

<b>ITEM: 6.10</b>	<b>REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A177/24</b>
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Report Date: November 29, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Forestry	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
MTO	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

**PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)**

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
Applicant			10/10/2024	Application Cover Letter

**BACKGROUND (SCHEDULE D, IF REQUIRED)**

\* Background Information contains historical development approvals considered to be related to this file.  
This information should not be considered comprehensive.

Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
A287/13	Minor variance application approved by COA

**ADJOURNMENT HISTORY**

\* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
N/A	N/A

**SCHEDULES**

<b>Schedule A</b>	Drawings & Plans Submitted with the Application
<b>Schedule B</b>	Comments from Agencies, Building Standards & Development Planning
<b>Schedule C</b> (if required)	Public & Applicant Correspondence
<b>Schedule D</b> (if required)	Background



**MINOR VARIANCE APPLICATION  
FILE NUMBER A177/24**

<b>CITY WARD #:</b>	5
<b>APPLICANT:</b>	Chabad Lubavitch of Southern Ontario
<b>AGENT:</b>	Darrin Cohen, Weston Consulting
<b>PROPERTY:</b>	8001 Bathurst Street, Vaughan
<b>ZONING DESIGNATION:</b>	See below.
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Mid-Rise Residential" (OPA 89)
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	DA.24.004
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to permit a five-storey mixed use addition to the existing synagogue and to facilitate related Site Plan Application DA.24.004.

The following variances have been requested from the City's Zoning By-law:

**The subject lands are zoned RA3(H) – Apartment Residential Zone and subject to the provisions of Exception 9(1552) under Zoning By-law 1-88, as amended.**

<b>Zoning By-law 1-88</b>		<b>Variance requested</b>
1	Maximum height shall be 18 m for the residential building addition and 5.3 m for the mechanical penthouse. [9(1552.B.ei)]	To permit a maximum height of 18.7m for the residential building addition and 6.0m for the mechanical penthouse.
2	A minimum parking space length of 6.0m is required. [Section 2.0, Definitions]	To permit a minimum parking space length of 5.7m.
3	Compact parking space is not permitted.	To permit a total of 14 compact parking spaces measuring a minimum of 2.7m x 4.8m.
4	A minimum accessible parking space length of 6.0m is required. [3.8.1.d]	To permit a minimum accessible parking space length of 5.7m.

**HEARING INFORMATION**

**DATE OF MEETING:** Thursday, December 5, 2024  
**TIME:** 6:00 p.m.  
**MEETING LOCATION:** Vaughan City Hall, Woodbridge Room (2<sup>nd</sup> Floor), 2141 Major Mackenzie Drive  
**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

**PUBLIC PARTICIPATION**

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

If you would like to submit written comments, please quote file number above and submit by mail or email to:

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to [cofa@vaughan.ca](mailto:cofa@vaughan.ca) no later than NOON on the last business day before the meeting.

**THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

## INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

## COMMITTEE OF ADJUSTMENT

<b>Date Public Notice Posted Online:</b>	November 21, 2024
<b>Date Applicant Confirmed Posting of Sign:</b>	November 22, 2024
<b>Applicant Justification for Variances:</b> <small>*As provided in Application Form</small>	As noted in the application cover letter.
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b> <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
<b>COMMENTS:</b>	
<p>Due to the postal workers' strike, residents might experience delays in receiving public hearing notices by mail. However, the Committee of Adjustment remains committed to providing public notifications of upcoming hearings as per the Planning Act and its regulations. We will continue to:</p> <ul style="list-style-type: none"> <li>Publish hearing notices on the municipal website.</li> <li>Post links to agendas and application information on our webpages.</li> <li>Email links to hearing agendas to community associations, Councillors' offices and other contacts.</li> <li>Ensure a public hearing notice is posted on the property subject to an application.</li> </ul> <p>For more information on Public Notices and to search for notices related to upcoming Council or Committee meetings, please visit: <a href="#">Public Notices   City of Vaughan</a></p>	
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None

## BUILDING STANDARDS (ZONING)

<b>**See Schedule B for Building Standards (Zoning) Comments</b>	
<b>Building Standards Recommended Conditions of Approval:</b>	None

## DEVELOPMENT PLANNING

<b>**See Schedule B for Development Planning Comments.</b>	
<b>Development Planning Recommended Conditions of Approval:</b>	That all comments on Site Development Application DA.24.004 be addressed to the satisfaction of the Development and Parks Planning Department.

## DEVELOPMENT ENGINEERING

<a href="#">Link to Grading Permit</a> <a href="#">Link to Pool Permit</a> <a href="#">Link to Curb Curt Permit</a> <a href="#">Link Culvert Installation</a>	
Development Engineering has no objections to the following Minor Variance given the condition attached is satisfied.	
<b>Development Engineering Recommended Conditions of Approval:</b>	The Owner/Applicant shall satisfy the Development Engineering Department requirements for the related Site Plan Development Application (DA.24.004)

## PARKS, FORESTRY & HORTICULTURE (PFH)

Vaughan Forestry is working with development planning for this construction project. Forestry has no comments relating to the minor variance at this time.

## PARKS, FORESTRY & HORTICULTURE (PFH)

<b>PFH Recommended Conditions of Approval:</b>	None
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## DEVELOPMENT FINANCE

No comment no concerns.	
<b>Development Finance Recommended Conditions of Approval:</b>	None

## BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date.	
<b>BCLPS Recommended Conditions of Approval:</b>	None

## BUILDING INSPECTION (SEPTIC)

No comments received to date.	
<b>Building Inspection Recommended Conditions of Approval:</b>	None

## FIRE DEPARTMENT

No comments received to date.	
<b>Fire Department Recommended Conditions of Approval:</b>	None

## RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Planning <a href="mailto:Harry.Zhao@vaughan.ca">Harry.Zhao@vaughan.ca</a>	That all comments on Site Development Application DA.24.004 be addressed to the satisfaction of the Development and Parks Planning Department.
2	Development Engineering <a href="mailto:jonal.hall@vaughan.ca">jonal.hall@vaughan.ca</a>	The Owner/Applicant shall satisfy the Development Engineering Department requirements for the related Site Plan Development Application (DA.24.004)

*All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.*

## IMPORTANT INFORMATION

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

## IMPORTANT INFORMATION

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

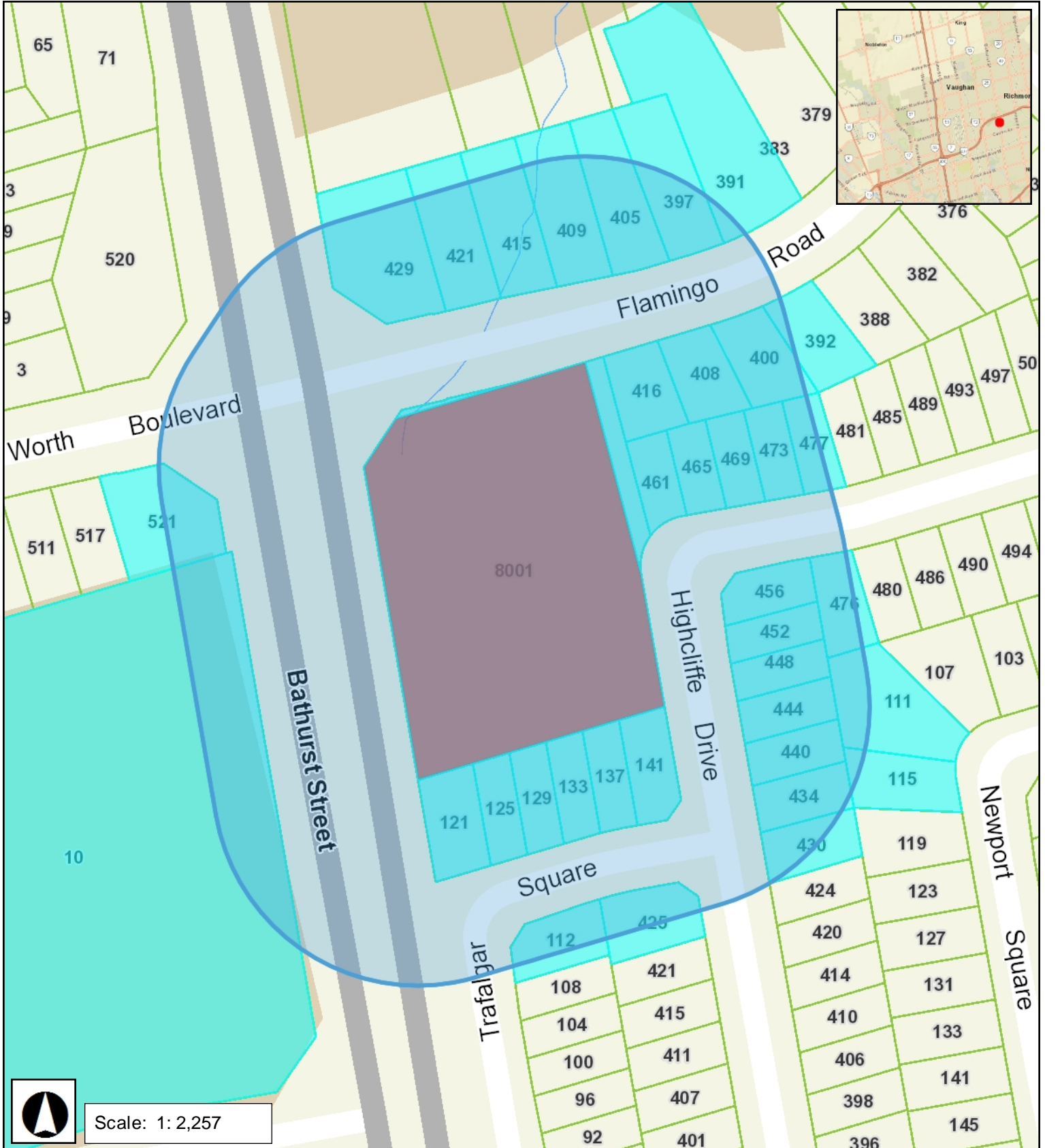
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

## SCHEDULE A: DRAWINGS & PLANS



# 8001 BATHURST

VAUGHAN, ONTARIO, CANADA

COMMITTEE OF ADJUSTMENT  
SUBMISSION NO.3 - NOVEMBER 21, 2024

DRAWING LIST

A-000	COVER SHEET & DRAWING LIST	N.T.S.
A-100	CONTEXT PLAN & STATISTICS	N.T.S.
A-101	SITE PLAN	1:300
A-102	ROOF PLAN	1:200
A-201	P1 LEVEL PLAN	1:200
A-202	GROUND FLOOR PLAN	1:200
A-203	2ND FLOOR PLAN	1:200
A-204	3RD FLOOR PLAN	1:200
A-205	4TH - 5TH FLOOR PLAN	1:200
A-301	BUILDING SECTIONS	1:200
A-302	BATHURST ST SECTIONS	1:200
A-401	WEST & SOUTH ELEVATION	1:200
A-402	NORTH & EAST ELEVATION	1:200
A-403	NORTH SECTIONAL ELEVATION	1:200
A-501	MATERIAL BOARD	N.T.S.
A-502	BIRD FRIENDLY CALCULATIONS	N.T.S.
A-601	3D VIEWS FROM WEST	N.T.S.
A-602	3D VIEWS FROM SOUTH	N.T.S.
A-603	STREET VIEW 1	N.T.S.
A-604	STREET VIEW 2	N.T.S.

	Zoning By-law 1-88	Variance requested
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**Arcadis Architects (Canada) Inc.**  
Formerly IBI Group Architects (Canada) Inc.

No.	DESCRIPTION	DATE
1	ISSUED FOR SPA 1	2023-12-18
2	ISSUED FOR SPA 2	2024-09-05
3	ISSUED FOR COA	2024-11-21

No.	DESCRIPTION	DATE

REVISIONS

SEAL



**ARCADIS**

55 St. Clair Avenue West - 7th Floor  
Toronto ON M4V 2Y7 Canada  
tel 416 596 1930  
www.arcadis.com

PROJECT  
**8001 BATHURST ST**

BATHURST AND FLAMINGO VAUGHAN

PROJECT NO:  
114655

DRAWN BY: <b>AZ</b>	CHECKED BY: <b>GR</b>
SCALE: <b>NTS</b>	DATE:

SHEET TITLE  
**COVER SHEET & DRAWING LIST**

SHEET NUMBER <b>A-000</b>	ISSUE
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8001 Bathurst PROJECT STATISTICS  
PROJECT SUMMARY CHART

<b>Description</b>	5 Storey mixed-use residential and institutional addition to 2 storey existing institutional building		
<b>Municipal Address</b>	8001 Bathurst Street, Thornhill, Vaughan, Ontario		
<b>Site Area</b>	8834.53 m <sup>2</sup>		
<b>Established Grade</b>	199.8m (Canadian Geodetic Datum)		
<b>FSI (GFA/Site Area)</b>	1.00		
<b>Proposed Lot Area/Unit</b>	294 m <sup>2</sup>		
<b>Site Coverage (based on net site area)</b>	Lot Coverage	3,564m <sup>2</sup> (40%)	
	Ground Coverage	3,315 m <sup>2</sup> (38%)	
	Paved Area	2,813 m <sup>2</sup> (32%)	
	Landscaped Open Space	2,706 m <sup>2</sup> (30%)	
<b>Setbacks (Refer to Siteplan)</b>			
<b>Proposed New Residential GFA</b> 3,994 m <sup>2</sup>			
<b>Non-Residential GFA</b>	Existing Institutional	3,744 m <sup>2</sup>	
	Proposed New Institutional	1,068 m <sup>2</sup>	
	<b>Total Non-Res</b>	4,812 m <sup>2</sup>	
	<b>Total Development GFA (including existing)</b>	8,805 m <sup>2</sup>	

Note: Proposed GFA not including below grade parking  
Existing Institutional GFA provided by Gluck Partnership Architect

GFA and Amenity Summary		By-Law 197-2022		Provided	
		Required (Minimum)			
Amenity Area	Indoor Amenity			417	m <sup>2</sup>
	Outdoor Amenity			181	m <sup>2</sup>
	<b>Total Amenity</b>	495 m <sup>2</sup>	(4.1.6) Minimum	598	m <sup>2</sup>

Number of Units	Ba 10%	3 units	By-Law 197-2022		Provided	
			Required (Minimum)	Rate	BF	Spaces
1B	57%	17 units				
2B	17%	5 units				
3B	17%	5 units				
<b>Total</b>		30 units				
<b>Parking Spaces</b>		151 spaces	26 (Residential)+ 125 (Visitor/Institutional) (includes 6 BF and 10% compact stall)			
<b>Residential Bicycle Parking Spaces</b>		49 spaces	36(Long Term)+13(Short Term)			
<b>Proposed Loading</b>		1 Loading Space @ 6m x 18m x 7.5m Min Clearance				
<b>Building Height</b>		24.7m (18.7m+6m Mech Penthouse)				

Parking Summary		By-Law 197-2022			Provided	
		Required (Minimum)				
Residential (Apartment)		26	0.86/unit		26	
	Shared Non-Private Residential Visitor	7	0.23/unit		7	
Institutional		110	2.28/100sqm		118	
	<b>Sub Total</b>	117			125	
<b>Total Parking</b>		143			151	3A+3B

Bicycle Parking Summary		*Bicycle Requirements N/A in by-law 1-88		By-Law 01-2021		Provided	
		Required (Minimum)		Required (Minimum)			
Residential	Long Term			24	0.8/unit	36	1.2/unit
	Short Term			6	0.2/unit	13	0.43/unit

**Pavement Surface Material** Outdoor parking areas, aisles and driveways shall be surfaced with hot-mix asphalt; interlock or concrete and shall be provided with adequate drainage

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ISSUES		
No.	DESCRIPTION	DATE
1	ISSUED FOR SPA 1	2023-12-18
2	ISSUED FOR SPA 2	2024-09-05
3	ISSUED FOR COA	2024-11-21

Variance 1

No.	DESCRIPTION	DATE
REVISIONS		
SEAL		



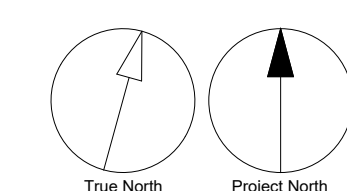
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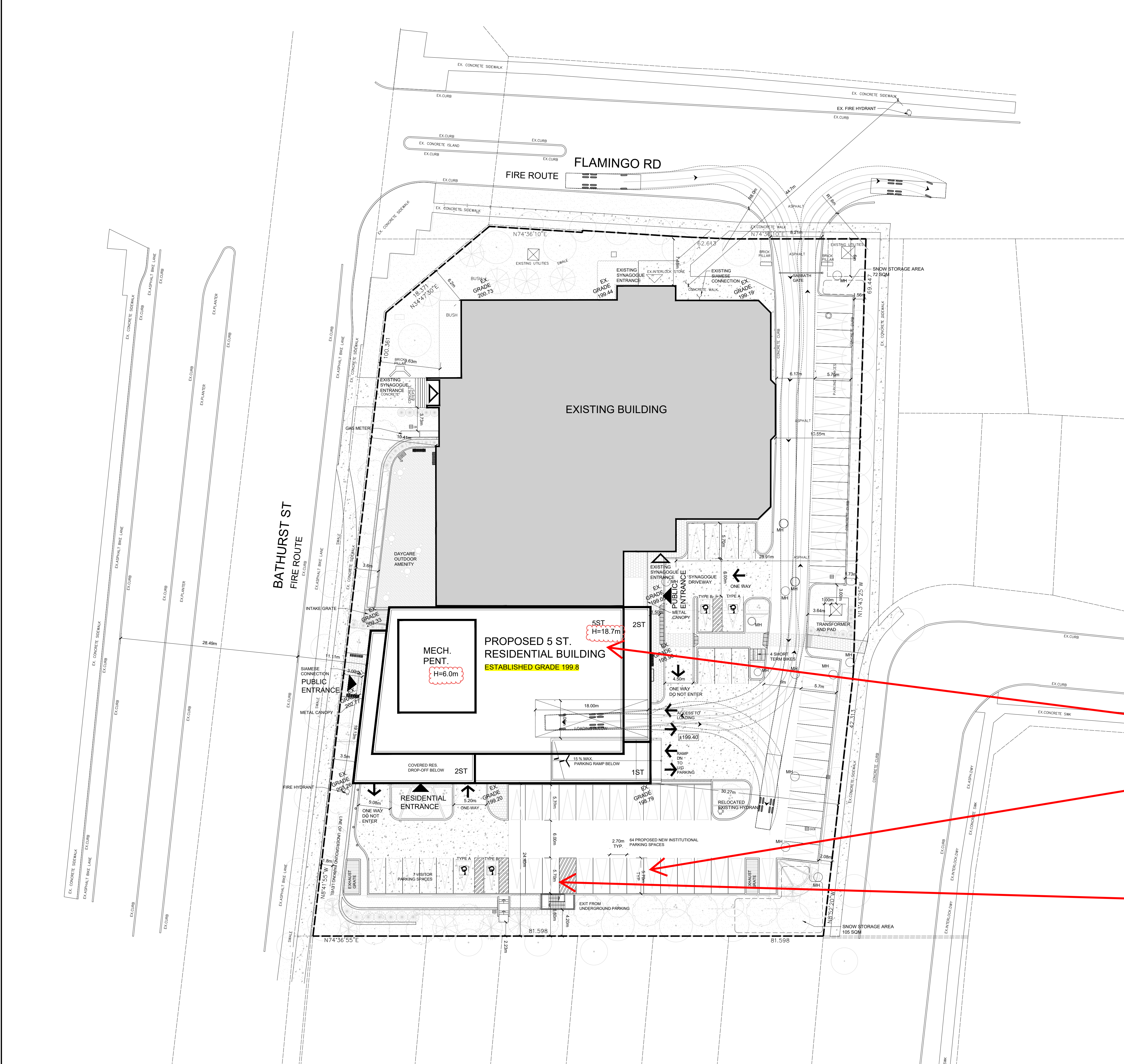
PROJECT  
**8001 BATHURST ST**  
BATHURST AND FLAMINGO VAUGHAN

PROJECT NO:  
114655  
DRAWN BY: AZ  
SCALE:  
CHECKED BY: GR  
DATE:

SHEET TITLE  
**CONTEXT PLAN & STATISTICS**

SHEET NUMBER  
**A-001**  
ISSUE





**NOTES:**

- LOADING AREA TO BE DESIGNED IN ACCORDANCE WITH OBC, TO BE CONSTRUCTED OF AT LEAST 200 mm REINFORCED CONCRETE, WITH A MAXIMUM SLOPE OF 2%.
- A TRAINED ON-SITE STAFF MEMBER WILL BE AVAILABLE TO MANOUVRE BINS FOR THE COLLECTION DRIVER AND ALSO ACT AS A FLAGMAN WHEN THE TRUCK IS REVERSING. IN THE EVENT THE ON-SITE STAFF IS UNAVAILABLE AT THE TIME THE CITY COLLECTION VEHICLES ARRIVE AT THE SITE, THE COLLECTION VEHICLE WILL LEAVE THE SITE AND NOT RETURN UNTIL THE NEXT SCHEDULED COLLECTION DAY.
- PRIOR TO SOLID WASTE COLLECTION SERVICES ARE TO BEGIN, THE CITY WILL NEED TO BE PROVIDED WITH A LETTER CERTIFIED BY A PROFESSIONAL ENGINEER THAT IN ALL CASES WHERE A COLLECTION VEHICLE IS REQUIRED TO DRIVE ONTO OR OVER A SUPPORTED STRUCTURE ( SUCH AS AN UNDERGROUND PARKING GARAGE ) THE STRUCTURE CAN SAFELY SUPPORT A FULLY LOADED COLLECTION VEHICLE ( 35,000 KILOGRAMS ) AND CONFORMS TO THE FOLLOWING:
  - (a) DESIGN CODE - ONTARIO BUILDING CODE.
  - (b) DESIGN CODE - CITY BULK LIFT VEHICLE IN ADDITION BUILDING CODE REQUIREMENTS.
  - (c) IMPACT FACTOR - 5% FOR MAXIMUM VEHICULAR SPEEDS TO 15 KM/H AND 30% FOR HIGHER SPEEDS.
- THE NON-RESIDENTIAL COMPONENT OF THIS DEVELOPMENT BEING INELIGIBLE FOR CITY OF VAUGHAN COLLECTION **MUST** STORE, TRANSPORT AND MAKE ARRANGEMENT FOR COLLECTION OF ALL MATERIALS **SEPARATELY** FROM THE RESIDENTIAL COMPONENT.
- THE NON-RESIDENTIAL COMPONENT SHARES LOADING SPACE WITH THE RESIDENTIAL COMPONENT. MANAGEMENT WILL ARRANGE FOR WASTE COLLECTION TO BE SCHEDULED ON OPPOSITE DAYS TO RESIDENTIAL COLLECTION DAYS.
- OVERHEAD ACCESS DOORS TO LOADING SPACE DESIGNED WITH A MINIMUM OF 4.4m VERTICAL CLEARANCE AND A MINIMUM WIDTH OF 4.0m.
- ALL ACCESS DRIVEWAYS TO BE USED BY THE COLLECTION VEHICLE WILL HAVE A MINIMUM VERTICAL CLEARANCE OF 4.4m THROUGHOUT
- VENTILATION OF INTERNAL WASTE STORAGE ROOMS TO MEET ONTARIO BUILDING CODE MINIMUM STANDARDS

**NOTE:**

1. FOR LANDSCAPE INFORMATION - REFER TO DRAWINGS PREPARED BY MBTW.
2. FOR GRADING AND SERVICING INFORMATION - REFER TO DRAWINGS PREPARED BY CROZIER ENGINEERING.
3. FOR VEHICULAR MANEUVERING DIAGRAMS - REFER TO DRAWINGS PREPARED BY CROZIER ENGINEERING.
4. FOR CURB RADII - REFER TO SITE PLAN AND GROUND FLOOR PLAN.

