

ITEM: 6.8	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A174/24
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Report Date: November 29, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Forestry	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
None				

BACKGROUND (SCHEDULE D, IF REQUIRED)

* Background Information contains historical development approvals considered to be related to this file.
This information should not be considered comprehensive.

Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
N/A	N/A

SCHEDULES

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



**MINOR VARIANCE APPLICATION
FILE NUMBER A174/24**

CITY WARD #:	1
APPLICANT:	Zulfikar & Mansura Kermally
AGENT:	Olusola Egunjobi (Pool Craft)
PROPERTY:	278 Hunterwood Chase, Maple
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a proposed cabana and uncovered platform (including access stairs) in the rear yard.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R1A (EN), First Density Residential (Established Neighbourhood), subject to the provisions of Exception 14.943 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 metres. [Section 4.1.4, 1.]	To permit an accessory building (cabana) with a maximum height of 3.26 metres.
2	A residential accessory structure with a height greater than 2.8 metres shall not be located closer than 2.4 metres to any lot line. [Section 4.1.2, 1. b.]	To permit a residential accessory structure (cabana) with a height greater than 2.8 metres to be located 1.09 metres from the rear lot line.
3	A residential accessory structure with a height greater than 2.8 metres shall not be located closer than 2.4 metres to any lot line. [Section 4.1.2, 1. b.]	To permit a residential accessory structure (cabana) with a height greater than 2.8 metres to be located 1.55 metres from the interior side lot line.
4	The maximum permitted lot coverage is 45%. [Exception 14.943.2 1. m.]	To permit a maximum lot coverage of 46.74%.
5	A maximum encroachment of 2.4 metres is permitted for an uncovered platform including access stairs into the required rear yard. [Table 4-1]	To permit a maximum encroachment of 6.41 metres for an uncovered platform into the required rear yard.

HEARING INFORMATION

DATE OF MEETING: Thursday, December 5, 2024
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

HEARING INFORMATION

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

That the general intent and purpose of the by-law will be maintained.

That the general intent and purpose of the official plan will be maintained.

That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.

That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Posted Online:	November 21, 2024
Date Applicant Confirmed Posting of Sign:	November 7, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	Limited rear yard space
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

COMMENTS:

Due to the postal workers' strike, residents might experience delays in receiving public hearing notices by mail. However, the Committee of Adjustment remains committed to providing public notifications of upcoming hearings as per the Planning Act and its regulations. We will continue to:

- Publish hearing notices on the municipal website.
- Post links to agendas and application information on our webpages.
- Email links to hearing agendas to community associations, Councillors' offices and other contacts.
- Ensure a public hearing notice is posted on the property subject to an application.

For more information on Public Notices and to search for notices related to upcoming Council or Committee meetings, please visit: [Public Notices | City of Vaughan](#)

Committee of Adjustment Recommended Conditions of Approval:	None
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BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	None
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DEVELOPMENT ENGINEERING

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

The Owner/Applicant has received a grading permit for the accessory structure from The Development Engineering (DE) Department. The proposed work by the Owner/Applicant is increasing the lot

DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer.

Development Engineering Recommended Conditions of Approval:	None
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PARKS, FORESTRY & HORTICULTURE (PFH)

Recommended condition of approval listed below:

PFH Recommended Conditions of Approval:	Forestry requires that Light Duty Hoarding (MLA 107B or ULA 110B) be installed around the City owned 18cm dbh Honeylocust on the front blvd. Applicant shall notify Vaughan Forestry or Development Planning Department once the Tree Protection (Hoarding) has been installed, to allow Vaughan Forestry to inspect and approve according to By-law 052-2018 and/or in accordance with the City of Vaughan's Tree Protection Protocol (2018).
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DEVELOPMENT FINANCE

No comment no concerns.

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date.

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC)

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT

No comments received to date.

Fire Department Recommended Conditions of Approval:	None
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RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Parks, Forestry and Horticulture Operations kari.sthyrhansen@vaughan.ca	Forestry requires that Light Duty Hoarding (MLA 107B or ULA 110B) be installed around the City owned 18cm dbh Honeylocust on the front blvd Applicant shall notify Vaughan Forestry or Development Planning Department once the Tree Protection (Hoarding) has been installed, to allow Vaughan Forestry to inspect and approve according to By-law 052-2018 and/or in accordance with the City of Vaughan's Tree Protection Protocol (2018).

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

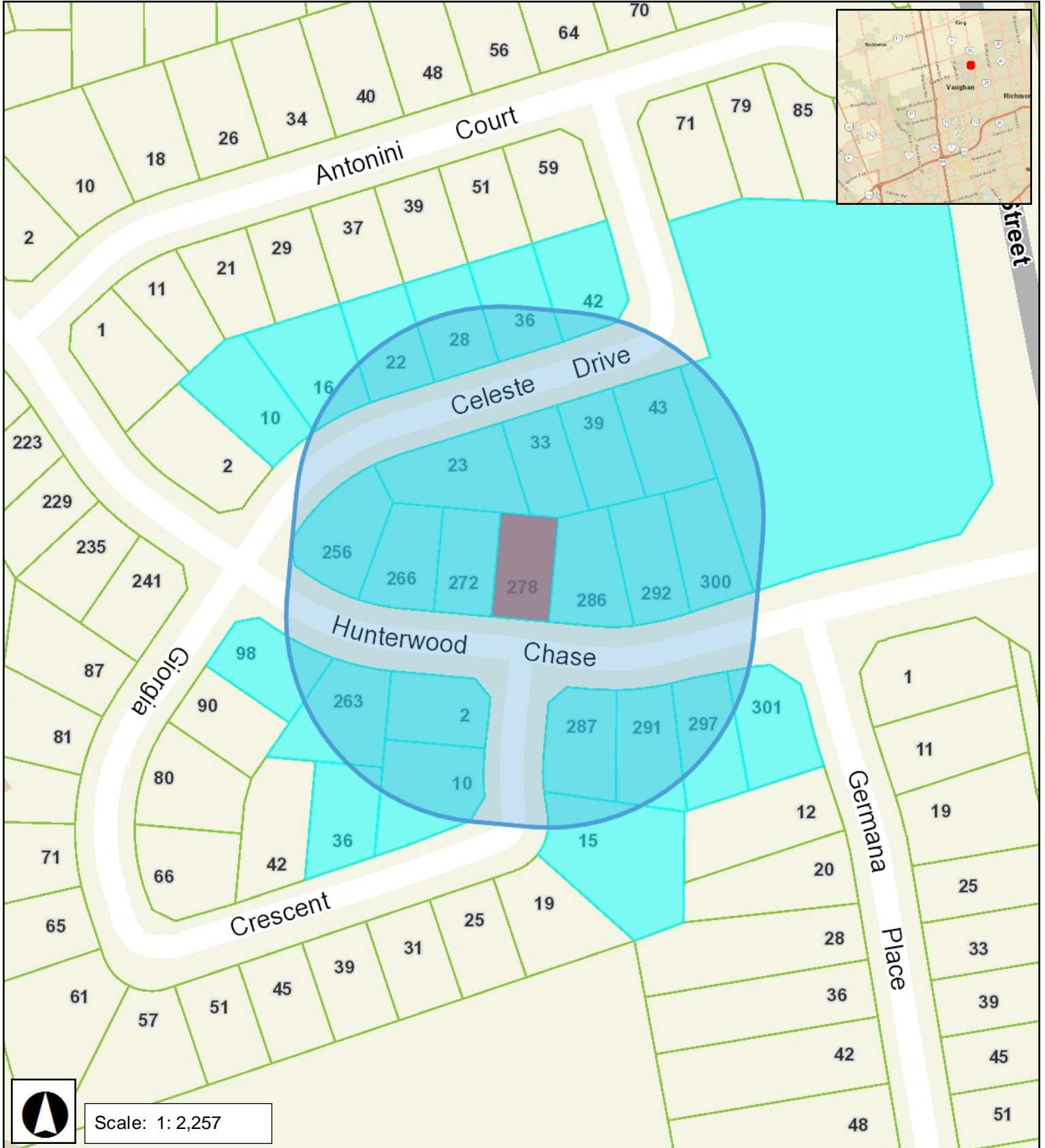
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

