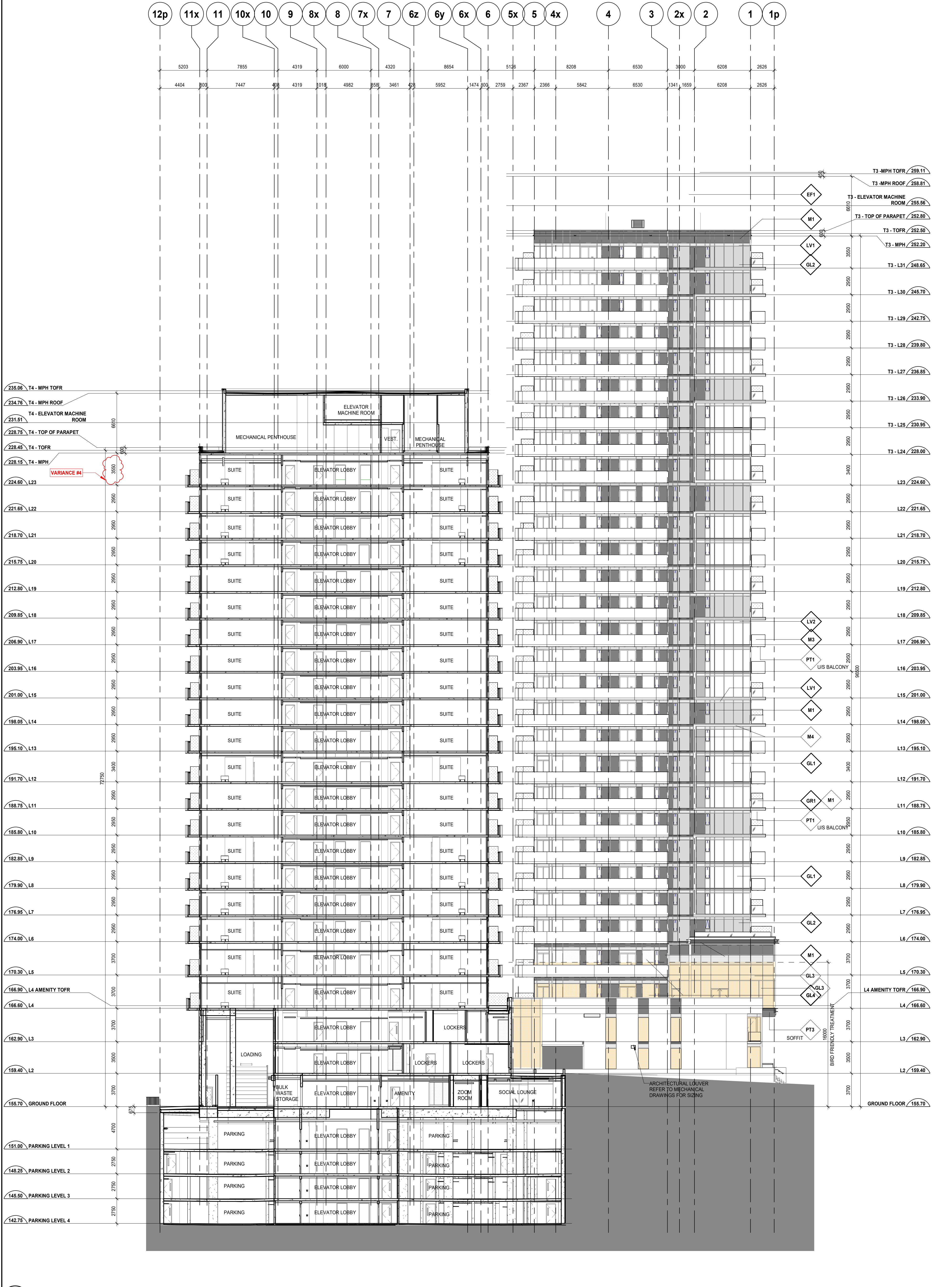
Bird Safe Treatment Exterior Specification Checklist
 Applicant to include checklist on Elevation Drawing(s) at first site plan submission. Drawing(s) to be stamped and signed by an OAA member.

Mandatory Primary Treatments for all site and draft plan applications.
At Grade Condition (check to confirm the below is applied)

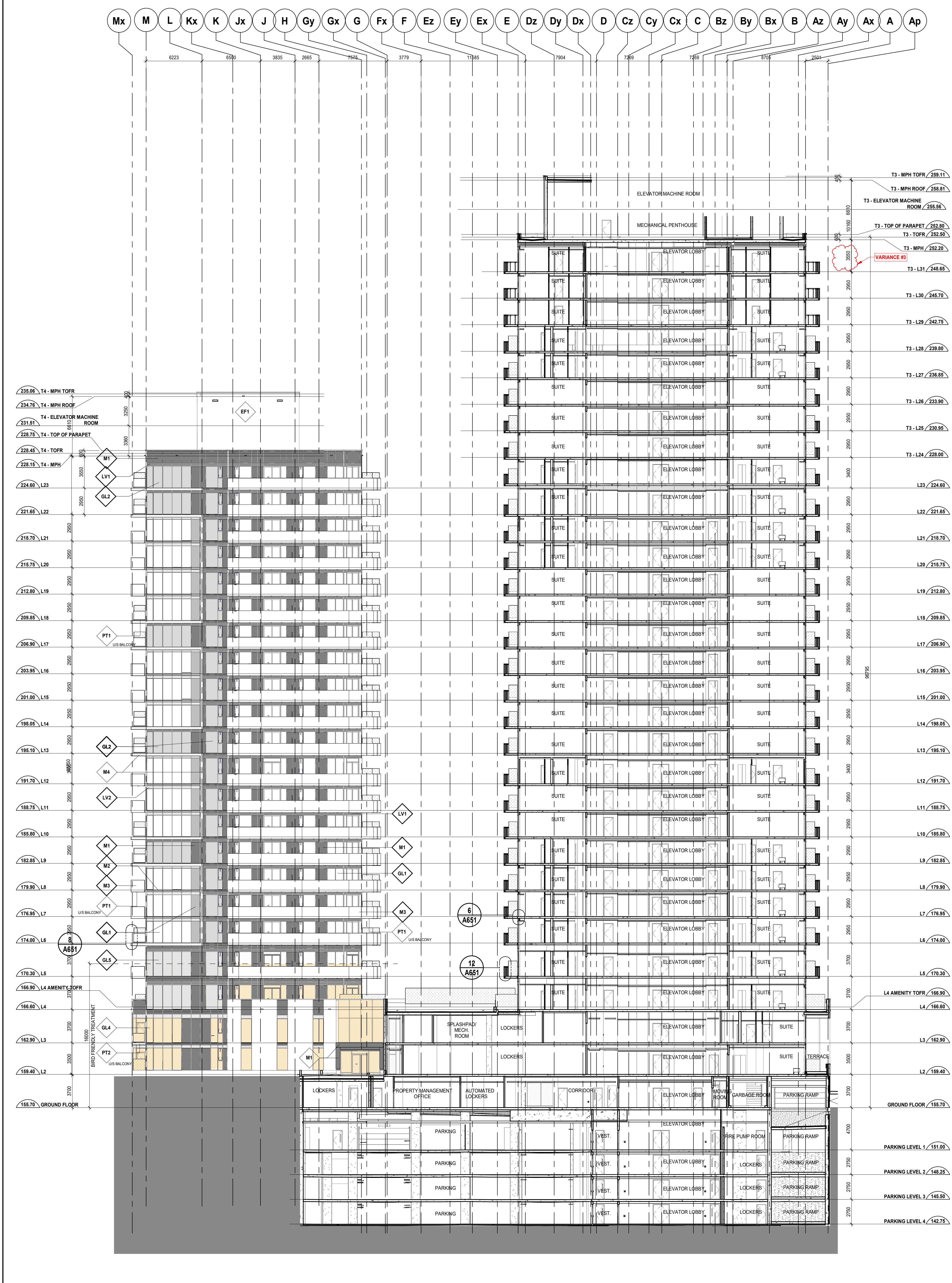
- Bird safe treatment (s) are applied on minimum 90% of contiguous glass panel area, and within 16m from finished grade or to the height of the adjacent mature tree canopy, whichever is greater.
- Treatments are applied to all glass panel areas that creates fly-through conditions and are adjacent to natural heritage features.
- Treatments are identified and re-lined on the elevation drawing(s).

Roof Landscape Conditions (check to confirm the below is applied)

- Development contains no glass panel within 16m from roof level finished grade.
- If glazing is adjacent to green roofs and/or rooftop vegetation, bird safe treatment is applied at a height of 4m from the surface of the green roof or the height of the adjacent mature vegetation, whichever is greater.



2 East-West Section (South Elevation of Tower 3)



1 North-South Section (East Elevation of Tower 4)

- MATERIAL LEGEND:**
- RESIDENTIAL VISION GLASS GUARDIAN BUNGALOW ADVANCED ARCHITECTURAL CLASS AC 30
 - SPANDREL GLASS #3-2646 TELEGREY - 6mm PPG CLEAR
 - RESIDENTIAL VISION GLASS (GREY TINT) GUARDIAN BUNGALOW ADVANCED ARCHITECTURAL CLASS AC 30 WITH "CRYSTAL GRAY" OUTBOARD SUBSTRATE
 - RESIDENTIAL VISION GLASS WITH BIRD FRIENDLY FRT PATTERN, GUARDIAN BUNGALOW ADVANCED ARCHITECTURAL CLASS
 - RESIDENTIAL VISION GLASS (GREY TINT) WITH BIRD FRIENDLY FRT PATTERN, GUARDIAN BUNGALOW ADVANCED ARCHITECTURAL CLASS AC 30 WITH "CRYSTAL GRAY" OUTBOARD SUBSTRATE
 - GLASS GUARDRAIL MANUFACTURER TO BE DETERMINED
 - GLASS GUARD RAIL WITH BIRD FRIENDLY FRT PATTERN, GUARDIAN BUNGALOW ADVANCED ARCHITECTURAL CLASS AC 30
 - WINDOW WALLING: METAL SPANDREL PANELS, SLAB EDGE COVER, BALCONY EDGE COVER, RAILING SUPPORT POSTS: DURANAR SUNSTORE COSMIC GRAY MICA
 - WINDOW WALLING: METAL SPANDREL PANELS, SLAB EDGE COVER, BALCONY EDGE COVER, RAILING SUPPORT POSTS: DURANAR SUNSTORE COSMIC GRAY MICA
 - PERFORATED METAL BALCONY GUARD DURANAR GRAHAM WHITE
 - ALUMINUM FRAME FEATURE DURANAR GRAHAM WHITE
 - METAL SOFFIT DURANAR XL CANAGOLD DUST
 - EIFS
 - BRICK ENDICOTT DARK IRONSPOT, SMOOTH
 - WOOD LOOK FINISH: SIALMAR TO PROGRAM PROCEED, N/A TO BE DETERMINED
 - PAINT FINISH - WHITE, UNDERSIDE OF BALCONY
 - PAINT FINISH - LIGHT GREY, UNDERSIDE OF BALCONY
 - PAINT FINISH - DARK GREY, EXTERIOR HELLO METAL DOORS
 - PAINT FINISH - DARK GREY, OVERHEAD DOOR
 - RESIDENTIAL WINDOW SYSTEM LOUVER FINISHED TO MATCH M1
 - RESIDENTIAL WINDOW SYSTEM LOUVER FINISHED TO MATCH M2
 - ARCHITECTURAL LOUVER FINISHED TO MATCH M3

BIRD FRIENDLY GLAZING LEGEND:

