

ITEM: 6.5	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A168/24
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Report Date: November 29, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Engineering	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Forestry	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Abutting Municipality (Peel)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
Applicant			10/01/2024	Application Cover Letter

BACKGROUND (SCHEDULE D, IF REQUIRED)

* Background Information contains historical development approvals considered to be related to this file.
This information should not be considered comprehensive.

Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
N/A	N/A

SCHEDULES

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A168/24

CITY WARD #:	2
APPLICANT:	MDCA Enterprises Inc.
AGENT:	Lauren Dynes (KLM Planning Partners Inc.)
PROPERTY:	280 Nativio Street, Woodbridge
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "General Employment", subject to Area Specific Policy 12.12 - Huntington Business Park of Volume 2.
RELATED DEVELOPMENT APPLICATIONS:	N/A
PROPOSAL:	Relief from the Zoning By-law is being requested to permit the construction of a proposed warehouse building.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned EM2, General Employment Zone under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A minimum front yard of 6.0 m is required [Section 11.2.2, Table 11-3].	To permit a minimum front yard of 4.0 m.
2	A minimum rear yard of 12.0 m is required [Section 11.2.2, Table 11-3].	To permit a minimum rear yard of 6.0 m.

HEARING INFORMATION

DATE OF MEETING: Thursday, December 5, 2024

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive

LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

INTRODUCTION

That the general intent and purpose of the by-law will be maintained.
 That the general intent and purpose of the official plan will be maintained.
 That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
 That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Posted Online:	November 21, 2024
Date Applicant Confirmed Posting of Sign:	November 12, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	Reduction in front and rear yard setback.
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

COMMENTS:

On November 20, 2024, Development Engineering provided:

Regarding Minor Variance application A168/24 – 280 Nativio Street and in the essence of time, please see informal comments provided by DE's transportation team below and within the relined drawings attached.

1. Confirm if any agreements exist to have shared driveway access. Staff recommend to consider shared driveway and register the necessary agreements/easements.
 Otherwise, 3m spacing between the end of the curb radii of neighbour's existing access and the start of the subject site proposed access curb radii is recommended per TAC, as shown. The existing access and curb (shown in blue) must be maintained if shared driveway access is not feasible.
2. Show maneuvering for this loading space once the comment for driveway access has been addressed (shared access or shift access 3m east to provide sufficient spacing between driveways)
3. Clarify GFA used for parking requirement calculations. Is mezzanine being included in Warehouse or Office Use?
4. Minimum barrier-free parking spaces provided shall be in accordance with CZBL 001-2021 6.4
5. 45-degree parking space dimensions are not in accordance with CZBL 001-2021. Remove excess parking spaces in the rear of the building that are not required. These parking spaces may impact one-way drive aisle circulation and loading activities. Consider to provide barrier-free parking meeting the minimum requirements and rearrange parking lot layout at the front of the building to provide the required parking in a convenient location.
6. Bike parking requirements shall be in accordance with CZBL 001-2021 6.5

Office:

Long-term = 0.1 space/100m²

Short-term = 0.1 space/100m² or 3

7. Sidewalk should be minimum 1.5m wide
8. There is only 4.0m wide drive aisle provided when design vehicles are parked in the loading docks, which can only support one-way circulation. As circulation will be one-way only, please redesign Nativio Street access as exit only to reflect the one-way circulation.
9. One-way signage and Do Not Enter signs are required along drive aisle.

If all comments are addressed and the drawings are revised in a timely matter to the satisfaction of Development Engineering, adjournment may not be required.

On November 21, 2024, Committee of Adjustment staff provided the applicant with an opportunity to adjourn the application to address Development Engineering comments.

On November 21, 2024, the applicant confirmed that they want to proceed to the December 5, 2024 hearing.

Should the application be adjourned from the December 5 hearing, adjournment fees apply.

COMMITTEE OF ADJUSTMENT

Due to the postal workers' strike, residents might experience delays in receiving public hearing notices by mail. However, the Committee of Adjustment remains committed to providing public notifications of upcoming hearings as per the Planning Act and its regulations. We will continue to:

- Publish hearing notices on the municipal website.
- Post links to agendas and application information on our webpages.
- Email links to hearing agendas to community associations, Councillors' offices and other contacts.
- Ensure a public hearing notice is posted on the property subject to an application.
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- For more information on Public Notices and to search for notices related to upcoming Council or Committee meetings, please visit: [Public Notices | City of Vaughan](#)

Committee of Adjustment Recommended Conditions of Approval:	None.
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BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments. Application under review.

Building Standards Recommended Conditions of Approval:	TBD
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DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments. Application under review.

Development Planning Recommended Conditions of Approval:	TBD
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DEVELOPMENT ENGINEERING

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

Application under review.

Development Engineering Recommended Conditions of Approval:	TBD
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PARKS, FORESTRY & HORTICULTURE (PFH)

No comments.

PFH Recommended Conditions of Approval:	None.
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DEVELOPMENT FINANCE

No comments.

Development Finance Recommended Conditions of Approval:	None.
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date.

BCLPS Recommended Conditions of Approval:	None.
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BUILDING INSPECTION (SEPTIC)

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None.
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FIRE DEPARTMENT

No comments received to date.

Fire Department Recommended Conditions of Approval:	None.
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RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Planning Harry.zhao@vaughan.ca	TBD
2	Development Engineering Marina.Messiha@vaughan.ca	TBD

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

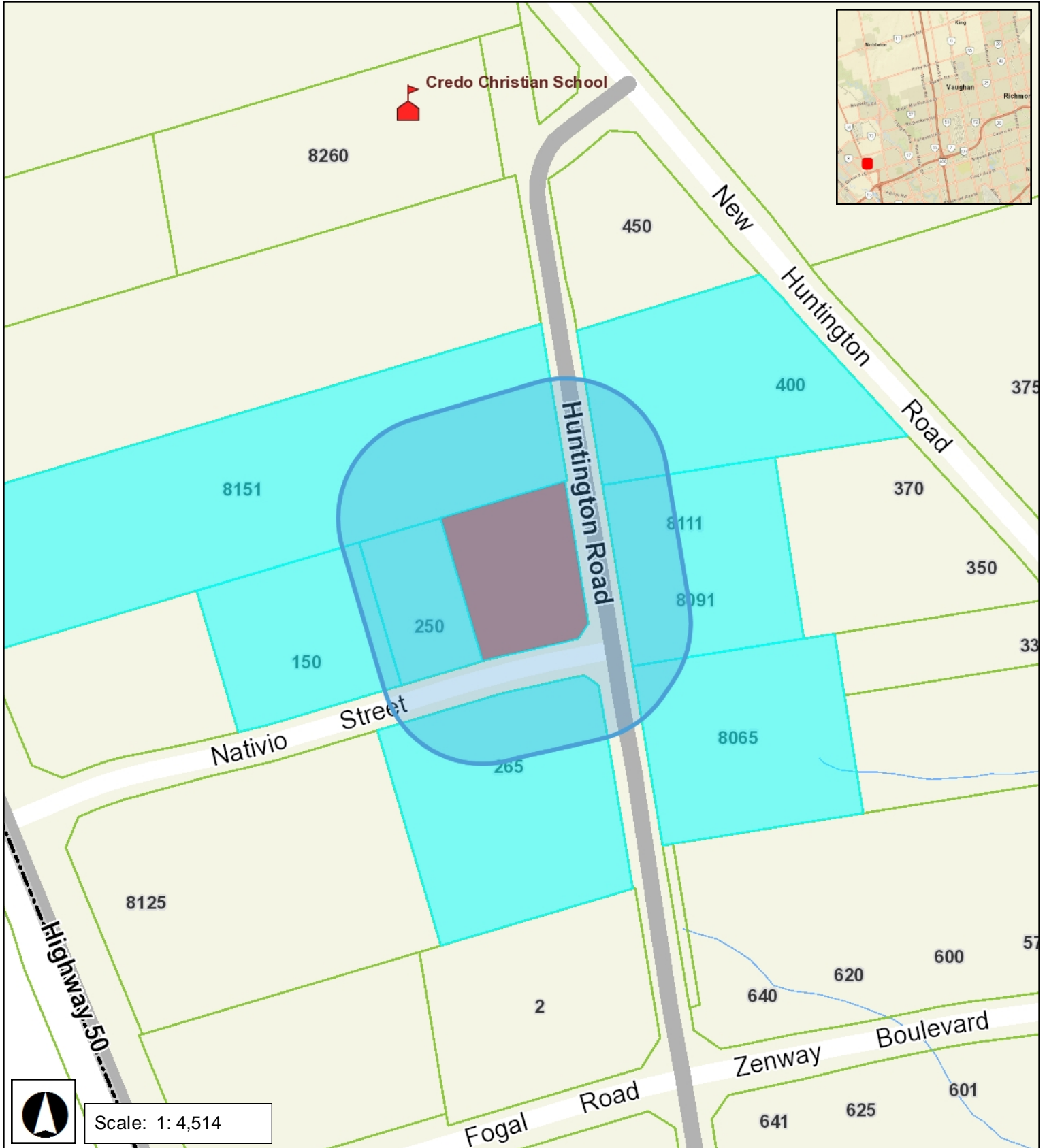
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