Variance 1

Variance 2

Variance 4

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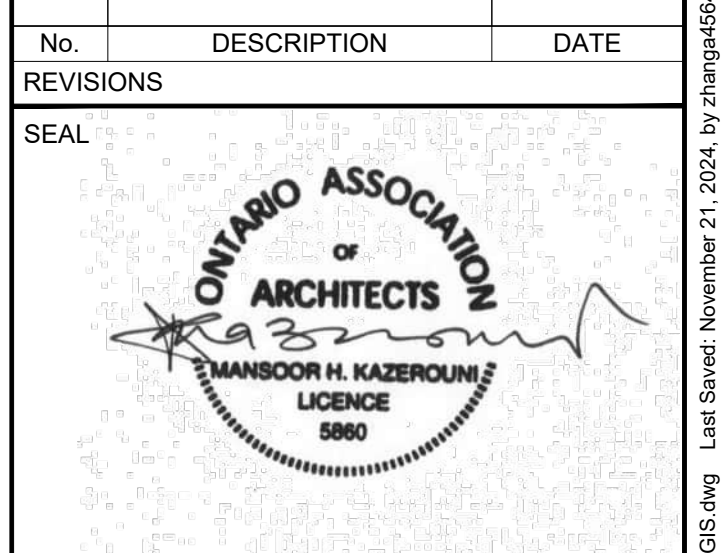
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**Arcadis Architects (Canada) Inc.**  
Toronto | Montreal | Vancouver | Ottawa

**ISSUES**

No.	DESCRIPTION	DATE
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**PROJECT**  
8001 BATHURST ST  
BATHURST AND FLAMINGO VAUGHAN

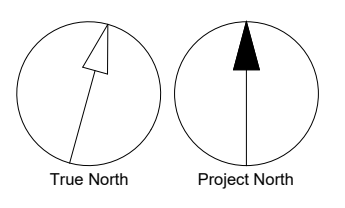
**PROJECT NO:**  
114655

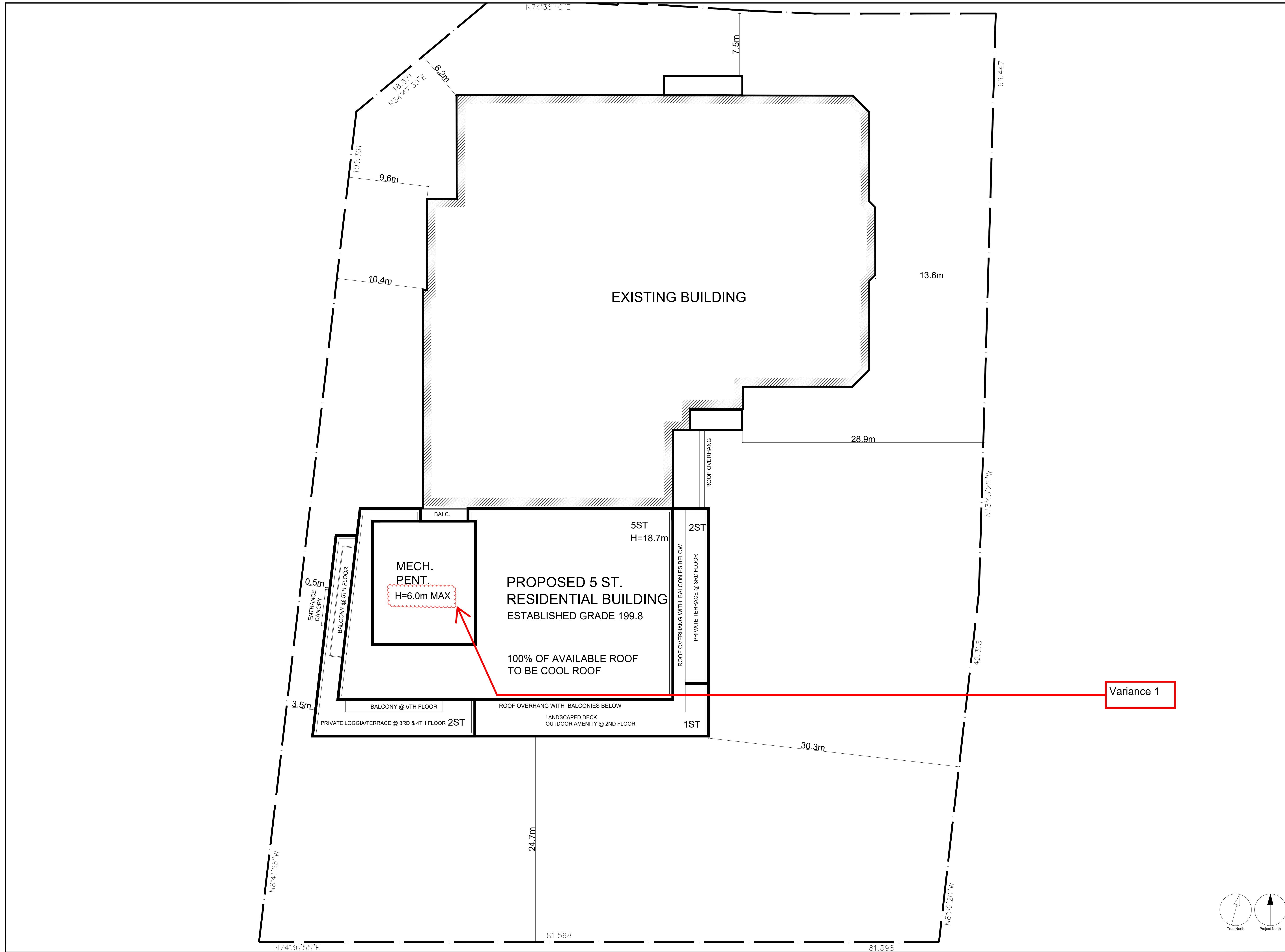
**DRAWN BY:** AZ  
**CHECKED BY:** GR

**SCALE:** 1:300  
**DATE:**

**SHEET TITLE**  
SITE PLAN

**SHEET NUMBER** A-101  
**ISSUE**





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**CHABAD FLAMINGO**

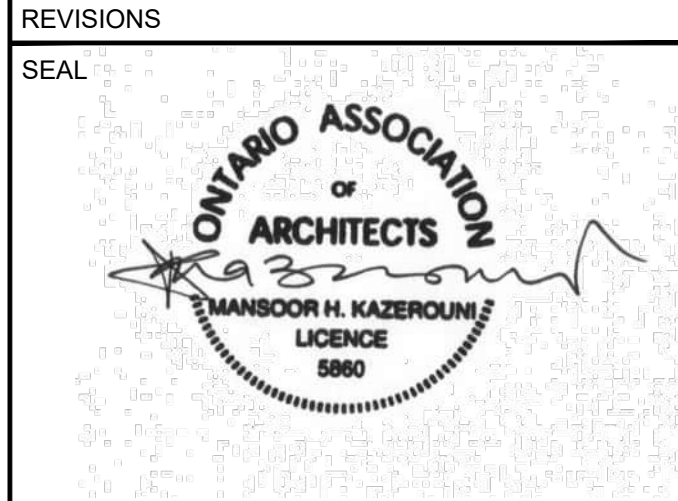
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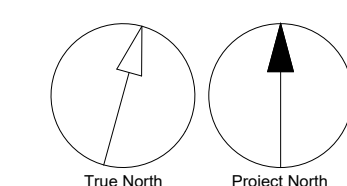
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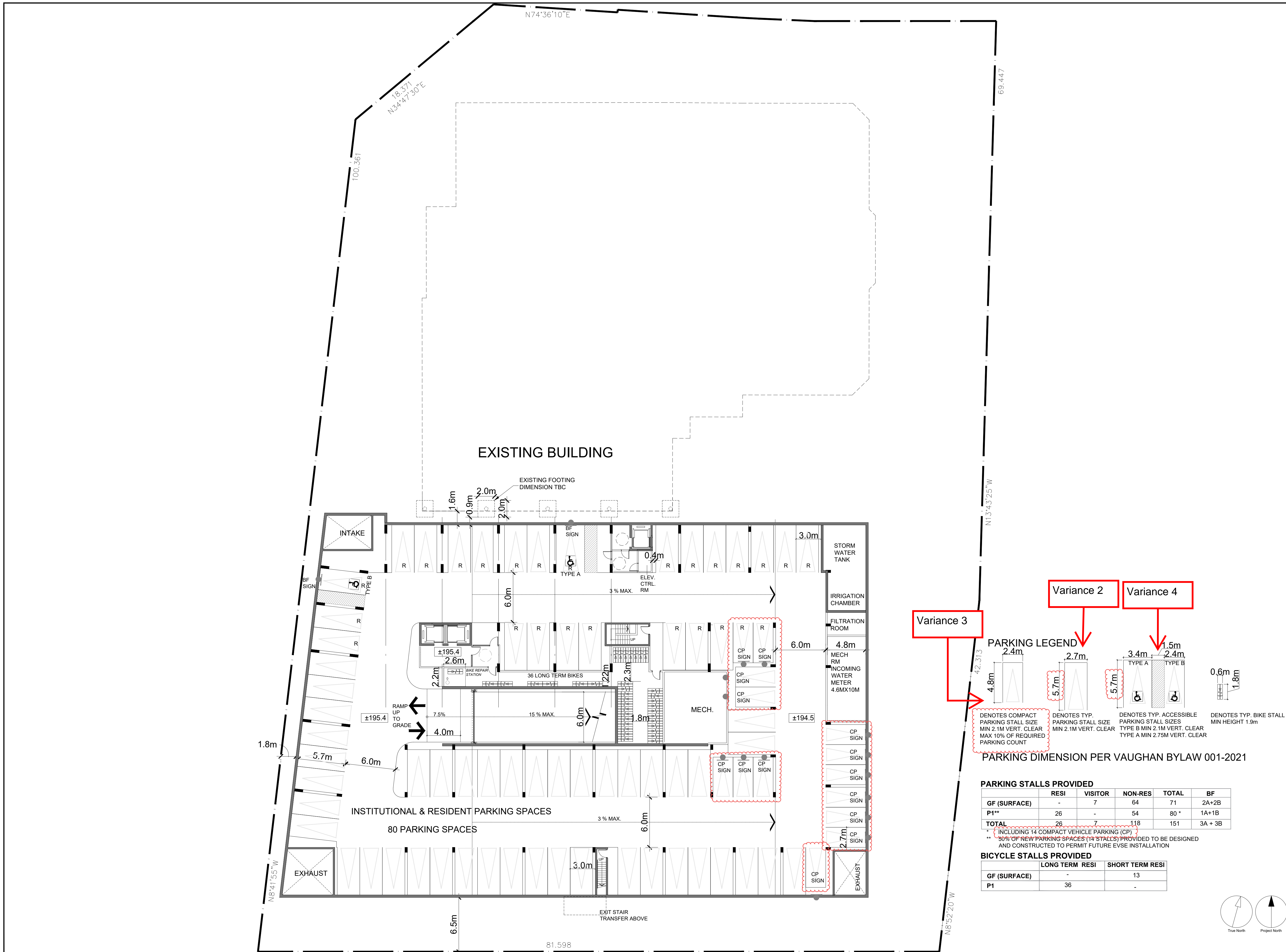
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114655  
DRAWN BY: **AZ** CHECKED BY: **GR**  
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SHEET TITLE  
**ROOF PLAN**

SHEET NUMBER **A-102** ISSUE



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PROJECT  
**8001 BATHURST ST**  
BATHURST AND FLAMINGO VAUGHAN

PROJECT NO:  
**114655**

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**AZ**

SCALE:  
**1:200**

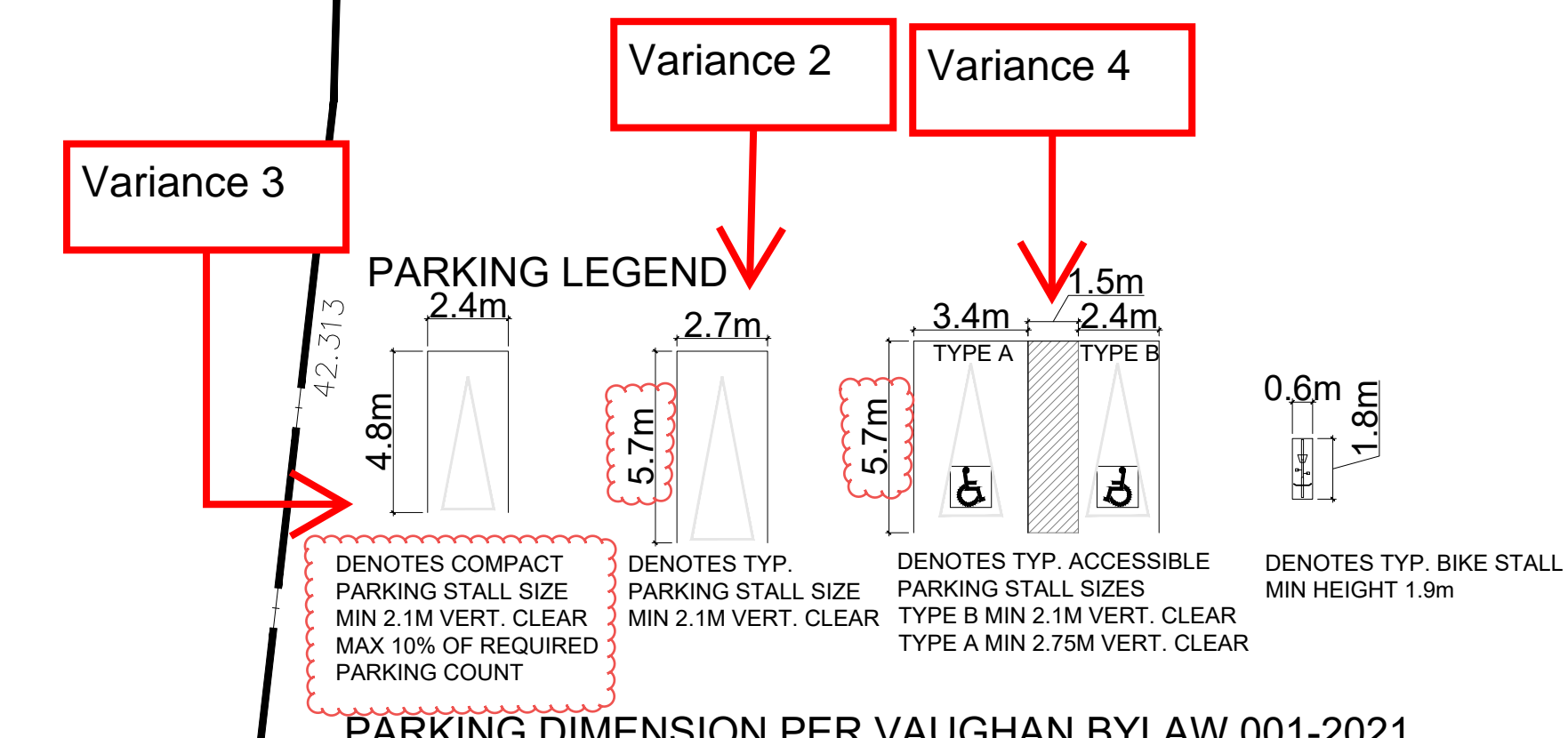
SHEET TITLE  
**P1 LEVEL PLAN**

CHECKED BY:  
**GR**

DATE:

SHEET NUMBER  
**A-201**

ISSUE



**PARKING DIMENSION PER VAUGHAN BYLAW 001-2021**

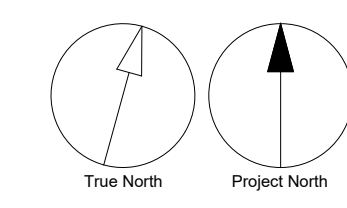
**PARKING STALLS PROVIDED**

	RESI	VISITOR	NON-RES	TOTAL	BF
GF (SURFACE)	-	7	64	71	2A+2B
P1**	26	-	54	80*	1A+1B
<b>TOTAL</b>	<b>26</b>	<b>7</b>	<b>118</b>	<b>151</b>	<b>3A + 3B</b>

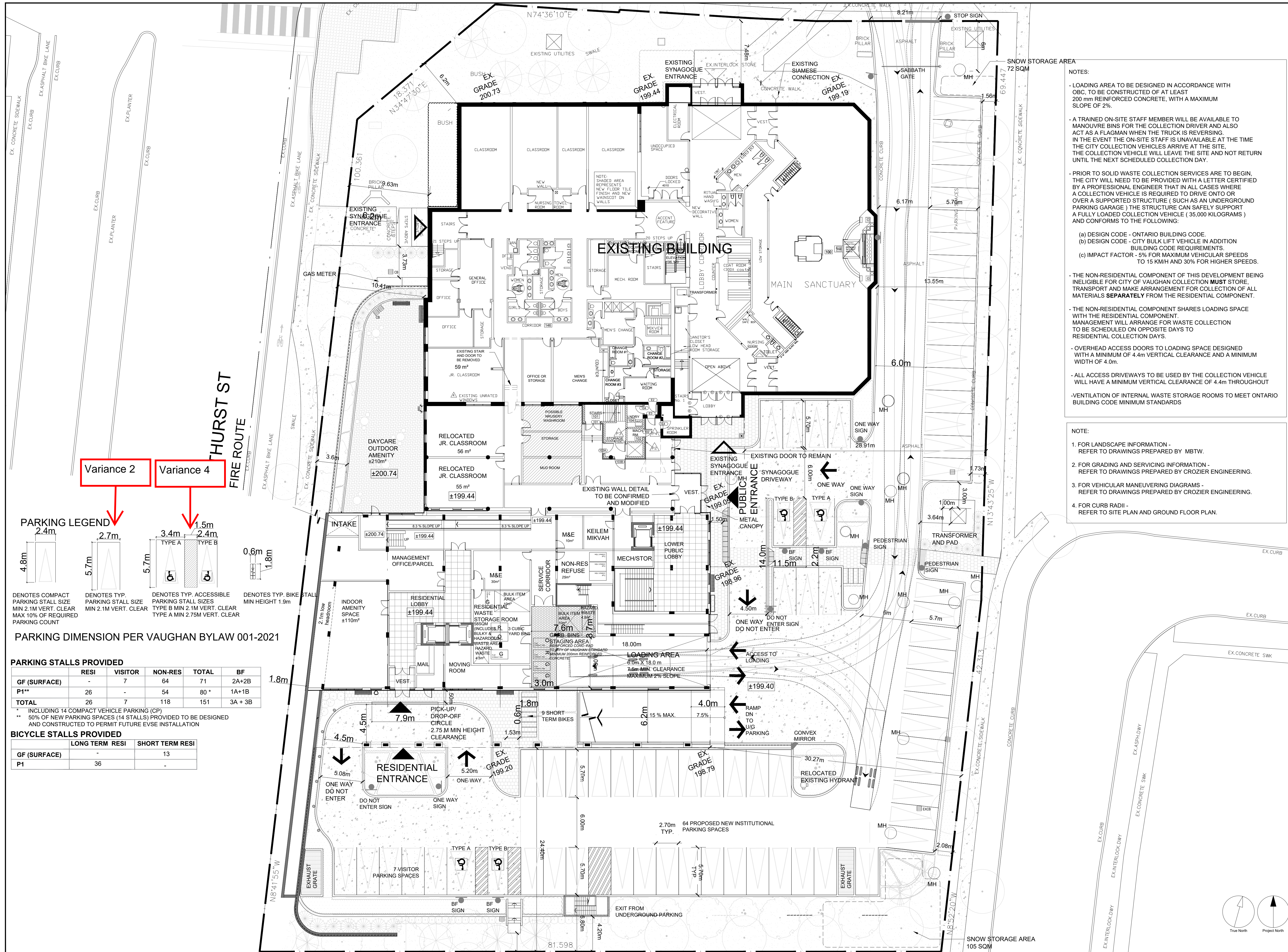
\* INCLUDING 14 COMPACT VEHICLE PARKING (CP)  
\*\* 50% OF NEW PARKING SPACES (14 STALLS) PROVIDED TO BE DESIGNED AND CONSTRUCTED TO PERMIT FUTURE EVSE INSTALLATION

**BICYCLE STALLS PROVIDED**

	LONG TERM RESI	SHORT TERM RESI
GF (SURFACE)	-	13
P1	36	-



File Location: \\1114655\_8001 Bathurst St Design (Work) Phase\Issued\2024-08-20 SPA\8001 Bathurst-SPA\8001 Bathurst-Plans.dwg Last Saved: November 21, 2024, by zhang4564  
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ISSUES

NOTE:

- (a) DESIGN CODE - ONTARIO BUILDING CODE.
- (b) DESIGN CODE - CITY BULK LIFT VEHICLE IN ADDITION BUILDING CODE REQUIREMENTS.
- (c) IMPACT FACTOR - 5% FOR MAXIMUM VEHICULAR SPEEDS TO 15 KM/H AND 30% FOR HIGHER SPEEDS.

THE NON-RESIDENTIAL COMPONENT OF THIS DEVELOPMENT BEING INELIGIBLE FOR CITY OF VAUGHAN COLLECTION MUST STORE, TRANSPORT AND MAKE ARRANGEMENT FOR COLLECTION OF ALL MATERIALS SEPARATELY FROM THE RESIDENTIAL COMPONENT.

THE NON-RESIDENTIAL COMPONENT SHARES LOADING SPACE WITH THE RESIDENTIAL COMPONENT. MANAGEMENT WILL ARRANGE FOR WASTE COLLECTION TO BE SCHEDULED ON OPPOSITE DAYS TO RESIDENTIAL COLLECTION DAYS.

OVERHEAD ACCESS DOORS TO LOADING SPACE DESIGNED WITH A MINIMUM OF 4.4m VERTICAL CLEARANCE AND A MINIMUM WIDTH OF 4.0m.

ALL ACCESS DRIVEWAYS TO BE USED BY THE COLLECTION VEHICLE WILL HAVE A MINIMUM VERTICAL CLEARANCE OF 4.4m THROUGHOUT

VENTILATION OF INTERNAL WASTE STORAGE ROOMS TO MEET ONTARIO BUILDING CODE MINIMUM STANDARDS

NOTE:

- FOR LANDSCAPE INFORMATION - REFER TO DRAWINGS PREPARED BY MBTW.
- FOR GRADING AND SERVICING INFORMATION - REFER TO DRAWINGS PREPARED BY CROZIER ENGINEERING.
- FOR VEHICULAR MANUEVERING DIAGRAMS - REFER TO DRAWINGS PREPARED BY CROZIER ENGINEERING.
- FOR CURB RADII - REFER TO SITE PLAN AND GROUND FLOOR PLAN.