- B1 - VISION GLASS (GLA AND GLS)
- B2 - RESIDENTIAL VISION GLASS (GREY)
- FT: 5mm DOTS, SPACING OF 50mm x 50mm

Date	No.	Description
2024-11-15	2	C&A
2024-10-21	1	ISSUED FOR ADDENDUM 2
2023-03-28	1	SPA REVISIONS

Date	No.	Description
2024-07-29		REISSUED FOR SPA
2024-07-05		ISSUED FOR TENDER
2024-05-03		ISSUED FOR M&E TENDER
2024-02-21		REISSUED FOR SPA
2022-03-18		ISSUED FOR BID
2021-12-10		BUILDING PERMIT - TOWER 3, TOWER 4 AND PODIUM
2021-06-09		ISSUED FOR SPA

Date	Issued For
2024-11-15	2
2024-10-21	1
2023-03-28	1

BDP. Quadrangle

Quadrangle Architects Limited
 The West 5th Avenue, Suite 2100, Toronto, ON M5V 0S8
 t 416 598 1240 www.bdpquadrangle.com

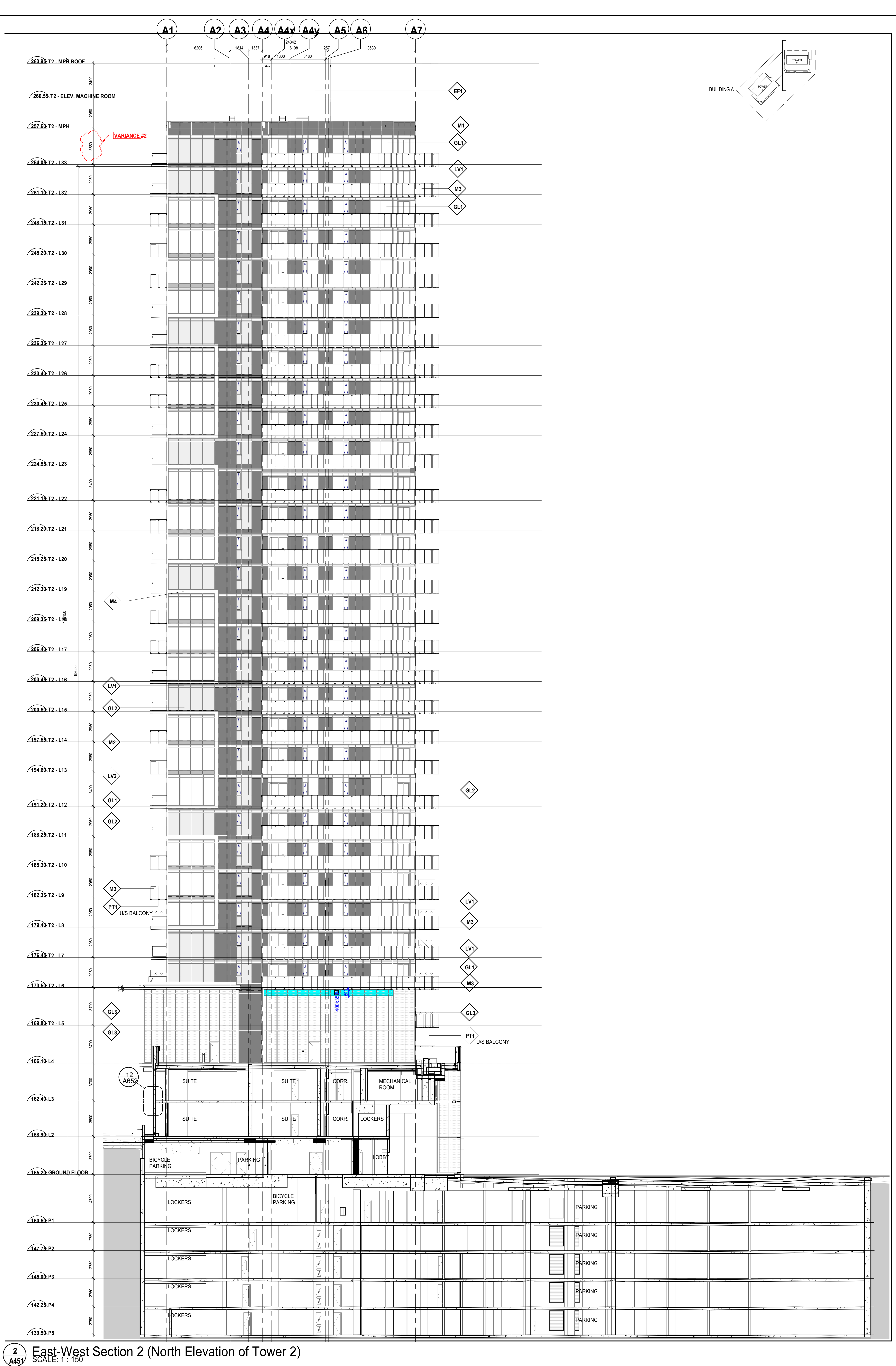
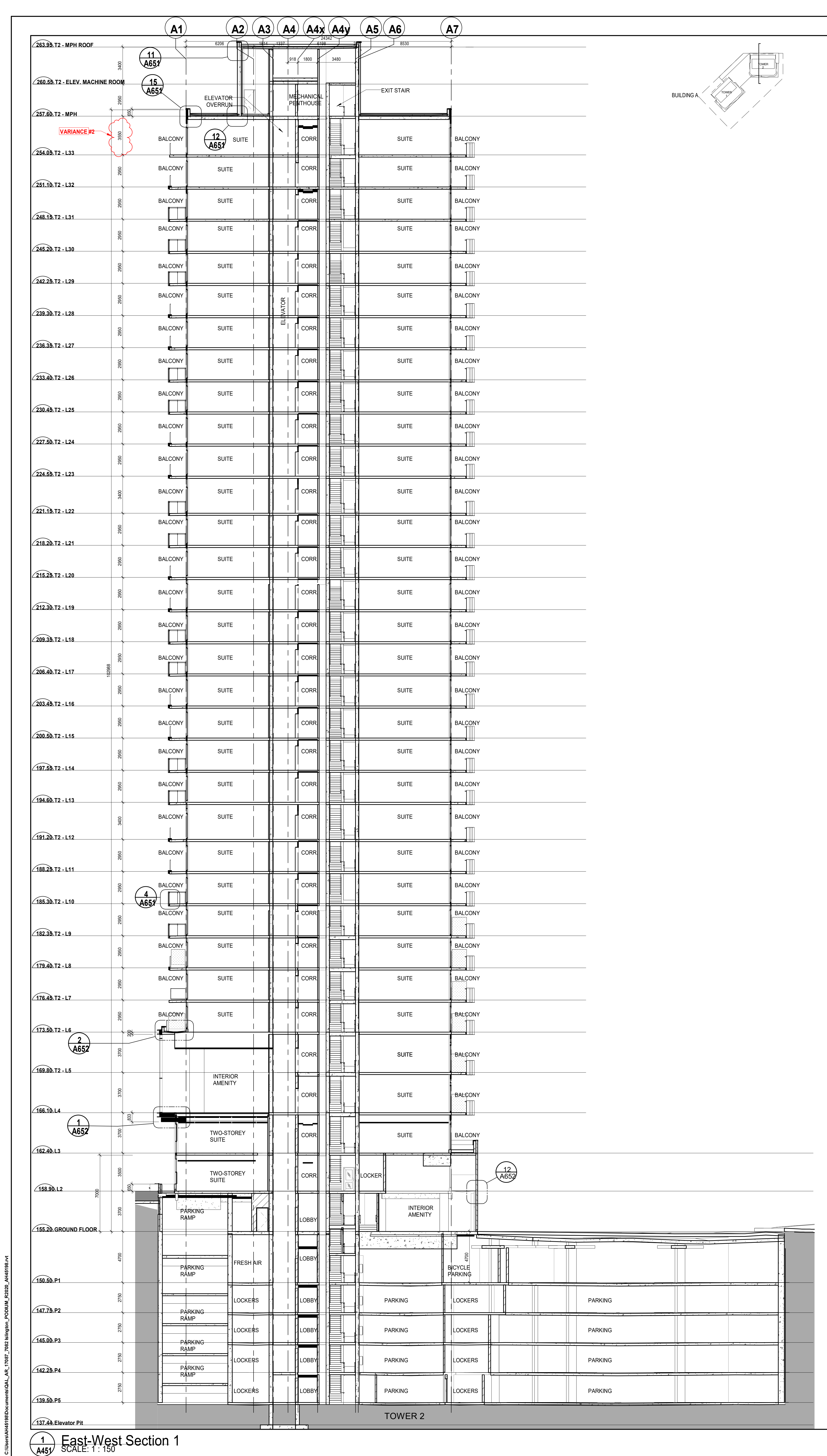
Hillmont
 7082 Islington Avenue
 Phase 2
 Vaughan, ON.

17087 As indicated JT R/L
 PROJECT SCALE DRAWN REVISION

North-South Section & East-West Section

A451

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all notes and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.



KEY PLAN

MATERIAL LEGEND:

- RESIDENTIAL VISION GLASS
- GUARDIAN SUNGUARD ADVANCED ARCHITECTURAL GLASS AG 50
- SPANDREL GLASS
- TELEGREY - 6mm PPG CLEAR
- RESIDENTIAL VISION GLASS (GREY TINT)
- GUARDIAN SUNGUARD ADVANCED ARCHITECTURAL GLASS AG 50 WITH FRIENDLY FRIT PATTERN, GUARDIAN SUNGUARD ADVANCED ARCHITECTURAL GLASS
- RESIDENTIAL VISION GLASS WITH BIRD FRIENDLY FRIT PATTERN, GUARDIAN SUNGUARD ADVANCED ARCHITECTURAL GLASS
- RESIDENTIAL VISION GLASS (GREY TINT) WITH BIRD FRIENDLY FRIT PATTERN, GUARDIAN SUNGUARD ADVANCED ARCHITECTURAL GLASS
- CRYSTAL GRAY OUTWARD SUBSTRATE
- RESIDENTIAL VISION GLASS AG 50 WITH FRIENDLY FRIT PATTERN, GUARDIAN SUNGUARD ADVANCED ARCHITECTURAL GLASS
- GLASS GUARD RAIL WITH BIRD FRIENDLY FRIT PATTERN, MANUFACTURER TO BE DETERMINED
- WINDOW MULLIONS, METAL SPANDREL PANELS, SLAB EDGE COVER, BALCONY EDGE COVER, RAILING SUPPORT POSTS
- DURANAR SUNSTON COSMIC GRAY M/MA BY PPG INDUSTRIES INC.
- INDUSTRIES INC. METAL SPANDREL PANELS, SLAB EDGE COVER, BALCONY EDGE COVER, RAILING SUPPORT POSTS
- DURANAR SUNSTON FEWER BY PPG INDUSTRIES INC.
- INDUSTRIES INC. METAL PANEL, BALCONY GUARD
- DURANAR GRAHAM WHITE BY PPG INDUSTRIES INC.
- ALUMINUM FRAME FEATURE, DURANAR GRAHAM WHITE BY PPG INDUSTRIES INC.
- METAL FLASHING AND PARAPET CAP FLASHING 'DEEP GREY' BY VICWEST INC.
- METAL FLASHING AND PARAPET CAP FLASHING 'CHARCOAL' BY VICWEST INC.
- METAL SOFFIT
- DURANAR XL 'ONNAGOLD DUST' BY PPG INDUSTRIES INC.
- EIFS
- BRICK 'DARK IRONSPOT SMOOTH MODULAR' BY ENROCO
- WOOD FINISH: SIMILAR TO PRODEMA PRODEK 'MIX' TO BE DETERMINED
- PAINT FINISH - UNDERSIDE OF BALCONY
- PAINT FINISH - UNDERSIDE OF BALCONY
- PAINT FINISH - EXTERIOR HOLLOW METAL DOORS
- PAINT FINISH - OVERHEAD DOOR
- STAIN FINISH TO MATCH MT1
- RESIDENTIAL WINDOW SYSTEM LOUVRE FINISHED TO MATCH M1
- RESIDENTIAL WINDOW SYSTEM LOUVRE FINISHED TO MATCH M2
- ARCHITECTURAL LOUVRE FINISHED TO MATCH M3