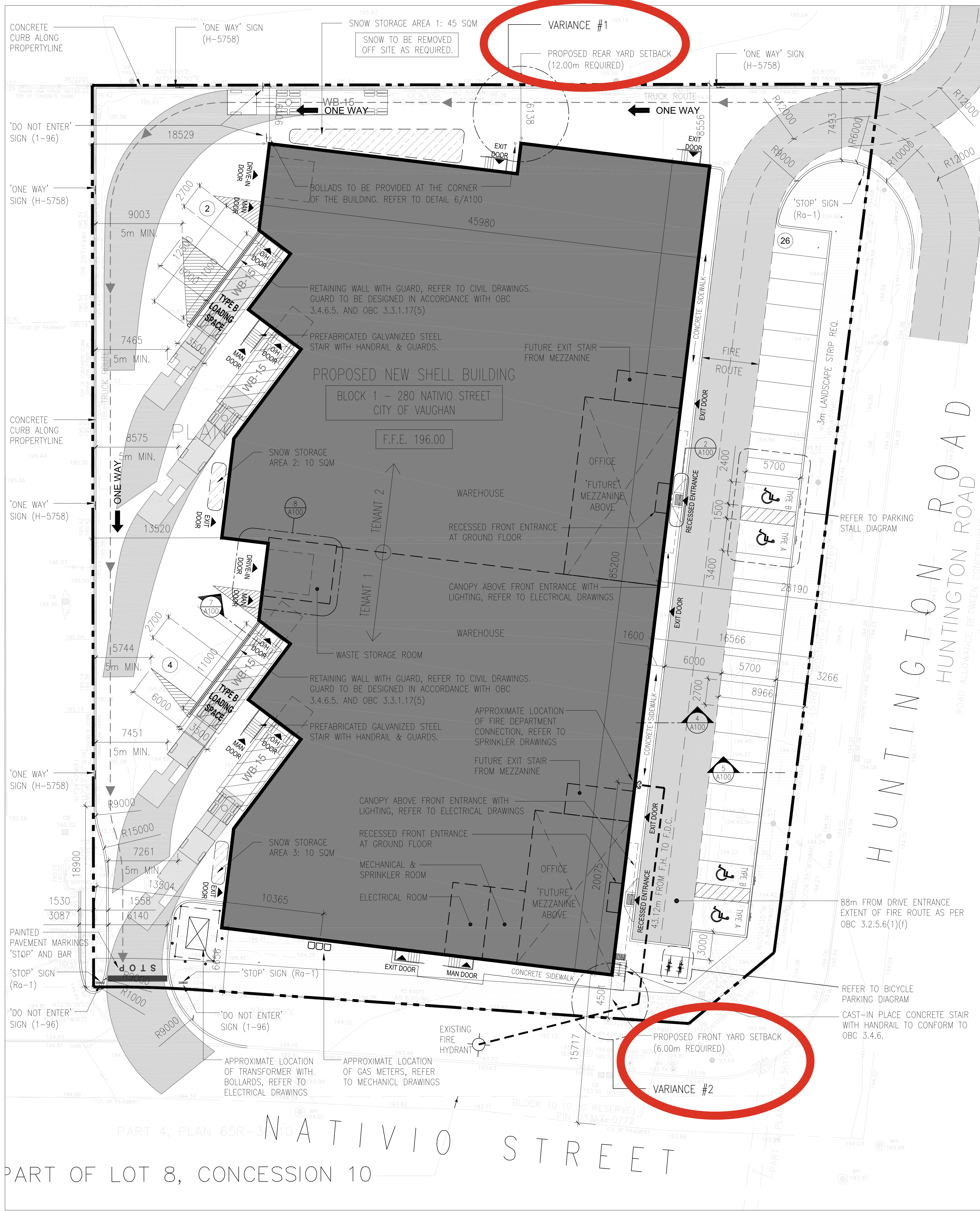
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS





SITE STATISTICS

BLOCK 1 - 280 NATIVIO STREET

LAND AREA	ACRES	SQM	SOFT
TOTAL LOT AREA	1.809	7,323	78,823

GROSS FLOOR AREA			
TENANT 1	SQM	SOFT	
WAREHOUSE	1,411	15,188	
OFFICE	158	1,704	
MEZZANINE (FUTURE)	163	1,750	
M & E ROOM (GROUND & MEZZANINE)	116	1,256	
GFA	1,848	19,898	
TENANT 2	SQM	SOFT	
WAREHOUSE	1,708	18,403	
OFFICE	184	1,982	
MEZZANINE (FUTURE)	188	2,028	
GFA	2,080	22,413	
TOTAL GFA	3,928	42,311	