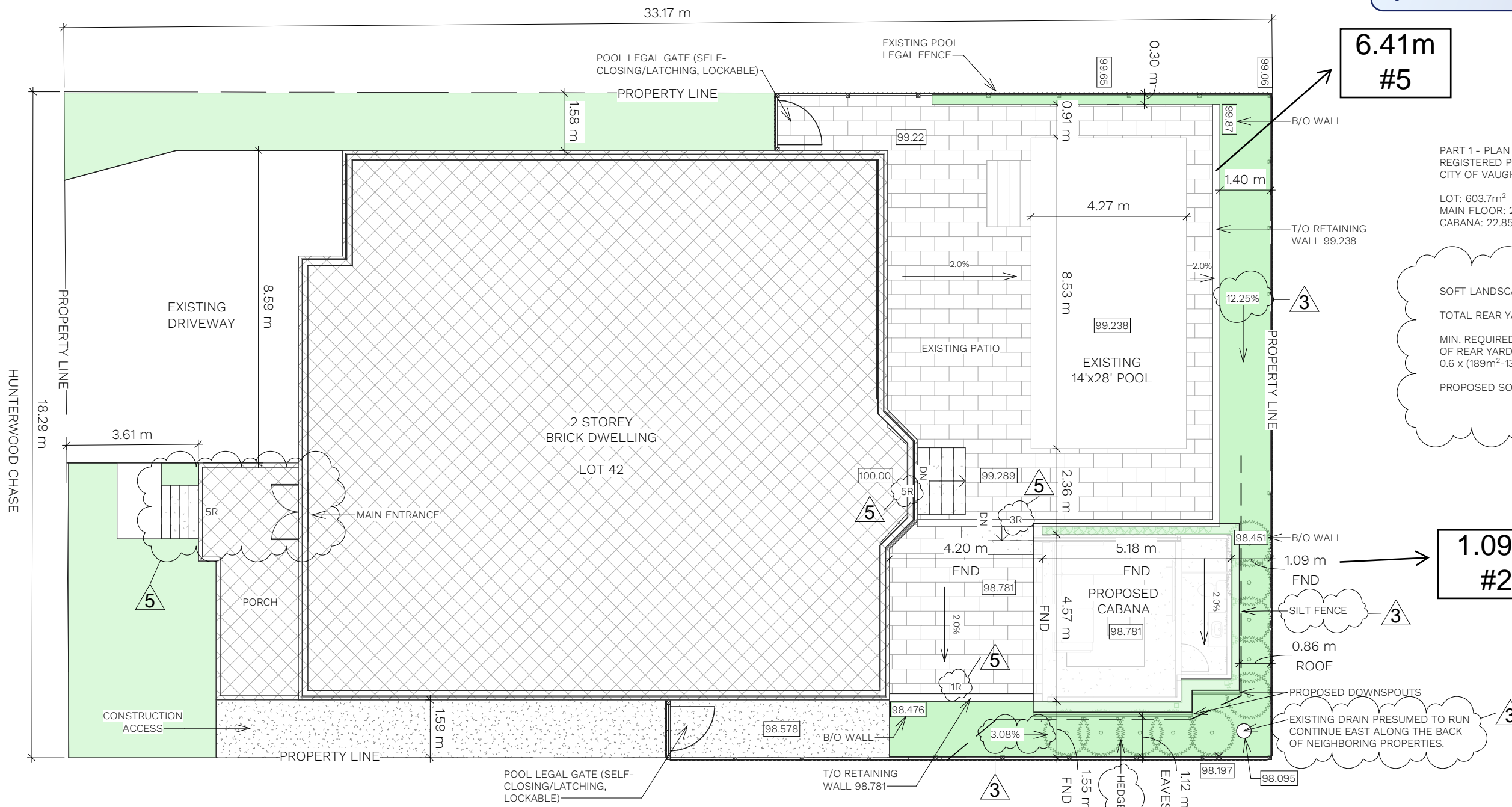
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS





6.41m
#5

46.74%
#4

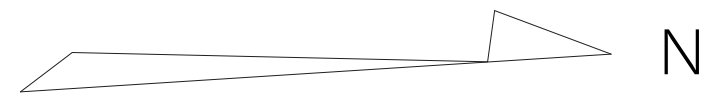
PART 1 - PLAN OF SURVEY OF LOT 42
REGISTERED PLAN 65M-4160
CITY OF VAUGHAN
LOT: 603.7m²
MAIN FLOOR: 259.3m² (42.95% OF LOT)
CABANA: 22.85m² (3.78% OF LOT)

SOFT LANDSCAPING CALCULATION
TOTAL REAR YARD AREA: APPROX. 189m²
MIN. REQUIRED SOFT LANDSCAPING AREA (60% OF REAR YARD IN EXCESS OF 135m²):
0.6 x (189m² - 135m²) = **32.4m²**
PROPOSED SOFTSCAPE AREA: **41.3m²**

1.09m
#2

1.55m
#3

SCALE: 1:125



Number	Description	Date
0	Building Permit Submission	August 1 2024
1	Revision 1	Sept 24 2024
2	Revision 2	Oct 3 2024
3	Revision 3	Oct 18 2024
5	Revision 5	Nov 8 2024
6	Revision 6	Nov 18 2024

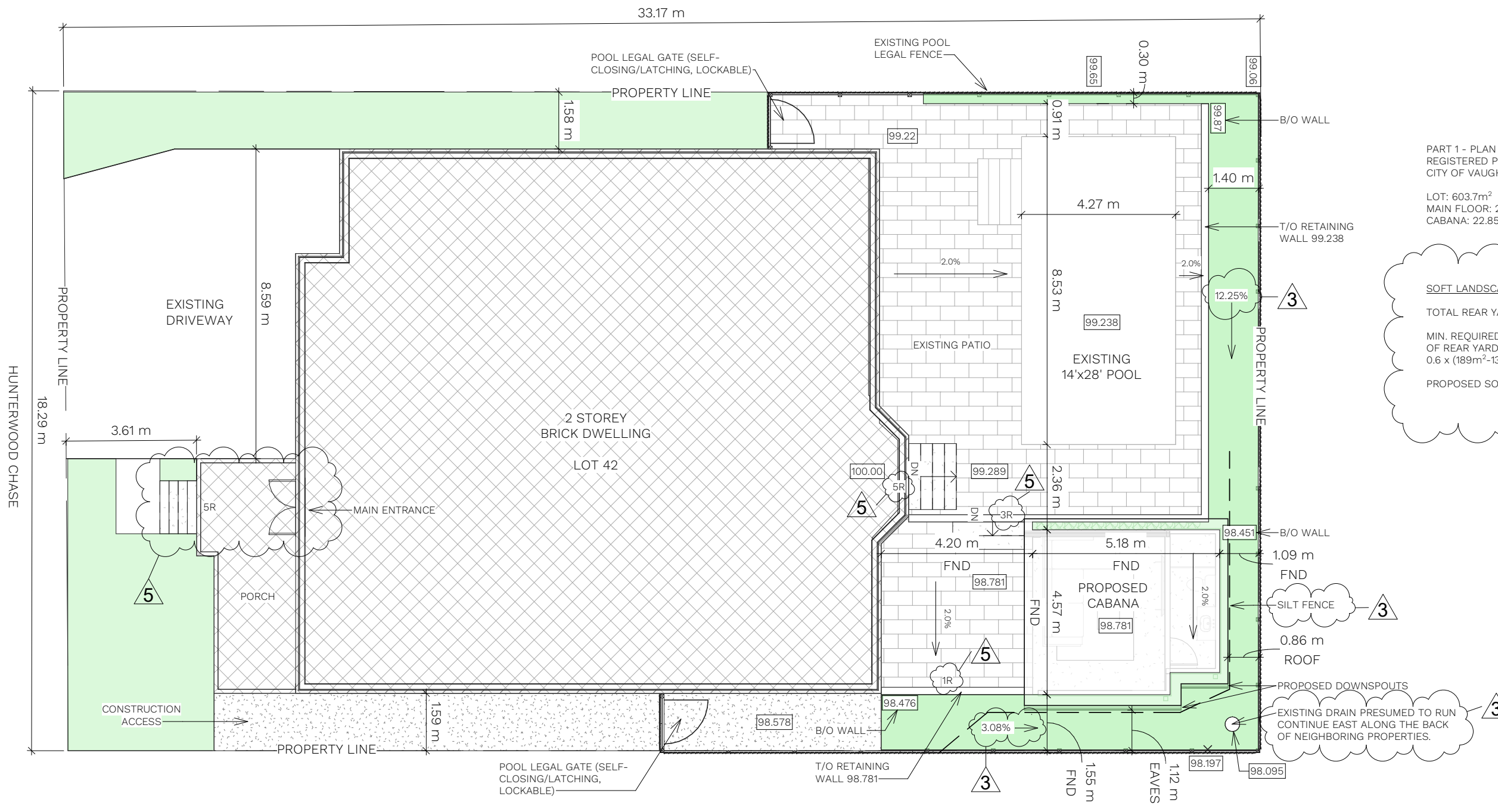
GENERAL NOTES:
SNOW LOAD CALCULATIONS
VAUGHAN Cb 0.55 * Ss 1.1 + Sr 0.4 = Snow 1.005
(CWC THE SPAN BOOK 1.5kPa OR 31.3psf)
ALL LUMBER TO BE SPF 2 OR GREATER UNLESS NOTED OTHERWISE
ALL CONSTRUCTION TO CONFORM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE.
DRAWINGS MUST NOT BE SCALED.
HANDWRITTEN NOTES ON THE DRAWINGS HAVE PRECEDENCE. MANUFACTURED ITEMS, MATERIALS AND CONSTRUCTION MUST COMPLY WITH ALL REQUIREMENTS OF THE MORTGAGE AND HOUSING CORPORATION (C.M.H.C.). ALL REFERENCES TO AND FINISHED GRADE LINES AS INDICATED ON THE ARCHITECTURAL WORKING DRAWINGS ARE FOR REFERENCE ONLY AND DO NOT NECESSARILY DEPICT FINISHED GRADING CONDITIONS OF ANY PARTICULAR LOT.