No.	DESCRIPTION	DATE
REVISIONS		
SEAL		

ONTARIO ASSOCIATION OF ARCHITECTS  
MANSOOR H. KAZEROUNI  
LICENCE 5860

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BATHURST AND FLAMINGO VAUGHAN

PROJECT NO:  
114655

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AZ

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GR

SCALE:  
1:200

DATE:

SHEET TITLE  
**GROUND FLOOR PLAN**

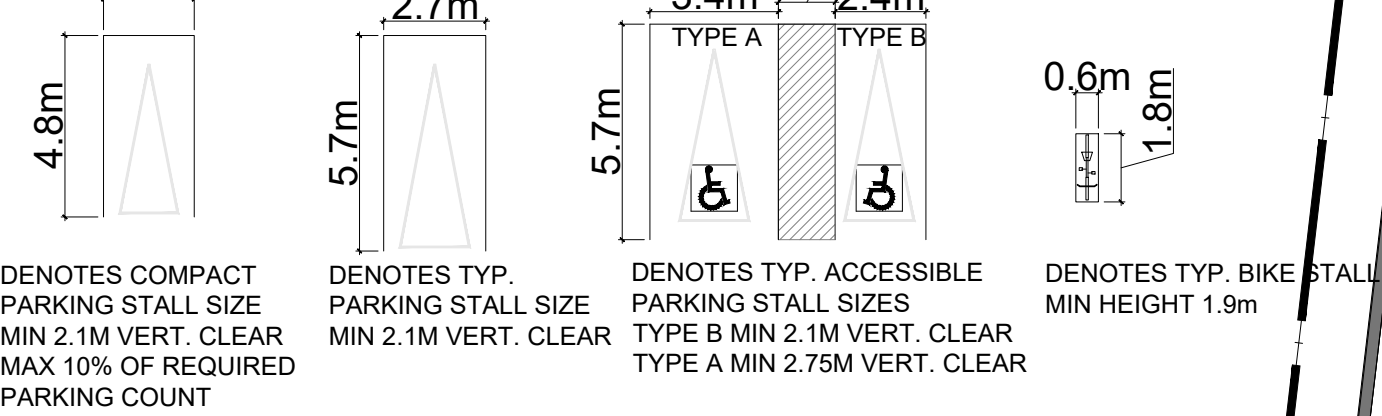
SHEET NUMBER  
**A-202**

ISSUE

Variance 2

Variance 4

**PARKING LEGEND**



**PARKING DIMENSION PER VAUGHAN BYLAW 001-2021**

**PARKING STALLS PROVIDED**

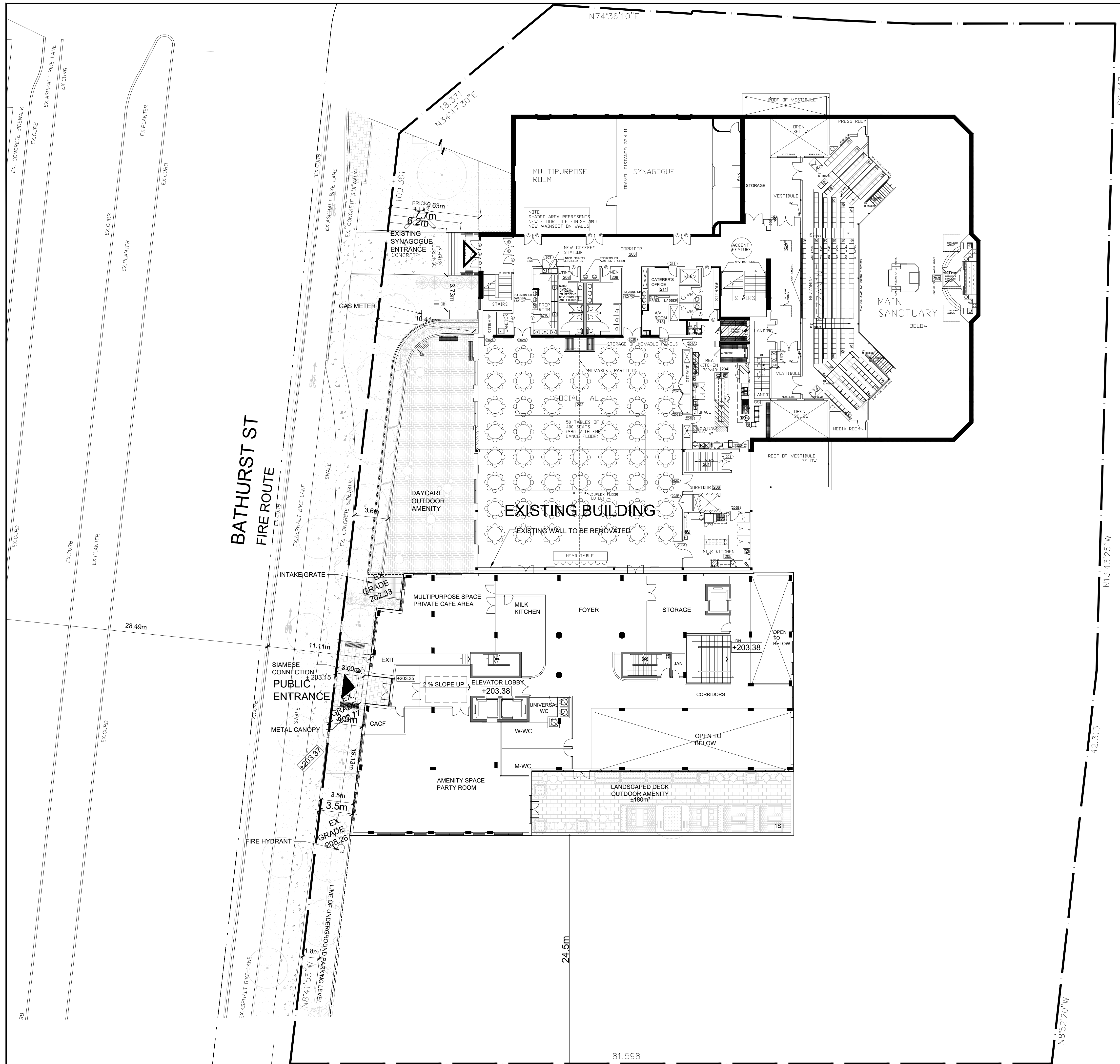
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GF (SURFACE)	-	7	64	71	2A+2B
P1**	26	-	54	80*	1A+1B
<b>TOTAL</b>	26	7	118	151	3A + 3B

\*\* INCLUDING 14 COMPACT VEHICLE PARKING (CP)  
50% OF NEW PARKING SPACES (14 STALLS) PROVIDED TO BE DESIGNED AND CONSTRUCTED TO PERMIT FUTURE EVSE INSTALLATION

**BICYCLE STALLS PROVIDED**

	LONG TERM RESI	SHORT TERM RESI
GF (SURFACE)	-	13
P1	36	-

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LICENCE 5860

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BATHURST AND FLAMINGO VAUGHAN

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**AZ**

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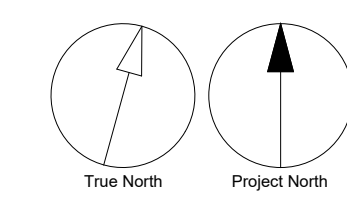
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SHEET TITLE  
**2ND FLOOR PLAN**

SHEET NUMBER  
**A-203**

ISSUE



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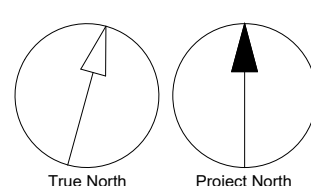
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**SHEET TITLE**  
3RD FLOOR PLAN

**SHEET NUMBER** A-204    **ISSUE**



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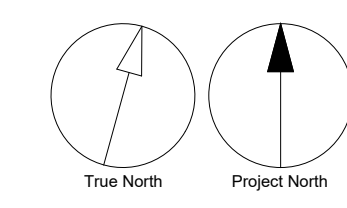
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SHEET TITLE  
**4TH-5TH FLOOR PLAN**

SHEET NUMBER **A-205** ISSUE



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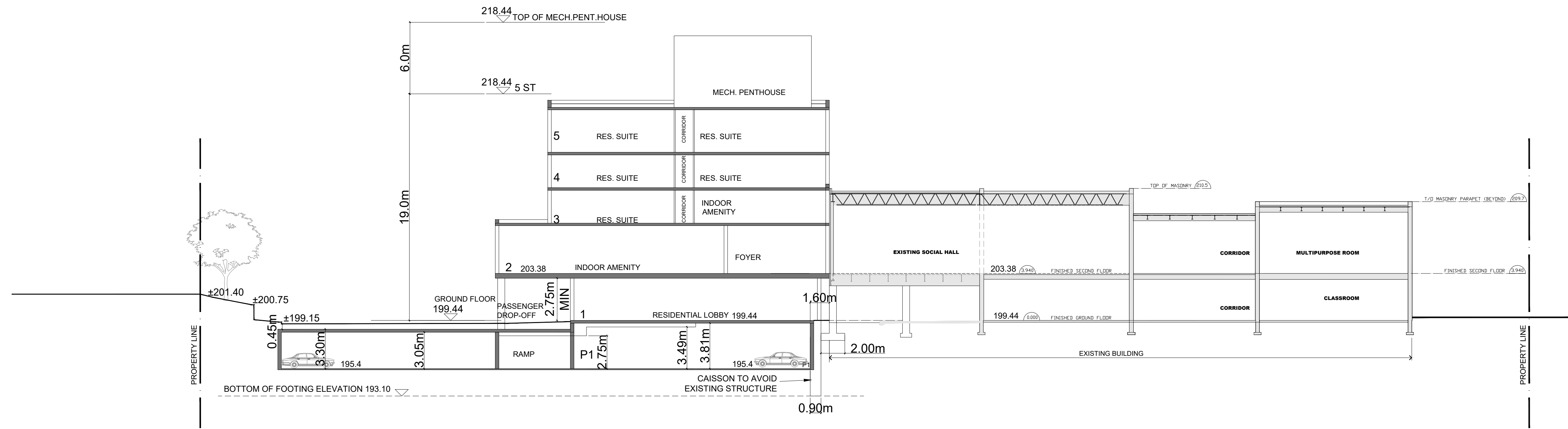
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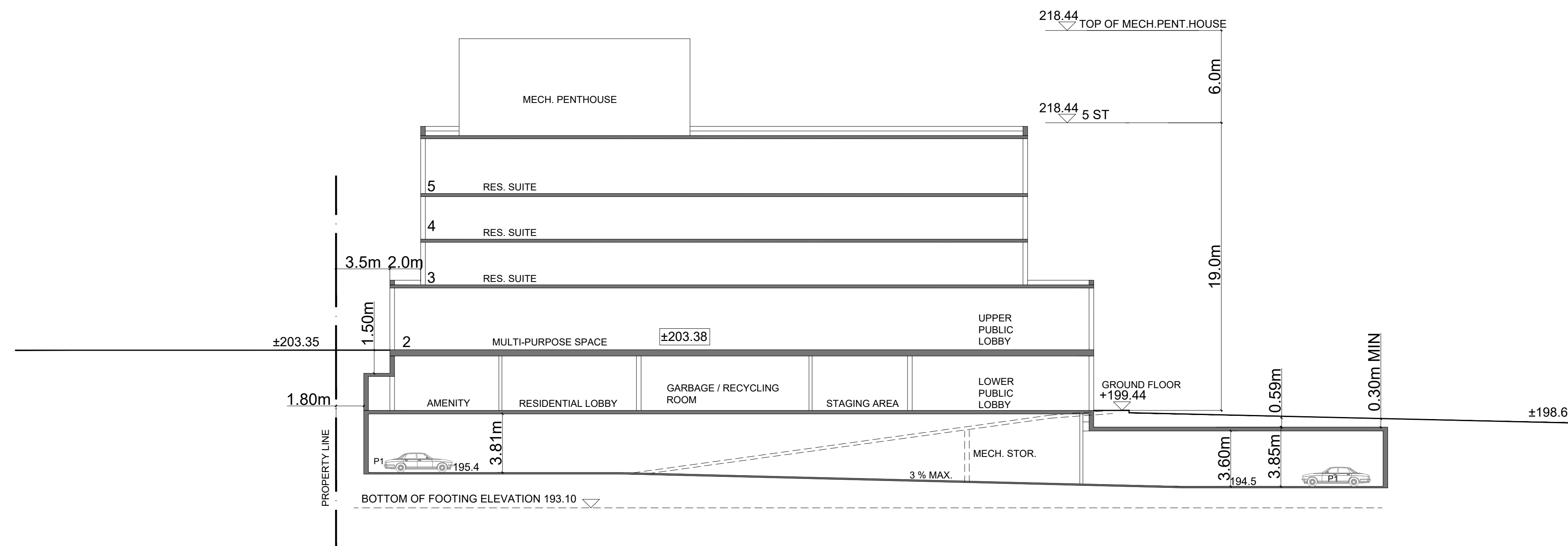
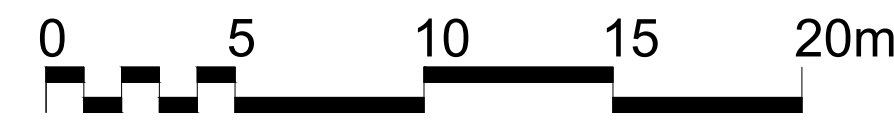
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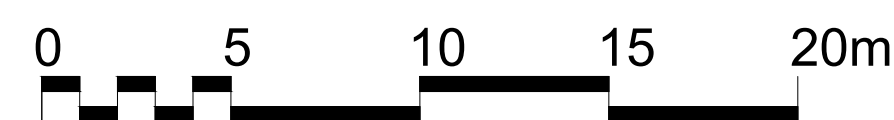
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**SCHEMATIC N-S SECTION**



**SCHEMATIC E-W SECTION**



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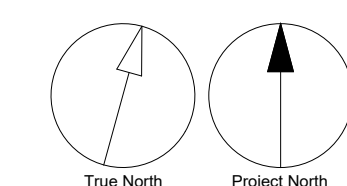
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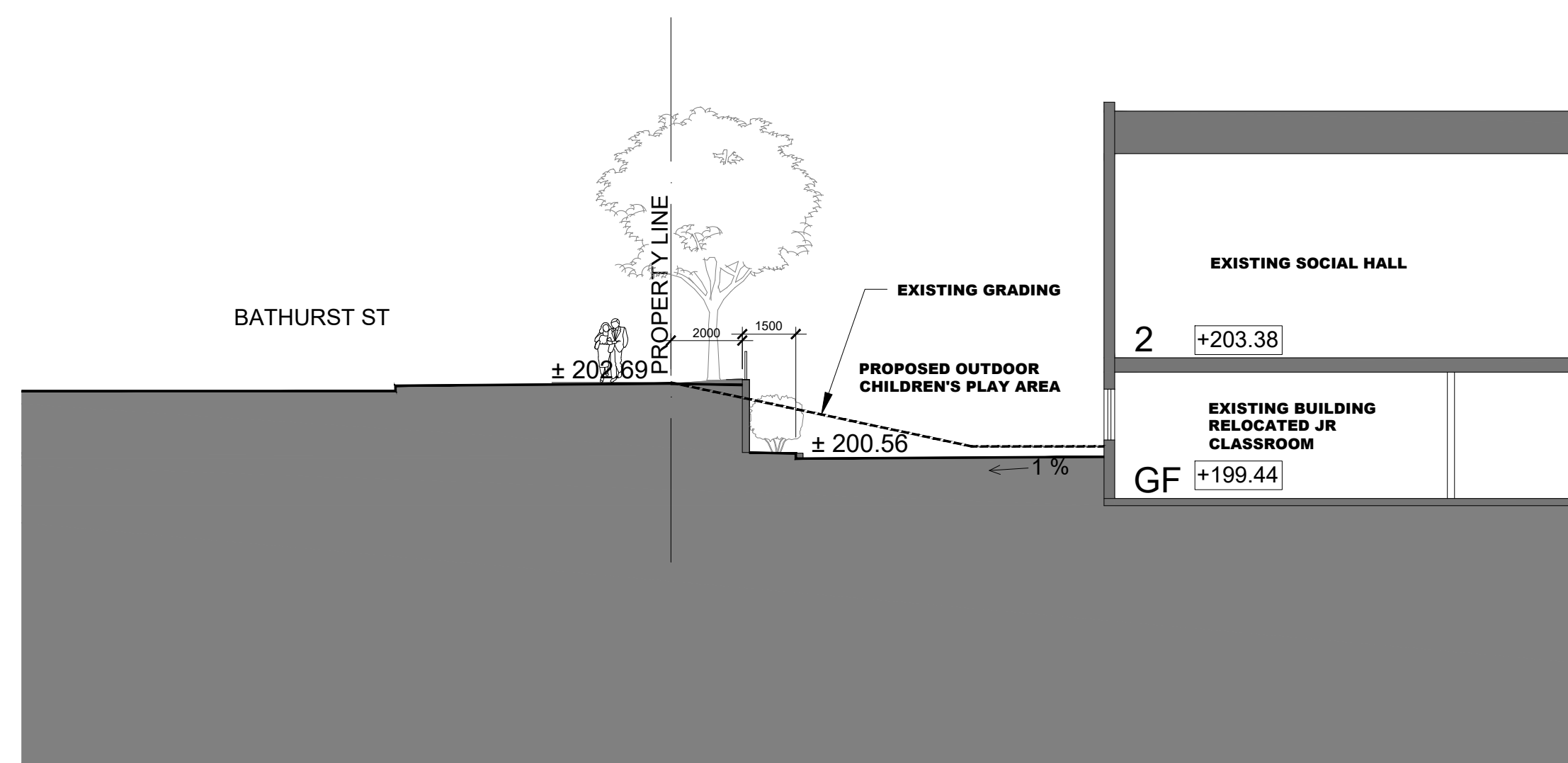
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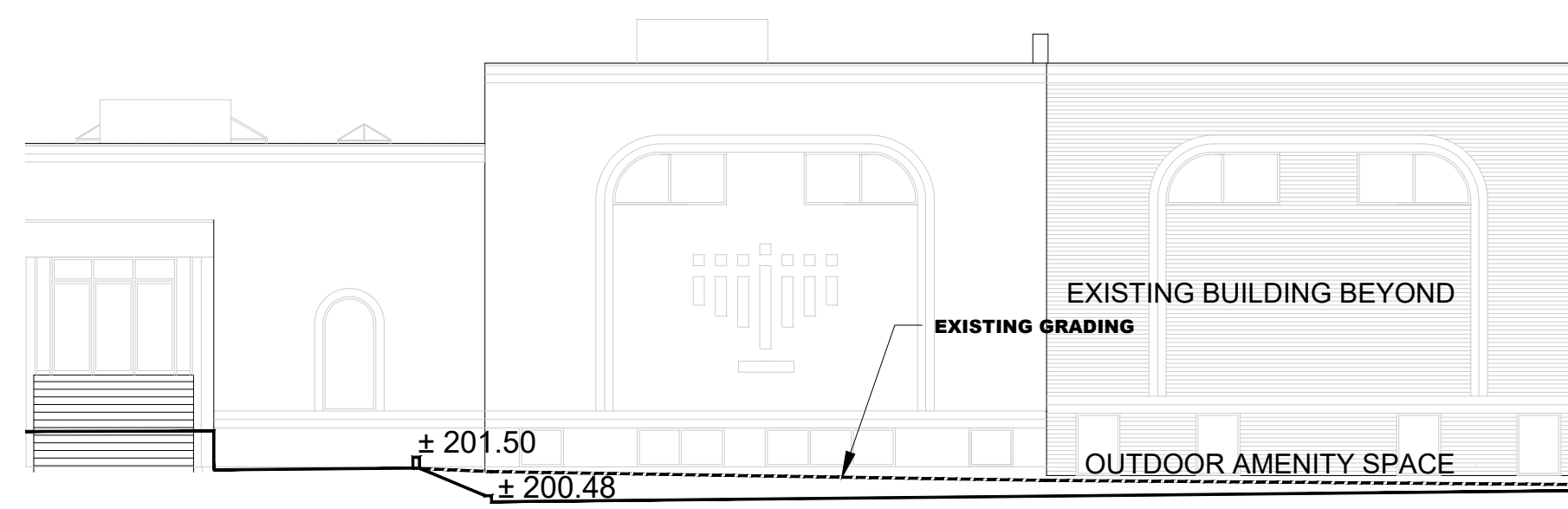
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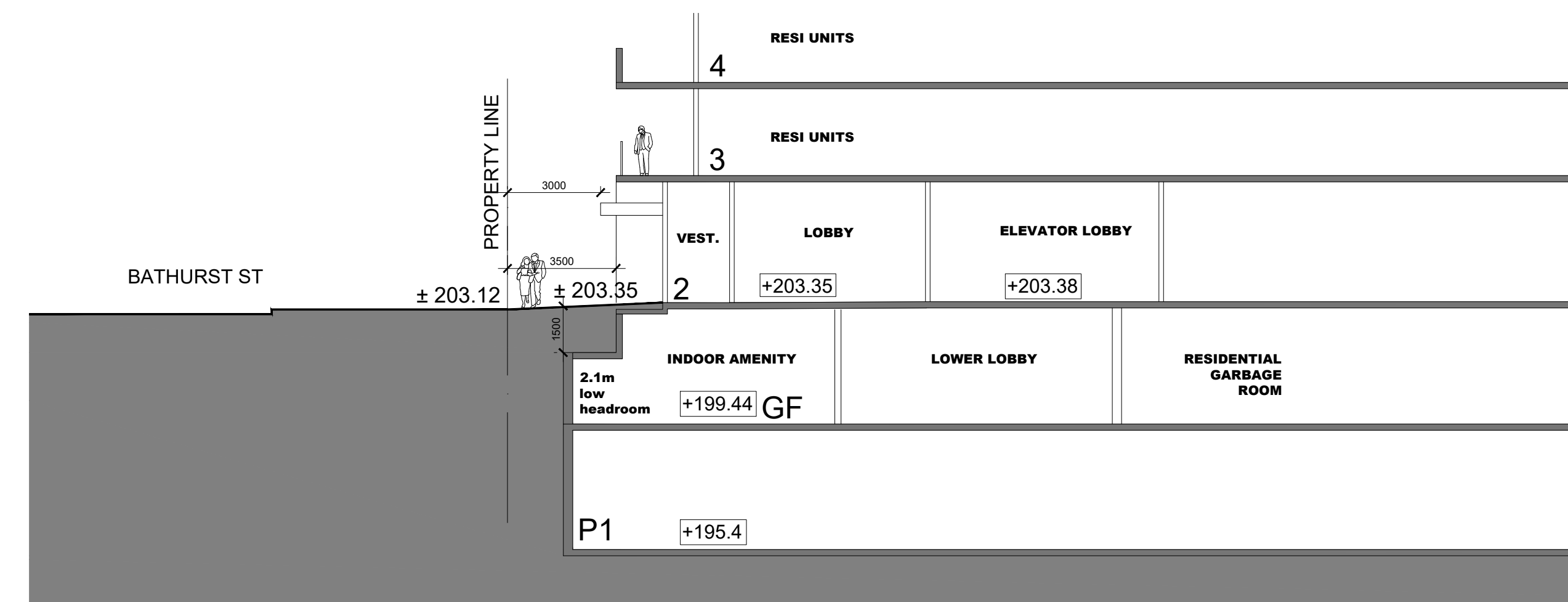
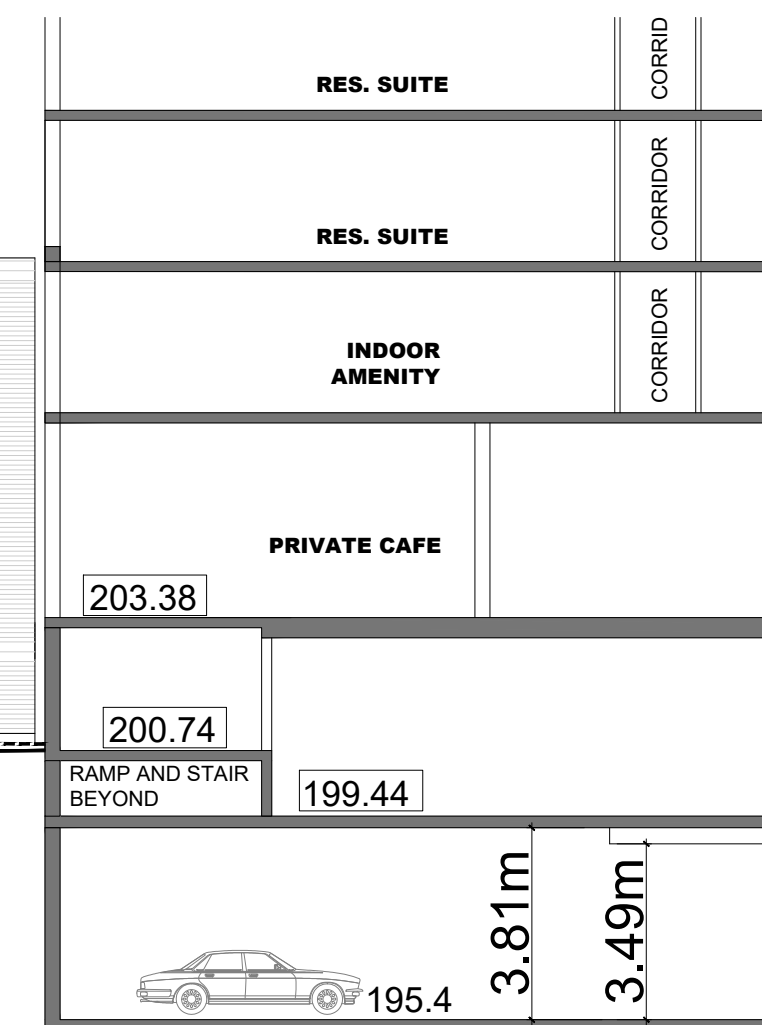
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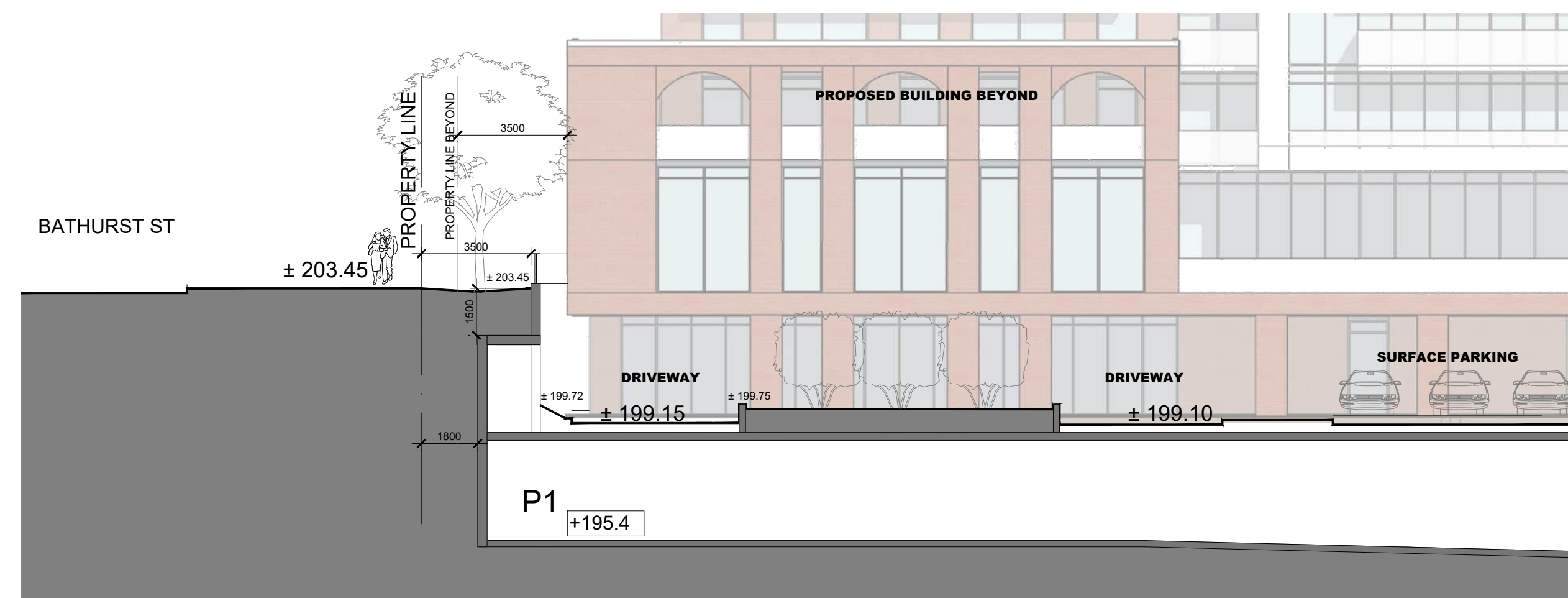
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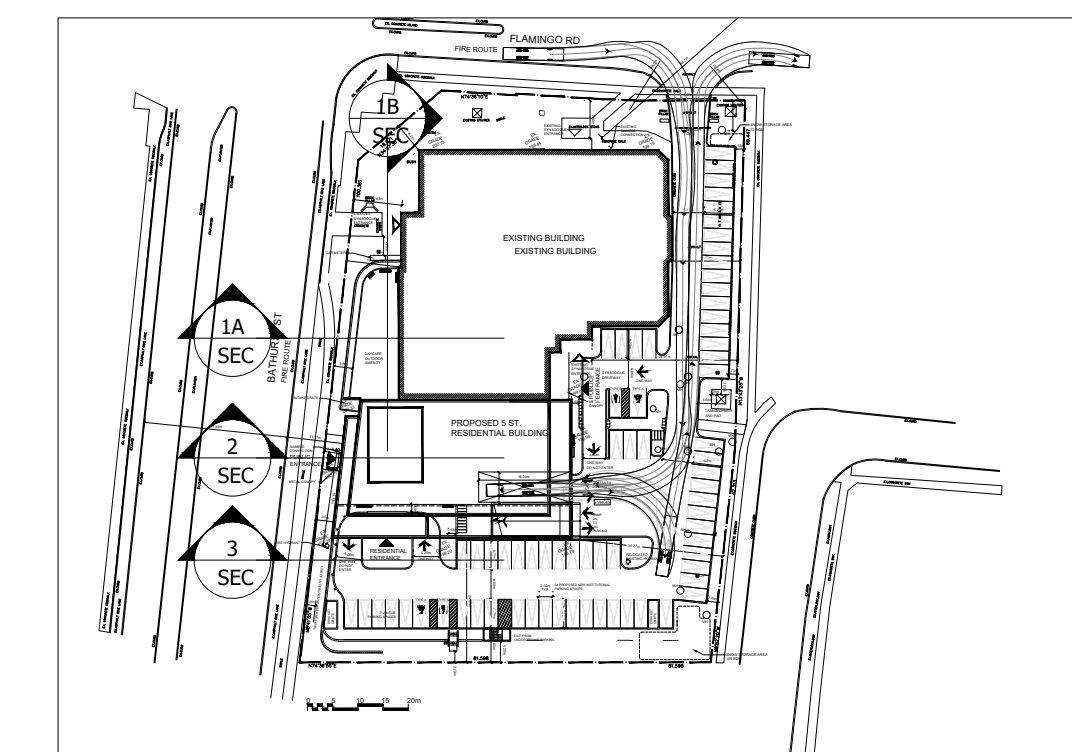
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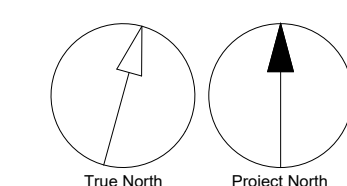
SECTION 2