BUILDING FOOTPRINT			
WAREHOUSE	3,528	37,997	

LOT COVERAGE			
LOT COVERAGE	48.18 %		

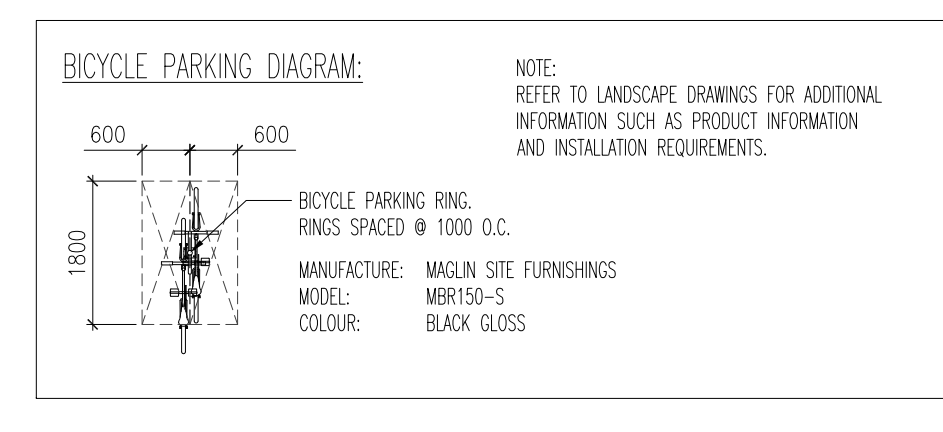
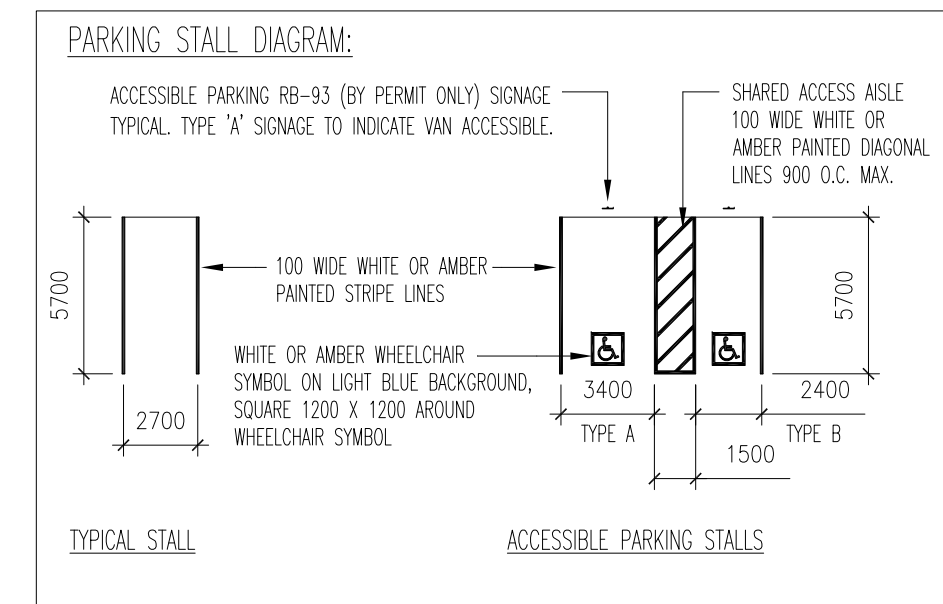
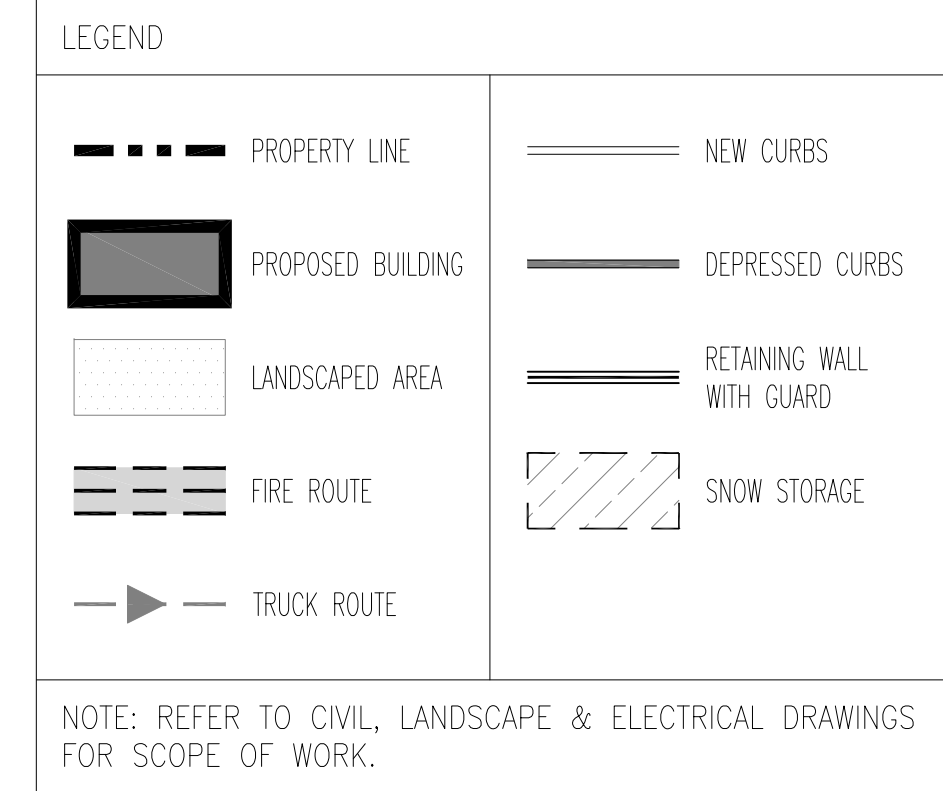
PARKING CALCULATIONS			
USE	RATIO	AREA	
WAREHOUSE	0.5 STALLS / 100 SQM	*3,235 SQM	16.18 STALLS
OFFICE	3.0 STALLS / 100 SQM	342 SQM	10.26 STALLS
TOTAL VEHICLE PARKING REQUIRED			26.44 STALLS
TOTAL VEHICLE PARKING PROVIDED			32.00 STALLS

BARRIER FREE PARKING REQUIRED (4% OF TOTAL PARKING REQ.)			
1 STALL			
TOTAL BARRIER FREE PARKING PROVIDED: 4 STALLS			

BICYCLE PARKING			
REQUIRED:	SHORT TERM	LONG TERM	
PROVIDED:	0	0	

NOTE:

- *MECHANICAL & ELECTRICAL ROOMS INCLUDED IN PARKING AREA CALCULATION FOR THE WAREHOUSE USE.
- *FUTURE MEZZANINES EXCLUDED FROM PARKING AREA CALCULATIONS.