THE CONTRACTOR OR BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND CHECK ALL JOB CONDITIONS ON THE JOB SITE BEFORE PROCEEDING WITH THE WORK.
DESIGNER SHALL BE NOTIFIED PROMPTLY OF ANY DISCREPANCIES AT LEAST ONE WEEK BEFORE ORDERING OR PLACEMENT OF MATERIALS AND UNITS FOR CONSTRUCTION REGARDING SUCH DISCREPANCIES. FAILURE TO OBSERVE THESE CONDITIONS WHICH MAY REQUIRE EXPENSIVE REMEDIAL ACTION SHALL NOT BECOME THE RESPONSIBILITY OF OR COST TO DESIGNER.
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THE INFORMATION HEREIN IS THE PROPERTY OF 209 DESIGN AND FOR THE EXCLUSIVE USE OF THE CONTRACTED PARTY FOR THIS PROJECT ONLY AND SHALL NOT BE USED FOR OTHER PROJECTS, PUBLISHED, COPIED OR COMMUNICATED TO A THIRD PARTY WITHOUT WRITTEN CONSENT OF 209 DESIGN.

THE UNDERSIGNED HAS REVIEWED & TAKES RESPONSIBILITY FOR THIS DESIGN, & HAS THE QUALIFICATIONS & MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS
QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. C - 3.2.5.1 OF THE BUILDING CODE
DANA EVANS 100332
NAME BCIN
REGISTRATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. C - 3.2.4.1 OF THE BUILDING CODE
209 DESIGN 101521
FIRM NAME BCIN

209 DESIGN www.209design.ca
15905 SIDE RD. 17, SUNDERLAND ON L0C 1H0
647-297-8300 - DANA@209DESIGN.CA
PROJECT #: 24-018
PLOT DATE: Nov 18 2024

PROJECT ADDRESS:
278 Hunterwood Chase
Maple, ON L6A 4A8
A1.01
GRADING PLAN



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 REGISTERED PLAN 65M-4160
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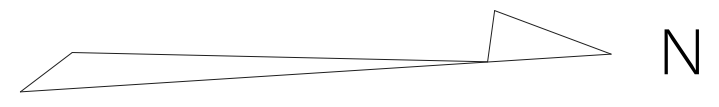
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TOTAL REAR YARD AREA: APPROX. 189m²

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 $0.6 \times (189m^2 - 135m^2) = 32.4m^2$

PROPOSED SOFTSCAPE AREA: **41.3m²**

SCALE: 1:125



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GENERAL NOTES:

SNOW LOAD CALCULATIONS
VAUGHAN Cb 0.55 * Ss 1.1 + Sr 0.4 = Snow 1.005
 (CWC THE SPAN BOOK 1.5kPa OR 31.3psf)

ALL LUMBER TO BE SPF 2 OR GREATER UNLESS NOTED OTHERWISE

ALL CONSTRUCTION TO CONFORM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE.

DRAWINGS MUST NOT BE SCALED.

HANDWRITTEN NOTES ON THE DRAWINGS HAVE PRECEDENCE. MANUFACTURED ITEMS, MATERIALS AND CONSTRUCTION MUST COMPLY WITH ALL REQUIREMENTS OF THE MORTGAGE AND HOUSING CORPORATION (C.M.H.C.). ALL REFERENCES TO AND FINISHED GRADE LINES AS INDICATED ON THE ARCHITECTURAL WORKING DRAWINGS ARE FOR REFERENCE ONLY AND DO NOT NECESSARILY DEPICT FINISHED GRADING CONDITIONS OF ANY PARTICULAR LOT.

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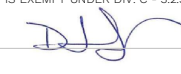
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PROJECT #: 24-018

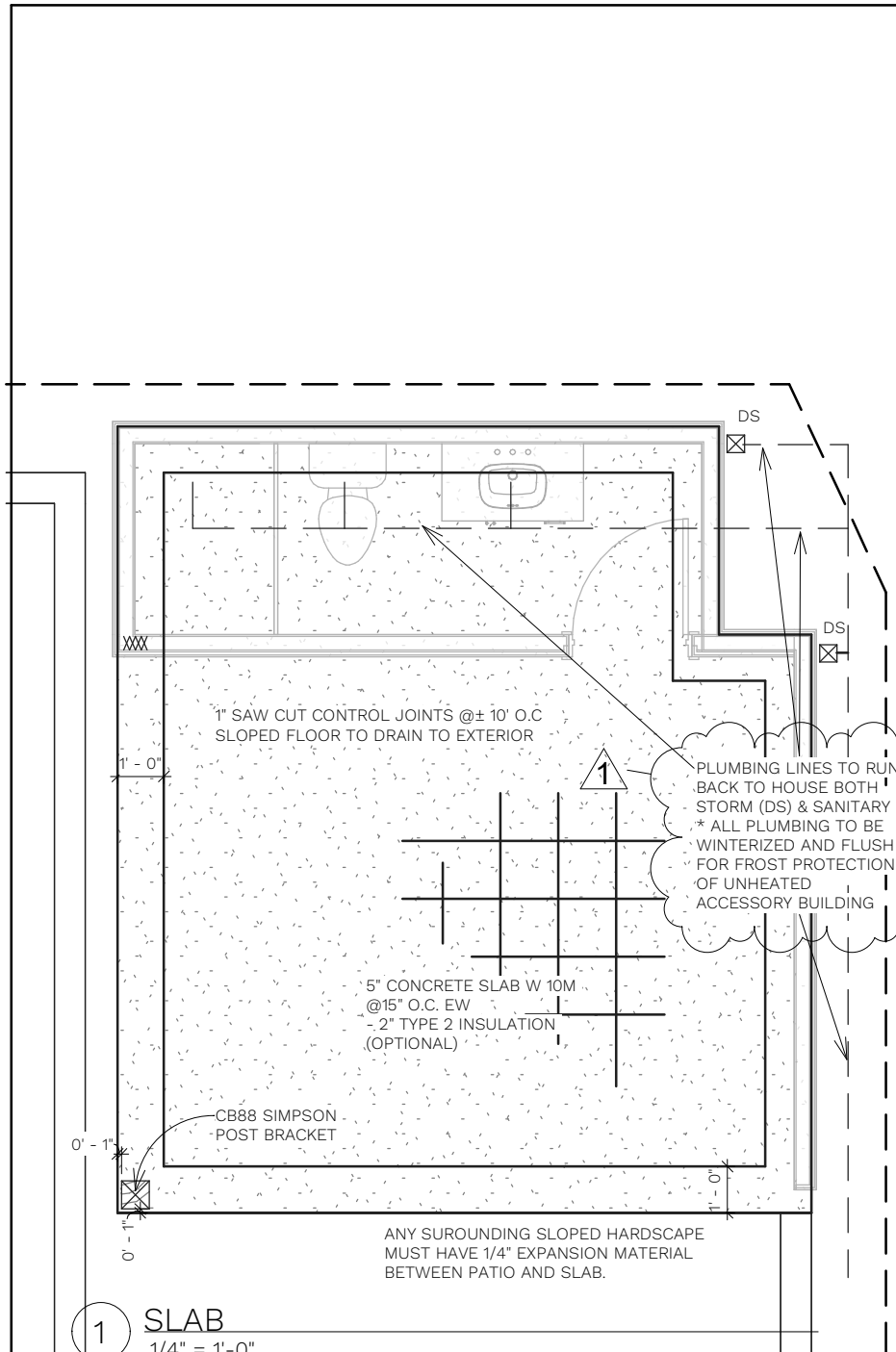
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PROJECT ADDRESS:

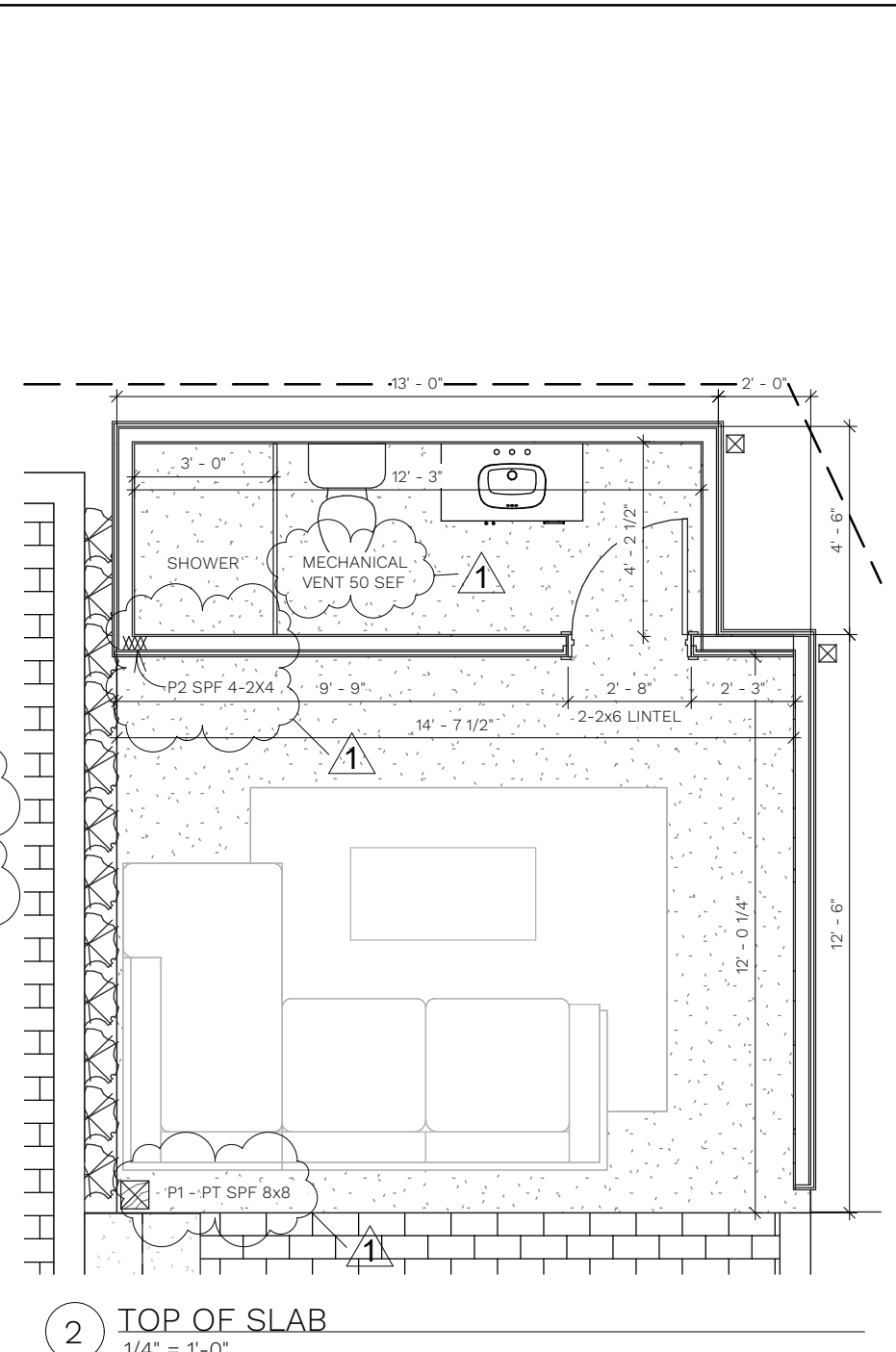
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A1.01