BIRD FRIENDLY GLAZING LEGEND:

- BF1 - VISION GLASS (G4 AND GL5), BALCONY RAILING GLASS (GR2)
- FRIT, 5mm DOTS, SPACING OF 50mm x 50mm

Date	No.	Description
2024-11-15		CofA
2023-12-15		ADDENDUM #5
2023-10-05		ADDENDUM #4
2023-08-08		ADDENDUM #2
2021-07-19		REISSUED FOR BID
2021-07-16	1	RE-ISSUED FOR PERMIT (ABOVE GRADE)

REVISION RECORD

Date	Issued For
2021-05-28	ISSUED FOR BID

ISSUE RECORD

BDP. Quadrangle

Quadrangle Architects Limited
901 King Street West, Suite 1101 Toronto, ON M5V 3H5
t 416 598 1240 www.bdpquadrangle.com

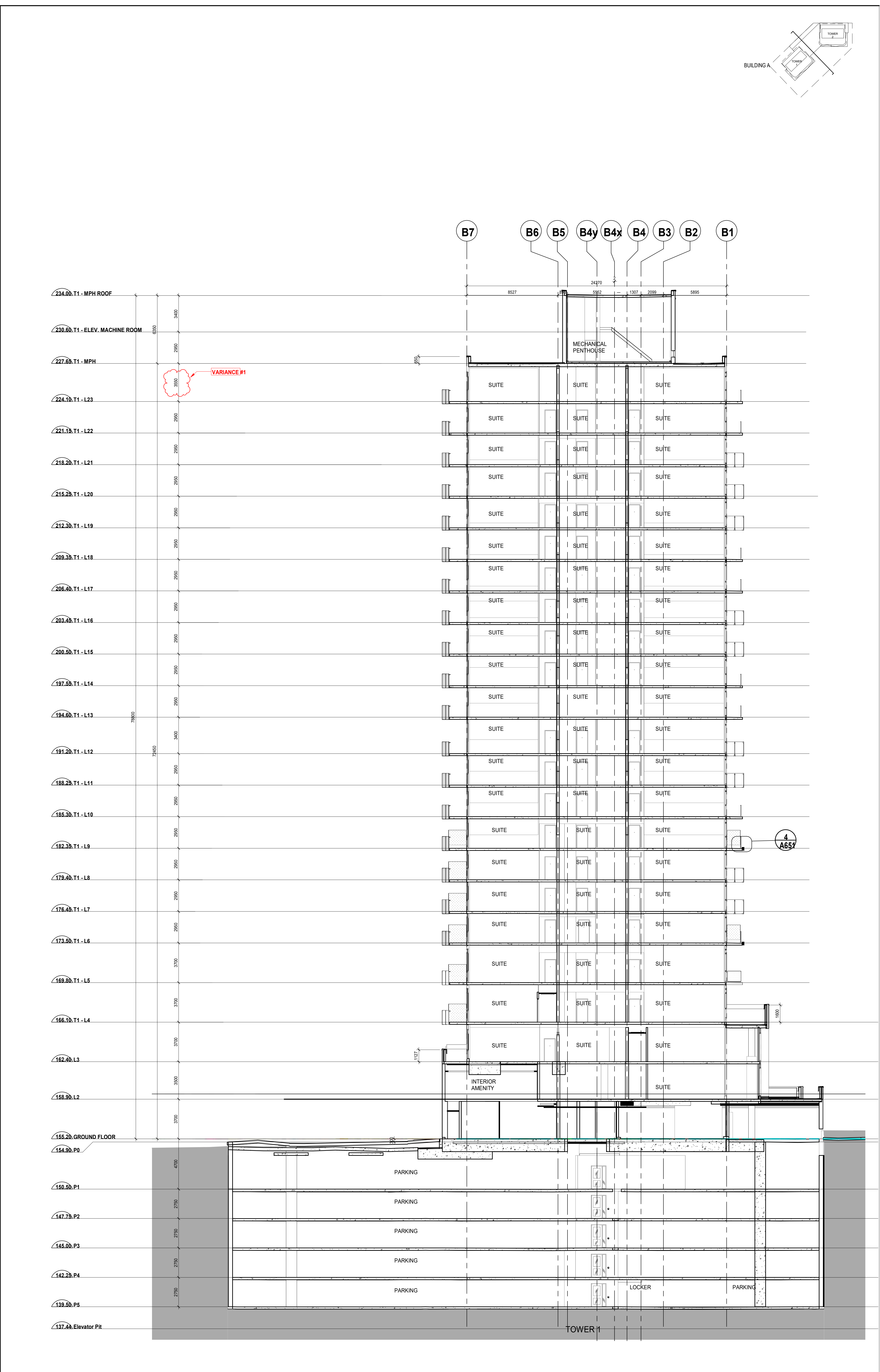
SxSW1
7082 Islington Avenue
Vaughan, ON

17087As indicated R.J.L.
PROJECT SCALE DRAWN/REVIEWED

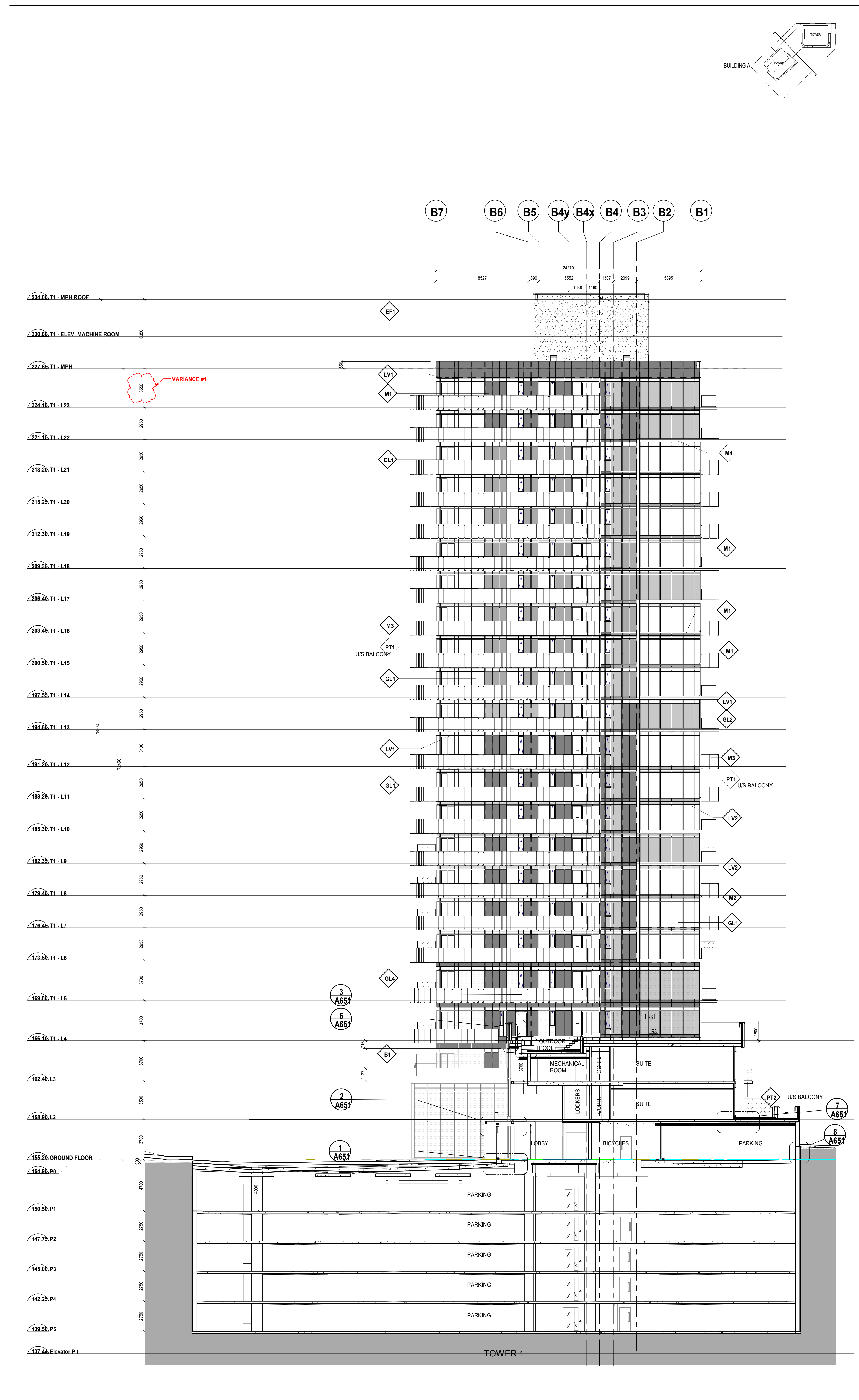
East-West Section 1 & East-West Section 2

A451

Note: This drawing is the property of the Architect and may not be reproduced without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions at all times and all discrepancies to the Architect and obtain clarification prior to construction.



1 North-South Section 1
SCALE: 1 : 150



2 North-South Section 2 (Southeast Elevation of Tower 1)
SCALE: 1 : 150

KEY PLAN

MATERIAL LEGEND:

- RESIDENTIAL VISION GLASS
- GUARDIAN SUNGUARD ADVANCED ARCHITECTURAL GLASS AG 50
- SPANDREL GLASS
- TELEGREY - 6mm PPG CLEAR
- RESIDENTIAL VISION GLASS (GREY TINT)
- GUARDIAN SUNGUARD ADVANCED ARCHITECTURAL GLASS AG 50 WITH CRYSTAL GRAY OUTDOOR SUBSTRATE
- CURTAIN WALL GLAZING WITH BIRD FRIENDLY FRIT PATTERN, GUARDIAN SUNGUARD ADVANCED ARCHITECTURAL GLASS
- RESIDENTIAL VISION GLASS WITH BIRD FRIENDLY FRIT PATTERN, GUARDIAN SUNGUARD ADVANCED ARCHITECTURAL GLASS
- RESIDENTIAL VISION GLASS (GREY TINT) WITH BIRD FRIENDLY FRIT PATTERN, GUARDIAN SUNGUARD ADVANCED ARCHITECTURAL GLASS
- RESIDENTIAL VISION GLASS AG 50 WITH BIRD FRIENDLY FRIT PATTERN, GUARDIAN SUNGUARD ADVANCED ARCHITECTURAL GLASS
- GLASS GUARD RAIL, MANUFACTURER TO BE DETERMINED
- GLASS GUARD RAIL WITH BIRD FRIENDLY FRIT PATTERN, MANUFACTURER TO BE DETERMINED
- WINDOW MULLIONS, METAL SPANDREL PANELS, SLAB EDGE COVER, BALCONY EDGE COVER, RAILING SUPPORT POSTS
- DURANAR SUNSTORM COSMIC GRAY MICA BY PPG INDUSTRIES INC.
- METAL PANEL, BALCONY GUARD RAILING SUPPORT POSTS
- DURANAR GRAHAM WHITE BY PPG INDUSTRIES INC.
- ALUMINUM FRAME FEATURE
- DURANAR GRAHAM WHITE BY PPG INDUSTRIES INC.
- PARAPET AND PARAPET CAP FLASHING 'DEEP GREY' BY VICWEST INC.
- METAL FLASHING AND PARAPET CAP FLASHING 'CHARCOAL' BY VICWEST INC.
- METAL SOFFIT
- DURANAR XL 'CONGO GOLD DUST' BY PPG INDUSTRIES INC.
- EIFS
- BRICK
- DARK IRONSPOT SMOOTH MODULAR BY ENDICOTT
- WOOD FINISH, SIMILAR TO PRODEMA PRODEK MAX TO BE DETERMINED
- PAINT FINISH - UNDERSIDE OF BALCONY
- PAINT FINISH - EXTERIOR HOLLOW METAL DOORS
- PAINT FINISH - OVERHEAD DOOR
- STAIN FINISH TO MATCH MT1
- RESIDENTIAL WINDOW SYSTEM LOUVER FINISHED TO MATCH M1
- RESIDENTIAL WINDOW SYSTEM LOUVER FINISHED TO MATCH M2
- ARCHITECTURAL LOUVER FINISHED TO MATCH M9