HEAVY DUTY PAVING

FIRE ROUTE & DRIVEWAYS

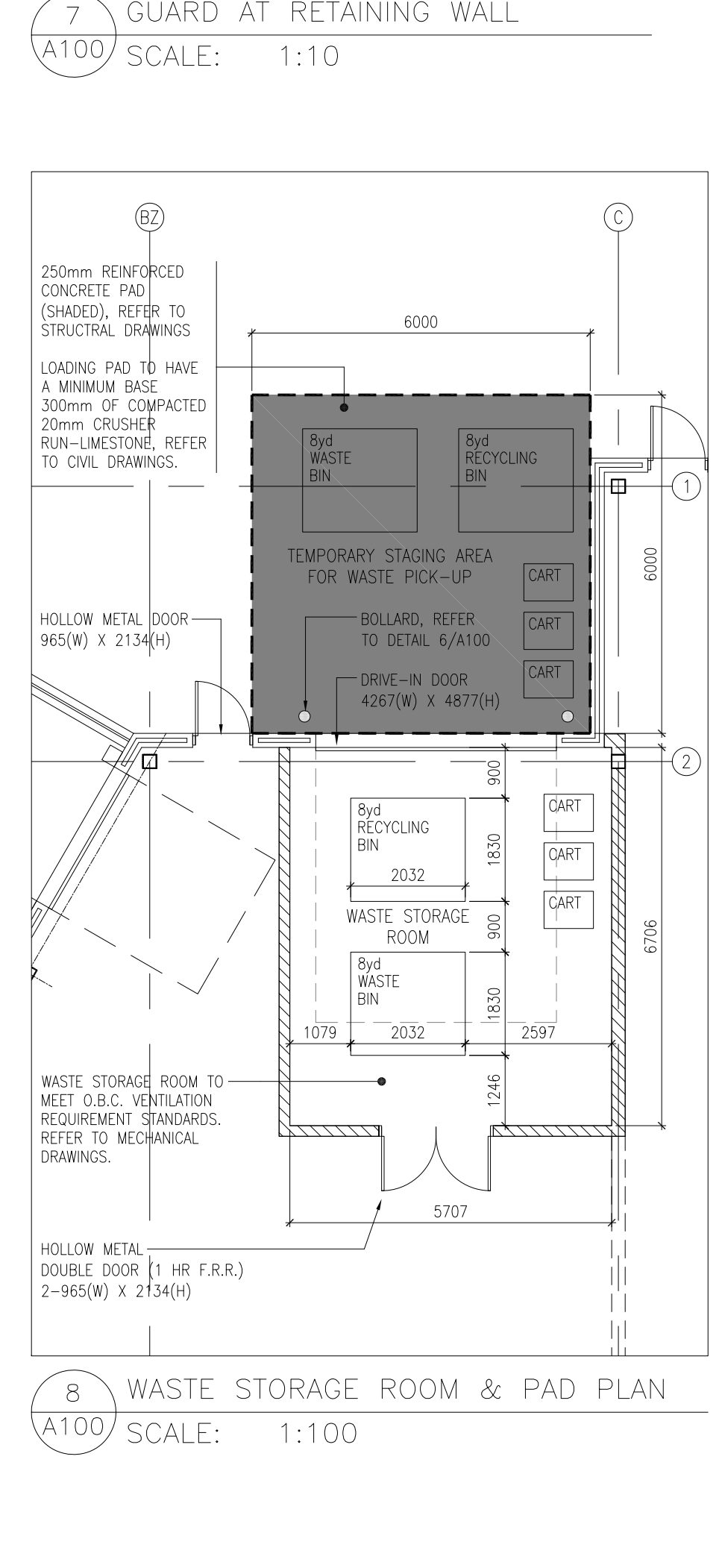
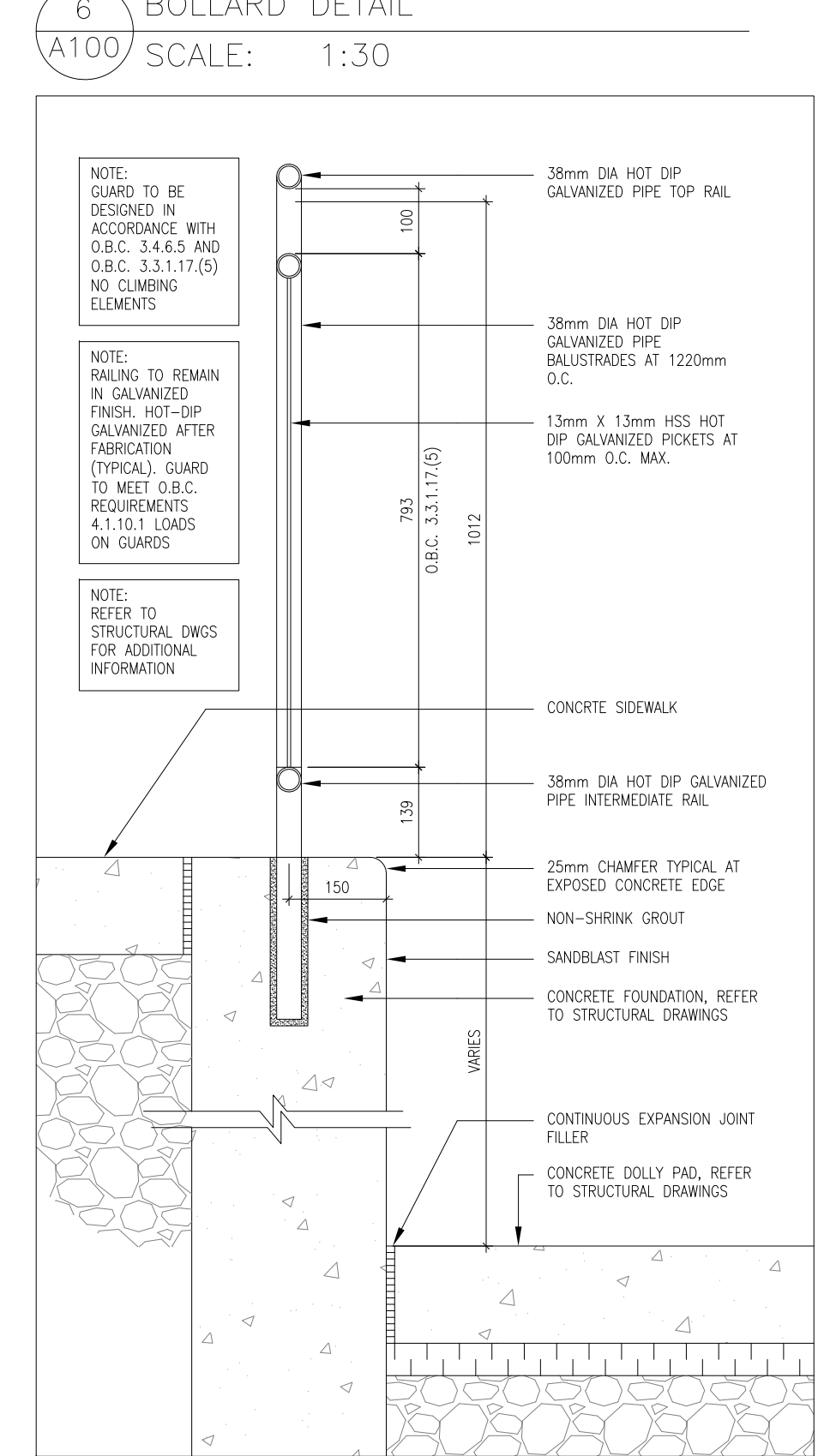
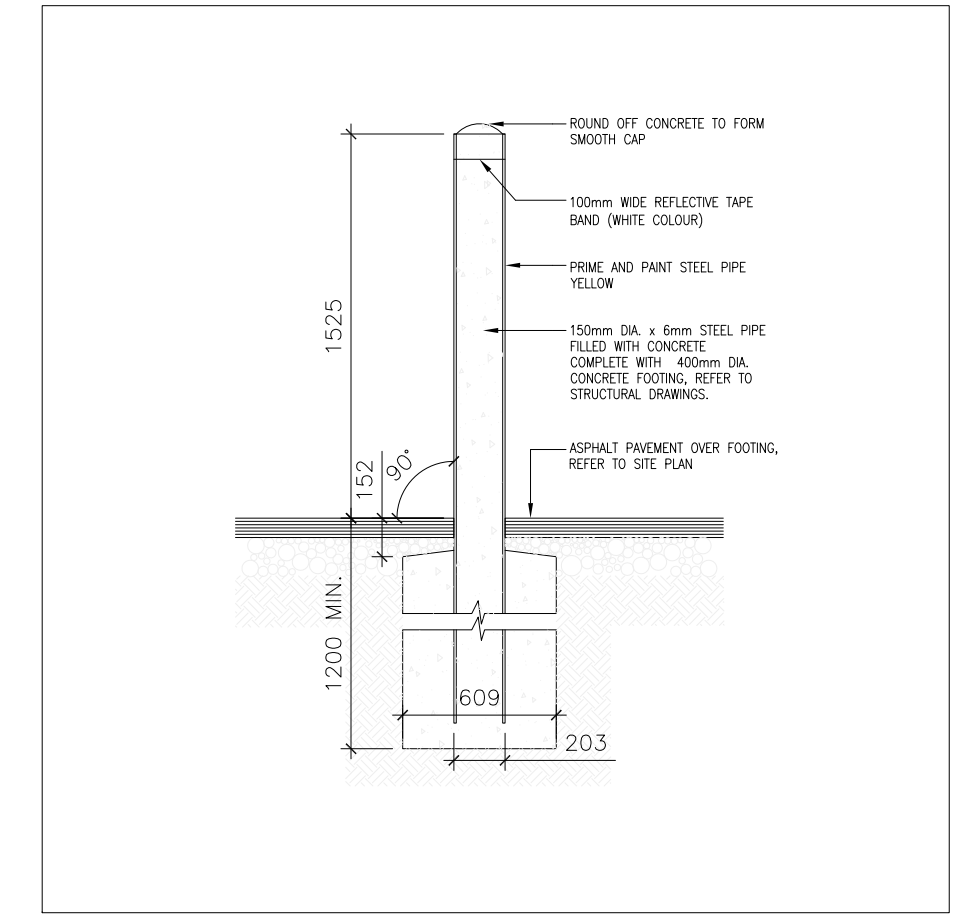
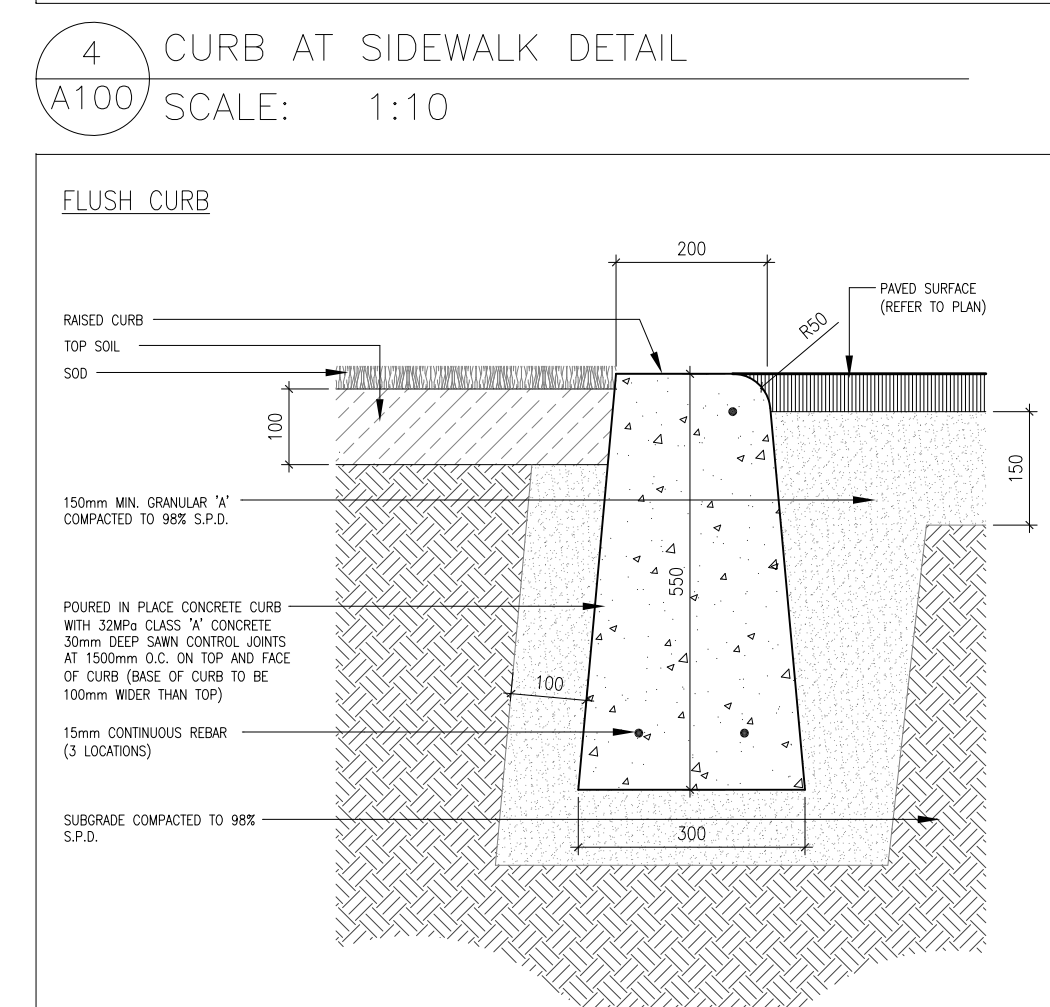
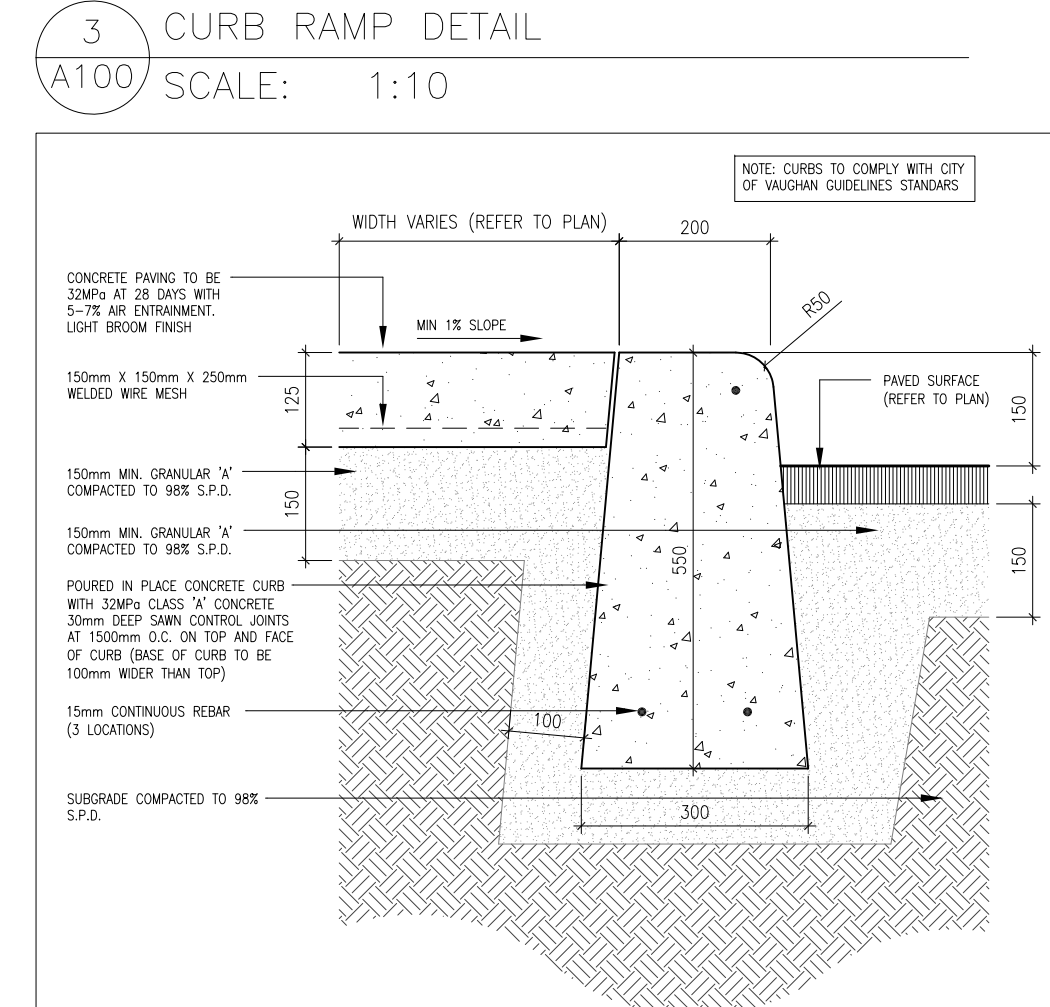