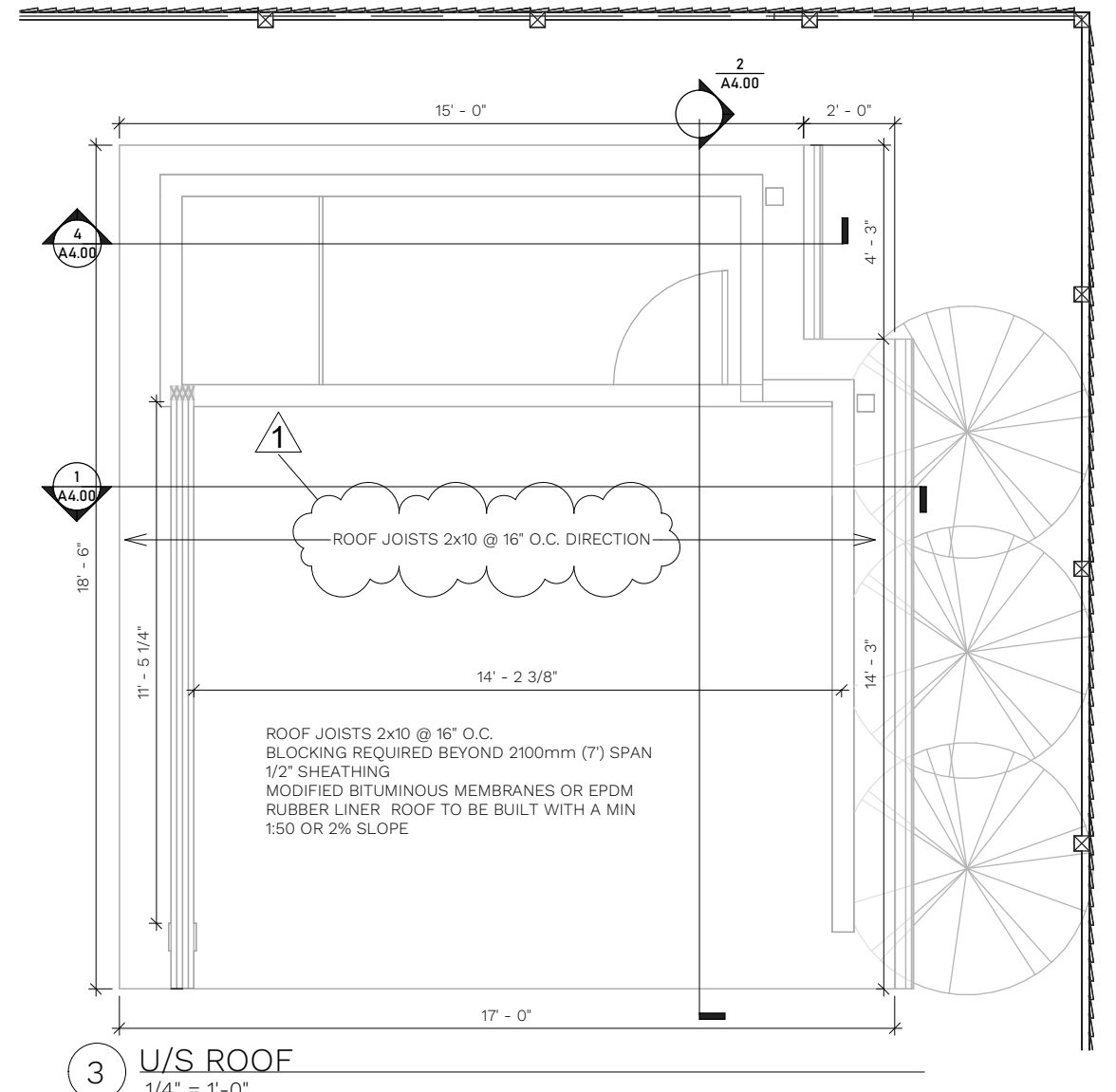
GRADING PLAN



1 SLAB
1/4" = 1'-0"



2 TOP OF SLAB
1/4" = 1'-0"



3 U/S ROOF
1/4" = 1'-0"

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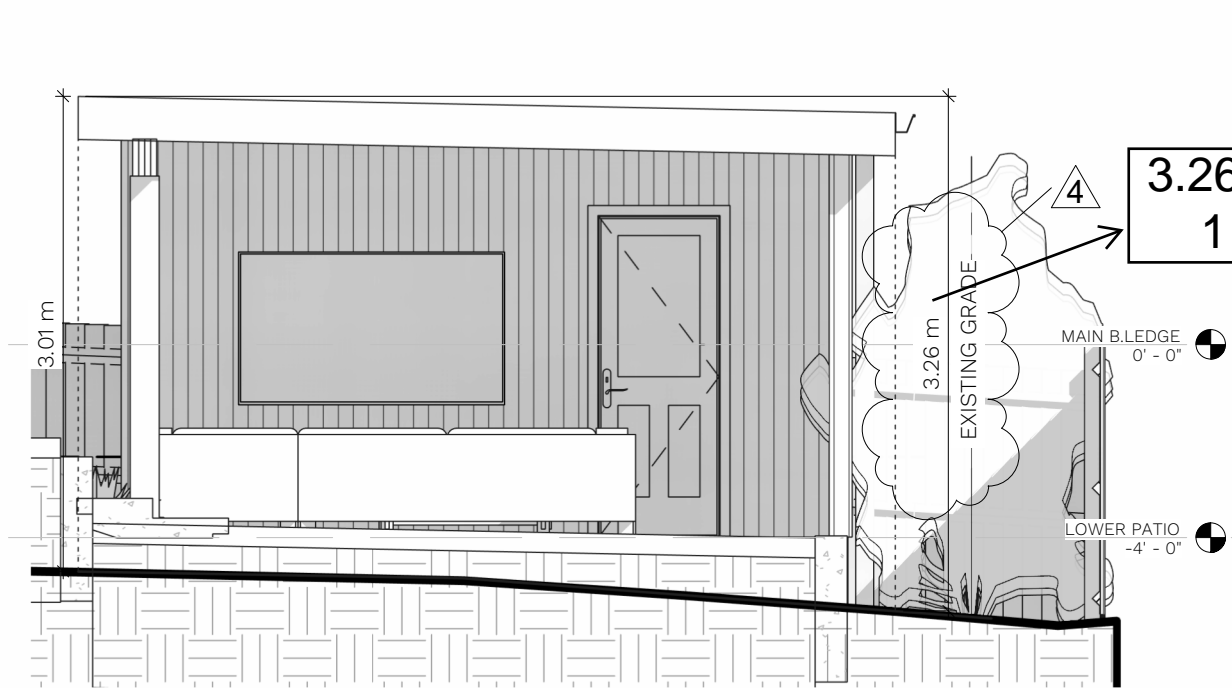
PROJECT #: 24-018

PLOT DATE: Oct 30 2024

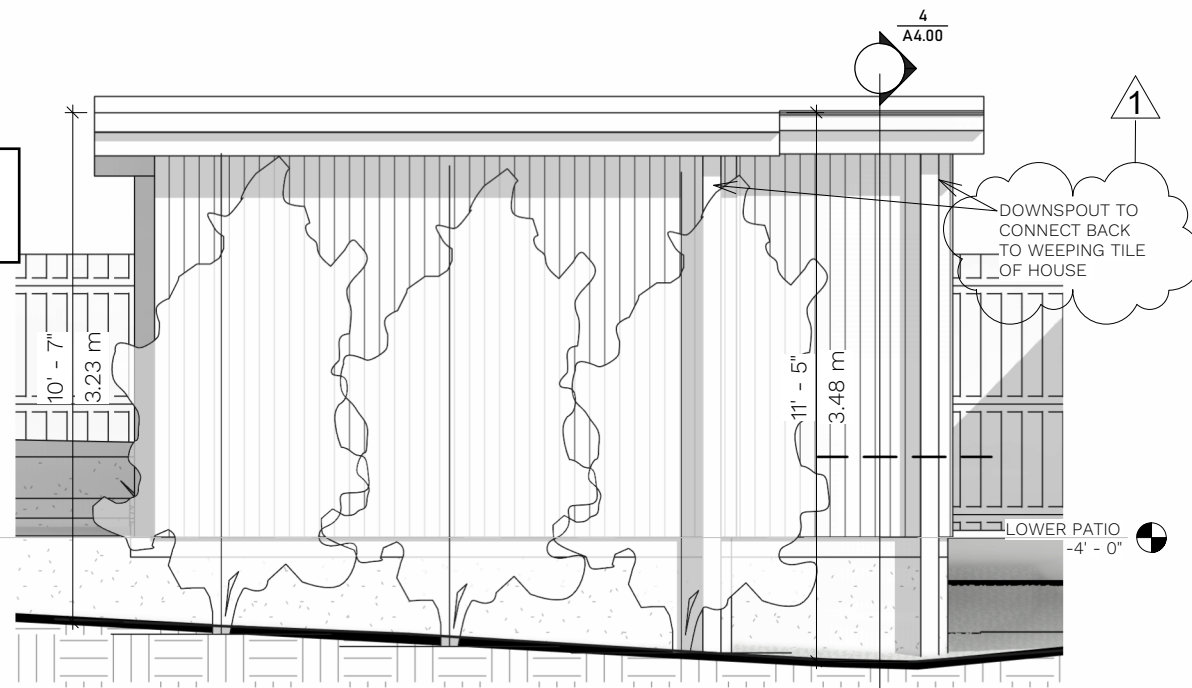
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A2.00