BIRD FRIENDLY GLAZING LEGEND:

- B1 - VISION GLASS (GL4 AND GL5)
- BALCONY RAILING GLASS (GR2)
- FRIT, 5mm DOTS, SPACING OF 50mm x 50mm

Date	No.	Description
2024-11-15		CoA
2023-12-15		ADDENDUM #5
2023-10-05		ADDENDUM #4
2021-07-19		REISSUED FOR BID
2021-07-16	1	RE-ISSUED FOR PERMIT (ABOVE GRADE)

REVISION RECORD

Date	Issued For
2021-05-28	ISSUED FOR BID

ISSUE RECORD

BDP. Quadrangle

Quadrangle Architects Limited
201 King Street West, Suite 101 Toronto, ON M5V 3H5
t 416 598 1240 www.bdpquadrangle.com

SxSW1
7082 Islington Avenue
Vaughan, ON

17087As indicated by R.J.L.
PROJECT SCALE DRAWN AND REVIEWED

North-South Section 1 & North-South Section 2

A452

Note: This drawing is the property of the Architect and may not be reproduced without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions against all at discrepancies to the Architect and obtain clarification prior to construction.

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
TTC	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
CN Rail	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

From: PropertyReview@ttc.ca
To: [Committee of Adjustment Mailbox](#)
Cc: Aleks.Todorovski@ttc.ca
Subject: [External] RE: A157/24 - 7082 ISLINGTON AVENUE - REQUEST FOR COMMENTS, CITY OF VAUGHAN - Agency Circulation
Date: Tuesday, September 24, 2024 3:19:42 PM

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

Thank you for informing TTC's Property, Planning, and Development group ("PPD"). PPD will not need to provide comments as the site falls outside our development review zone.

Thank you,

Tiffany Qian

Planning and Development Assistant
Property, Planning and Development
Engineering, Construction and Expansion Group

To: Committee of Adjustment
From: Catherine Saluri, Building Standards Department
Date: November 26, 2024
Applicant: Primont (Islington) Inc.
Location: 7082 Islington Avenue
File No.(s): **A157/24**

Zoning Classification:

The subject lands are zoned RA3 (H) Apartment Dwelling, subject to a holding provision, and subject to Exception 9(1323) under Zoning Bylaw 1-88.

#	Zoning By-law 1-88	Variance requested
1	A maximum building height of 22 storeys (79 m) is permitted for Building A, Tower 1. [9(1323) B1.gv]	To permit a maximum building height of 23 storeys (73 m) for Building A, Tower 1. [9(1323) B1.gv]
2	A maximum building height of 32 storeys (105 m) is permitted for Building A, Tower 2. [9(1323) B1.gv]	To permit a maximum building height of 33 storeys (103 m) for Building A, Tower 2. [9(1323) B1.gv]
3	A maximum building height of 30 storeys (97 m) is permitted for Building B, Tower 3. [9(1323) B1.gv]	To permit a maximum building height of 31 storeys (97 m) for Building B, Tower 3. [9(1323) B1.gv]
4	A maximum building height of 22 storeys (79 m) is permitted for Building B, Tower 4. [9(1323) B1.gv]	To permit a maximum building height of 23 storeys (73 m) for Building B, Tower 4. [9(1323) B1.gv]

Staff Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan application.
2	The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).
3	The subject lands are currently being reviewed under Development Application No.'s DA.20.007 and DA.22.066.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

None

* Comments are based on the review of documentation supplied with this application.

From: [Proximity](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] 2024-10-04_CN Comments_A157/24 - 7082 ISLINGTON AVENUE - REQUEST FOR COMMENTS, CITY OF VAUGHAN - Agency Circulation
Date: Friday, October 4, 2024 7:08:30 PM
Attachments: [COMBLDG_A157_24_09_23_24.pdf](#)
[APPPLANS_A157_24.pdf](#)
[APPINFO_A157_24.xls](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

Thank you for consulting CN on the application mentioned in subject. CN requests for the implementation of the following criteria as conditions of an eventual application approval for towers 3 and 4:

☐☐☐ The Owner shall engage a consultant to undertake an analysis of noise. Subject to the review of the noise report, CN may consider other measures recommended by an approved Noise Consultant.

☐☐☐ The following clause should be inserted in all development agreements, offers to purchase, and agreements of Purchase and Sale or Lease of each dwelling unit within 300m of the railway right-of-way:

“Warning: Canadian National Railway Company or its assigns or successors in interest has or have a rights-of-way within 300 metres from the land the subject hereof. There may be alterations to or expansions of the railway facilities on such rights-of-way in the future including the possibility that the railway or its assigns or successors as aforesaid may expand its operations, which expansion may affect the living environment of the residents in the vicinity, notwithstanding the inclusion of any noise and vibration attenuating measures in the design of the development and individual dwelling(s). CNR will not be responsible for any complaints or claims arising from use of such facilities and/or operations on, over or under the aforesaid rights-of-way.”

☐☐☐ The Owner shall through restrictive covenants to be registered on title and all agreements of purchase and sale or lease provide notice to the public that the noise/vibration isolation measures implemented are not to be tampered with or altered and further that the Owner shall have sole responsibility for and shall maintain these measures to the satisfaction of CN.

☐☐☐ The Owner shall enter into an Agreement with CN stipulating how CN's concerns will be resolved and will pay CN's reasonable costs in preparing and negotiating the agreement.

☐☐☐ The Owner shall be required to grant CN an environmental easement for operational noise and vibration emissions, registered against the subject property in favour of CN.

CN anticipates the opportunity to review a Noise study taking into consideration FCM/RAC development guidelines.

We request that CN Rail and the proximity@cn.ca email be circulated on public notices and notices of decisions with respect to this and future land use planning applications with respect to the subject site.

In order to ensure the safety of railway operations, CN's operations and infrastructure are not to be impaired or affected by any construction works or any other works. Additionally, any work performed on CN's property must be arranged through a work permit.

Thank you

 **CN Proximity**
proximity@cn.ca

October 1, 2024.

PAR-DPP-2024-00281
Ex Ref. CFN 60996, 55134.01, 37514.13

SENT BY E-MAIL: Christine.Vigneault@vaughan.ca

Christine Vigneault
Secretary Treasurer
Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

Dear Christine:

**Re: Minor Variance Application A157/24
7082 Islington Avenue
Part of Lot 1; Concession 7
City of Vaughan, Regional Municipality of York
Owner: Primont (Islington) Inc,
Agent: Weston Consulting Group Inc.**

This letter acknowledges receipt of the above-noted application circulated by the City of Vaughan. The materials were received by Toronto and Region Conservation Authority (TRCA) on September 24, 2024. TRCA staff have reviewed the application and offer the following comments for the consideration of the Committee of Adjustment.

Purpose of the Application

It is our understanding that the purpose of the above noted application is to request the following variance under By-law 001-2021, as amended:

By-Law 001-2021:

1. To permit a maximum building height of 23 storeys (73 metres) for Building A, Tower 1;
2. To permit a maximum building height of 33 storeys (103 metres) for Building A, Tower 2;
3. To permit a maximum building height of 31 storeys (97 metres) for Building B, Tower 3;
and,
4. To permit a maximum building height of 23 storeys (73 metres) for Building B, Tower 4.

It is the understanding of TRCA staff that the noted variances are required to facilitate the development of two high-rise residential buildings consisting of four residential apartment towers ranging from 23 to 33 storeys.

Conservation Authorities Act

A portion of the subject property (7082 Islington Avenue) is within TRCA's Regulated Area due to a valley corridor and Regional Storm flood plain hazard associated with the main Humber River. As such, a permit from TRCA pursuant to Conservation Authorities Act – Section 28 would be required for any development or site alteration within TRCA's Regulated Area.

Application-Specific Comments

TRCA has been involved in the review of Official Plan Amendment OP.19.013, Zoning By-law Amendment Z.19.035, and Draft Plan of Subdivision 19T-17V006. Additionally, the TRCA has provided three permit approvals (C-160156, C-191063 & C-2200534, C-220827).

The materials submitted as part of this application are consistent with the materials submitted as part of the Approved Draft Plan of Subdivision 19T-17V006, where the TRCA provided a no objection letter to the clearance of conditions dated November 9, 2022. As such, the TRCA has no objection to the requested variance.

Recommendation

Based on the comments noted above, TRCA has **no objection** to the approval of Minor Variance Application A157/24 subject to the following conditions:

1. That the applicant provides the required fee amount of \$2,110.00 payable to the Toronto and Region Conservation Authority.

Fees

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$2,110.00 (Minor Variance – Major) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

We thank you for the opportunity to review the subject application and provide our comments as per our commenting and regulatory role. We trust these comments are of assistance.

Should you have any questions, please contact Cameron McDonald, Planner I at 437-880-1925 or at cameron.mcdonald@trca.ca.

Sincerely,

Cameron McDonald
Planner I
Development Planning and Permits | Development and Engineering Services
cameron.mcdonald@trca.ca, 437-880-1925

Date: September 18th 2024

Attention: **Christine Vigneault**

RE:

File No.: **A157-24**

Related Files:

Applicant Primont (Islington) Inc.