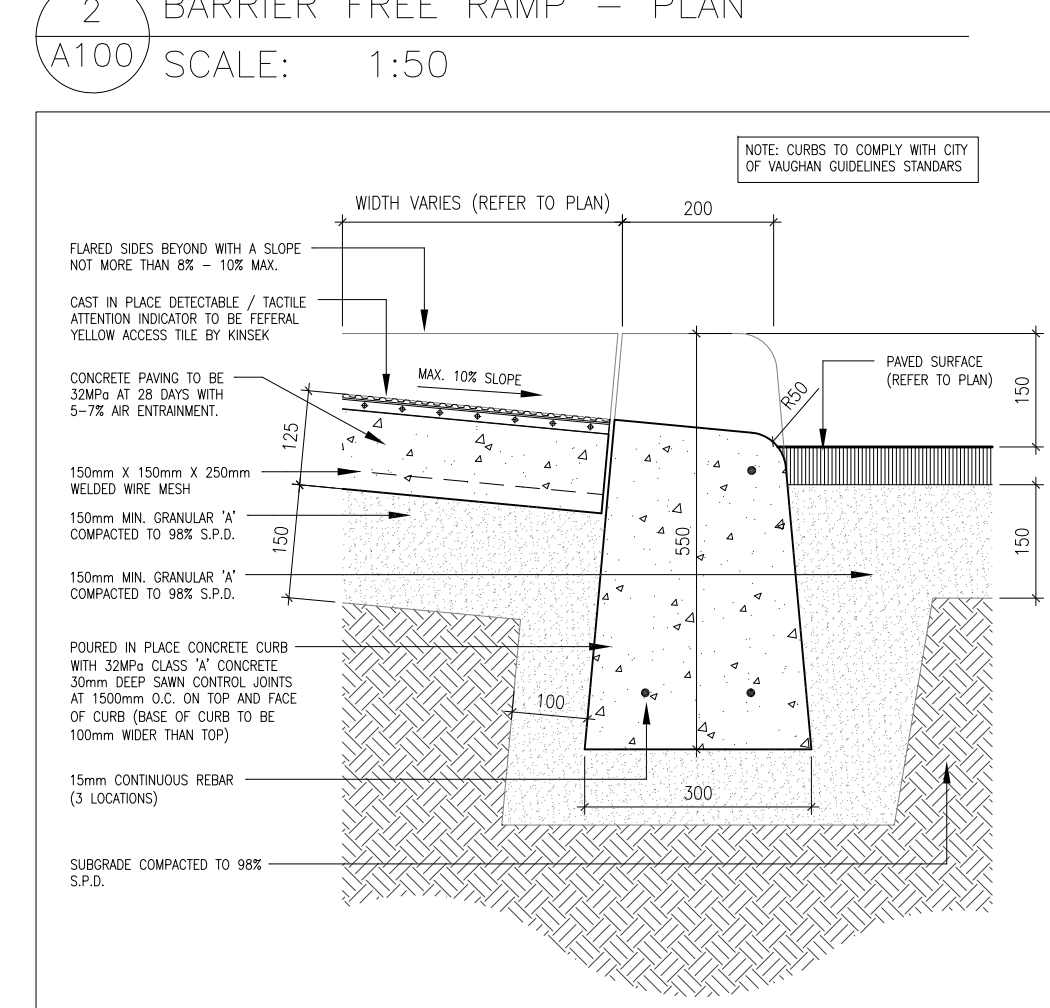
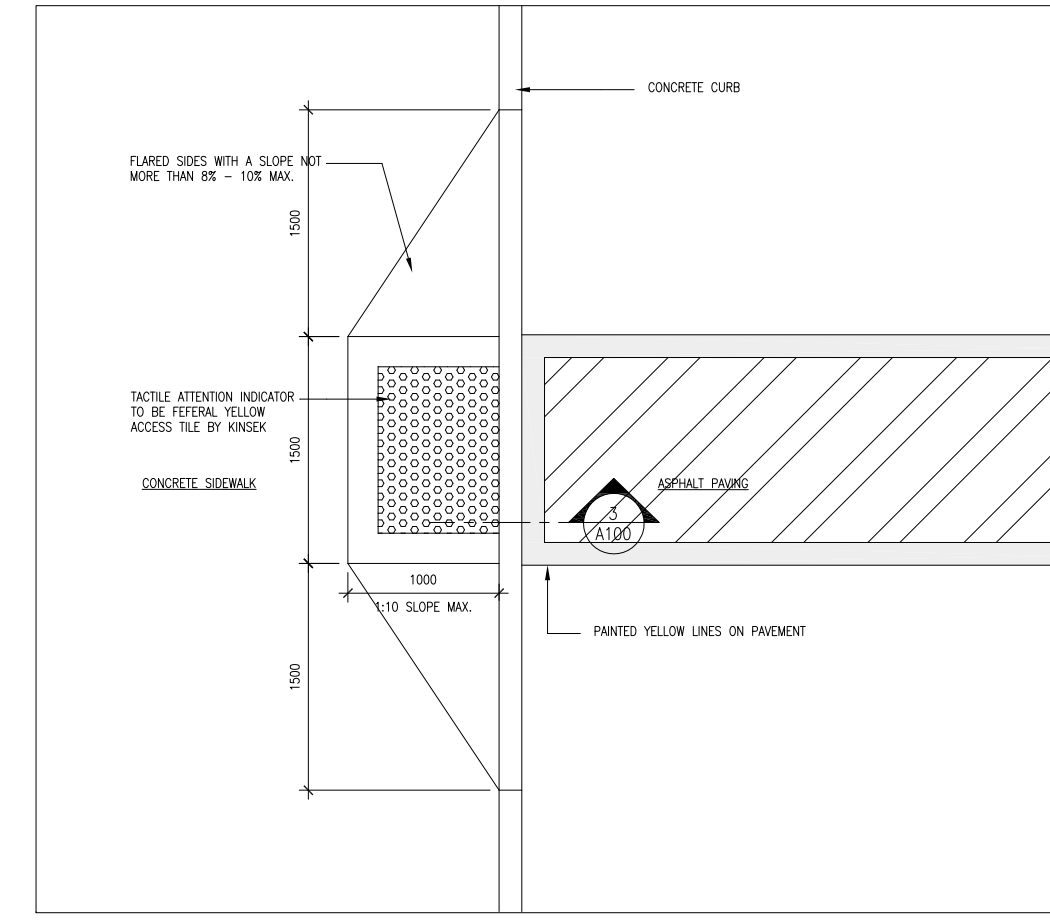
- 50mm HL3 SURFACE ASPHALT
- 75mm HL8 BASE ASPHALT
- 150mm CRUSHER RUN 20mm GRANULAR
- 300mm CRUSHER RUN 50mm GRANULAR SUB-GRADE