SECTION 3



KEY PLAN



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PROJECT  
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BATHURST AND FLAMINGO VAUGHAN

PROJECT NO:  
114655

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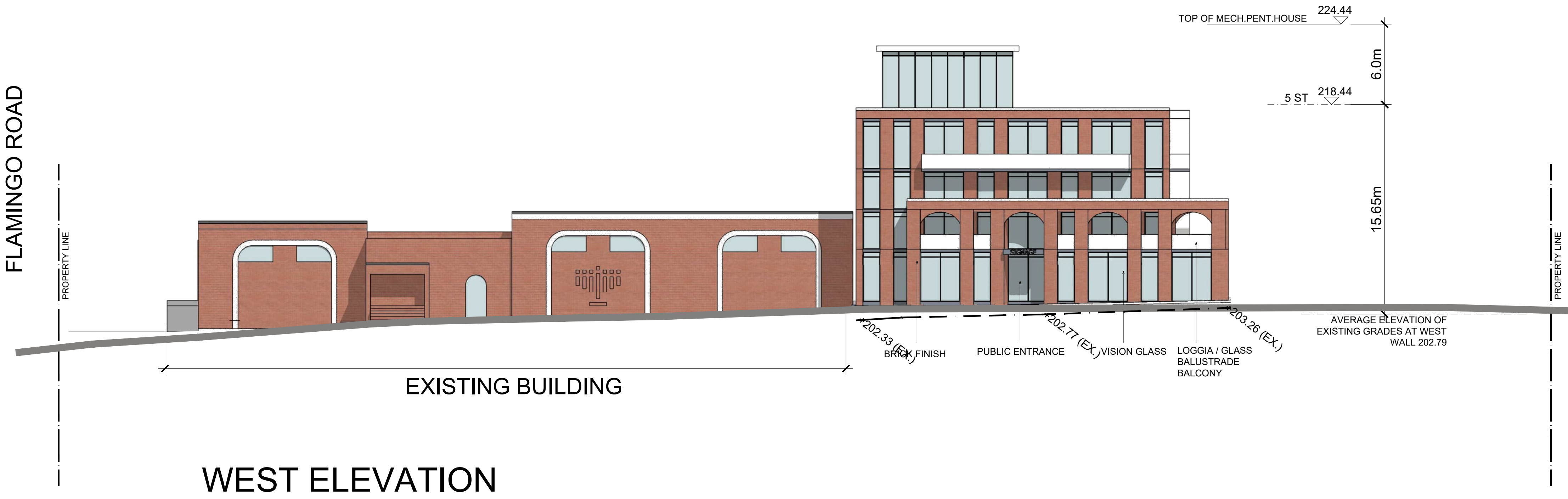
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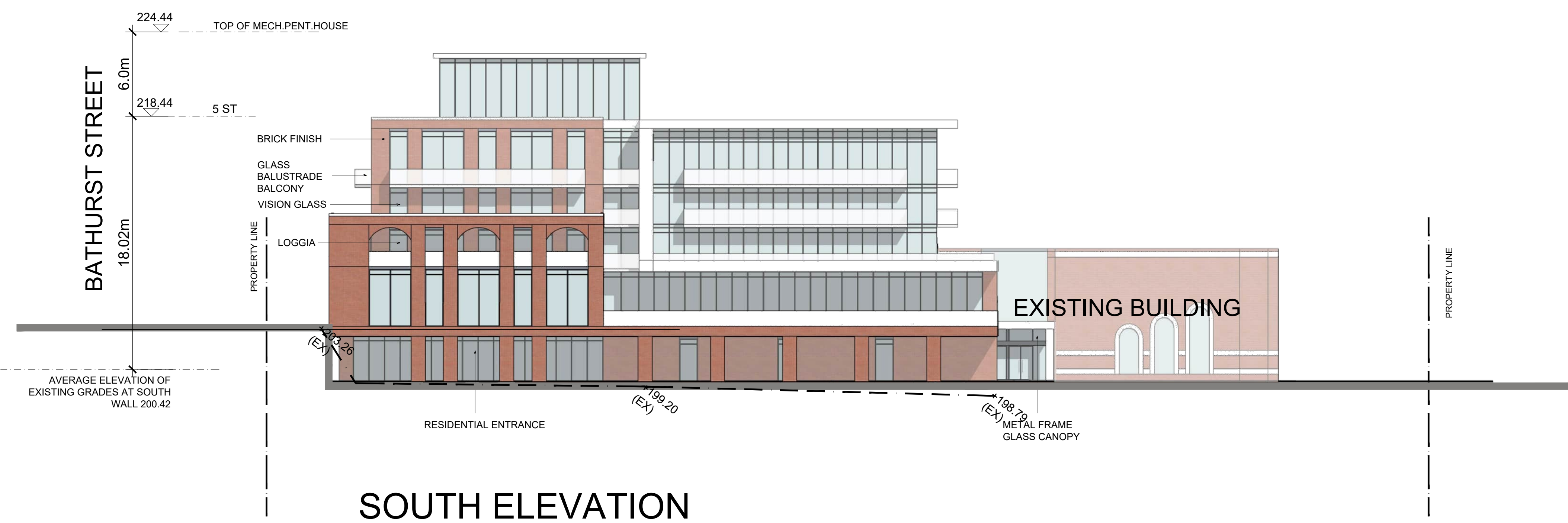
**A-302**

FLAMINGO ROAD



WEST ELEVATION

BATHURST STREET



SOUTH ELEVATION

CLIENT  
**CHABAD FLAMINGO**

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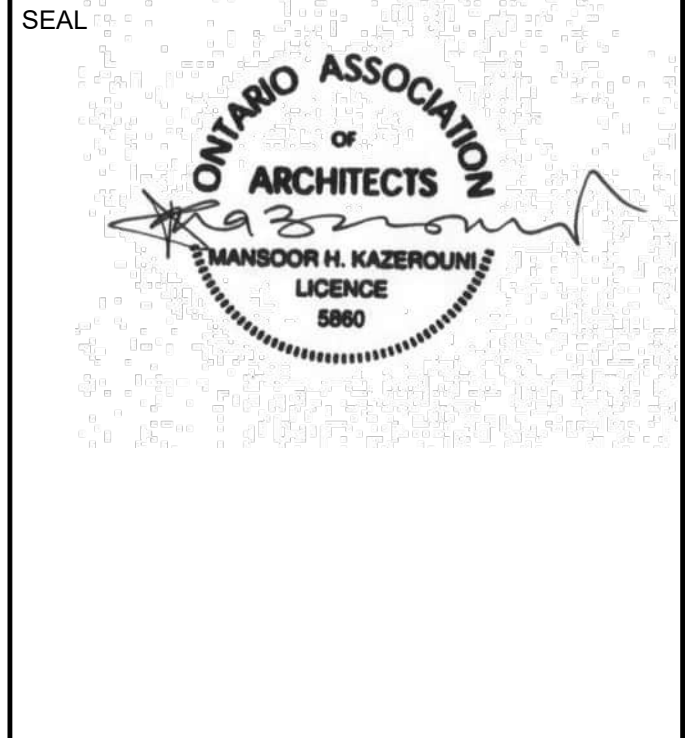
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No.	DESCRIPTION	DATE
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**REVISIONS**

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PROJECT  
**8001 BATHURST ST**

BATHURST AND FLAMINGO VAUGHAN

PROJECT NO:  
114655

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SHEET TITLE  
**WEST & SOUTH ELEVATIONS**

SHEET NUMBER  
**A-401**

ISSUE

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No.	DESCRIPTION	DATE
REVISIONS		

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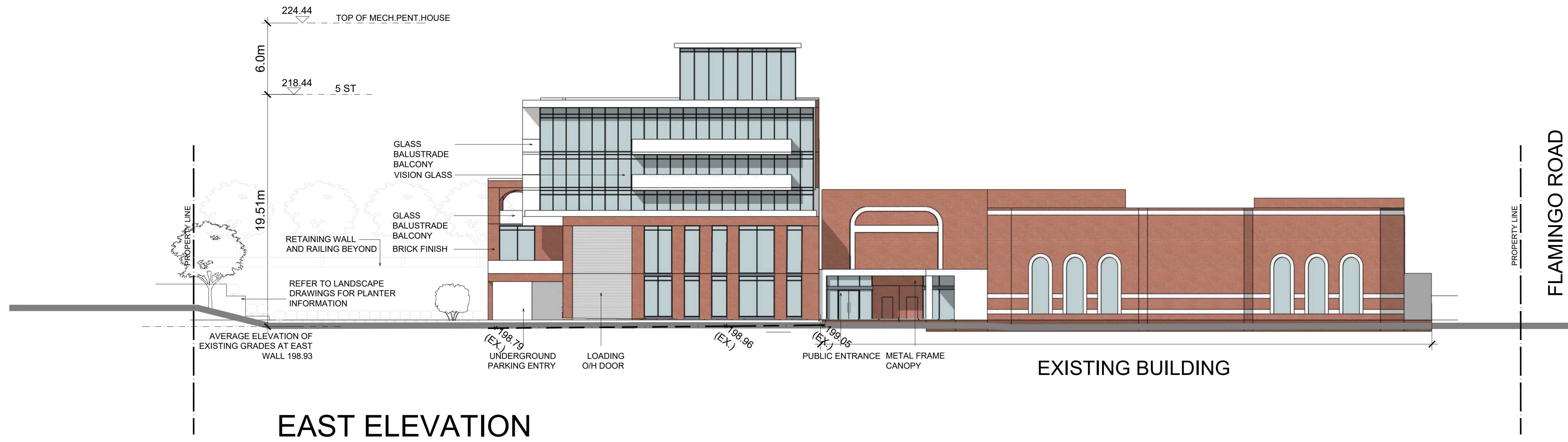
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PROJECT  
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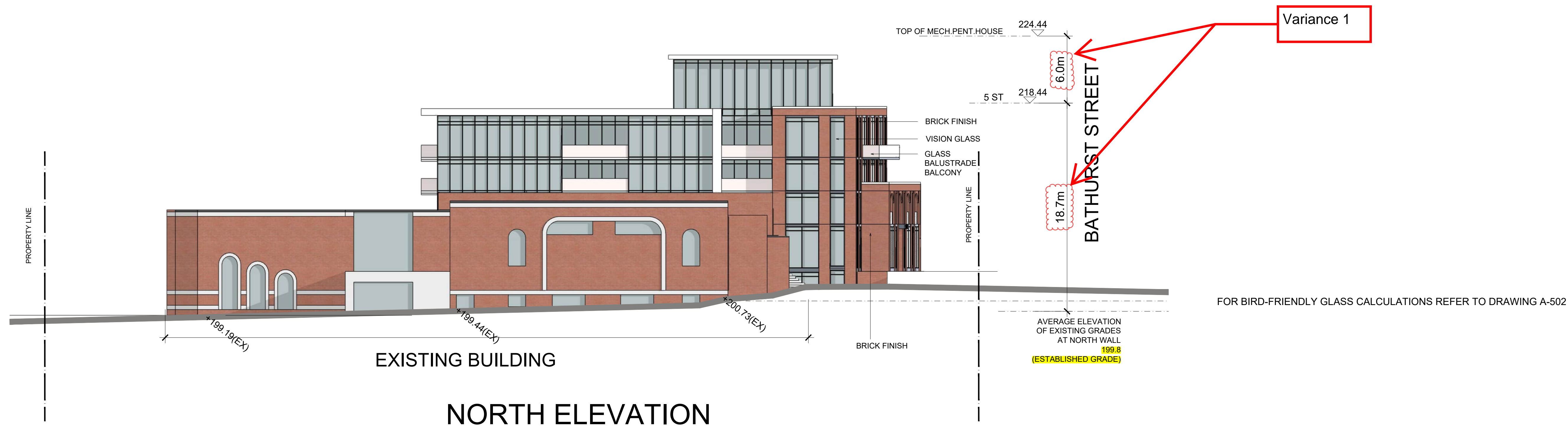
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DRAWN BY:  
**AZ**  
SCALE:  
**1:200**  
CHECKED BY:  
**GR**  
DATE:

SHEET TITLE  
**NORTH & EAST ELEVATIONS**

SHEET NUMBER  
**A-402**  
ISSUE



**EAST ELEVATION**



**NORTH ELEVATION**

FOR BIRD-FRIENDLY GLASS CALCULATIONS REFER TO DRAWING A-502

CLIENT  
**CHABAD FLAMINGO**

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3	ISSUED FOR COA	2024-11-21

No.	DESCRIPTION	DATE
REVISIONS		



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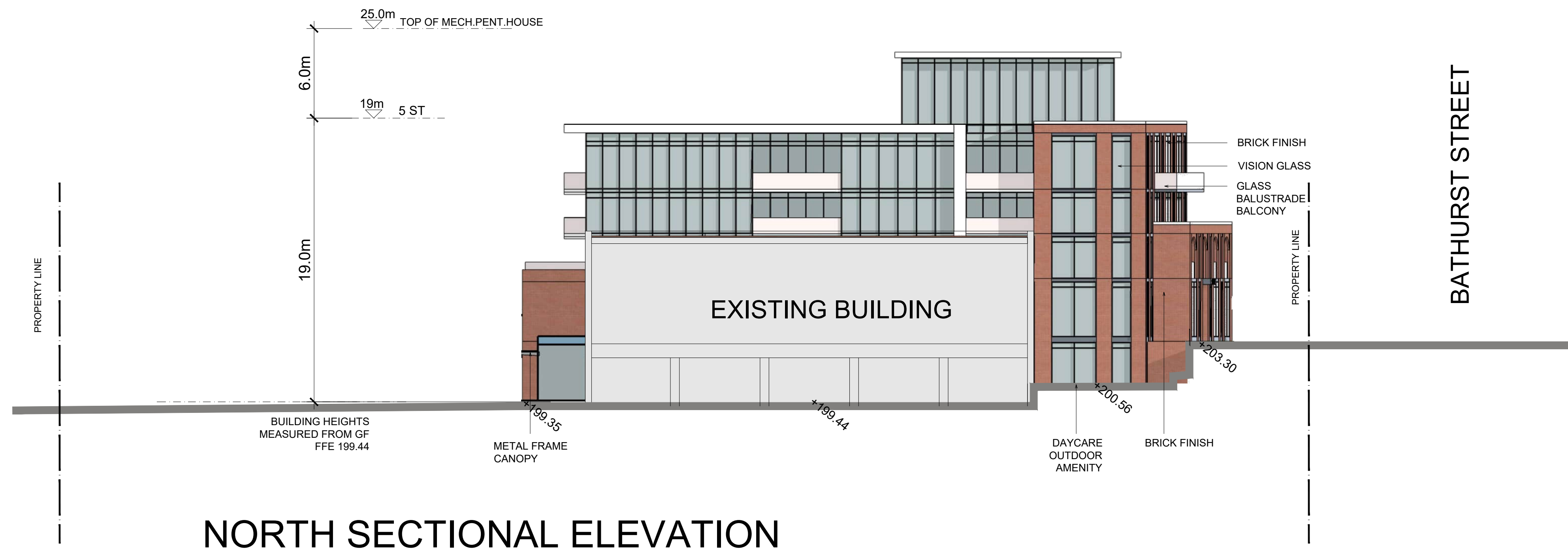
PROJECT  
**8001 BATHURST ST**  
BATHURST AND FLAMINGO VAUGHAN

PROJECT NO:  
114655  
DRAWN BY: **AZ** CHECKED BY: **GR**  
SCALE: **1:200** DATE:

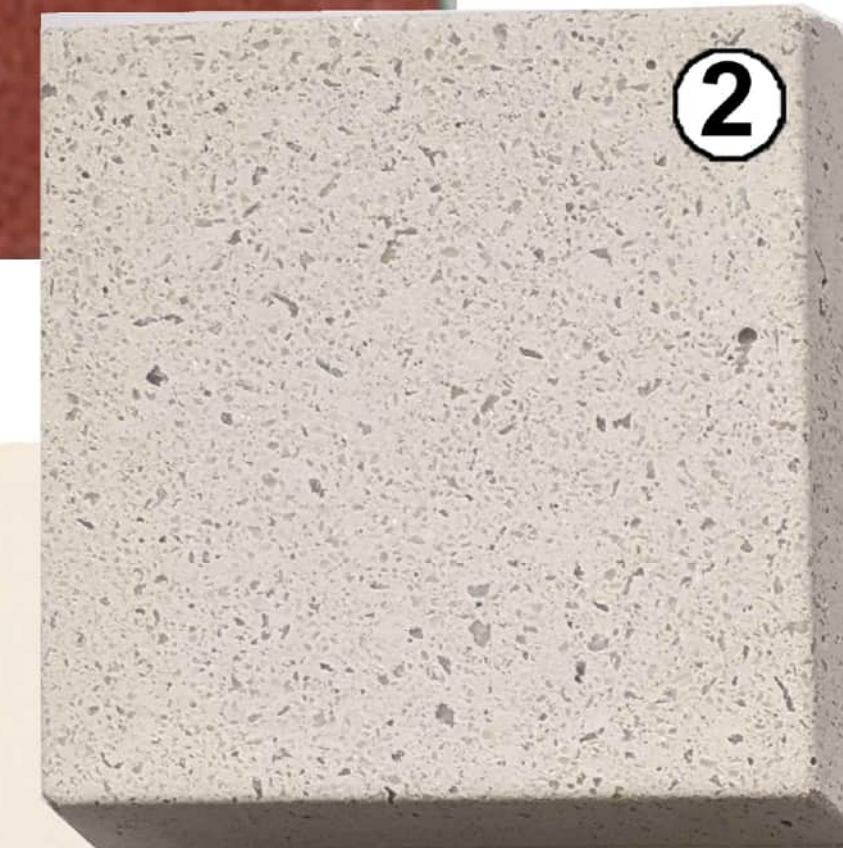
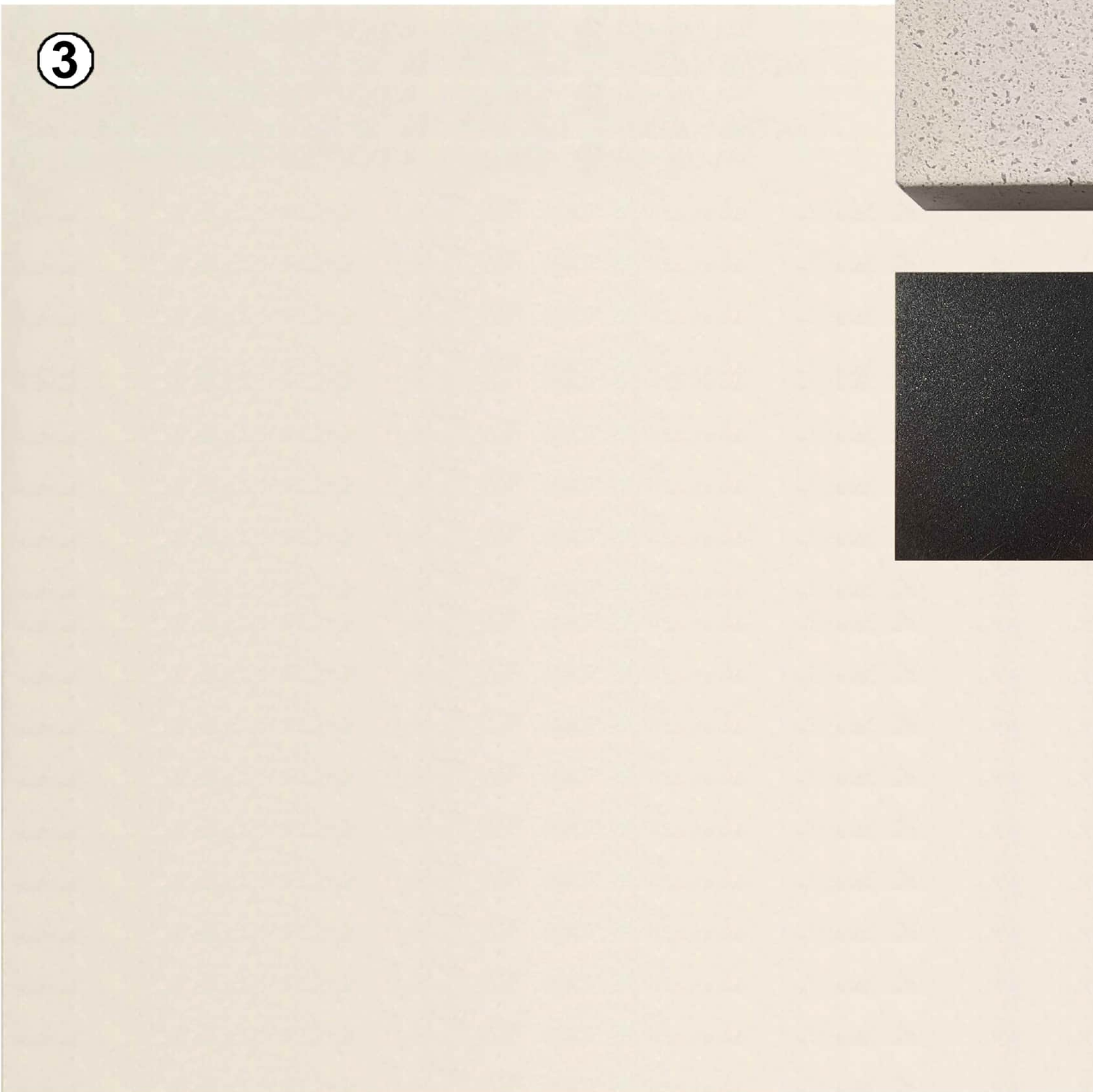
SHEET TITLE  
**NORTH SECTIONAL ELEVATION**

SHEET NUMBER **A-403** ISSUE

FOR BIRD-FRIENDLY GLASS CALCULATIONS REFER TO DRAWING A-502



Plotter: November 21, 2024 3:10:33 PM by Zhang, Ang  
Last Saved: November 21, 2024, by zhang4484  
File Location: J:\114655\_8001 Bathurst St Design (Work) Phase\Issued\2024-08-20 SPA\28001 Bathurst-SPAs\28001 Bathurst-Elevations.DWG



### 8001 BATHURST - MATERIAL SELECTION

1. Brick - Red Velour
2. Precast Masonry - Light Gray Sand Blasted Finish
3. Metal Panels - Off-White
4. Mullions / Metal Canopies - Gun Metal Color
5. Spandrel - Coastal Grey
6. Residential Glazing / Balcony Railings- Regular Clear
7. Bird Friendly Glazing -Fritted Dots On Surface #1 (spaced @ 50mmx50mm)

CLIENT  
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2	ISSUED FOR SPA 2	2024-09-05
3	ISSUED FOR COA	2024-11-21

REVISIONS

No.	DESCRIPTION	DATE



PROJECT  
**8001 BATHURST ST**  
BATHURST AND FLAMINGO VAUGHAN

PROJECT NO:  
**114655**  
DRAWN BY: **AZ** CHECKED BY: **GR**  
SCALE: **NTS** DATE:

SHEET TITLE  
**MATERIAL BOARD**

SHEET NUMBER **A-501** ISSUE

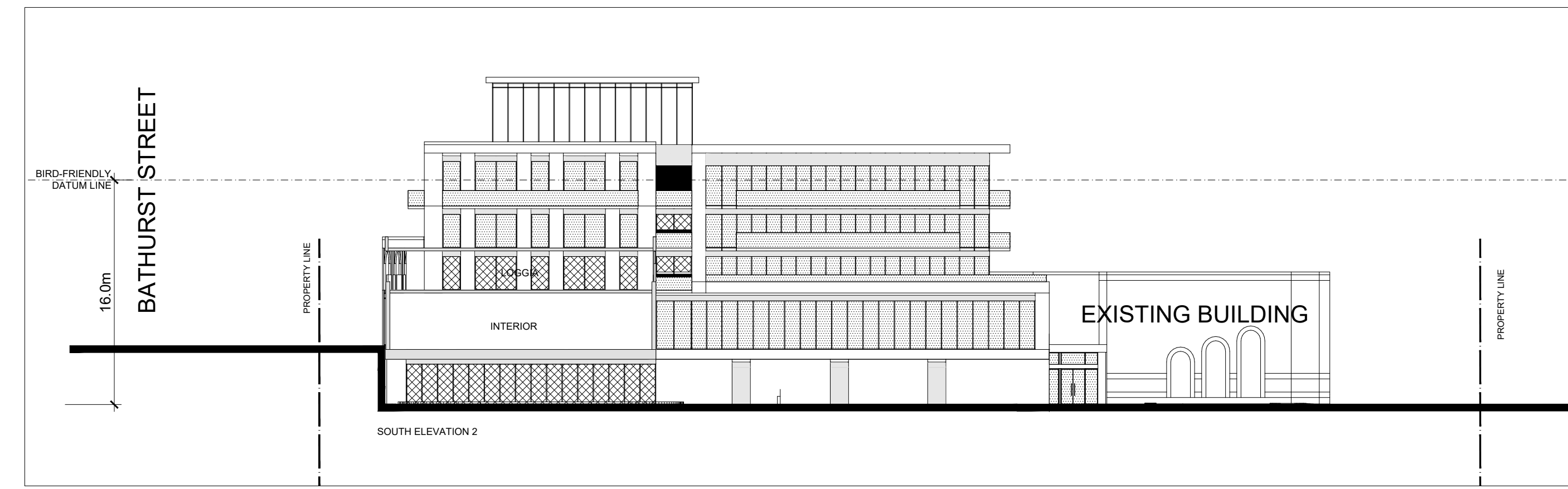
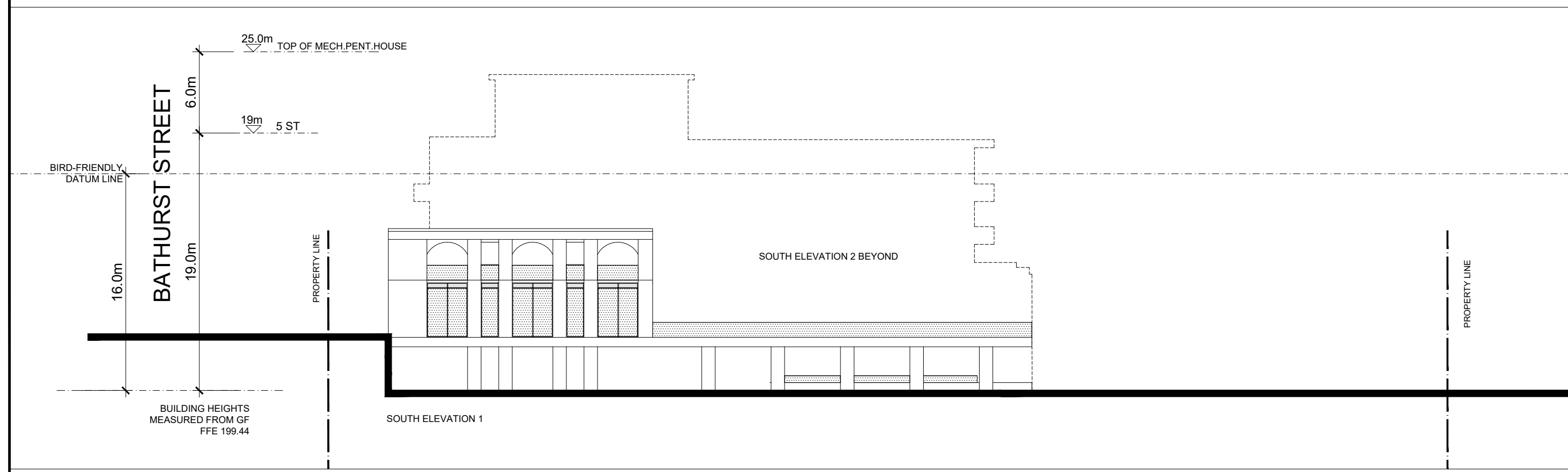
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No.	DESCRIPTION	DATE
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2	ISSUED FOR SPA 2	2024-09-05
3	ISSUED FOR COA	2024-11-21



**SOUTH ELEVATION**

GLASS AREAS WITHIN 16m:

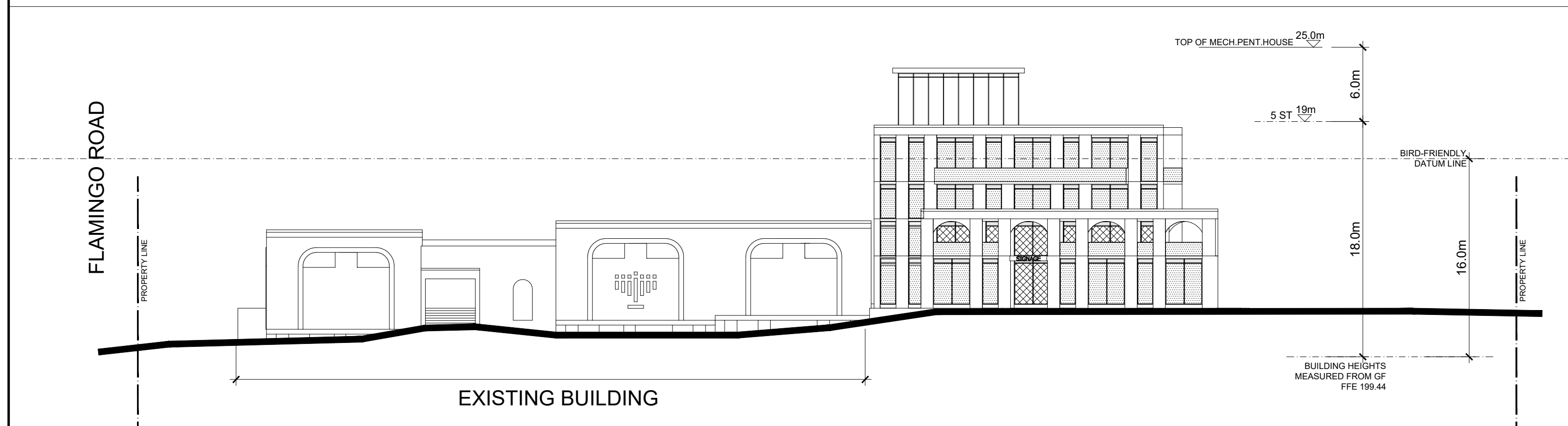
**TOTAL GLAZED AREA: 100%** (556.9 m<sup>2</sup>)  
**TOTAL TREATED: 99%** (551.6 m<sup>2</sup>)  
**TOTAL UNTREATED: 1%** (5.3 m<sup>2</sup>)

**UNTREATED:-**

CLEAR GLASS (5.3 m<sup>2</sup>, 1%)

**TREATED:-**

- SPANDREL (67.5 m<sup>2</sup>, 12%)
- SHADED (77.7 m<sup>2</sup>, 28%)
- FRITTED (406.4 m<sup>2</sup>, 56%)



**WEST ELEVATION**

GLASS AREAS WITHIN 16m:

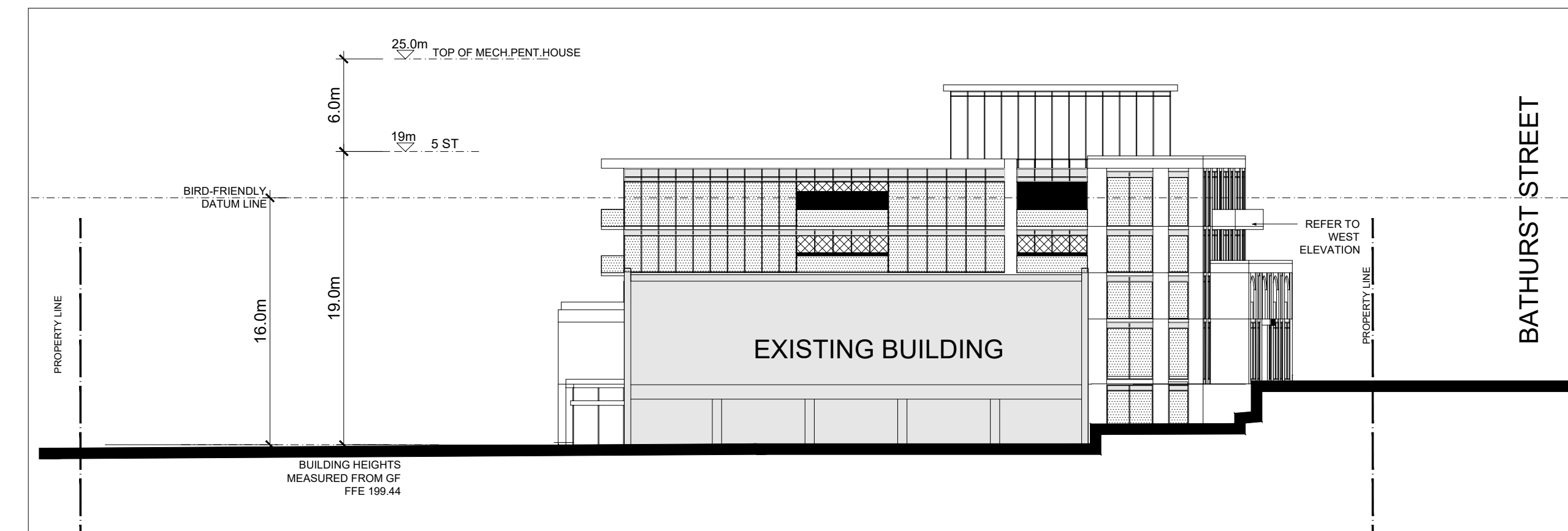
**TOTAL GLAZED AREA: 100%** (184.6 m<sup>2</sup>)  
**TOTAL TREATED: 100%** (184.6 m<sup>2</sup>)  
**TOTAL UNTREATED: 0%** (0 m<sup>2</sup>)

**UNTREATED:-**

CLEAR GLASS (0 m<sup>2</sup>, 0%)

**TREATED:-**

- SPANDREL (16.2 m<sup>2</sup>, 9%)
- SHADED (25.1 m<sup>2</sup>, 13%)
- FRITTED (143.3 m<sup>2</sup>, 78%)



**NORTH ELEVATION**

GLASS AREAS WITHIN 16m:

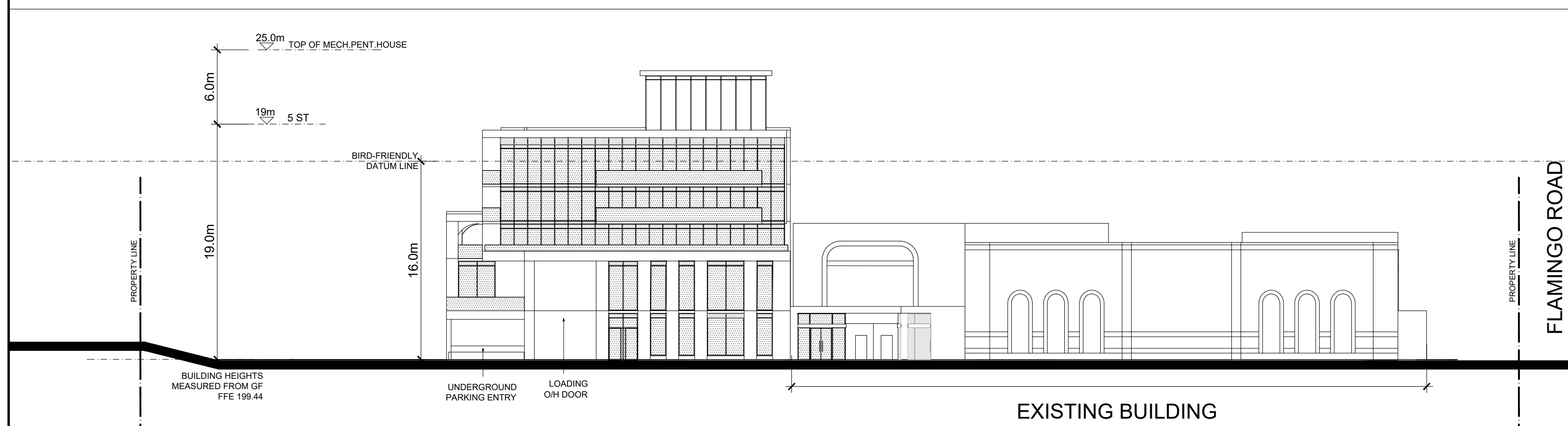
**TOTAL GLAZED AREA: 100%** (247.8 m<sup>2</sup>)  
**TOTAL TREATED: 93%** (230.9 m<sup>2</sup>)  
**TOTAL UNTREATED: 7%** (16.9 m<sup>2</sup>)

**UNTREATED:-**

CLEAR GLASS (16.9 m<sup>2</sup>, 7%)

**TREATED:-**

- SPANDREL (38.2 m<sup>2</sup>, 15%)
- SHADED (15.3 m<sup>2</sup>, 6%)
- FRITTED (177.4 m<sup>2</sup>, 72%)



**EAST ELEVATION**

GLASS AREAS WITHIN 16m:

**TOTAL GLAZED AREA: 100%** (289.2 m<sup>2</sup>)  
**TOTAL TREATED: 100%** (289.2 m<sup>2</sup>)  
**TOTAL UNTREATED: 0%** (0 m<sup>2</sup>)

**UNTREATED:-**

CLEAR GLASS (0 m<sup>2</sup>, 0%)

**TREATED:-**

- SPANDREL (38 m<sup>2</sup>, 13%)
- SHADED (0 m<sup>2</sup>, 0%)
- FRITTED (251.2 m<sup>2</sup>, 77%)

**OVERALL BIRD-FRIENDLY TREATMENT WITHIN FIRST 16M**

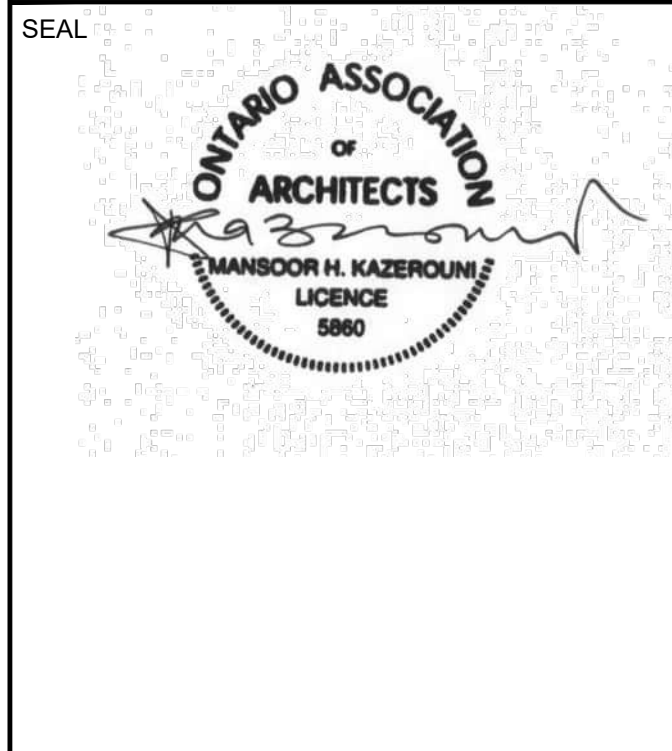
FACE	UNTREATED				TREATED			
	CLEAR	SHADED	FRITTED	SPANDREL	TREATED AREA	TOTAL AREA	%TREATED	
NORTH	16.9sm	15.3sm	177.4sm	38.2sm	230.9sm	247.8sm	93%	
SOUTH	19.3sm	155.2sm	313.5sm	67.5sm	536.2sm	555.5sm	96%	
EAST	0sm	0sm	251.2sm	38sm	289.2sm	289.2sm	100%	
WEST	0sm	25.1sm	143.3sm	16.2sm	184.6sm	184.6sm	100%	
<b>TOTAL</b>	<b>36.2sm</b>	<b>195.6sm</b>	<b>885.4sm</b>	<b>159.9sm</b>	<b>1240.9sm</b>	<b>1277.1sm</b>	<b>97%</b>	
	3%	15.3%	69.3%	12.4%				