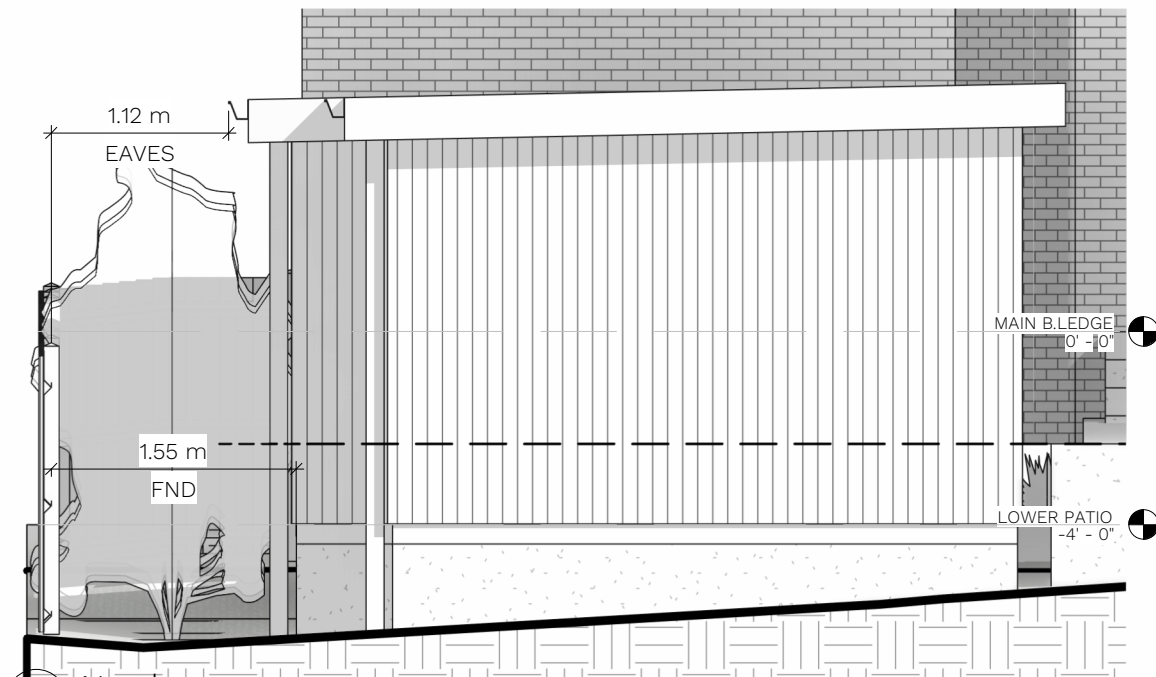
MAIN & ROOF PLAN



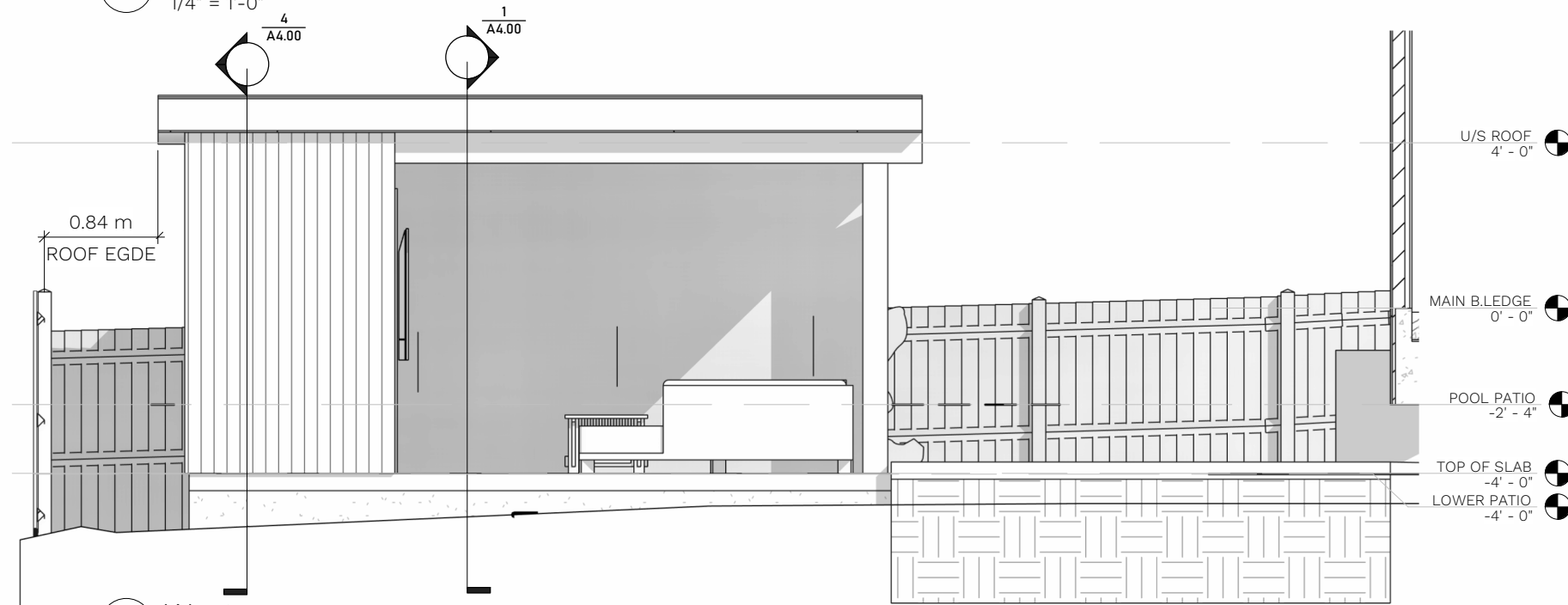
3 South
1/4" = 1'-0"



1 East
1/4" = 1'-0"



2 North
1/4" = 1'-0"



4 West
1/4" = 1'-0"

Number	Description	Date
0	Building Permit Submission	August 1 2024
1	Revision 1	Sept 24 2024
2	Revision 2	Oct 3 2024
3	Revision 3	Oct 18 2024
4	Revision 4	Oct 30 2024

GENERAL NOTES:

SNOW LOAD CALCULATIONS
VAUGHAN Cb 0.55 * Ss 1.1 + Sr 0.4 = Snow 1.005
(CWC THE SPAN BOOK 1.5kPa OR 31.3psf)

ALL LUMBER TO BE SPF 2 OR GREATER UNLESS NOTED OTHERWISE

ALL CONSTRUCTION TO CONFORM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE.

DRAWINGS MUST NOT BE SCALED.

HANDWRITTEN NOTES ON THE DRAWINGS HAVE PRECEDENCE. MANUFACTURED ITEMS, MATERIALS AND CONSTRUCTION MUST COMPLY WITH ALL REQUIREMENTS OF THE MORTGAGE AND HOUSING CORPORATION (C.M.H.C.). ALL REFERENCES TO AND FINISHED GRADE LINES AS INDICATED ON THE ARCHITECTURAL WORKING DRAWINGS ARE FOR REFERENCE ONLY AND DO NOT NECESSARILY DEPICT FINISHED GRADING CONDITIONS OF ANY PARTICULAR LOT.

THE CONTRACTOR OR BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND CHECK ALL JOB CONDITIONS ON THE JOB SITE BEFORE PROCEEDING WITH THE WORK.

DESIGNER SHALL BE NOTIFIED PROMPTLY OF ANY DISCREPANCIES AT LEAST ONE WEEK BEFORE ORDERING OR PLACEMENT OF MATERIALS AND UNITS FOR CONSTRUCTION REGARDING SUCH DISCREPANCIES. FAILURE TO OBSERVE THESE CONDITIONS WHICH MAY REQUIRE EXPENSIVE REMEDIAL ACTION SHALL NOT BECOME THE RESPONSIBILITY OF OR COST TO DESIGNER.

DIMENSIONS ARE TAKEN TO ROUGH STUD OR MASONRY SURFACES, GIVEN AS NOMINAL DIMENSIONS. EXTERIOR WALL DIMENSIONS DO NOT ALLOW FOR BRICK PROJECTION THEY ARE TAKEN FROM OUTSIDE FACE OF FOUNDATION WALL TO INSIDE FACE OF STUD.

THE INFORMATION HEREIN IS THE PROPERTY OF 209 DESIGN AND FOR THE EXCLUSIVE USE OF THE CONTRACTED PARTY FOR THIS PROJECT ONLY AND SHALL NOT BE USED FOR OTHER PROJECTS, PUBLISHED, COPIED OR COMMUNICATED TO A THIRD PARTY WITHOUT WRITTEN CONSENT OF 209 DESIGN.

THE UNDERSIGNED HAS REVIEWED & TAKES RESPONSIBILITY FOR THIS DESIGN, & HAS THE QUALIFICATIONS & MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. C - 3.2.5.1 OF THE BUILDING CODE

DANA EVANS  100332
NAME BCIN

REGISTRATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. C - 3.2.4.1 OF THE BUILDING CODE

209 DESIGN 101521
FIRM NAME BCIN

209 DESIGN www.209design.ca

15905 SIDE RD. 17, SUNDERLAND ON L0C 1H0
647-297-8300 - DANA@209DESIGN.CA

PROJECT #: 24-018

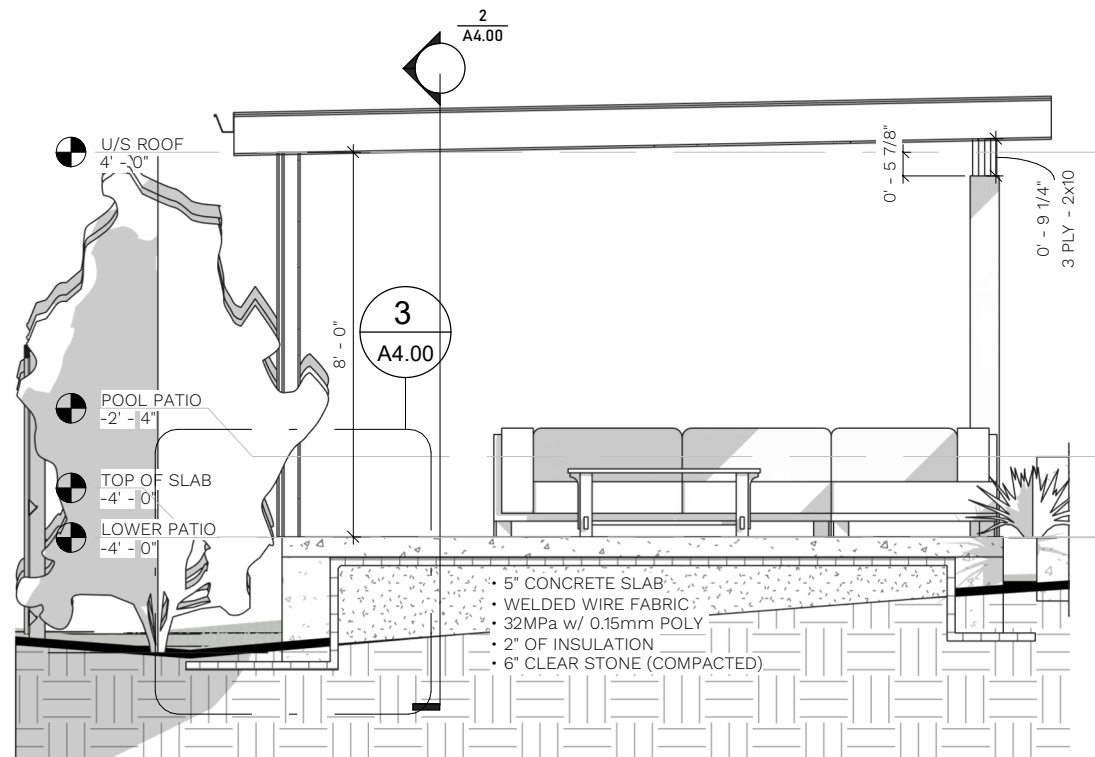
PLOT DATE: Oct 30 2024

PROJECT ADDRESS:

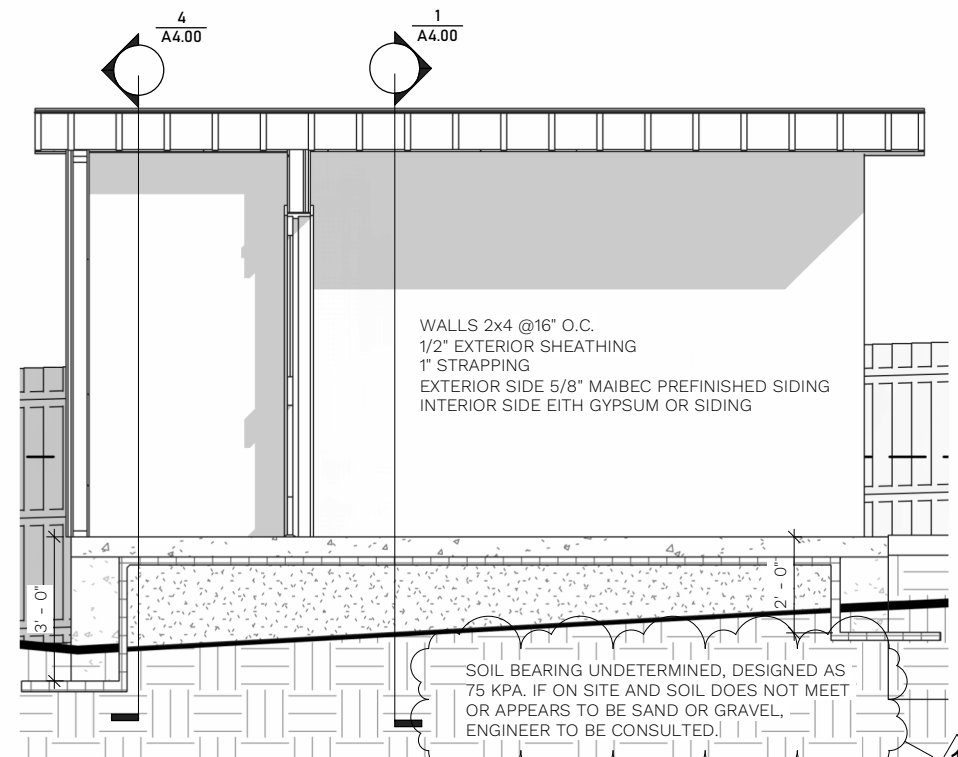
278 Hunterwood Chase
Maple, ON L6A 4A8

A3.00

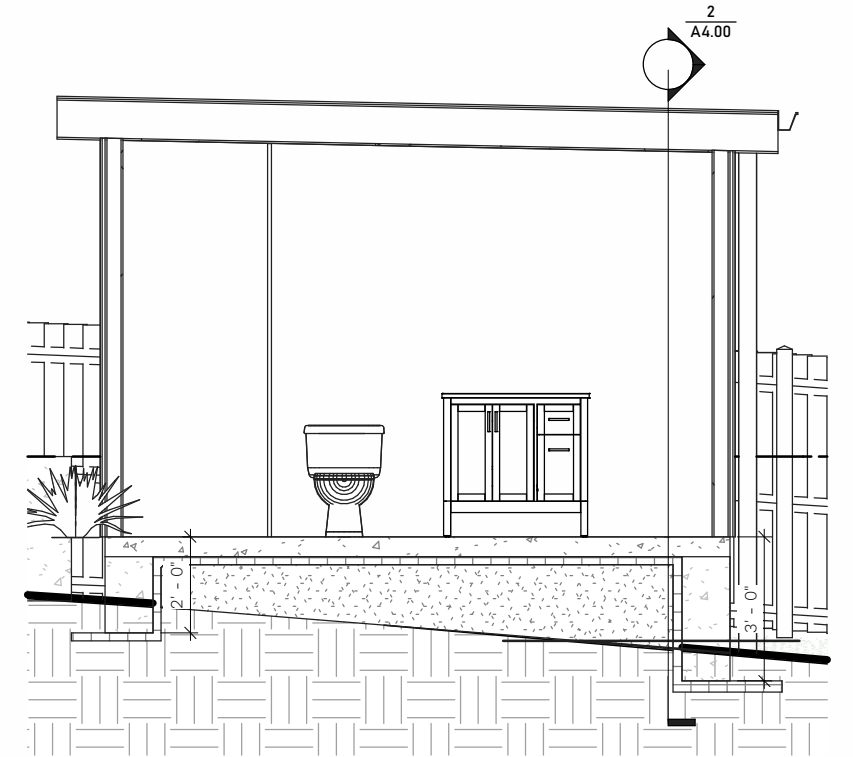
ELEVATIONS



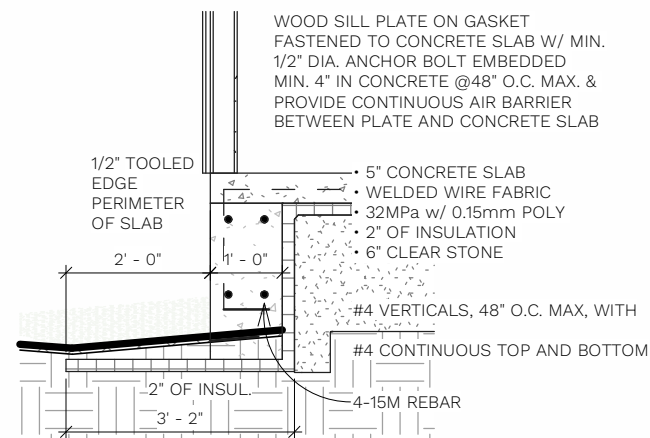
1 Section A
1/4" = 1'-0"



2 Section B
1/4" = 1'-0"



4 Section C
1/4" = 1'-0"



3 Section 2 - Callout 1
3/8" = 1'-0"

GENERAL NOTES:

SNOW LOAD CALCULATIONS
VAUGHAN Cb 0.55 * Ss 1.1 + Sr 0.4 = Snow 1.005
(CWC THE SPAN BOOK 1.5kPa OR 31.3psf)

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QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. C - 3.2.5.1 OF THE BUILDING CODE

DANA EVANS  100332
NAME BCIN

REGISTRATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. C - 3.2.4.1 OF THE BUILDING CODE

209 DESIGN 101521
FIRM NAME BCIN

Number	Description	Date
0	Building Permit Submission	August 1 2024
1	Revision 1	Sept 24 2024
2	Revision 2	Oct 3 2024
3	Revision 3	Oct 18 2024
4	Revision 4	Oct 30 2024

209 DESIGN www.209design.ca

15905 SIDE RD. 17, SUNDERLAND ON L0C 1H0
647-297-8300 - DANA@209DESIGN.CA

PROJECT #: 24-018

PLOT DATE: Oct 30 2024

PROJECT ADDRESS:

278 Hunterwood Chase
Maple, ON L6A 4A8

A4.00

SECTIONS & DETAIL

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: October 31st 2024

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A174-24**

Related Files:

Applicant: Pool Craft

Location 278 Hunterwood Chase



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

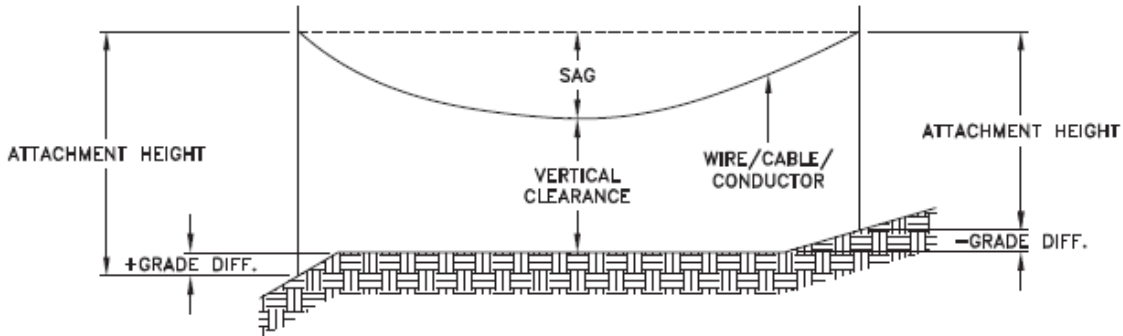
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