LIGHT DUTY PAVING

PARKING LOT

- 40mm HL3 SURFACE ASPHALT
- 50mm HL8 BASE ASPHALT
- 150mm CRUSHER RUN 20mm GRANULAR
- 200mm CRUSHER RUN 50mm GRANULAR SUB-GRADE

*REFER TO GEOTECHNICAL REPORT & CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.



This drawing is an instrument of service, it is provided by and is the property of DANIEL L. CUSIMANO, ARCHITECT.

The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify DANIEL L. CUSIMANO, ARCHITECT, of any variations from the accepted information.

This drawing is not to be scaled.

The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work.

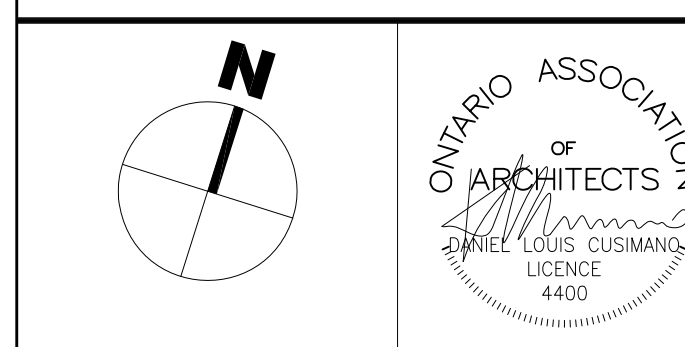
Construction must conform to all applicable codes and requirements of authorities having jurisdiction.

The contractor working from drawings not specifically marked "For Construction" must assume full responsibility and bear costs for any corrections or damages resulting from his work.

PRINT DATE:
2024-11-27

No.	DESCRIPTION	DATE
5	REVISED TENDER DRAWINGS FOR CLIENT REVIEW	2024-11-13

No.	DESCRIPTION	DATE
5	RE-ISSUED FOR COMMITTEE OF ADJUSTMENT	2024-11-27
4	ISSUED FOR COMMITTEE OF ADJUSTMENT REVIEW	2024-10-28
3	ISSUED FOR PERMIT AND TENDER	2024-10-11
2	ISSUED FOR REVIEW AND COORDINATION	2024-10-03
1	ISSUED FOR CLIENT REVIEW	2024-08-19



CUSIMANO ARCHITECT
185 BRIDGELAND AVENUE, SUITE 107, TORONTO, ONTARIO, M6A 1Y7
T: (416) 783-9193 F: (416) 783-3100

PROJECT:
PROPOSED NEW SHELL BUILDING
ZZEN GROUP OF COMPANIES LIMITED
BLOCK 1 - 280 NATIVIO STREET
VAUGHAN, ONTARIO

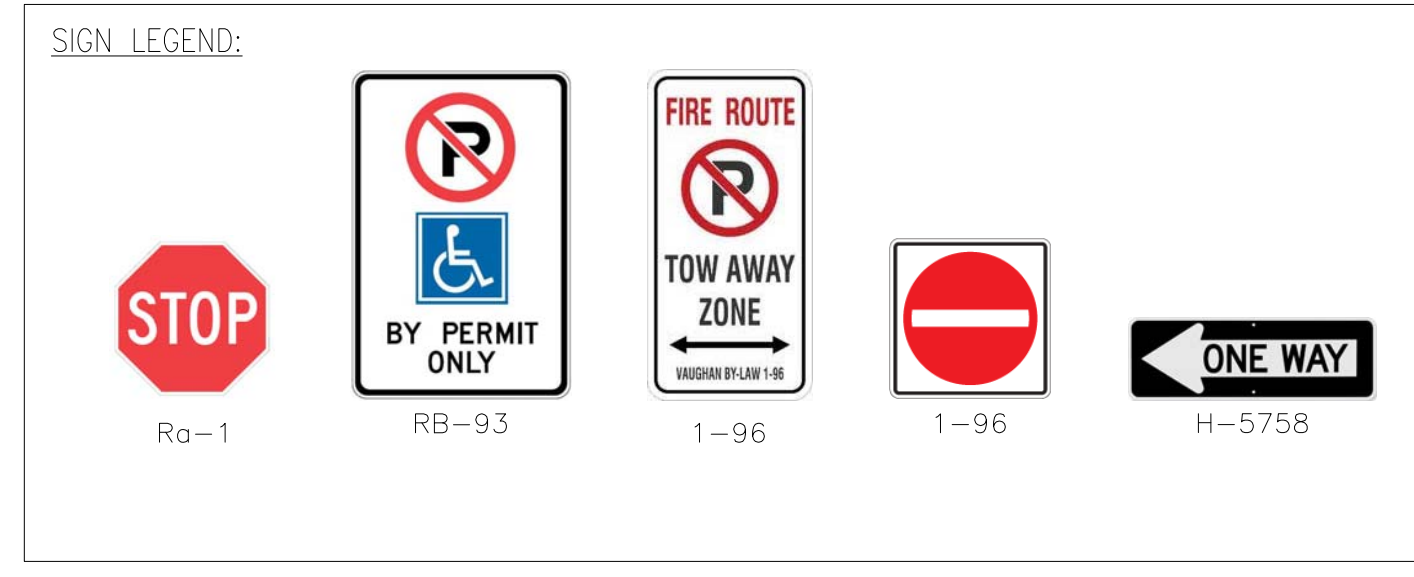
DATE:	DRAWN BY:	CHKD BY:
JULY 2024	MR	DLG