BIRD FRIENDLY WHITE DOTTED FRITS APPLIED TO GLASS WITH A MAX SPACING OF 50mmX50mm

NOTE: 4M ABOVE ROOF TOP AMENITY/ GREEN ROOF 100% TREATED. FOR LOCATIONS REFER TO DWG A-104

NOTE: All heights measured from established grade elevation of 199.44

No.	DESCRIPTION	DATE
REVISIONS		



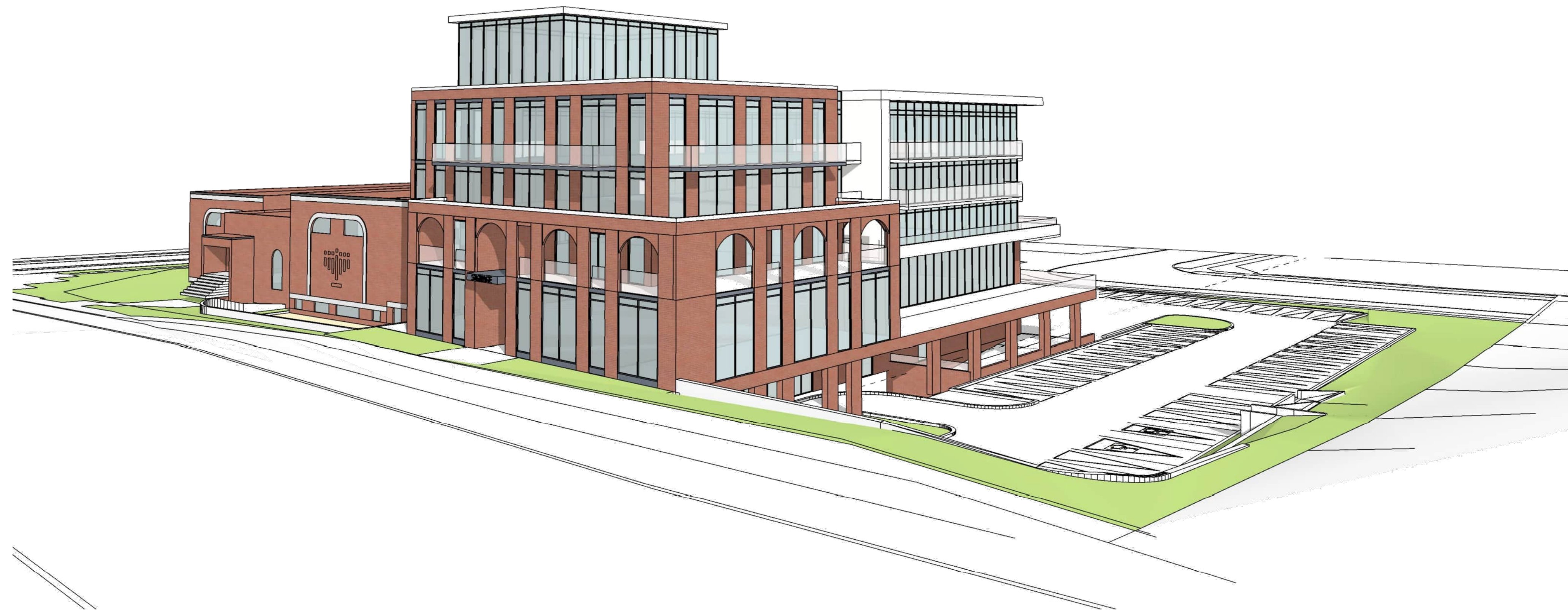
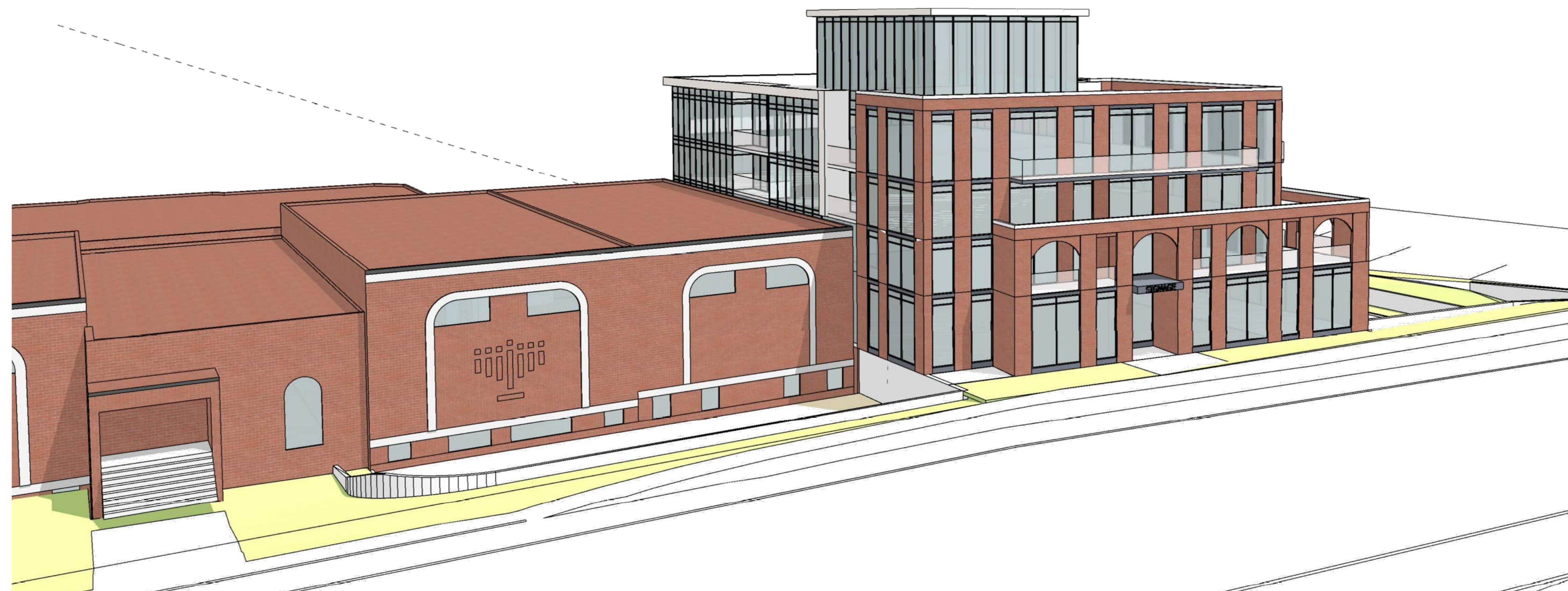
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PROJECT  
**8001 BATHURST ST**  
BATHURST AND FLAMINGO VAUGHAN

PROJECT NO:  
114655  
DRAWN BY:  
AZ  
SCALE:  
1:300  
CHECKED BY:  
GR  
DATE:

SHEET TITLE  
**BIRD FRIENDLY CALCULATIONS**

SHEET NUMBER  
**A-502**  
ISSUE



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3	ISSUED FOR COA	2024-11-21

No.	DESCRIPTION	DATE

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BATHURST AND FLAMINGO VAUGHAN

PROJECT NO:  
114655

DRAWN BY:  
**AZ**

CHECKED BY:  
**GR**

SCALE:  
**NTS**

DATE:

SHEET TITLE  
**3D VIEWS  
FROM WEST**

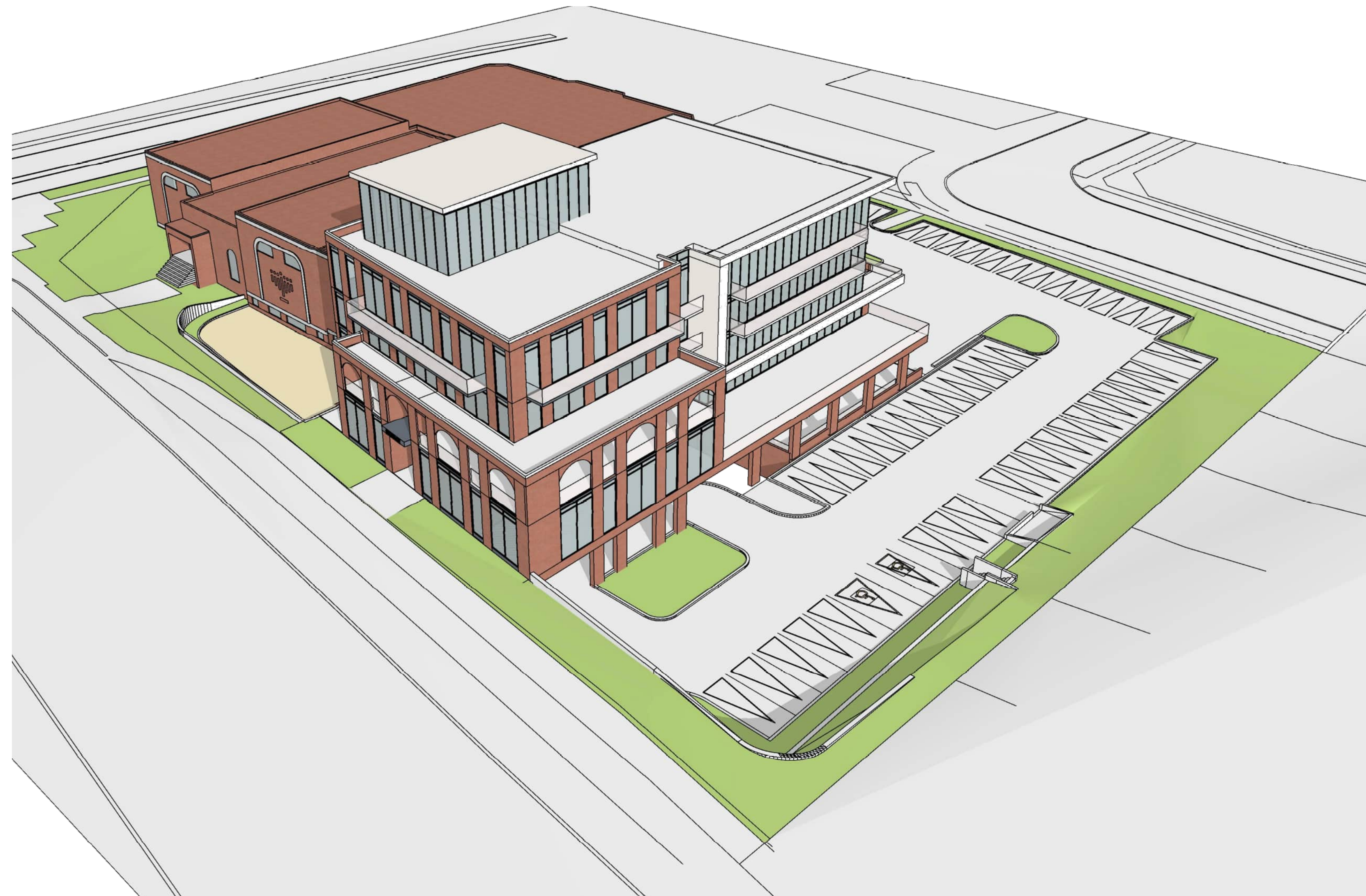
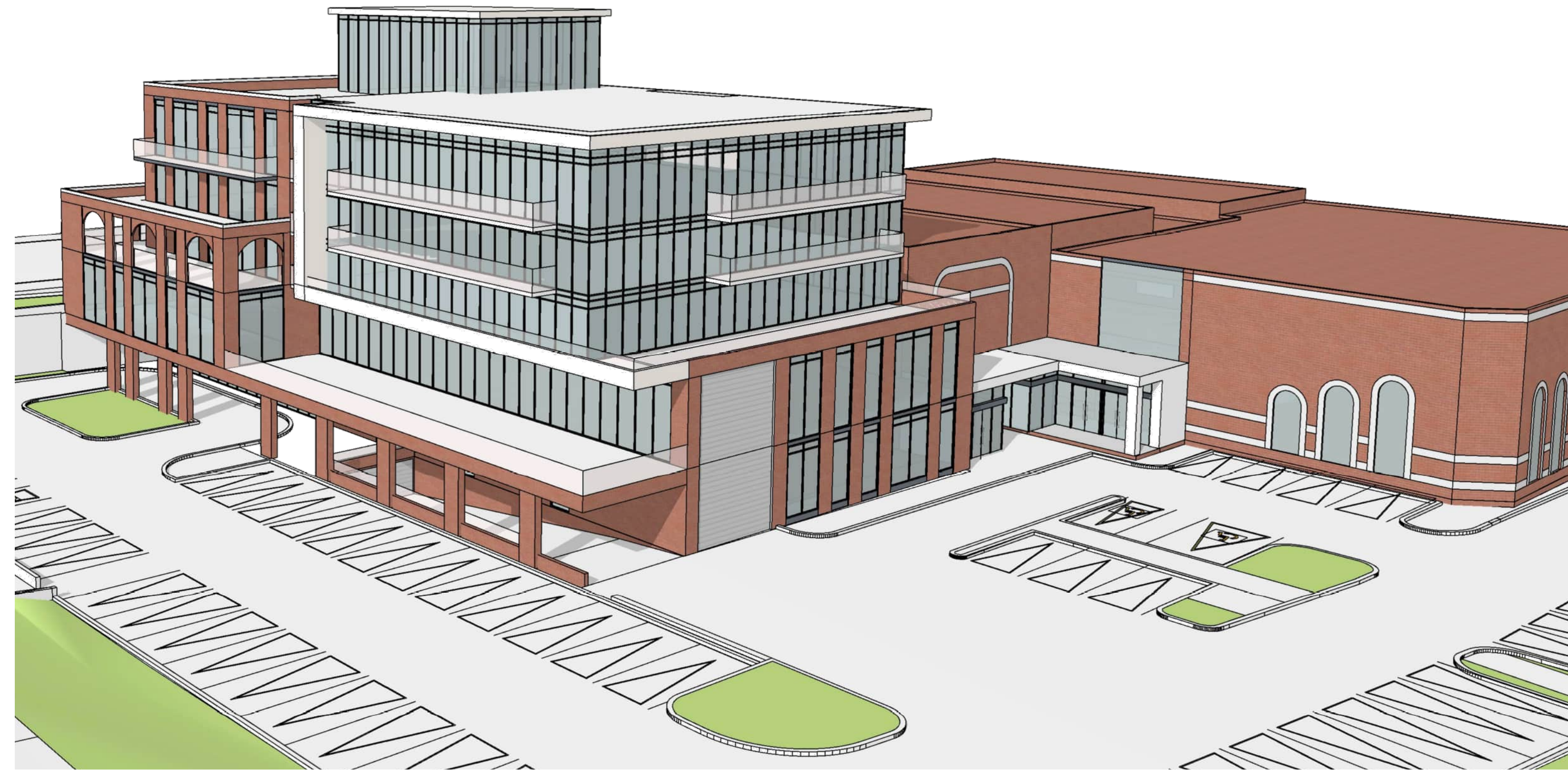
SHEET NUMBER

ISSUE

**A-601**

File Location: J:\114655\_8001 Bathurst St Design (Work) Phase\Issued\2024-08-20 SPA\28001 Bathurst SPA\28001 Bathurst-Elevations.DWG Last Saved: November 21, 2024, 3:10:48 PM by Zhang, Ang  
 Plotter: November 21, 2024, 3:10:48 PM by Zhang, Ang  
 1 in





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2	ISSUED FOR SPA 2	2024-09-05
3	ISSUED FOR COA	2024-11-21

No.	DESCRIPTION	DATE

REVISIONS

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PROJECT  
**8001 BATHURST ST**  
BATHURST AND FLAMINGO VAUGHAN

PROJECT NO:  
114655  
DRAWN BY:  
**AZ**  
SCALE:  
**NTS**  
CHECKED BY:  
**GR**  
DATE:

SHEET TITLE  
**3D VIEWS  
FROM SOUTH**

SHEET NUMBER  
**A-602**  
ISSUE

File Location: J:\114655\_8001 Bathursts 0 Design (Work) Phase\Issued\2024-08-20 SPA\28001 Bathurst-SPA\28001 Bathurst-Elevations.DWG Last Saved: November 21, 2024, 3:10:59 PM by Zhang, Ang  
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2	ISSUED FOR SPA 2	2024-09-05
3	ISSUED FOR COA	2024-11-21

No.	DESCRIPTION	DATE

REVISIONS

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PROJECT  
**8001 BATHURST ST**

BATHURST AND FLAMINGO VAUGHAN

PROJECT NO:  
114655

DRAWN BY: **AZ** CHECKED BY: **GR**

SCALE: **NTS** DATE:

SHEET TITLE  
**STREET VIEW 1**

SHEET NUMBER **A-603** ISSUE

Plotter: November 21, 2024 3:11:10 PM by Zhang, Ang  
Last Saved: November 21, 2024, by zhang4484  
File Location: J:\114655\_8001 Bathursts 0 Design (Work) Phase\Issued\2024-08-20 SPA\8001 Bathurst-SPA\20240820 Bathurst-Elevations.DWG



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No.	DESCRIPTION	DATE

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PROJECT  
**8001 BATHURST ST**

BATHURST AND FLAMINGO VAUGHAN

PROJECT NO:  
114655  
DRAWN BY:  
**AZ**  
SCALE:  
**NTS**  
CHECKED BY:  
**GR**  
DATE:

SHEET TITLE  
**STREET VIEW 2**

SHEET NUMBER	<b>A-604</b>	ISSUE
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**SCHEDULE B:  
COMMENTS FROM AGENCIES, BUILDING STANDARDS &  
DEVELOPMENT PLANNING**

<b>Internal Departments</b> <small>*Comments Received</small>	<b>Conditions Required</b>		<b>Nature of Comments</b>
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions

<b>External Agencies</b> <small>*Comments Received</small>	<b>Conditions Required</b>		<b>Nature of Comments</b> <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
MTO	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

**Date:** November 21<sup>st</sup> 2024

**Attention:** **Christine Vigneault**

**RE:** Request for Comments

**File No.:** **A177-24**

**Related Files:**

**Applicant:** Weston Consulting

**Location** 8001 Bathurst Street



Discover the possibilities

### COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

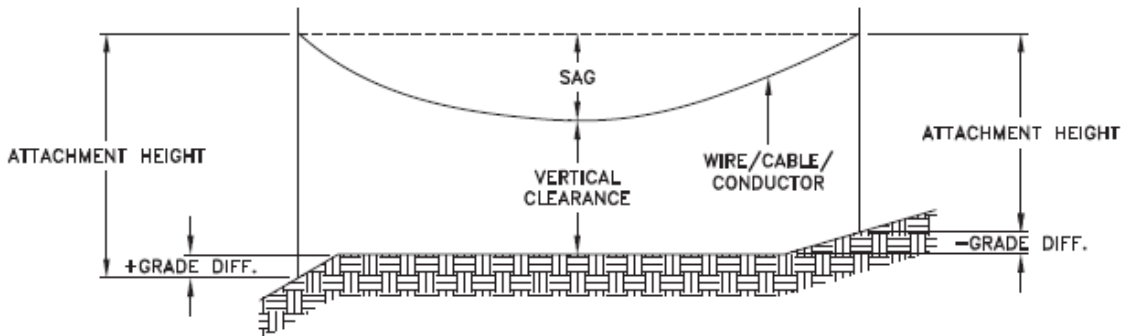
Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG  
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)  
 ± GRADE DIFFERENCE  
 + 0.3m (VEHICLE OR RAILWAY LOCATION)  
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

**NOTES:**

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

**CONVERSION TABLE**

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

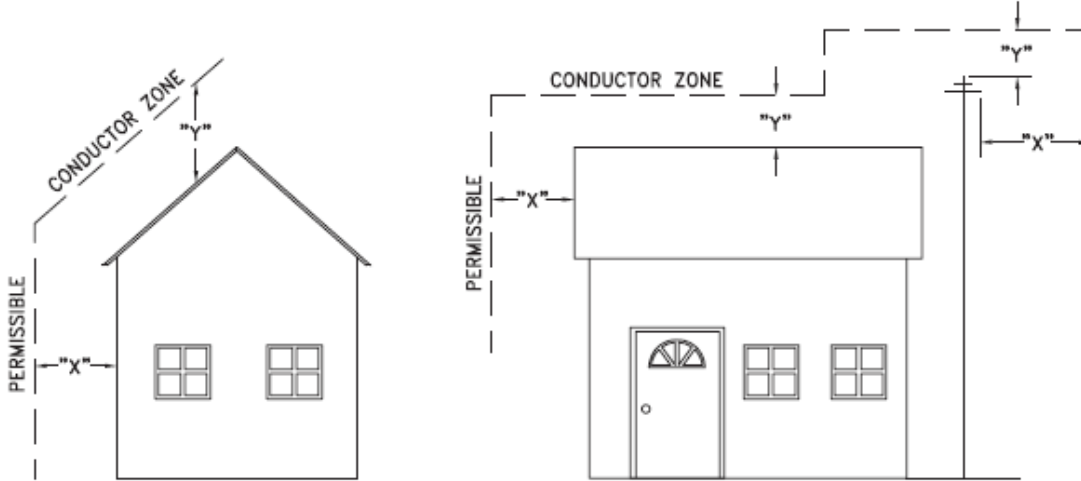
**REFERENCES**

SAGS AND TENSIONS | SECTION 02

**MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS**

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

**NOTES**

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

**MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)**

**Certificate of Approval**  
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04  
Debbie Dadwani, P.Eng. 2010-MAY-05  
Name Date  
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:  
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF



**To:** Committee of Adjustment  
**From:** Faegheh Gholami, Building Standards Department  
**Date:** November 21, 2024  
**Applicant:** Weston Consulting  
**Location:** 8001 Bathurst Street  
 PLAN 65M3182 Block 40  
**File No.(s):** A177/24

**Zoning Classification:**

The subject lands are zoned RA3(H) – Apartment Residential Zone and subject to the provisions of Exception 9(1552) under Zoning By-law 1-88, as amended.

<b>Zoning By-law 1-88</b>		<b>Variance requested</b>
1	Maximum height shall be 18 m for the residential building addition and 5.3 m for the mechanical penthouse. [9(1552.B.ei)]	To permit a maximum height of 18.7m for the residential building addition and 6.0m for the mechanical penthouse.
2	A minimum parking space length of 6.0m is required. [Section 2.0, Definitions]	To permit a minimum parking space length of 5.7m.
3	Compact parking space is not permitted.	To permit a total of 14 compact parking spaces measuring a minimum of 2.7m x 4.8m.
4	A minimum accessible parking space length of 6.0m is required. [3.8.1.d]	To permit a minimum accessible parking space length of 5.7m.