Location 7082 Islington Ave



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

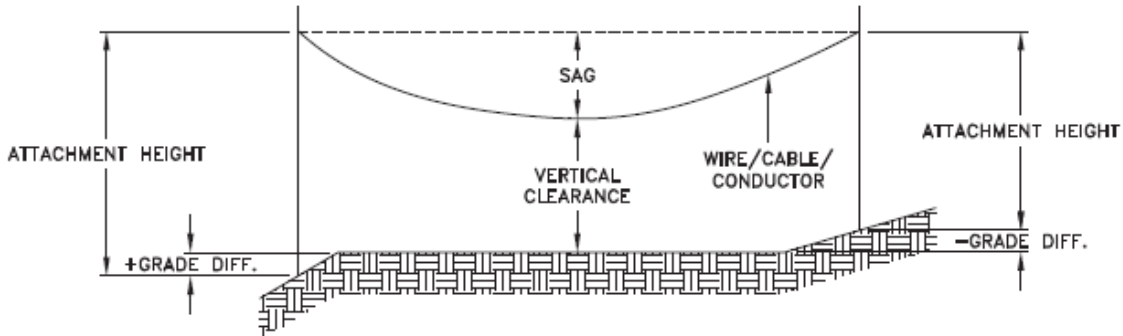
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

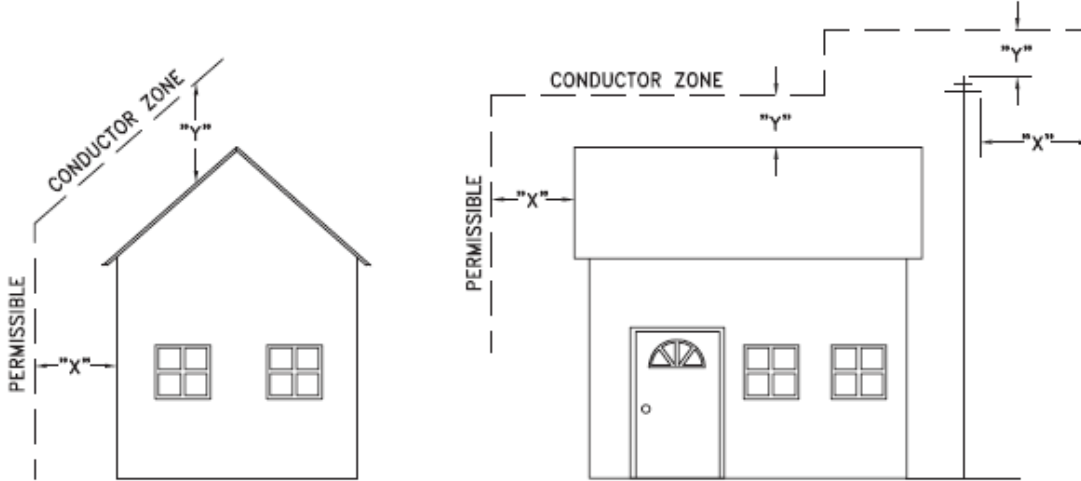
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			08/30/2024	Application Cover Letter

Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

August 30, 2024
File 6923-2

Attn: Christine Vigneault, Manager Development Services & Secretary Treasurer of the Committee of Adjustment

**RE: Minor Variance Application
Request to increase height
7082 Islington Avenue and 6, 7, 10, and 11 Flavelle Trail, City of Vaughan
Related File: OP.25.005, DA.20.007, and DA.22.066**

Weston Consulting is the planning agent for Primont (SXSU1) Inc. and Primont (SXSU2) Inc., the registered owner of the lands municipally addressed as 7082 Islington Avenue and 6, 7, 10, and 11 Flavelle Trail in the City of Vaughan (the “subject property”). In 2021, a site specific Official Plan Amendment and Zoning By-law amendment was approved to permit 103 townhouse dwelling units contained within 11 residential blocks, and two residential apartment buildings consisting of two towers with heights of 22 and 32 storeys (Building “A”) and two towers with heights of 22 and 30 storeys (Building “B”). Earlier this year, an Official Plan Amendment (OP.25.005) was submitted to permit one additional storey on each tower, which will provide 41 additional dwelling units.

This letter has been prepared in support of a Minor Variance application to increase the maximum building height of Building “A” and Building “B”. Specifically, the Minor Variance seeks relief from site specific Zoning By-law - 096-2021 with respect to Maximum Building Height in storeys.

The Statutory Public Meeting for the OPA application is tentatively scheduled for the October 8, 2024, Committee of the Whole Meeting and we anticipate Council approval in October. It should be noted that Building “A” and Building “B” are under construction. As such, we are requesting that this Minor Variance application be scheduled for the earliest available Committee of Adjustment Hearing date following the October Council Meeting in order for the owner to maintain their construction schedule. Planning Staff have confirmed that the Minor Variance application can be processed concurrently with the Official Plan Amendment application.

The purpose of this letter is to provide a Planning justification for the requested variance based on applicable planning policies and demonstrates how the requested variance satisfies the four tests for a minor variance pursuant to Section 45(1) of The *Planning Act*, 1990.

Description of Subject Property and Site Context

The subject property is located on the west side of Islington Avenue, north of Steeles Avenue West, east of the Humber River and south of the Canadian National (CN) and Canadian Pacific-Kansas City Southern (CPKC). The subject property is approximately 12.82 hectares (31.31 acres) in size and has approximately 187 metres of frontage along Islington Avenue. The tableland portion of the subject property is approximately 4.5 hectares (11.32 acres). The proposed development is contained solely within the tableland portion of lands (Figure 1).

Land uses surrounding the subject property include:

North: The Canadian National (CN) rail line, Canadian Pacific-Kansas City Southern (CPKC) rail line and Highway 407 ETR, are located immediately north of the subject property. Further north of Highway 407 ETR is the Humber River, along with vacant lands and wooded areas combined with limited commercial and residential uses along Islington Avenue, south of Highway 7.

- East:** Industrial and commercial uses and the CPKC rail line crosses these lands. Further east are additional employment related uses including industrial and commercial uses on the north and south side of Steeles Avenue West up to Highway 400.
- South:** An automobile gas bar and other small-scale commercial uses are immediately south of the subject property. South of Steeles Avenue West in the City of Toronto, land uses range from single-detached residential dwellings, semi-detached residential dwellings, townhouse dwellings currently under construction, and a variety of neighbourhood commercial and institutional uses.
- West:** The Humber River and Thackeray Park are located to the immediate west. Further to the west is a residential townhouse subdivision along with retail and commercial uses.



Figure 1: Aerial Photo of Subject Property

The subject property is designated *Low-Rise Residential, High-Rise Residential (H32; D4.5)*, and *Natural Areas* according to Schedule 13 (Land Use Plan) of the Vaughan Official Plan and is zoned *RA3(H) Zone, RT1(H) Residential Townhouse Zone with the Holding Symbol “(H)”, OS1 Zone and OS2 Open Space Park Zone*. Only the portion of the subject property zoned RA3 is subject to this Minor Variance application.

The subject property is located within a Settlement Area within a delineated built-up area. According to the Provincial Policy Statement (PPS), Settlement Areas are defined as urban areas within municipalities that are built-up and where development is concentrated through a mix of land uses. Policy 1.1.3.1 of the PPS states

that Settlement Areas shall be the focus of growth and development in Ontario. Policy 2.2.1.2(a) of A Place to Grow: Growth Plan for the Greater Golden Horseshoe (Growth Plan) further directs the vast majority of growth within the Greater Golden Horseshoe to Settlement Areas that have a delineated built boundary.

History of Planning Approvals

In June 2018 Official Plan Amendment, Zoning By-law Amendment, and Draft Plan of Subdivision applications were approved to permit the development of 135 Townhouse dwelling units and four towers ranging from 19 to 22 storeys in height. The approved Official Plan Amendment redesignated the subject property from *Mid-Rise Mixed-Use* and *Natural Area* to *Low-Rise Residential* and *High-Rise Residential*. The Zoning By-law Amendment rezoned the subject property from RA3(H) Zone to RA3(H) Zone, RT1(H) Residential Townhouse Zone with the Holding Symbol “(H)”, OS1 Zone and OS2 Open Space Park Zone.

In 2021, applications were approved to revise the site-specific Official Plan Amendment and Zoning By-law Amendment to permit 103 townhouse dwelling units contained within 11 residential blocks, and two residential apartment buildings consisting of two towers with heights of 22 and 32 storeys (Building “A”) and two towers with heights of 22 and 30 storeys (Building “B”). The revised Official Plan Amendment redesignated the subject property *High Rise Residential (H32;D4.5)* and the revised ZBA rezoned a portion of the subject property from RT1(H) Residential Townhouse Zone with the Holding Symbol “(H)” to OS2 Open Space Park Zone.

Development Approval applications were submitted in March 2018 for the low-rise portion of the site (DA.18.015) and approved in 2023 and is constructed. Development Approval applications for Phase Two (DA.20.007), and Phase Three (DA.22.066) were submitted in February 2020 and November 2022 respectively. The DA.20.007 application was approved earlier this year and the DA.22.066 application is under review by the City. Building “A” and Building “B” are under construction.

Proposed Development

In June 2024, an Official Plan Amendment application was submitted to redesignate a portion of the subject property from *High Rise Residential (H32;D4.5)* to *High Rise Residential (H33;D4.5)* to permit one additional storey on each residential tower. The proposed development provides a Gross Floor Area (GFA) of 45,942 square metres for Building “A” and a GFA of 43,875 square metres for Building “B”. Building “A” will include 568 residential units and building “B” will include 470 residential units for a total of 1,038 units for both buildings. This represents an increase of 41 units across the development, comprised of 21 additional units in Building “A” and 20 additional units in Building “B” (Table 1).

Table 1: Description of Proposed development

	Existing OP Designation High Rise Residential (H32;D45)			Proposed OP Designation High Rise Residential (H33;D45)		
	Height	Units	GFA (m ²)	Height	Units	GFA (m ²)
Building A						
Tower 1	22 Storeys	547	44,437	23 Storeys	568	45,952
Tower 2	32 Storeys			33 Storeys		
Building B						
Tower 3	30 Storeys	450	42,493	31 Storeys	469	43,875
Tower 4	22 Storeys			23 Storeys		



Figure 2: Proposed Site Plan Prepared by BDP Quadrangle

Minor Variance Application

The Minor Variance Application seeks relief from Site-Specific Zoning By-law 096-2021 as it pertains to Building “A” and Building “B”, described on Schedule 1 (Schedule E-1451) to By-law 096-2021. The maximum permitted building height is outlined in Section gv of the By-law and on Schedule 1 of the By-law as follows:

- Tower 1: 22 storeys and 79 metres
- Tower 2: 32 storeys and 105 metres
- Tower 3: 30 storeys and 97 metres
- Tower 4: 22 storeys and 79 metres

The Site Plan prepared by BDP Quadrangle included in the Official Plan Amendment application that was submitted in June 2024 shows the following maximum building heights in storeys and metres:

- Tower 1: 23 storeys and 73.17 metres
- Tower 2: 33 storeys and 103.12 metres
- Tower 3: 31 storeys and 96.8 metres
- Tower 4: 23 storeys and 72.45 metres

The enclosed Minor Variance application seeks relief from the Zoning By-law to permit the maximum building height in storeys described on the Site Plan prepared in support of the Official Plan Amendment. It should be noted that only the height in storeys is subject to the Minor Variance application as the height of the Towers are permitted within the Maximum Building Height in described in metres. The specific provisions and requested variances are identified in Table 2:

Table 2: Proposed Variance

No.	By-Law Section No.	By-law Provision	By-law Requirement	Requested Variance
1	Section f) – Provision gv)	Maximum Building Height	Tower 1 – 22 storeys Tower 2 – 32 storeys Tower 3 – 30 storeys Tower 4 – 22 storeys	Tower 1 – 23 storeys Tower 2 – 33 storeys Tower 3 – 31 storeys Tower 4 – 23 storeys

Planning Justification

The *Planning Act*, 1990 sets out the legal framework that governs the consideration for Minor Variance applications and Section 45 of the *Planning Act* authorizes the Committee of Adjustment to make decisions regarding minor variances applications. Pursuant to Section 45(1) of the *Planning Act*, a Minor Variance must satisfy the following tests:

1. The variance requested maintains the general intent and purpose of the Official Plan;
2. The variance requested maintains the general intent and purpose of the Zoning By-law;
3. The variance is desirable for the appropriate development or use of the land; and,
4. The variance is minor in nature.

The following is a summary of how the proposed variance meets the four tests under Section 45 (1) of the *Planning Act*.

1. Maintains the General Intent and Purpose of the Official Plan

The subject property is designated *Low-Rise Residential*, *High-Rise Residential (H32; D4.5)*, and *Natural Areas* according to Schedule 13 (Land Use Plan) of the Vaughan Official Plan (VOP) through OPA 27 and OPA 70. Only the *High-Rise Residential* portion of the subject property is subject to the Minor Variance application. While it is recognized that the VOP designation establishes a maximum permitted building height of 32 storeys, an Official Plan Amendment application has been submitted to redesignate a portion of the subject property from *High-Rise Residential (H32; D4.5)* to *High-Rise Residential (H33; D4.5)* to permit a maximum building height of 33 storeys.