DRAWING TITLE:
PROPOSED SITE PLAN
SITE STATISTICS

SCALE:	DRAWING No.:
AS NOTED	A100

PROJ. NO.:
2024-41

1 PROPOSED SITE PLAN
A100 SCALE: 1:200



NOTE:
PROVIDE FIRE ROUTE SIGNS (1-96) AND ASSOCIATED POLES AND BRASSES AS REQUESTED BY THE CITY OF VAUGHAN, O.C. TO COORDINATE WITH THE CITY OF VAUGHAN FIRE DEPARTMENT FOR LOCATIONS AND QUANTITY OF ALL FIRE ROUTE SIGNS.

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Abutting Municipality (Peel)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: November 7th 2024

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A168-24**

Related Files:

Applicant: KLM Planning Partners Inc.

Location 280 Nativio Street



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

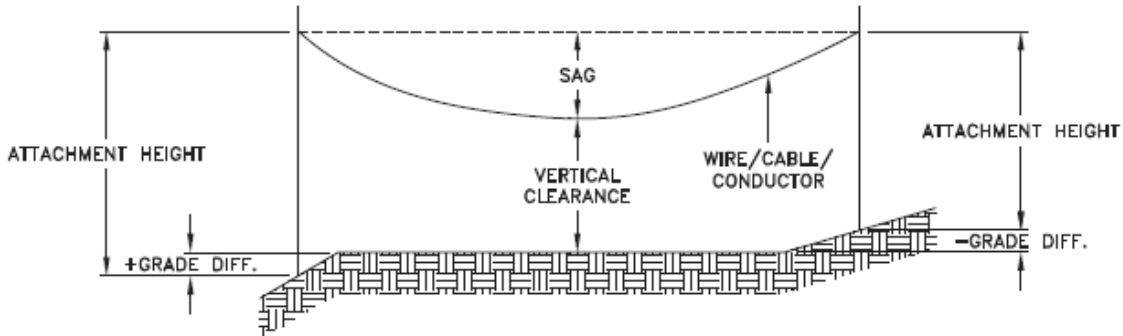
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

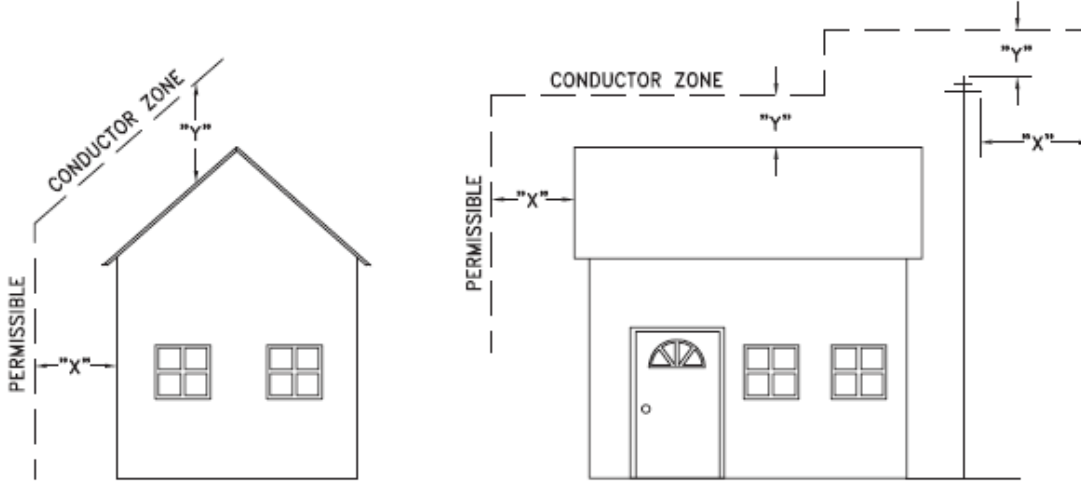
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Niloufar Youssefi, Building Standards Department
Date: November 20, 2024
Applicant: KLM Planning Partners Inc.
Location: 280 Nativio Street
 PLAN 65M4515 Block 1
File No.(s): A168/24

Zoning Classification:

The subject lands are zoned EM2, General Employment Zone under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A minimum front yard of 6.0 m is required [Section 11.2.2, Table 11-3].	To permit a minimum front yard of 4.0 m .
2	A minimum rear yard of 12.0 m is required [Section 11.2.2, Table 11-3].	To permit a minimum rear yard of 6.0 m .

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file.

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m².

Other Comments:

Zoning By-law 001-2021	
1	Applicant to be advised that <u>outside storage</u> , as defined in [Section 3.0] of bylaw, shall not be permitted on any corner lot [Section 5.13.2.4].
2	Please note that exterior stairs are encroaching into the minimum front yard. However, they will comply with the requirements of the bylaw provided that the minor variance for the front yard gets approved.
3	Applicant has confirmed that the Site Development Application (File DA.22.040) was applied from the previous owner of the land and the new owner has no interest in the above note site plan application. Development Planning Department has confirmed that a new Site Development Application is not required. Applicant to request the formal closing of the file.
4	The proposed 45-degree parking spaces have a size of 2.7m W x 5.7m L . A 45-degree parking space shall have a minimum measurement of 2.7m in width by 6.0m in Length [Table 6-1]. A minimum aisle width of 5.0 m is required for parking spaces angle of 59-degree to 45 degree [Table 6-10]. Applicant to revise the drawing accordingly to comply with zoning bylaw requirements or seek relief.

General Comments	
5	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

From: [Capogna, Nicole](#)
To: [Committee of Adjustment Mailbox](#)
Cc: [Jenkins, Dana](#); [Hardcastle, John](#)
Subject: [External] A168/24 - 280 NATIVIO STREET - Regional Comments - Vaughan Committee of Adjustment
Date: Tuesday, November 19, 2024 8:00:32 AM

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

I hope this message finds you well.

With reference to the Vaughan Committee of Adjustment application (File A168/24) for 280 Nativio Street, which was circulated to the Region on Tuesday, November 5th, 2024, I would like to offer the following comments:

The Region of Peel has no concerns regarding this application, as the property is situated at the northwest corner of Nativio Street and Huntington Road in Vaughan, and falls outside the jurisdiction of the Region.

- The property does not have frontage to existing Region of Peel municipal water services.
- The property does not have frontage to existing Region of Peel municipal sanitary sewer services.

Should you have any questions or need further clarification, please feel free to reach out. I'd be happy to assist.

Thank you,

Nicole Capogna

Junior Planner

Region of Peel | Planning and Development Services

10 Peel Centre Drive, Suite B, 4th Floor, Brampton, Ontario L6T 4B9

(905) 791-7800 ext 6330

nicole.capogna@peelregion.ca



I acknowledge the land on which the Region of Peel operates is part of the Treaty Lands and Territory of the Mississaugas of the Credit. In particular I acknowledge the territory of the Anishinabek, Huron-Wendat, Haudenosaunee and Ojibway/Chippewa peoples; the land that is home to the Metis and the territory of the Mississaugas of the Credit First Nation.

From: [Cameron McDonald](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: FILE NO A168/24 - 280 NATIVIO STREET - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Thursday, November 7, 2024 11:53:25 AM
Attachments: [image002.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from the TRCA.