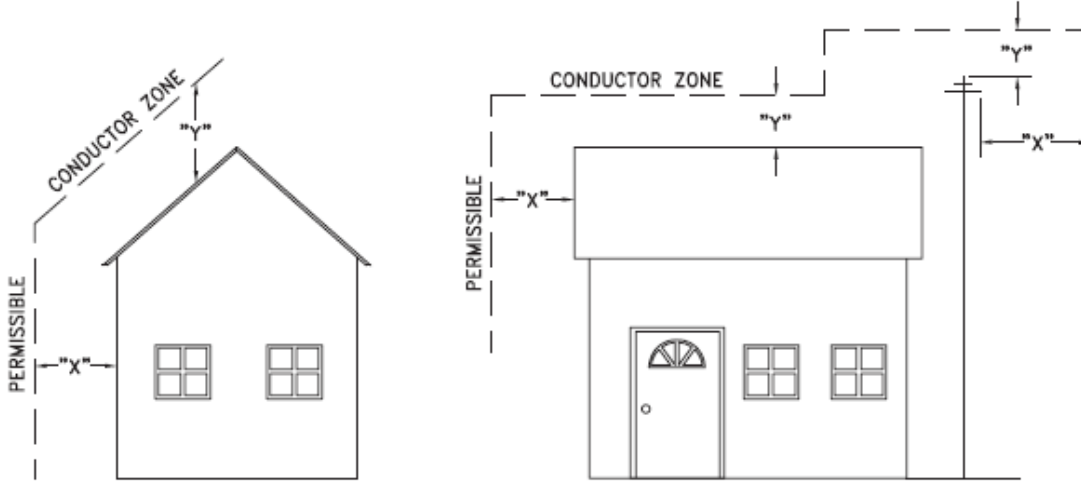
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Christian Tinney, Building Standards Department
Date: November 19, 2024
Applicant: Pool Craft
Location: 278 Hunterwood Chase
 PLAN 65M4160 Lot 42
File No.(s): A174/24

Zoning Classification:

The subject lands are zoned R1A (EN), First Density Residential (Established Neighbourhood), subject to the provisions of Exception 14.943 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 metres. [Section 4.1.4, 1.]	To permit an accessory building (cabana) with a maximum height of 3.26 metres.
2	A residential accessory structure with a height greater than 2.8 metres shall not be located closer than 2.4 metres to any lot line. [Section 4.1.2, 1. b.]	To permit a residential accessory structure (cabana) with a height greater than 2.8 metres to be located 1.09 metres from the rear lot line.
3	A residential accessory structure with a height greater than 2.8 metres shall not be located closer than 2.4 metres to any lot line. [Section 4.1.2, 1. b.]	To permit a residential accessory structure (cabana) with a height greater than 2.8 metres to be located 1.55 metres from the interior side lot line.
4	The maximum permitted lot coverage is 45%. [Exception 14.943.2 1. m.]	To permit a maximum lot coverage of 46.74%.
5	A maximum encroachment of 2.4 metres is permitted for an uncovered platform including access stairs into the required rear yard. [Table 4-1]	To permit a maximum encroachment of 6.41 metres for an uncovered platform into the required rear yard.

Staff Comments:

Building Permit(s) Issued:

Building Permit No. 24-126417 for Shed/Gazebo - New, Issue Date: (Not Yet Issued).

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	The subject lands may be subject to the Oak Ridges Moraine Conservation Act, RSO 2001.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development and Parks Planning
Date: November 25, 2024
Name of Owner: Zulfikar and Mansura Kermally
Location: 278 Hunterwood Chase
File No.(s): A174/24

Proposed Variance(s) (By-law 001-2021):

1. To permit an accessory building (cabana) with a maximum height of 3.26 m.
2. To permit a residential accessory structure (cabana) with a height greater than 2.8 m to be located 1.09 m from the rear lot line.
3. To permit a residential accessory structure (cabana) with a height greater than 2.8 m to be located 1.55 m from the interior side lot line.
4. To permit a maximum lot coverage of 46.74%.
5. To permit a maximum encroachment of 6.41 m for an uncovered platform into the required rear yard.

By-Law Requirement(s) (By-law 001-2021):

1. In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 m.
2. A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line.
3. A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line.
4. The maximum permitted lot coverage is 45%.
5. A maximum encroachment of 2.4 m is permitted for an uncovered platform including access stairs into the required rear yard.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential" – Schedule 13 Land Use and "Oak Ridges Moraine Settlement Area" – Schedule 4 Oak Ridges Moraine Conservation Plan & Greenbelt Plan Areas.

Comments:

The Owner is seeking relief to permit the construction of a proposed cabana and to maintain an existing raised patio, with the above noted variances.

The Development Planning and Parks Department has no objections to Variances 1, 2, and 3, to permit the location of the proposed cabana. The cabana is proposed to be located in the northeast corner of the rear yard, immediately adjacent to the to the raised pool patio. Variance 1 is to permit the cabana height of 3.26 m in height, whereas 3.0 m is permitted. The 3.26 m height of the cabana is measured from the existing grade to the highest point on the roof. The additional 0.26 m in height is minor in nature and is not anticipated to cause adverse massing impacts to the surrounding properties due to the flat roof design of the cabana and lower established grade found in that portion of the rear yard. Variance 2 is seeking to permit the cabana to be located 1.09 m from the rear lot line, whereas 2.4 m is required. The 0.5 m reduction to the required distance from the interior side lot line is minor in nature as it maintains sufficient spatial distance for maintenance access. Variance 3 is seeking to permit the cabana to be located 1.55 m from the interior side lot line, whereas 2.4 m is required. The 0.85 m reduction to the required distance is also be considered minor in nature as there is adequate space for maintenance access. Due to the grade difference of the site, Urban Design Staff requested hedge planting along the north and east sides of the proposed cabana. The Owner has agreed to plant hedges in the specified areas to help visually screen the cabana. Environmental Planning Staff have also reviewed the application and have no objections to the proposal. The Development Planning and Parks Department has no objection to Variance 4, to permit a maximum lot coverage of 46.74%, whereas the Zoning Bylaw requires 45%. The dwelling accounts for 42.95% of the total lot coverage,

and the proposed cabana will account for the remaining 3.78%. The proposed 1.74% increase to the maximum allowable lot coverage is minimal in nature and is not considered an overdevelopment of the property.

The Development Planning and Parks Department has no objection to Variance 5, to permit an existing raised patio to encroach 6.41 m into the required rear yard setback, whereas the Zoning By-law permits 2.4 m. The patio spans across most of the rear yard where there is an existing outdoor pool located in the northwest portion of the rear yard. There is 1.4 m separation distance between the raised pool patio and the north property line, which provides sufficient area for maintenance access. The grade slopes down towards the west side of the rear yard and the patio addresses the difference in grade and facilitates the location of the existing pool. The 6.41 m encroachment of the raised pool patio into the required rear yard setback does not impede the amenity functionality of the rear yard as intended.

Accordingly, the Development Planning and Parks Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning and Parks Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None.

Comments Prepared by:

Alyssa Pangilinan, Planner 1
Janany Nagulan, Senior Planner

From: [Cameron McDonald](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: FILE NO: A174/24 - 278 HUNTERWOOD CHSE - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Thursday, October 31, 2024 4:07:33 PM
Attachments: [image002.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good afternoon,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from the TRCA.

Based on the above, we have no comments/requirements.

Regards,

Cameron McDonald

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:(437)880-1925)

E: cameron.mcdonald@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](#) | trca.ca



From: [Development Services](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: FILE NO: A174/24 - 278 HUNTERWOOD CHSE - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Thursday, October 31, 2024 2:49:25 PM
Attachments: [image001.png](#)
[image003.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hi there,

The Region has completed its review of minor variance application A174/24 and has no comment. Please provide a copy of the notice of decision for our records.

Many thanks,

Christine Meehan, B.U.R.Pl., B. B. A | Planner (Intake Lead), Economic and Development Services Branch, Corporate Services Department

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 | christine.meehan@york.ca | www.york.ca

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Please consider the environment before printing this email.

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

SCHEDULE D: BACKGROUND

Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A