Section 9.2.2 of the VOP established Land Use Designation policies. According to Policy 9.2.2.5, in areas designated on Schedule 13 of the VOP as *High-Rise Residential*, the following policies apply:

- a. *High-Rise Residential areas are generally located in Intensification Areas and shall consist of primarily residential buildings. These areas will help achieve the City's population and intensification targets by establishing higher intensity housing forms. These areas will be carefully designed with a high standard of architecture and public realm, and well integrated with adjacent areas.*
- b. *The following uses are permitted in areas designated as High-Rise Residential, in addition to those uses permitted through Policy 9.2.1.9:*
 - i. *Residential units;*

- ii. *Home occupations; and*
- iii. *Community facilities.*

c. *The following Building Types are permitted in areas designated as High-Rise Residential, pursuant to policies in subsection 9.2.3 of this Plan:*

- i. *High-Rise Buildings;*
- ii. *Mid-Rise Buildings; and*
- iii. *Public and Private Institutional Buildings.*

The proposed development includes four high-rise residential towers, which is a permitted use and built form in the *High Rise Designation* according to Policy 9.2.2.5(a-c). Section 9.2.3 of the VOP establishes *Building Types and Development Criteria* and policies for High Rise Buildings are outlined in Policy 9.2.3.6. Site Development applications have been submitted for Building “A” and Building “B” and the design of the buildings have been reviewed and generally approved by City Staff to ensure a high standard of architecture and public realm has been achieved.

The subject property is also subject to site specific Policies 13.41 (OPA 27). Policy 13.41.1.4 specifically deals with the high rise portion of the subject property:

- 13.41.1.4 *Notwithstanding the policy contained in Section 9.2.3.6.a), the lands identified on Map 13.41.A identified as "High-Rise Residential" shall be permitted to be developed with a total of 4 residential apartment buildings with a maximum building height of 32-storeys. Site-specific development standards shall be established in the implementing by-law. (OPA #70).*
- 13.41.1.5 *The policies of Section 9.2.3.6.d) ii) shall not apply.*
- 13.41.1.6 *Notwithstanding policy 9.2.3.6. d) iii), a minimum distance of 20 m between High-Rise Buildings for portions above 12-storeys shall be required.*
- 13.41.1.7 *Notwithstanding Schedule I, Height and Density Parameter:*
 - a. *lands designated “High-Rise Residential” shall be permitted a maximum building height of 32-storeys and a maximum Floor Space Index (FSI) of 4.5. The 1,180 m² amenity area, as identified in the implementing Zoning By-law, shall be included towards the calculation of the FSI within the “High-Rise Residential” designation. (OPA #70)*
 - b. *prior to the implementation of the site-specific Zoning By-law, the requirements for a Section 37 Agreement shall be satisfied.*

An Official Plan Amendment application has been submitted to increase the maximum permitted building height from 32 storeys to 33 storeys and the draft Official Plan Amendment specifically deals with section 13.41 of the VOP to permit a maximum height of 33 storeys. Although the Official Plan Amendment has not been approved, Planning Staff have expressed support for the application and we anticipate Council approval in October 2024. Further, Planning Staff have confirmed that both applications can be processed concurrently to ensure the Minor Variance application is scheduled for the first Committee of Adjustment hearing following Council approval of the Official Plan Amendment to ensure the requested variance for additional height conforms to the Official Plan.

Although the proposed Official Plan Amendment is not yet in force, the proposed development and additional height conforms with the VOP by proposing a land use and building typology that is permitted within the *High Rise Residential* land use designation without any other amendments to the VOP. The requested variance is consistent with the policies of Section 9.2.2 and Section 9.2.3.6, and a high standard of architecture and urban

design is provided. The additional storeys will implement the same architectural design and materiality as the rest of the building and will not have any impact on the ground floor or public realm. Furthermore, the additional height will provide 41 additional residential dwelling units in an area of the City designated for high density development.

In our opinion, the requested variance maintains the general intent and purpose of the Official Plan.

2. Maintains the General Intent and Purpose of the Zoning By-law

Site-specific Zoning By-law 096-2021 was passed on July 28, 2021 and zones a portions of the subject property allocated to Building “A” (Towers 1 and 2) and Building “B” (Towers 3 and 4) *RA3 – Apartment Residential Zone*. Section gv of Zoning By-law 096-2021 establishes the following Maximum Building Height:

- Tower 1: 22 storeys and 79 metres
- Tower 2: 32 storeys and 105 metres
- Tower 3: 30 storeys and 97 metres
- Tower 4: 22 storeys and 79 metres

The enclosed Minor Variance request seeks to permit one additional storey on each residential tower and relief from the Zoning By-law is required to increase the Maximum Building Height as follows:

- Tower 1: 23 storeys and 73.17 metres
- Tower 2: 33 storeys and 103.12 metres
- Tower 3: 31 storeys and 96.8 metres
- Tower 4: 23 storeys and 72.45 metres

No other changes to the Zoning By-law are being requested. The additional height will provide 41 residential units without changes or impact on building footprint, floor plate size, setbacks or tower separation. Furthermore, the extra storeys will be designed with the same materiality and architectural style as the rest of the buildings to ensure continuity in design as approved through the previous public planning processes. The overall development provides a built form that is compatible with surrounding developments and the additional storey on each tower does not detract from the built form of the existing approved development.

In our opinion, the requested variance maintains the general intent and purpose of the Zoning By-law.

3. Desirable for the Appropriate Development or Use of the Land

Site specific OPA 27, OPA 70 and Zoning By-law 96-2021 were approved to permit the development of four residential towers contained within two buildings on the subject property. Building “A” includes two residential towers with heights of 22 and 32 storeys and Building “B” includes two residential towers with heights of 30 and 22 storeys. An Official Plan Amendment has been submitted to increase the maximum building height to 33 storeys. The enclosed Minor Variance application seeks relief from the By-law to permit an increase Maximum Building Height.

The requested variance does not propose any other changes to the performance standards that would impact the built form of the overall development. The purpose of the additional height is to provide an additional 41 residential dwelling units, bringing the total number of units to 1,038 in an area of the city that is intended for high-density development.

Based on historical approvals and land use designation for the subject property, it is our opinion that the requested variance is desirable and appropriate for the subject property.

4. Minor in Nature

The requested variance seeks relief from Zoning By-law 096-2021 to permit an increased Maximum Building Height with respect to number of storeys. The additional height of Building “A” and Building “B” is permitted in the Zoning By-law with respect to height in metres. No other changes to the Zoning By-law are being requested.

Furthermore, the additional height is being requested to provide 41 additional dwelling units. Technical studies related to Traffic Engineering and Civil Engineering have been prepared and reviewed through the Official Plan Amendment application to determine that the additional dwelling units will not have significant impact on traffic and servicing. The additional density is being provided in an area of the City intended for high-density development on a site that is designated and zoned for residential use. The requested variance is not anticipated to create any unacceptable impact on the subject property or the surrounding neighborhood. As such, it is our opinion that the proposed variance is minor in nature.

Conclusion

The proposed development seeks to increase the maximum building heights to permit one additional storey on each tower for “Building A” and “Building B”. The additional 41 units that will be provided by the extra height will contribute to the mix of residential unit types in an area of the City intended for high-density development. The additional dwelling units responds to the current market demand and are not otherwise readily available in the surrounding area. The proposed high-rise buildings maintain the maximum permitted FSI, provide for a compact built form and densities that are located in close proximity to existing and future transit systems. In our professional opinion, the application satisfies the four tests prescribed in Section 45(1) of the *Planning Act*, has planning merit, represents good land use planning and should ultimately be approved.

In support of this Minor Variance application, please find the following materials enclosed:

1. Architectural Material prepared by BDP Quadrangle including:
 - Overall Site Plan
 - Building A Statistics Sheet, dated December 15, 2023
 - Building A Site Plan, dated December 14, 2023
 - Building B Statistics Sheet, dated February 21, 2024
 - Building B Site Plan, dated February 21, 2024
2. Signed and Commissioned Sworn Declaration Form;
3. Signed Authorization Form;
4. Signed Authorizing Statements;
5. Chart Confirming Variances Requested;
6. Chart Confirming Property Setbacks for all Existing and Proposed Structures;
7. Chart Confirming Size for all Existing and Proposed Structures; and
8. Signed Tree Declaration Form

We trust the above is satisfactory and that staff have all of the required materials to facilitate their review. We request that the revised materials be circulated and scheduled for the earliest available Committee of Adjustment Hearing following approval of the Official Plan Amendment in October.

Please do not hesitate to contact the undersigned at ext. 329 or Rupneet Mangat at ext. 277 should there be any questions regarding this submission.

Yours truly,

Weston Consulting
Per:



Darrin Cohen, MCIP, RPP
Senior Planner

cc. Primont (SXSW1) Inc. and Primont (SXSW2) Inc
Sabrina Sgotto, Weston Consulting
Kevin Ayala Diaz, City of Vaughan

SCHEDULE D: BACKGROUND

Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
A022/17	January 16, 2017; COA APPROVED
A072/23	July 13, 2023; COA APPROVED

NOTICE OF DECISION
MINOR VARIANCE APPLICATION A072/23
 Section 45 of the Planning Act, R.S.O, 1990, c.P.13

DATE OF HEARING:	Thursday, July 13, 2023
APPLICANT:	Primont (Islington) Inc.
AGENT:	Weston Consulting
PROPERTY:	7082 Islington Ave, Vaughan
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "High-Rise Residential," "Low-Rise Residential" and "Natural Areas"
RELATED DEVELOPMENT APPLICATIONS:	DA.20.007
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to support the construction of Building "A", described as Tower 1 on Schedule E-1451 to By-law 218-2022 and to facilitate related Site Plan Application DA.20.007.

The following variances are being requested from the City's Zoning By-law:

The portion of the subject lands subject to this application are zoned RA3, Apartment Residential Zone, OS1 Open Space Conservation Zone and OS2, Open Space Park Zone and subject to the provisions of Exception 9(1323) under Zoning By-law 1-88, as amended

	Zoning By-law 1-88	Variance requested
1	A minimum interior side yard setback of 26 m is required for Tower 1 [9(1323) B1.giii].	To permit a minimum interior side yard setback of 16.4 m for Tower 1.
2	A minimum rear yard setback of 3 m is required for Tower 1 [9(1323) B1.giv].	To permit a minimum rear yard setback of 0 for Tower 1.
3	Tower 1 is not a permitted use within the OS2 Open Space Park Zone [9(1323) B1.biii].	To permit a portion of Tower 1 (loading enclosure to be a permitted use within the OS2 Open Space Park Zone).

Having regard to the requirements of Section 45 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, including the written and oral submissions related to the application, it is the decision of the Committee:

THAT Application No. **A072/23** for 7082 Islington Avenue be **APPROVED**, in accordance with the drawings and plans submitted with the application and subject to the following conditions:

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval " if required ". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart below for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.		
1	Development Planning Joshua.cipolletta@vaughan.ca	That all comments on Site Development Application DA.20.007 be addressed to the satisfaction of the Development Planning Department.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
2	Development Engineering Rex.bondad@vaughan.ca	The Owner/Applicant shall obtain approval for the related Site Development Application (DA.20.007) from the Development Engineering (DE) Department.

REASONS:

This application is approved, as it is the opinion of the Committee that, with the above noted conditions of approval, this application meets all four tests under Section 45(1) of the Planning Act:

1. The general intent and purpose of the by-law will be maintained.
2. The general intent and purpose of the official plan will be maintained.
3. The requested variance(s) is/are acceptable for the appropriate development of the subject lands.
4. The requested variance(s) is/are minor in nature.