Based on the above, we have no comments/requirements.

Regards,

Cameron McDonald

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:(437)880-1925)

E: cameron.mcdonald@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](#) | trca.ca



From: [Development Services](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: FILE NO A168/24 - 280 NATIVIO STREET - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Monday, November 11, 2024 4:25:15 PM
Attachments: [image001.png](#)
[image003.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

The Regional Municipality of York has completed its review of the minor variance application – A168/24 (280 Nativio Street) and has no comment.

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Planning | Economic and Development Services Branch | Corporate Services Department

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			10/01/2024	Application Cover Letter



64 JARDIN DRIVE, UNIT 1B
CONCORD, ONTARIO L4K 3P3

T 905.669.4055
KLMPLANNING.COM

KLM file: P-3548

October 1, 2024

City of Vaughan - City Hall
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Dr.
Vaughan, ON
L6A 1T1

Attention: Christine Vigneault, Secretary Treasurer

Re: Application for Minor Variance
Owner: MDCA Enterprises Inc.
Address: 280 Nativio Street
Location: West of Huntington Road, East of Highway 50, North of Highway 7
City of Vaughan, Region of York

Dear Ms. Vigneault,

KLM Planning Partners Inc. is the land use planning firm retained on behalf of our client, MDCA Enterprises Inc., owner of the 0.73 ha (1.8 ac) lands located within City Planning Block 58, west of Huntington Road, east of Highway 50, and north of Highway 7 and municipally known as 280 Nativio Street in the City of Vaughan, Region of York (the “Subject Lands”). On behalf of our client, we are pleased to submit the enclosed materials in support of a Minor Variance Application to the Committee of Adjustment to amend the City of Vaughan Zoning By-law 001-2021.

1.0 Proposed Development and Requested Relief

Under Zoning By-law 001-2021 (“the Zoning By-law”), the Subject Lands are zoned EM2 – General Employment. The Subject Lands are currently vacant and underutilized lands within an Employment Area in the City. The proposed development on the Subject Lands proposes one building consisting of a Warehouse use with two tenants and offices with future mezzanine above.

As per Section 11.2.2 of the Zoning By-law, *Lot and Building Requirements for the Employment Zones*, lands zoned EM2 require a minimum rear yard setback of 12.0 metres and a minimum front yard setback of 6.0 metres. The requested variance is to permit a minimum rear yard setback of 6.0 metres and a minimum front yard setback of 4.0 metres on the Subject Lands. As shown in the minor variance chart included within the submission materials, the variance would reduce the permitted minimum rear yard by 6.0 metres and front yard by 2.0 metres.

2.0 Minor Variance Test Discussion

This section will summarize how the requested variance meets the four tests of a Minor Variance, set out by Section 45(1) of the Planning Act.

1. Is the Application consistent with the general intent and purpose of the Official Plan?

The Official Plan policies manage how the City grows and develops. The Official Plan guides where and how housing, industry, offices and shops are located and developed, as well as the infrastructure required to support a growing City. The Subject Lands are designated 'Employment Areas' within City of Vaughan Official Plan as per *Schedule 1 – Urban Structure*. As per *Schedule 13 – Land Use*, the Subject Lands are designated 'General Employment'. The intent of the General Employment lands is to facilitate the development of predominantly industrial areas characterized by low scale buildings with a variety of lot sizes to provide flexibility for attracting and accommodating a wide range of industrial and associated employment uses. The proposed development proposes warehouse uses on the lands which is permitted through the General Employment policies on the EM2 lands. The proposed variance is in keeping with the intent and purpose of the Official Plan as it does not change the proposed use and complies with the General Employment policies. Approval of the requested variance will facilitate the development of warehousing uses on lands that are currently contemplated for employment development by the Official Plan. Therefore, the proposed variance is consistent with the general intent and purpose of the City of Vaughan Official Plan.

2. Is the Application consistent with the general intent and purpose of the Zoning By-law?

The City of Vaughan Zoning By-law regulates what land uses and building types are permitted on properties within the City. As previously discussed, the Subject Lands are currently zoned EM2 – General Employment. The current zoning on the Subject Lands permits employment development with specific lot and building requirements. Through the Site Plan drawing and statistics included in the submission materials, the proposed development would decrease the minimum front yard setback by 2.0 metres and the minimum rear yard setback by 6.0 metres.

The Subject Lands are located on a corner lot at the intersection of Huntington Road and Nativio Street. The site layout, as shown on the Site Plan, proposes the primary access from the northeast corner of the site from Huntington Road with parking, entrance doors, and a concrete sidewalk along that Huntington Road frontage. Huntington Road is a Major Collector Road and accordingly, the proposed building is oriented towards it. This orientation reflects the existing developments along Huntington Road, including the corner lot opposite the Subject Lands on the east side of Huntington Road. Notwithstanding this configuration, the Zoning By-law defines Nativio Street as the front lot line.

Due to the site layout as described above, the rear yard as defined by the Zoning By-law functions more as a side yard to the adjacent property to the north at 8151 Highway 50, and the front yard functions more as an exterior side yard to Nativio Street. The proposed interior side yard setback from the property to the west is 13.3 metres which is greater than the requirement for a minimum 12 metre rear yard setback as defined in the Zoning By-law. The exterior side yard setback from Huntington Road is 16.5 metres which is greater than the requirement in the Zoning By-law for the front yard setback. All of this is to say that if the Zoning By-law defined Huntington Road as the Front Lot Line, the building would comply with all aspects of the Zoning By-law and no variances for front and rear yards would be required. Therefore, the proposed development meets the intent of the front and rear yard requirements of the Zoning By-law.

The variance to the permitted lot and building requirements are minor in nature as they do not impact the functionality of the site and are consistent with the general intent and purpose of the

Zoning By-law as the decrease in setbacks are minor and the site design complies with the other EM2 zoning provisions of the Zoning By-law. Allowing for the minor decrease in the permitted setbacks would facilitate the warehousing use to be developed in an employment focused area within the City of Vaughan in an efficient manner.

3. Is the Application an appropriate and desirable use of the land?

The requested minor variance is an appropriate and desirable use of land as it does not change the land use or any other lot and building requirements on the Subject Lands. The lands are located within the southwest area of the city which is predominantly an employment area. Should the variance to the zoning be approved, the proposed development would provide two warehousing units through one industrial building on lands which are currently vacant and underutilized, supporting the City's goals by providing employment uses within the Block 58 area while not creating any undo impacts on adjacent lands.

4. Is the Application minor in nature?

The requested variance is minor in nature and will make only minor adjustments to the development standards of the current zoning on the Subject Lands. The reduction to the required setbacks are minimal and will not cause any undo impacts on adjacent lands.

3.0 Conclusion

It is for the above reasons that KLM Planning Partners Inc. is of the professional planning opinion that the requested variances are consistent with the general intent and purpose of the Official Plan and the Zoning By-law, is desirable for the appropriate development of the lands, and is minor in nature. Furthermore, it is not anticipated that the proposed minor variance will have any adverse impacts to municipal servicing, traffic, parking, or any abutting lands. It is for these reasons that we believe the proposed minor variance represents good land use planning in the public interest.

In support of this Minor Variance Application, please find enclosed:

1. Cover Letter prepared by KLM Planning Partners Inc. dated October 1, 2024;
2. Site Plan prepared by Cusimano Architect dated August 19, 2024;
3. Authorization Form;
4. Authorizing Statements;
5. Sworn Declaration Form;
6. Tree Declaration Form;
7. Variance Chart;
8. Structure Size Chart; and,
9. Structure Setback Chart.

We trust that the above materials are in order. Should you have any questions with respect to the enclosed, please do not hesitate to contact the undersigned. We look forward to working with the City of Vaughan and all other applicable external public agencies with regard to the processing and approval of the Minor Variance Application.

Yours truly,

KLM PLANNING PARTNERS INC.

A handwritten signature in black ink, appearing to read "L. Dynes", with a long horizontal flourish extending to the right.

Lauren Dynes, BURPI
Intermediate Planner II

Copy to: Ryan Virtanen, Partner, KLM Planning Partners Inc.
Sam Speranza, Director of Developments, ZZEN Group of Companies

SCHEDULE D: BACKGROUND

Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A