**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file

**Building Permit(s) Issued:**

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m<sup>2</sup>

**Other Comments:**

<b>Zoning By-law 001-2021</b>	
1	Transitioned

<b>General Comments</b>	
2	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
3	Please note that the compact parking spaces are included in the minimum required parking spaces.

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.

**From:** [Mulrenin, Colin \(MTO\)](#)  
**To:** [Committee of Adjustment Mailbox](#)  
**Subject:** [External] RE: A177/24 - 8001 BATHURST STREET - REQUEST FOR COMMENTS, CITY OF VAUGHAN  
**Date:** Thursday, November 21, 2024 3:59:39 PM  
**Attachments:** [image002.png](#)  
[image003.png](#)

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Good afternoon,

As this site is outside of MTO permit control, we have no comments.

**Colin Mulrenin (He/Him)**

Corridor Management Planner (York/Simcoe) | Highway Corridor Management Section  
Ministry Of Transportation | Ontario Public Service  
437-533-9427 | [colin.mulrenin@ontario.ca](mailto:colin.mulrenin@ontario.ca)

7<sup>th</sup> Floor  
159 Sir William Hearst Avenue  
Toronto ON Postal Code M3M 0B7



*Taking pride in strengthening Ontario, its places and its people*

**From:** [Kolet, Arieh \(MTO\)](#)  
**To:** [Committee of Adjustment Mailbox; Development Services](#)  
**Cc:** [Mulrenin, Colin \(MTO\)](#)  
**Subject:** [External] RE: A177/24 - 8001 BATHURST STREET - REQUEST FOR COMMENTS, CITY OF VAUGHAN  
**Date:** Tuesday, November 26, 2024 3:34:05 PM  
**Attachments:** [image003.png](#)  
[image004.png](#)

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To whom it may concern:

**Re: A177/24 - 8001 Bathurst St., Vaughan**

This site is outside of MTO permit control and hence we have no comments.

Regards,

**Arieh Kolet**

Senior Project Manager, York Region | Corridor Management / Operations Division  
Ministry of Transportation | Ontario Public Service  
(437) 833 9487 | [arieh.kolet@ontario.ca](mailto:arieh.kolet@ontario.ca)

**Ontario** 

*Taking pride in strengthening Ontario, its places and its people*

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**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer

**From:** Nancy Tuckett, Director of Development and Parks Planning

**Date:** November 27, 2024

**Name of Owner:** Philip Levine – Chabad Lubavitch of Southern Ontario

**Location:** 8001 Bathurst Street

**File No.(s):** A177/24

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**Proposed Variances (By-law 1-88):**

1. To permit a maximum height of **18.7 m** for the residential building addition and **6.0 m** for the mechanical penthouse.
2. To permit a minimum parking space length of **5.7 m**.
3. To permit a total of **14 compact parking spaces** measuring a minimum of 2.7 m x 4.8 m.
4. To permit a minimum accessible parking space length of **5.7 m**.

**By-Law Requirements (By-law 1-88):**

1. Maximum height shall be **18 m** for the residential building addition and **5.3 m** for the mechanical penthouse.
2. A minimum parking space length of **6.0 m** is required.
3. Compact parking space is not permitted.
4. A minimum accessible parking space length of **6.0 m** is required.

**Official Plan:**

Vaughan Official Plan 2010 ('VOP 2010'): "Mid-Rise Residential" by Schedule 13 – Land Use, subject to site-specific policy 13.67 (OPA #89) by Volume 2, Section 13.

**Background:**

On September 13, 2022, Vaughan Council approved an Official Plan Amendment and a Zoning By-law Amendment to redesignate and rezone the Subject Lands to permit the development of a five (5)-storey residential apartment building addition to an existing place of worship building. The Subject Lands were redesignated in the Official Plan from "Low-Rise Residential" to "Mid-Rise Residential" with a maximum height of 5 Storeys and a maximum density of 1.0 times the area of the lot ('FSI'), subject to Site-Specific Policy 13.67. The Subject Lands were rezoned in Zoning By-law 1-88 from "R2 Residential Zone" to "RA3(H) Apartment Residential Zone" with the Holding Symbol "(H)", subject to site-specific exception 9(1552).

On January 18, 2024, the Owner submitted Site Development Application File DA.24.004 to facilitate the development. The Site Development Application is still active and in-progress at the time of this report. The Owner submitted this minor variance application to address deficiencies identified through the Site Development Application review process.

**Comments:**

The Owner is seeking relief to permit additional height for the proposed residential apartment addition and mechanical penthouse, as well as for reduced parking space dimensions as set out in the above noted variances.

The Development and Parks Planning Department has no objection to Variance 1 to increase the maximum permitted height of the building addition from 18 m to 18.7 m and to increase the maximum permitted height of the mechanical penthouse from 5.3 m to 6.0 m. The 0.7 m increase in the height of the building addition has been proposed to facilitate additional headroom to accommodate a variety of technical features for the second and fifth storeys. The 0.7 m increase in the height of the mechanical penthouse is requested to accommodate oversized equipment proposed to be located in the mechanical penthouse.

The Subject Lands are designated with a maximum permitted height of 5 storeys and a maximum permitted density of 1.0 times the area of the lot. The Subject Lands are subject to site-specific exception 9(1552) under Zoning By-law 1-88, which permits a maximum building height of 18 m and a maximum mechanical penthouse height of 5.3 m. The proposed height of the building addition meets the general intent of the Official Plan and

Zoning By-law as they are technical in nature and do not result in additional storeys or FSI. The proposed development is reviewed under the previous Zoning By-law 1-88. The maximum permitted height of a mechanical penthouse under Zoning By-law 001-2021 is 8 m. Therefore if the proposed mechanical penthouse is reviewed under Zoning By-law 001-2021, it would be compliant. The proposed height of the mechanical penthouse meets the general intent of the Zoning By-law. The mechanical penthouse has a modest mass, and is setback approximately 7.5 m from the west lot line. Urban Design staff have reviewed the height variances and expect the massing impacts on the public realm at street level to be minimal. As such, the requested height variances are minor in nature and desirable for the development of the land.

The Development and Parks Planning Department has no objection to Variances 2 and 4 to reduce the minimum parking space lengths from 6.0 m to 5.7 m for standard parking spaces and barrier-free parking spaces. The proposed length of 5.7 m is compliant with standards in Zoning By-law 001-2021, but is identified as deficient when reviewed under Zoning By-law 1-88. Development Engineering staff have reviewed the reduced parking space lengths and do not have any concerns with accessibility and vehicular maneuverability.

The Development and Parks Planning Department has no objection to Variance 3 to permit a total of 14 compact parking spaces, measuring 2.7 m by 4.8 m in dimensions, to be located in the single-storey underground parking structure proposed on the Subject Lands. Policy 4.3.2.7 of the Official Plan speaks to the development of parking lots and parking structures, and places emphasis on the provision of a range of parking space types, including parking for smaller fuel efficient vehicles. Zoning By-law 001-2021 permits a maximum of 10% of the total required parking spaces to be compact parking spaces with a minimum dimension of 2.4 m by 4.8 m. The proposed development requires a total of 143 parking spaces, and the 14 proposed compact parking spaces is compliant under Zoning By-law 001-2021. Development Engineering staff have reviewed the dimensions of the proposed compact parking spaces and do not have any concerns with accessibility and vehicular maneuverability.

Accordingly, the Development and Parks Planning Department can support the requested variances and are of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

**Recommendation:**

The Development and Parks Planning Department recommends approval of the application.

**Condition of Approval:**

If the Committee finds merit in the application, the following condition of approval is recommended:

1. That all comments on Site Development Application DA.24.004 be addressed to the satisfaction of the Development and Parks Planning Department.

**Comments Prepared by:**

Harry Zhao, Planner 1  
Janany Nagulan, Senior Planner

**From:** [Cameron McDonald](#)  
**To:** [Committee of Adjustment Mailbox](#)  
**Subject:** [External] RE: A177/24 - 8001 BATHURST STREET - REQUEST FOR COMMENTS, CITY OF VAUGHAN  
**Date:** Thursday, November 21, 2024 12:00:35 PM  
**Attachments:** [image003.png](#)  
[image004.png](#)

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Hello,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from the TRCA.

Based on the above, we have no comments/requirements.

Regards,

**Cameron McDonald**

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:(437)880-1925)

E: [cameron.mcdonald@trca.ca](mailto:cameron.mcdonald@trca.ca)

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



## SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			10/10/2024	Application Cover Letter

Committee of Adjustment  
City of Vaughan  
2141 Major Mackenzie Drive  
Vaughan, Ontario L6A 1T1

October 10, 2024  
File 8651

**Attn: Christine Vigneault, Secretary Treasurer  
Committee of Adjustment**

**RE: Minor Variance Application  
8001 Bathurst Street, City of Vaughan  
Related File: DA.24.004**

Weston Consulting is the Planning Consultant for Chabad Lubavitch of Southern Ontario, the owner of 8001 Bathurst Street in the City of Vaughan (the 'Subject Property' or the 'site'). The Subject Property is located on the southeast corner of Bathurst Street and Flamingo Road in the community of Thornhill. The existing synagogue, known as the Chabad Flamingo, is located on the north end of the Subject Property and the remainder of the site is occupied by surface parking.

On September 13, 2022, site-specific Official Plan Amendment No. 89 ("OPA No. 89") and site-specific Zoning By-law ("ZBL") 197-2022 were adopted by Vaughan City Council to permit a five storey mixed-use addition to the existing synagogue. OPA No. 89 redesignates the Subject Property from *Low-Rise Residential* to *Mid-Rise Residential (H5;D1.0)* with site specific exceptions and ZBL 197-2022 rezones the Subject Property from *R2 Residential Zone* to *RA3(H) Apartment Residential Zone* subject to site specific exception 9(1552). On December 21, 2023, a Site Development Application (DA.24.005) was submitted to permit the development of a five storey mixed use building with 3,268 square metres of Gross Floor Area (GFA) in accordance with OPA No. 89 and ZBL 197-2022.

Comments from City Staff and external agencies were received in Q1 2024 and identified several deficiencies with respect to the required setback to below grade structure, canopy encroachment, setback to sight triangle, and rear yard setback. The application was revised to respond to the Comments and to address the zoning deficiencies and was resubmitted on September 19, 2024. However, in order to accommodate the required 1.8 metre setback from the exterior lot line to the below grade structure, the parking space dimensions were adjusted to be consistent with the standards established in By-law 1-21. In addition, through the detailed design of the building, it has been determined that additional height is required to accommodate the elevator overrun.

An application to the Committee of Adjustment is being submitted to seek relief from the ZBL with respect to parking space dimensions and maximum building height. The purpose of this letter is to provide a Planning mall car justification for the requested variances based on applicable planning policies and demonstrates how the requested variance satisfies the four tests for a minor variance pursuant to Section 45(1) of *The Planning Act*, 1990.



## Description of Proposed Development

The revised DA application submitted on September 19, 2024, contemplates a five-storey mixed use addition to the existing synagogue that provides a total Gross Floor Area (GFA) of 8,805 square metres, including 3,994 square metres of proposed new residential GFA, 3,744 square metres of existing institutional GFA and 1,068 square metres of proposed new institutional GFA. The addition extends from the existing synagogue towards the south property line and provides a total of 30 dwelling units in a mix of studio, one- two- and three-bedroom units. The addition also provides institutional space, complimentary to the synagogue, including an extension of the synagogue’s existing social hall, classrooms and a new men’s Mikvah. Access to the site is maintained from Flamingo Road and a significant amount of the existing parking is being relocated underground. The entrance to the underground parking garage is located at the southeast corner of the building and is buffered by landscaping to the surrounding residential area.

## Site and Surrounding Context

The Subject Property is approximately 8,834 square metres (2.2 acres) in size and has approximately 100.47 metres of frontage along Bathurst Street and approximately 62.68 metres of frontage along Flamingo Road. The site is occupied by the Chabad Flamingo Synagogue, which is a two and a half storey building, with an associated surface parking area. The existing synagogue is situated at the north end of the property with its main pedestrian entrance located along Flamingo Road. An existing pedestrian pathway is located along the eastern side of the Subject Property and provides a pedestrian connection to surrounding neighbourhood.

The Subject Property is designated *Mid-Rise Residential (H5;D1.0)* according schedule 13 (Land Use Designations) pursuant to OPA No. 89 to the Vaughan Official Plan (the “VOP”) and is zoned *RA3(H) Apartment Residential Zone* according to site specific ZBL 197-2022.

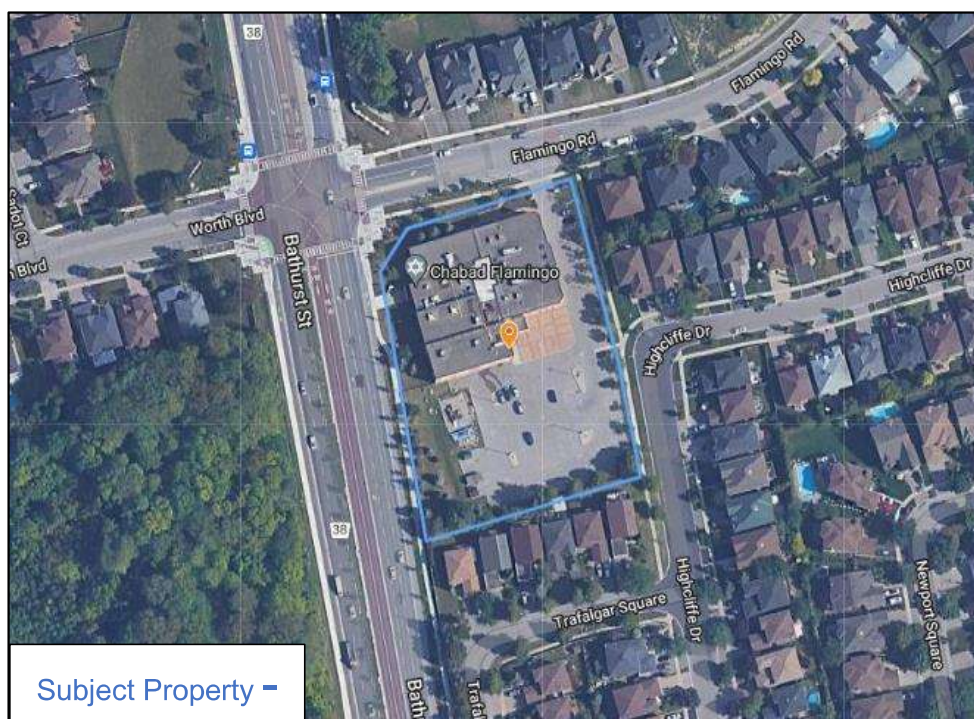


Figure 1 – Aerial Photo

Land uses in the near vicinity are as follows:

- North:** A residential neighbourhood comprised of one- and two-storey single detached dwellings are located on the north side of Flamingo Road, east of Bathurst Street. This use extends generally towards Highway 407.
- South:** Directly south of the Subject Property, east of Bathurst Street, is a residential neighbourhood consisting of one- and two-storey single detached dwellings. This use extends south to a commercial plaza located on the northeast corner of Bathurst Street and Atkinson Avenue. The Rosemount Community Centre and Bathurst District Park are also located south of the site on the west side of Bathurst Street. On the south side of Atkinson Avenue and New Westminster Drive is the Rosedale Heights Public School and the Wilshire Commercial Plaza.
- West:** West of the Subject Property, on the west side of Bathurst Street, is a residential neighbourhood comprised of one- and two-storey single detached dwellings located on the north and south side of Worth Boulevard. Forested lands are also located on the west side of Bathurst Street, south of Worth Boulevard and are designated as *Natural Area* by VOP.
- East:** East of the Subject Property is an existing residential neighbourhood consisting of one- and two-storey single detached dwellings. The Newport Square Park is located approximately 250 metres east of the Subject Property and further to the east is a golf course (Uplands Golf & Ski Club).

The Subject Property is located within a Settlement Area with a delineated built boundary is therefore an appropriate location for growth pursuant to the Provincial Policy Statement (2020 PPS) and A Place to Grow: Growth Plan for the Greater Golden Horseshoe (Growth Plan). According to the 2020 PPS, Settlement Areas are defined as urban areas within municipalities that are built-up and where development is concentrated through a mix of land uses. Policy 1.1.3.1 of the 2020 PPS states that *Settlement Areas shall be the focus of growth and development in Ontario*. Policy 2.2.1.2(a) of the Growth Plan further directs the vast majority of growth within the Greater Golden Horseshoe “to Settlement Areas that have a delineated built boundary”.

On October 20, 2024, the 2024 Provincial Planning Statement (2024 PPS) is scheduled to take effect and will replace the 2020 PPS and Growth Plan. According to Policy 2.3.1.1 of the 2024 PPS, *Settlement areas shall be the focus of growth and development. Within settlement areas, growth should be focused in, where applicable, strategic growth areas, including major transit station areas.*

## Purpose of the Application

The enclosed Minor Variance Application seeks relief from the Site Specific ZBL 197-2022 and ZBL 1-88, as amended, to permit reduced parking space dimensions, compact parking spaces, and increase maximum building height. Comments received from the Building Standards Department identified a Zoning deficiency with respect to the minimum required setback to below grade structures and the underground garage was shifted east to accommodate the required setback. However, due to the shift in the underground structure, compact parking spaces are required to maintain an efficient parking layout and meet the minimum required number of parking spaces established in ZBL 197-2022. The DA application has been determined to be transitioned in accordance with Subsection 1.6.2.6 and therefore is subject to Zoning By-law 1-88, as amended, only. Accordingly, the enclosed minor variance application seeks relief from ZBL 1-88 to implement the standards under ZBL 1-21 with respect to parking space dimensions and compact parking spaces.

An additional variance is being requested to permit a maximum height of 19 metres for the residential building and 6.0 metres for the mechanical penthouse (MPH) to ensure the proper operation of the elevator overrun. This represents a minor increase in height from the current maximum height of 18 m for the residential building and 5.3 m for the MPH.

The following chart outlines the variances being requested.

By-law	Section	Regulation	Requested Variance for 8001 Bathurst St	Drawing Number
1-88	2.0 Definitions: Parking Space	A rectangular area measuring at least 2.7 metres x 6.0 metres exclusive of any aisles or ingress and egress lanes, used for the temporary parking of motor vehicles, and shall include a private garage or carport and private driveway leading thereto.	Permit a reduced parking space length of 5.7 metres as described in Table 6-1 (Minimum Parking Space Dimensions) of Zoning By-law 1-21.	A-201: P1 Level Plan
1-21	6.3.4.2 Compact Motor Vehicle Parking Provisions	<p>1. For uses other than a single detached dwelling, semi-detached dwelling, street townhouse dwelling, block townhouse dwelling, or back-to-back townhouse dwelling, a maximum of 10% of the total required parking spaces shall be permitted for the purpose of compact motor vehicle parking.</p> <p>2. A parking space allocated to a compact motor vehicle shall be demarcated for the exclusive use of a compact motor vehicle and maintained as such.</p>	Permit a maximum of 10% of the total required parking spaces to be permitted for the purpose of compact motor vehicle parking as described in Section 6.3.4.2 Zoning By-law 1-21.	A-201: P1 Level Plan
197-2022	1.b).B.gi).i) Maximum Height	The maximum height shall be 18 metres for the residential building addition and 5.3 metres for the MPH.	Permit a maximum building height of 19 metres for the residential building addition and 6.0 metres for the MPH.	A-301, A302: Sections A-401-403: Elevations

## Planning Justification

The *Planning Act*, 1990 sets out the legal framework that governs the consideration for minor variance applications and Section 45 of the *Planning Act* authorizes the Committee of Adjustment to make decisions regarding minor variances applications. Pursuant to Section 45(1) of the *Planning Act*, minor variances must satisfy the following tests.

- The requested variances maintain the general intent and purpose of the Official Plan;
- The requested variances maintain the general intent and purpose of the Zoning By-law;
- The requested variances are desirable for the appropriate development or use of the land; and,
- The requested variances are minor in nature.

The section below demonstrates how the requested variances satisfy each test.

### 1. Maintains the General Intent and Purpose of the Official Plan

The Subject Property is located within the *Community Areas* and along a *Regional Intensification Corridor* according to Schedule 1 (Urban Structure) of the VOP. The site is also designated *Mid-Rise Residential (H5;D1.0)* according Schedule 13 (Land Use Designations) and pursuant to OPA No. 89. *Community Areas* are considered stable areas and are not intended to experience significant physical change that would alter the general character of established neighbourhoods. However, policy 2.2.3.2 of the VOP directs that *new development that respects and reinforces the existing scale, height, massing, lot pattern, building type, orientation, character, form and planned function of the immediate local area is permitted.*

*Regional Intensification Corridors* are considered *Intensification Areas* according to policy 2.2.1.2 of the VOP. These areas are intended to be primary locations to accommodate growth and the greatest mix of uses, heights and densities in accordance with the prescribed Urban Structure hierarchy established in the VOP. According to Section 2.2.5 of the VOP, *existing Community Areas will not see significant physical change as the vast majority of residential development within the built boundary will take place within Intensification Areas.*

According to policy 9.2.2.3 lands designated *Mid-Rise Residential* are generally located in *Intensification Areas* and shall be planned to consist of primarily residential buildings to help achieve the City's population and intensification targets. Permitted uses within the *Mid-Rise Residential* designation include residential units and community facilities (policy 9.2.2.3(b)) and permitted building types include Mid Rise Buildings (policy 9.2.2.3(c)). According to policy 13.67.1.2(i-ii) pursuant to OPA No. 89, a maximum building height of five storey and a maximum Floor Space Index (FSI) of 1.0 shall be permitted on the Subject Property.

The five-storey mixed-use addition is an appropriate form of development for the Subject Property based on its location along a *Regional Intensification Corridor*. The building has been designed to respect the existing and surrounding neighbourhood with respect to scale, massing, and orientation of the development and the mid-rise form and use is permitted. The requested variances will not significantly alter the form and use of the building and are therefore appropriate.

### Parking Space Dimensions

A minor variance is being requested to permit reduced parking space dimensions to provide a more efficient underground parking garage layout, meet the minimum number of required spaces, and implement the standards under Zoning By-law 1-21. The variance seeks a reduction in the required length of parking space from 6.0

metres to 5.7 metres, which represents a 0.3 metre reduction in length. No change to the parking ratio is proposed. Furthermore, no change to the building type is being proposed and the requested variance will not change the intended use of the Subject Property. The smaller parking spaces will support the five storey addition, which is an appropriate form of development for the Subject Property based on its location along a *Regional Intensification Corridor* and within the *Community Areas*. It should be noted that parking space dimensions are regulated by the Zoning By-law. As such, it is our opinion the variance to reduce the parking space dimension meets the general intent and purpose of the Official Plan.

### Compact Parking Spaces

A minor variance to permit compact parking spaces is being requested to support a more efficient parking layout and implement the standards under Zoning By-law 1-21. The compact parking spaces will not impact the ability to meet overall parking requirements and are not expected to have an impact on the surrounding area. No change to permitted use or building type is being requested. In our opinion, the variance to permit compact parking spaces meets the general intent and purpose of the Official Plan.