PUBLIC WRITTEN & ORAL SUBMISSIONS

Public correspondence considered by the Committee of Adjustment in the making of this decision.

WRITTEN SUBMISSIONS:

Name	Address	Date Received (mm/dd/yyyy)	Summary
None			

ORAL SUBMISSIONS:

Name	Address	Submission (Hearing) Date (mm/dd/yyyy)	Summary
None			

In accordance with Procedural By-law 069-2019, public written submissions on an Application shall only be received by the Secretary Treasurer until **noon** on the last business day prior to the day of the scheduled Meeting.

WRITTEN SUBMISSIONS RECEIVED PAST DEADLINE:

Name	Address	Date Received (mm/dd/yyyy)	Summary
None			

IMPORTANT INFORMATION

Making any changes to your proposal/development after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings attached to this decision.

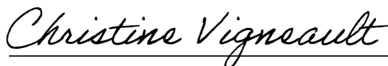
A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

MEMBERS PRESENT WHO CONCUR IN THIS DECISION:

<i>J. Kalpin</i>	<i>A. Perrella</i>	<i>M. Milunsky</i>
J. Kalpin Member	A. Perrella Chair	M. Milunsky Member
<i>S. Kerwin</i>		<i>B. Bell</i>
S. Kerwin Vice Chair		B. Bell Member

DATE OF HEARING:	July 13, 2023
DATE OF NOTICE:	July 20, 2023
LAST DAY FOR *APPEAL: *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	August 2, 2023 4:30 p.m.
CERTIFICATION: I hereby certify that this is a true copy of the decision of the City of Vaughan’s Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application.  _____ Christine Vigneault Manager Development Services & Secretary Treasurer to the Committee of Adjustment	

Appealing to The Ontario Land Tribunal
 The *Planning Act*, R.S.O. 1990, as amended, Section 45

The applicant, the Minister or a **specified person** or public body that has an interest in the matter may within 20 days of the making of the decision appeal to the Tribunal against the decision of the committee by filing with the secretary-treasurer of the committee a notice of appeal setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the secretary-treasurer of the fee charged by the Tribunal as payable on an appeal from a committee of adjustment to the Tribunal.

When **no appeal is lodged** within twenty days after the giving of notice the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

Please email and courier all appeals and prescribed fees to:

Office of the City Clerk - Committee of Adjustment
 2141 Major Mackenzie Drive
 Vaughan Ontario, L6A 1T1
cofa@vaughan.ca

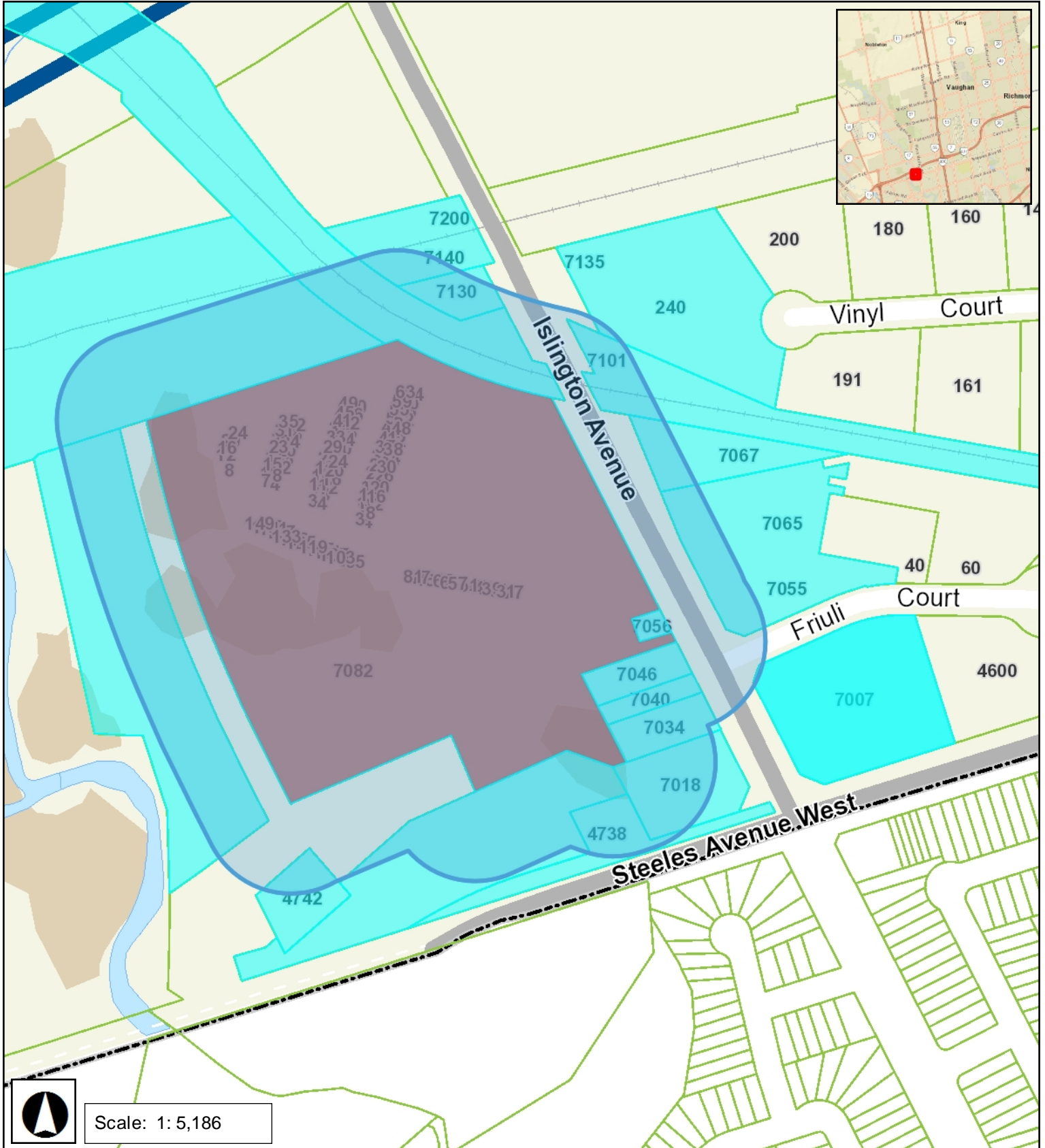
If you have questions regarding the appeal process, please email cofa@vaughan.ca

Appeal Fees & Forms

ONTARIO LAND TRIBUNAL (OLT): The OLT appeal fee is \$400 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The OLT Appeal Fee must be paid by certified cheque or money order payable to the “Minister of Finance”. OLT appeals must be filed with the Secretary Treasurer, City of Vaughan.

City of Vaughan OLT Processing Fee: [See Fee Schedule](#)

*Please note that all fees are subject to change.



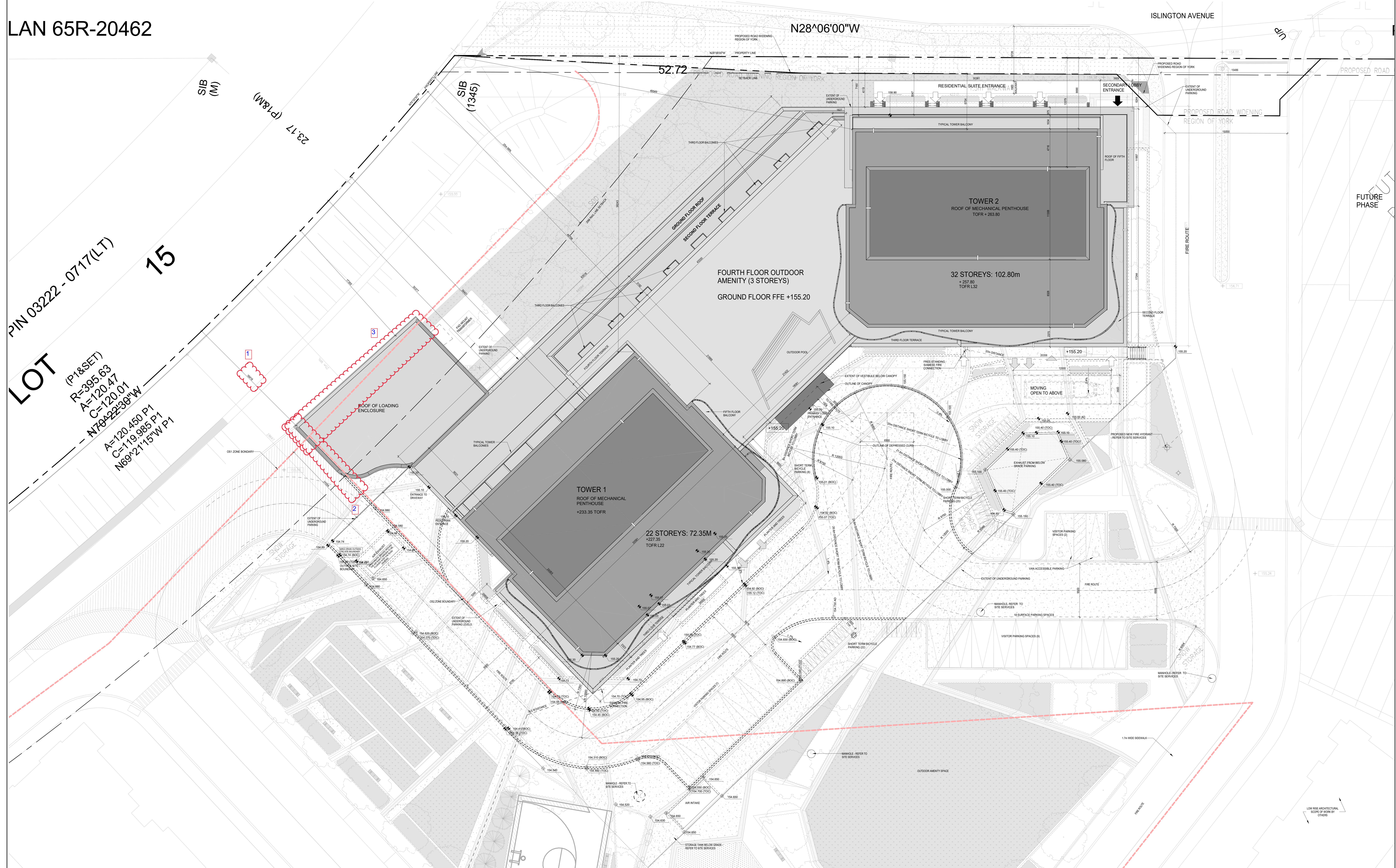
LAN 65R-20462

LOT (P1&SET)
R=395.63
A=120.47
C=120.01
N78°42'22"38"W
A=120.450 P1
C=119.985 P1
N69°21'15"W P1

LOT

PIN 03222 - 0717(LT)

15



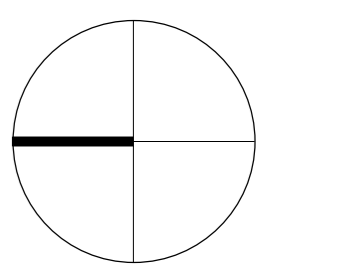
SITE PLAN LEGEND

- PROPERTY LINE
- LINE OF UNDERGROUND GARAGE BELOW
- MAIN BUILDING ENTRANCE
- RETAIL ENTRANCE
- EXIT
- VEHICLE LOADING ENTRANCE / EXIT
- FIRE HYDRANT
- SHARPE CONNECTION
- MANHOLE COVER
- AREA DRAIN
- CATCH BASIN
- FLOOR DRAIN (PARKING SLAB)
- FLOOR DRAIN (INTERIOR)
- EXISTING LIGHT
- TYPICAL PARKING SPACE
- ACCESSIBLE VISITOR - TYPE A
- ACCESSIBLE VISITOR - TYPE B
- BICYCLE PARKING (1500mm x 680mm)
- F.F.E. FINISH FLOOR ELEVATION
- EXISTING ELEVATION
- PROPOSED ELEVATION
- TOP OF ROOF
- BUILDING ENVELOPE
- FIRE ACCESS ROUTE HEAVY DUTY PAVING ASSEMBLY TO BE DESIGNED TO MEET THE LOADS IMPOSED BY FIRE FIGHTING EQUIPMENT
- GREEN ROOF
- TERRACE PAVING

2023-05-05	REISSUED FOR SPA
2022-11-02	REISSUED FOR ZONING COMMENTS

REVISION RECORD

Date	Issued For
	ISSUE RECORD



BDP. Quadrangle

Quadrangle Architects Limited
800 King Street West, Suite 101 Toronto, ON M5V 3K5
416-598-1240 www.bdpquadrangle.com

7082 Islington Avenue

SxSW1
7082 Islington Avenue
Vaughan, ON

17087 As indicated JT R.J.L.
PROJECT SCALE DRAWN REVIEWED

Site Plan

A101.0

Note: This drawing is the property of the Architect and may not be reproduced or used without the express written consent of the Architect. The Contractor is responsible for checking the accuracy of all dimensions and shall report all discrepancies to the Architect prior to construction work.

NOTICE OF DECISION

MINOR VARIANCES

FILE NUMBER: A022/17

APPLICANT: ISLINGTON STEELES VENTURES INC.

PROPERTY: Part of Lot 2, Concession 7 (Lot 26 of Registrar's Complied Plan 9691) municipally known as 7082 Islington Avenue, Woodbridge.

ZONING: The subject lands are zoned RA3(H) -Apartment Residential (Holding Symbol) Zone and subject to the provisions of Exception 9(1323) under By-law 1-88 as amended.

PURPOSE: To permit a temporary sales office.

PROPOSAL:

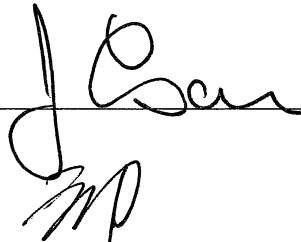
1. To permit a Temporary Sales Office to be located 8507 metres from the lands to be developed.
2. To permit a Temporary Sales Office within a Holding (H) zone.

BY-LAW REQUIREMENT:

1. A Temporary Sales office shall be located within 100 metres of the lands to be developed.
2. A Temporary Sales office is not permitted on lands subject to a Holding (H) zone.

A sketch is attached illustrating the request.

MOVED BY: _____



SECONDED BY: _____

THAT the Committee is of the opinion that the variances sought, can be considered minor and are desirable for the appropriate development and use of the land. The general intent and purpose of the By-law and the Official Plan will be maintained.



The Committee of Adjustment received written and/or oral submissions before and/or during the hearing and have taken these submissions into consideration when making the decision.

THAT Application No.A022/17, **ISLINGTON STEELES VENTURES INC.**, be **APPROVED**, in accordance with the sketches attached

- 1) The applicant shall submit the application review fee of \$1,050.00 payable to the Toronto and Region Conservation Authority, if required to the satisfaction of the TRCA.
- 2) That Minor variance application A022/17 be restricted to a temporary approval of 1 year. The Committee of Adjustment decision shall expire 1 year after the date the application becomes final and binding, if required to the satisfaction of the Development Planning department.
- 3) That if the condition(s) listed above is/are not fulfilled and the Building Permit is not applied for within twelve (12) months of the date this decision becomes final and binding, the said decision shall expire and shall be deemed to have been annulled and rescinded by the Committee. **(PLEASE NOTE THAT THIS TIME PERIOD CANNOT BE EXTENDED IN ANY WAY, FAILURE TO MEET THIS DEADLINE WILL RESULT IN REQUIRING A NEW APPLICATION AND FEE.**

VERY IMPORTANT: IT IS THE RESPONSIBILITY OF THE OWNER/APPLICANT AND/OR AGENT TO OBTAIN AND PROVIDE A CLEARANCE LETTER FROM EACH AGENCY AND/OR DEPARTMENT LISTED IN THE CONDITIONS WHETHER "IF REQUIRED" APPEARS IN THE CONDITION OR NOT, AND FORWARD THIS CLEARANCE LETTER TO THE SECRETARY-TREASURER AS SOON AS THE CONDITIONS ARE FULFILLED.

FAILURE TO COMPLY WITH THIS PROCEDURE WILL RESULT IN A LETTER BEING FORWARDED BY THE SECRETARY-TREASURER INDICATING THIS FILE HAS LAPSED AND, THEREFORE, WILL NECESSITATE THAT A NEW APPLICATION BE SUBMITTED TO LEGALIZE THIS PROPERTY.

THIS MINOR VARIANCE DECISION IS NOT A BUILDING PERMIT AUTHORIZING CONSTRUCTION UNDER THE BUILDING CODE ACT, R.S.O. 1990, AS AMENDED. A BUILDING PERMIT MAY BE REQUIRED. PLEASE CONTACT THE BUILDING STANDARDS DEPARTMENT IN THE EVENT THAT YOU REQUIRE FURTHER CLARIFICATION.

CARRIED.

CHAIR: Mary Mauti

Signed by all members present who concur in this decision:

 Mary Mauti
M. Mauti,
Chair

 J. Cesar
J. Cesar,
Vice Chair

 R. Buckler
R. Buckler,
Member

 H. Zheng
H. Zheng,
Member

 A. Perrella
A. Perrella,
Member

CERTIFICATION

I hereby certify this to be a true copy of the decision of the Committee of Adjustment, and this decision was concurred in by a majority of the members who heard this application.

 Todd Coles
Todd Coles, ACST(A), MCIP, RPP
Manager of Development Services
and Secretary-Treasurer to
Committee of Adjustment

Date of Hearing:	January 26, 2017
Last Date of Appeal:	February 15, 2017

APPEALS

APPEALS MUST BE RECEIVED BY THIS OFFICE NO LATER THAN 4:30 P.M. ON THE LAST DATE OF APPEAL NOTED ABOVE.

Should you decide to appeal this decision to the Ontario Municipal Board, a copy of an appeal form is available for download in Microsoft Word and Adobe Acrobat versions from the Ontario Municipal Board website at www.omb.gov.on.ca. If you do not have Internet access, these forms can be picked up at the City of Vaughan, Committee of Adjustment offices.

Please fill out Form A1 and follow the instructions as provided by the Ontario Municipal Board and submit your appeal to the City of Vaughan, Committee of Adjustment on or before the date stated above. You must enclose the completed form with the \$708.00 processing fee, paid by **certified cheque** or **money order**, to the "TREASURER, CITY OF VAUGHAN" and the appeal fee of \$300.00 for each application appealed, paid by **certified cheque** or **money order**, made payable to the "ONTARIO MINISTER OF FINANCE".

NOTE: The Planning Act provides for appeals to be filed by "persons". As groups or associations, such as residents or ratepayers groups which do not have incorporated status, may not be considered "persons" for the purposes of the Act, groups wishing to appeal this decision should do so in the name of individual group members, and not in the name of the group.

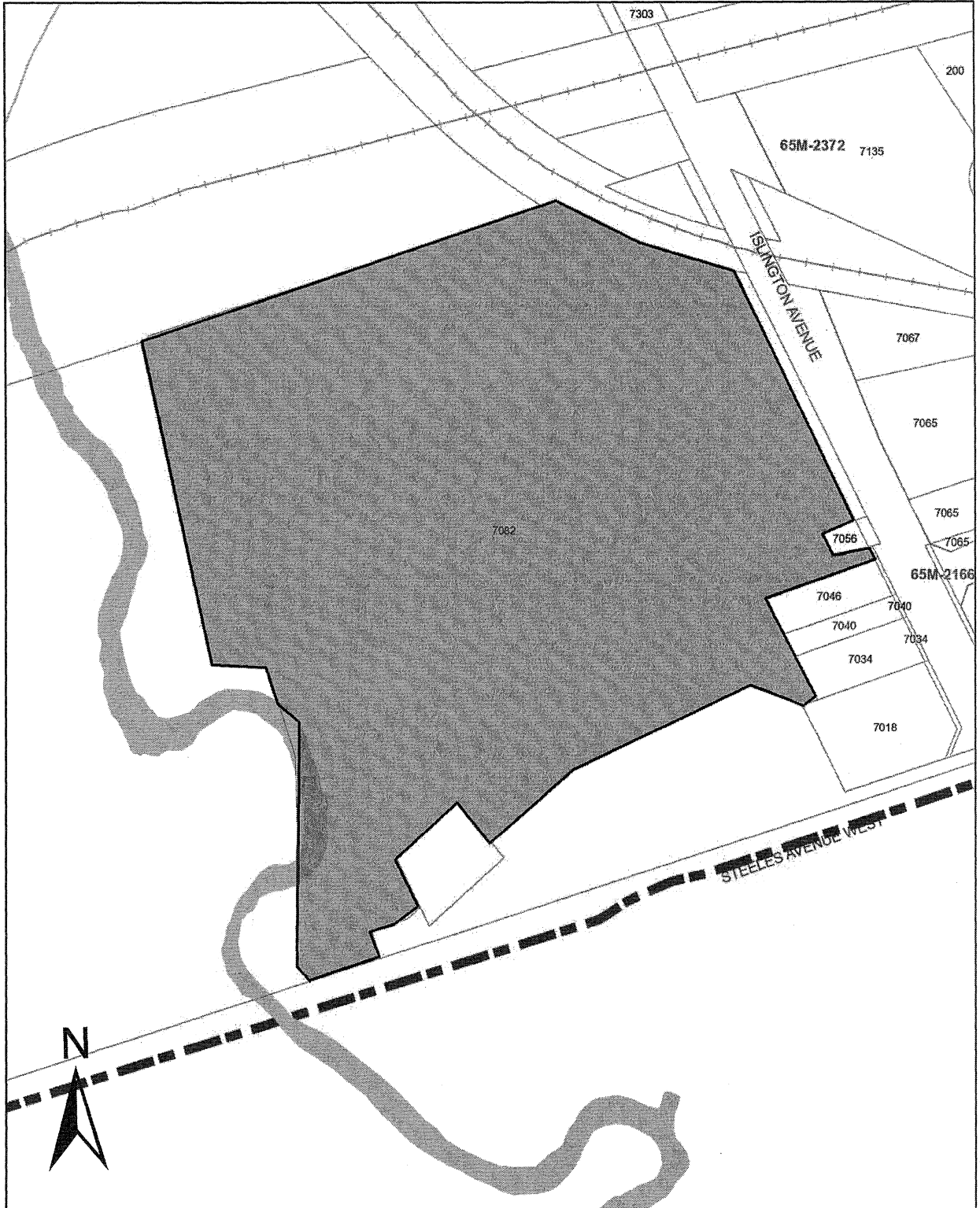
CONDITIONS

IF ANY CONDITIONS ARE IMPOSED ON THIS APPLICATION, THE FINAL DATE FOR FULFILLING THEM IS:
February 15, 2018



Location Map - A022/17

7082 Islington Avenue, Woodbridge



City of Vaughan



The City of Vaughan makes every effort to ensure that this map is free of errors but does not warrant that the map or its features are spatially, tabularly, or temporally accurate or fit for a particular use. This map is provided by the City of Vaughan without warranties of any kind, either expressed or implied.