### Additional Height

A minor variance is being requested to permit an increase to the building height from 18 metres to 19 metres for the residential building and from 5.3 metres to 6 metres for the MPH. Policy 9.2.2.3(c) of the VOP permits a Mid Rise Building Type and policy 13.67.1.2(i-ii) of OPA No. 89 permits a maximum building height of five storeys and a maximum FSI of 1.0. The additional height is required to ensure the proper function of the mechanical elements of the elevator and will not change the number storeys or FSI. As such, it is our opinion that the variance to increase the maximum height of the building meets the general intent and purpose of the Official Plan.

## **2. Maintains the General Intent and Purpose of the Zoning By-law**

The Subject Property is zoned *RA3(H) Apartment Residential Zone*, subject to site specific *exception 9(1552)*, pursuant to site specific ZBL 197-2022. The site-specific ZBL establishes standards related to parking requirements, loading space requirements, landscape area, yard encroachments, building height and amenity areas. The Site Development Application (DA.24.005) has been determined to be transitioned in accordance with Subsection 1.6.2.6 and therefore is subject to Zoning By-law 1-88, as amended, only.

The DA application has been determined to be transitioned in accordance with Subsection 1.6.2.6 and therefore is subject to Zoning By-law 1-88, as amended, only. The enclosed minor variance application is being submitted to seek relief from the site specific ZBL and the parent ZBL 1-88 with respect to parking space dimensions and height. Section 1.b).B.ai) of site specific ZBL 197-2020 requires 0.86 parking spaces per residential unit (26 spaces) and 0.23 visitor parking spaces per dwelling unit (7 spaces) as well as 2.28 spaces per 100 square metres of institutional usage (110 spaces). The proposed development includes 151 parking spaces, including 26 residential spaces and 125 visitor/institutional spaces.

### Parking Space Dimensions

According to ZBL 1-88, Parking Space is defined as:

*a rectangular area measuring at least **2.7 metres by 6.0 metres**, exclusive of any aisles or ingress and egress lanes, used for the temporary parking of motor vehicles, and shall include a private garage or carport and private driveway leading thereto.*

A minor variance is being requested to permit an alternative dimension for parking spaces. Specifically, the variance seeks to permit parking spaces that measure at least 2.7 metres by 5.7 metres. This represents a 0.3 metre reduction in the length of the Parking Space. The proposed Parking Space dimension is consistent with the requirements established in section 6.3.1 of ZBL 1-21, which requires a minimum length of a parking space to be 5.7 metres. Council approved ZBL 1-21 reflects an updated standard for parking spaces and will contribute to the overall efficiency of the underground parking garage and provide the minimum number of required spaces. The requested variance does not require a change to the parking ratio established in the site specific ZBL. As such, it is our opinion that the requested variance maintains the general intent and purpose of the Zoning By-law.

### Compact Parking Spaces

A minor variance is being requested to permit a maximum of 10% of the total required parking spaces to be designated as compact motor vehicle parking. Compact parking spaces are not contemplated in the site specific ZBL or in ZBL 1-88. Permitting compact parking spaces will further implement the standards under ZBL 1-21, specifically regulation 6.3.4.2.1 which states,

*For uses other than a single detached dwelling, semi-detached dwelling, street townhouse dwelling, block townhouse dwelling, or back-to-back townhouse dwelling, a maximum of 10% of the total required parking spaces shall be permitted for the purpose of compact motor vehicle parking.*

The proposed development will provide 15 compact vehicle parking spaces that have a minimum width of 2.4 metres and a minimum length of 4.8 metres, in accordance with section 6.3.4.1 of ZBL 1-21. This represents 10% of the total number of parking spaces required. The requested variance will implement the updated zoning standards as approved by Council through ZBL 1-21 and still provides the minimum number of parking spaces for the intended use of the Subject Property. In our opinion, the requested variance to permit compact parking spaces maintains the general intent and purpose of the Zoning By-law.

### Additional Height

Site-specific ZBL 197-2022 establishes a maximum height of 18 metres for the residential building and 5.3 metres for the MPH. Through the detailed design of the building, it was determined that an additional one metre of height is required for the elevator overrun, which is a portion of the building's lift shaft that extends above the top landing of the elevator. The additional one-metre in height also requires an additional 0.7 metres for the MPH. Relief from ZBL 197-2022 is required to implement these standards. No other changes to the performance standards are required with respect to loading space requirements, landscape area, yard encroachments, and amenity areas. The additional height is not expected to have any impact on the surrounding area with respect to shadows and overlook and the overall building form and typology of the mid-rise building will not change. Accordingly, it is our opinion that the requested variance for additional height meets the general intent and purpose of the Zoning By-law.

## **3. Desirable for the Appropriate Use of the Land**

The Subject Property is located within the *Community Areas* and along a *Regional Intensification Corridor* and is therefore an appropriate location for development according to the prevailing policy framework set out in the VOP. The five-storey addition to the existing synagogue represents an appropriate scale of intensification that respects the surrounding neighbourhood. The use and building type are permitted within *Mid-Rise Residential*

designation and ZBL 197-2022. The requested variances are desirable as they support the intended use the Subject Property set out in OPA No. 89 and ZBL 197-2022.

#### Parking Space Dimensions

The alternative parking space dimensions will not interfere with the accessibility of the underground garage and contributes to a more efficient parking layout and ensuring the minimum required number of parking spaces can be achieved. As such, residents and visitors will have access to an adequate supply of parking without any impacts to the existing street parking capacity. The alternative dimensions are established in ZBL 1-21 and represent a Council approved updated standard for parking space dimensions. The variance will implement this standard without changing the parking ratio and therefore supports the intended use of the Subject Property. In our opinion, the requested variance is desirable and appropriate for the use of the land.

#### Compact Parking Spaces

The variance to permit compact parking spaces will also implement new standards established in ZBL 1-21. The compact spaces represent 10% of the total number of parking spaces and will not reduce the overall parking supply. This will ensure that congregation members and visitors will have adequate parking. Providing compact parking spaces further contributes to a more efficient parking layout and supports the intended use of the Subject Property while meeting the minimum number of required spaces. In our opinion, the variance to permit compact vehicle parking spaces is desirable and appropriate for the use of the land.

#### Additional Height

OPA No. 89 permits a five storey building and a maximum FSI of 1.0. Site specific ZBL 197-2022 permits a maximum height of 18 metres for the residential building and an additional height of 5.3 metres for the MPH. A variance is being requested to permit a maximum building height of 19 metres for the residential building addition and 6.0 metres for the MPH. The additional height is required to accommodate the elevator overrun. In our opinion, the requested variance is desirable and appropriate for the use of the land as it will not change the number of storeys or impact the FSI and supports the intended use and built form of the Subject Property.

### **4. Minor in Nature**

The Subject Property has been approved to permit a five storey residential addition to the existing synagogue that will provide 30 dwelling units and 151 parking spaces. Minor variances are being requested to seek relief from the ZBL with respect to maximum permitted height, alternative parking space dimensions, and to permit a portion of the overall number of parking spaces to allocated for compact vehicles. No changes to the use, budling type, built form, or FSI are being proposed through this application. The minor variance requested related to parking spaces will implement the standards established under ZBL 1-21.

#### Parking Space Dimensions

The proposed variance seeks to reduce the required parking space dimensions from 2.7 metres x 6.0 metres to 2.7 metres x 5.7 metres. This results in a 0.3 metre reduction to the length of parking spaces and will allow for a more efficient underground garage layout. The alternative parking space dimension will not impact the overall supply of parking spaces and does not require a change to the parking ratio established in the site specific ZBL ensuring all residents and visitors have access to parking. Furthermore, the parking space dimension is permitted under ZBL 1-21 and represents an update standard that was approved by Council. It is our opinion that the variance to permit a 0.3 reduction in parking space length is minor in nature.

### Compact Parking Spaces

The requested variance to permit compact motor vehicle parking spaces will implement Council direction established under ZBL 1-21. A maximum of 10% of the parking spaces will be demarcated as compact vehicle parking spaces, which is 15 parking spaces in total. The requested variance will not impact the overall supply of parking spaces. Accordingly, the requested variance is minor in nature.

### Additional Height

The requested variance seeks to increase the maximum permitted building height by one metre for the residential building and 0.7 metres for the MPH. The additional height is required for the elevator overrun. The additional height is not expected to create significant shadow impact on surrounding lands, will not impact the built form of the building, will not add extra storeys, and maintains the maximum permitted FSI of 1.0 times coverage. In our opinion, the requested variance to increase the maximum permitted height is minor in nature.

### **Conclusion**

We are of the opinion that the proposed minor variances meet the general intent and purpose of the Official Plan and Zoning By-laws, are desirable and appropriate for the use of land, and are minor in nature. In our opinion, the criteria prescribed by Section 45(1) of the Planning Act are satisfied.

We are of the opinion that the proposed application has merit and represents good planning and should be approved. We request that the enclosed application be considered and approved by the Committee of Adjustment. The following materials have been submitted in support of the proposed Minor Variance Application:

1. Owner Authorization Form
2. Authorizing Statements
3. Sworn Declaration Form
4. Tree Declaration Form
5. Chart – Confirm Variances Requested
6. Chart – Property Setbacks for all Existing and Proposed Structures
7. Chart – Size of all Existing and Proposed Structures
8. Architectural Material prepared by Arcadis.

We request that the enclosed be processed and circulated at the earliest available opportunity so that fees may be confirmed and paid. Should there be any questions or additional information that is required, please do not hesitate to contact the undersigned at extension 329, or Michael Pizzimenti at extension 365.

Yours truly,

**Weston Consulting**

**Per:**



Darrin Cohen, MCIP, RPP  
Senior Planner



Cc: Chabad Lubavitch of Southern Ontario

## SCHEDULE D: BACKGROUND

Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
A287/13	Minor variance application approved by COA

# **NOTICE OF DECISION**

## **MINOR VARIANCES**

**FILE NUMBER:** A287/13

**APPLICANT:** CHABAD LUBAVITCH OF SOUTHERN ONTARIO

**PROPERTY:** Part of Lots 33 and 34, Concession 1 (Block 40, Registered Plan 65M-3182, municipally known as 8001 Bathurst Street, Thornhill).

**ZONING:** The subject lands are zoned R2, Residential Zone under By-law 1-88 as amended.

**PURPOSE:** To permit the maintenance of the existing two-storey synagogue/private school.

**PROPOSAL:** 1. To maintain a minimum exterior side yard setback of 7.7m to the covered landing.  
2. To maintain a minimum interior side yard setback of 13.55m to the addition.

**BY-LAW REQUIREMENT:** 1. Minimum 15m exterior side yard setback.  
2. Minimum 15m interior side yard setback.

**BACKGROUND INFORMATION:** Other Planning Act Applications  
The land which is the subject in this application was also the subject of another application under the Planning Act:  
Minor Variance Application  
**A297/97 - APPROVED - JAN 8/98:** min. front yard setback (Flamingo Road) 9m, ext. side yard setback (Bathurst Street) 9m and site triangle setback 6m.  
**A275/04 - APPROVED - Feb 23/06:** min. FYS of 7m to the proposed addition; min ESYS of 8me to the covered landing; min. ESYS of 11.68m to the new addition; min landscape strip of 1.55m wide abutting an OS1 zone (east side); min. landscape strip of 1.5m wide abutting a street (location of the outdoor play area along Bathurst); Outdoor play area located within landscaped area; min. ISYS of 13.75m to the addition; min. of 123 parking spaces on site and a max. lot coverage of 26.3%  
Site Plan Application  
**DA.97.059 - Council APPROVED Feb. 13/06.**

A sketch is attached illustrating the request.

**MOVED BY:** \_\_\_\_\_



**SECONDED BY:** \_\_\_\_\_

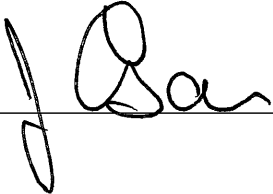


THAT the Committee is of the opinion that the variance sought, can be considered minor and is desirable for the appropriate development and use of the land. The general intent and purpose of the By-law and the Official Plan will be maintained.

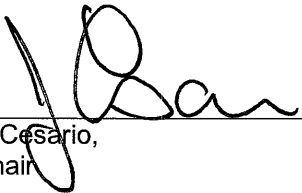
THAT Application No. **A287/13, CHABAD LUBAVITCH OF SOUTHERN ONTARIO**, be **APPROVED**, in accordance with the sketches attached

THIS MINOR VARIANCE DECISION IS NOT A BUILDING PERMIT AUTHORIZING CONSTRUCTION UNDER THE BUILDING CODE ACT, R.S.O. 1990, AS AMENDED. A BUILDING PERMIT MAY BE REQUIRED. PLEASE CONTACT THE BUILDING STANDARDS DEPARTMENT IN THE EVENT THAT YOU REQUIRE FURTHER CLARIFICATION.

CARRIED.

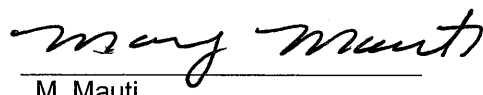
CHAIR: 

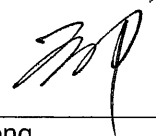
Signed by all members present who concur in this decision:

  
J. Cesario,  
Chair

  
A. Perrella,  
Vice Chair


  
L. Fluxgold,  
Member

  
M. Mauti,  
Member

  
H. Zheng,  
Member

**CERTIFICATION**

I hereby certify this to be a true copy of the decision of the Committee of Adjustment, and this decision was concurred in by a majority of the members who heard this application.

  
Todd Coles, BES, MCIP, RPP  
Manager of Development Services  
and Secretary-Treasurer to  
Committee of Adjustment

**Date of Hearing:                    OCTOBER 3, 2013**  
**Last Date of Appeal:            OCTOBER 23, 2013**

**APPEALS**

**APPEALS MUST BE RECEIVED BY THIS OFFICE NO LATER THAN 4:30 P.M. ON THE LAST DATE OF APPEAL NOTED ABOVE.**

Should you decide to appeal this decision to the Ontario Municipal Board, a copy of an appeal form is available for download in Microsoft Word and Adobe Acrobat versions from the Ontario Municipal Board website at [www.omb.gov.on.ca](http://www.omb.gov.on.ca). If you do not have Internet access, these forms can be picked up at the City of Vaughan, Committee of Adjustment offices.

Please fill out Form A1 and follow the instructions as provided by the Ontario Municipal Board and submit your appeal to the City of Vaughan, Committee of Adjustment on or before the date stated above. You must enclose the completed form with the \$650.00 processing fee, paid by **certified cheque** or **money order**, to the "TREASURER, CITY OF VAUGHAN" and the appeal fee of \$125.00 for each application appealed, paid by **certified cheque** or **money order**, made payable to the "ONTARIO MINISTER OF FINANCE".

**NOTE:** The Planning Act provides for appeals to be filed by "persons". As groups or associations, such as residents or ratepayers groups which do not have incorporated status, may not be considered "persons" for the purposes of the Act, groups wishing to appeal this decision should do so in the name of individual group members, and not in the name of the group.

**CONDITIONS**

IF ANY CONDITIONS ARE IMPOSED ON THIS APPLICATION, THE FINAL DATE FOR FULFILLING THEM IS: **OCTOBER 23, 2014**

**FLAMINGO ROAD**

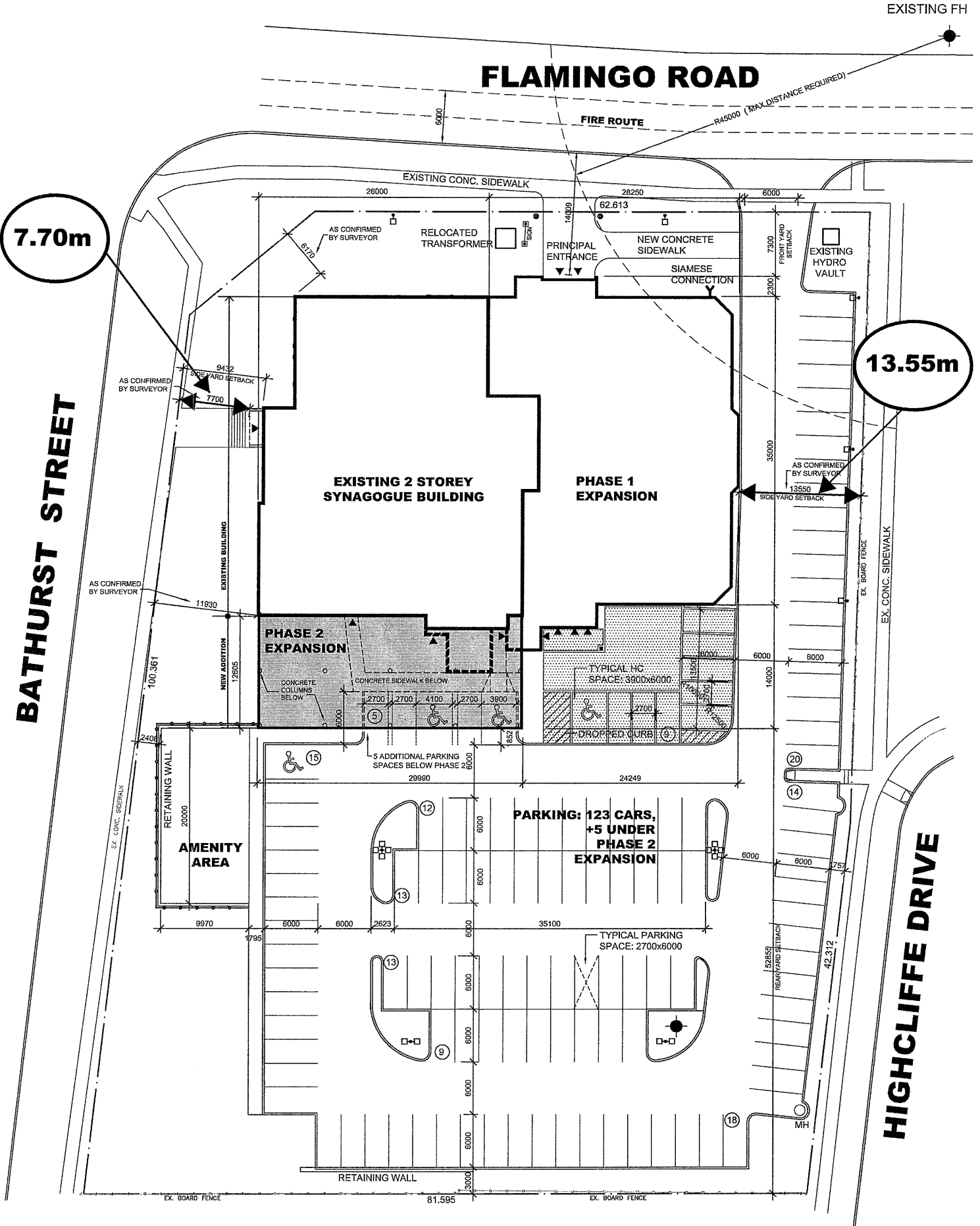
EXISTING FH

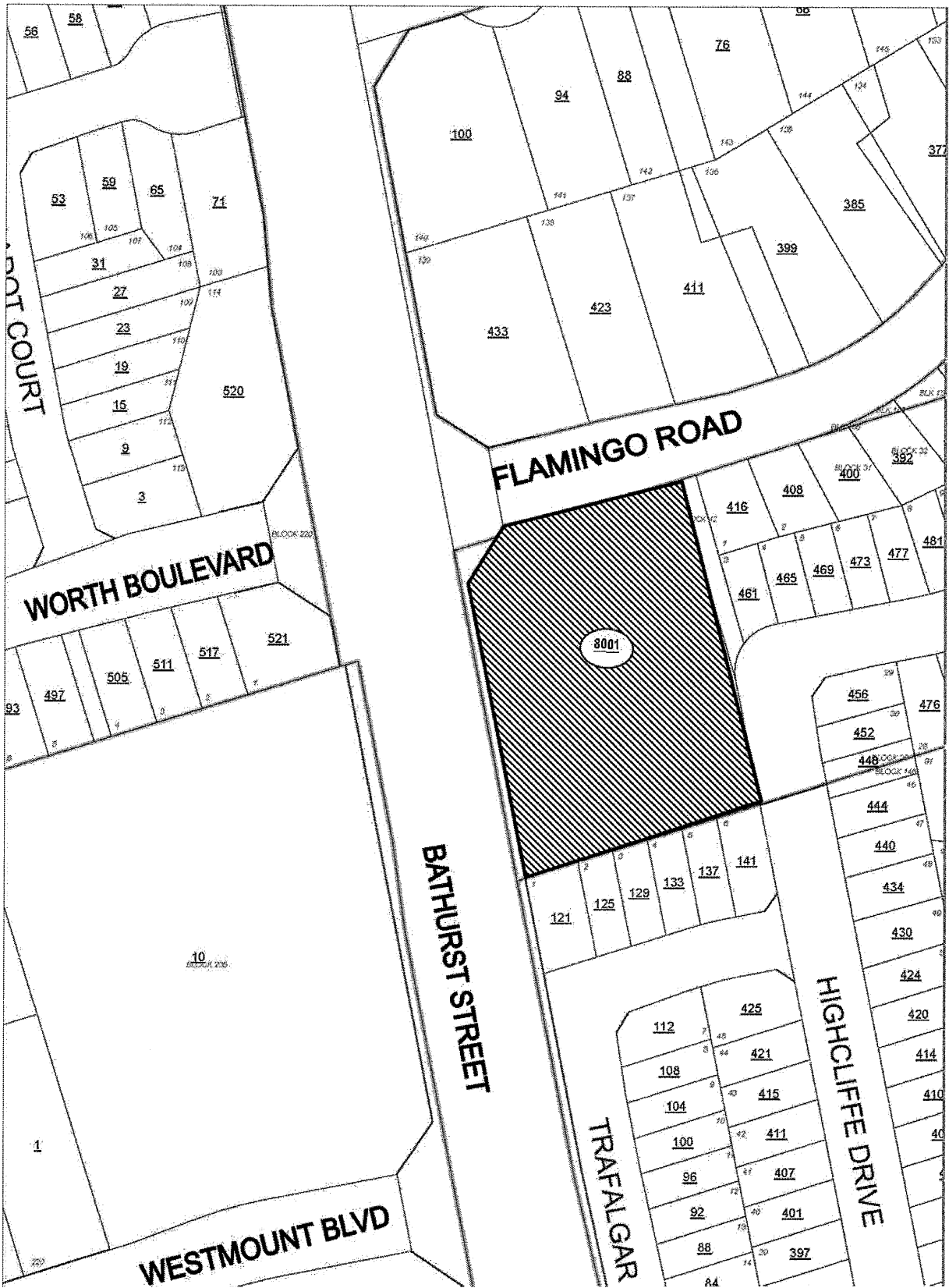
7.70m

13.55m

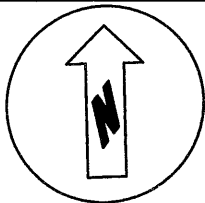
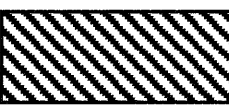
**BATHURST STREET**

**HIGHCLIFFE DRIVE**





COMMITTEE OF ADJUSTMENT  
 2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1  
 Phone: (905)832-8585 Fax: (905)832-8535

	FILE NUMBER:	<b>A287/13</b>
	APPLICANT:	<b>CHABAD LUBAVITCH OF SOUTHERN ONTARIO</b>
		<b>Subject Area</b> Municipally known as 8001 Bathurst Street, Thornhill