

ITEM: 6.2	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A078/24
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Report Date: November 29, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Forestry	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
<p>All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.</p>				
Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
Applicant			10/31/2024	Application Cover Letter

BACKGROUND (SCHEDULE D, IF REQUIRED)	
<p><small>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</small></p>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
A006/16	Minor Variance Application; Approved by COA
A135/13 & A136/13	Minor Variance; Approved by COA
B008/13	Consent; Approved by COA
B016/17	Consent; Approved by COA

ADJOURNMENT HISTORY	
<small>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</small>	
Hearing Date	Reason for Adjournment (to be obtained from NOD_ADJ)
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



**MINOR VARIANCE APPLICATION
FILE NUMBER A078/24
376 Stegman's Mill Rd, Kleinburg**

CITY WARD #:	1
APPLICANT:	Josephine & Mario Zuccaro
AGENT:	Harshinder Sidhu (EMC Group Limited)
PROPERTY:	376 Stegman's Mill Road, Kleinburg
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential".
RELATED DEVELOPMENT APPLICATIONS:	N/A
PROPOSAL:	Relief from the Zoning By-law is being requested to permit an addition to the existing dwelling. The addition to the existing dwelling is intended to provide a new garage and master bedroom.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R1B (EN) – First Density Residential Zone (Established Neighbourhood) under Zoning By-law 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	A minimum setback of 12 m from the rear lot line to an addition to an existing dwelling is required.	To permit a minimum setback of 5.14 m from the rear lot line to an addition to an existing dwelling.

HEARING INFORMATION

DATE OF MEETING: Thursday, December 5, 2024
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

INTRODUCTION

That the general intent and purpose of the by-law will be maintained.
 That the general intent and purpose of the official plan will be maintained.
 That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
 That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Posted Online:	November 21, 2024
Date Applicant Confirmed Posting of Sign:	November 20, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	The purpose of this application to permit the construction of a proposed addition on the west side of the existing dwelling.
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
<p>Due to the postal workers' strike, residents might experience delays in receiving public hearing notices by mail. However, the Committee of Adjustment remains committed to providing public notifications of upcoming hearings as per the Planning Act and its regulations. We will continue to:</p> <ul style="list-style-type: none"> Publish hearing notices on the municipal website. Post links to agendas and application information on our webpages. Email links to hearing agendas to community associations, Councillors' offices and other contacts. Ensure a public hearing notice is posted on the property subject to an application. <p>For more information on Public Notices and to search for notices related to upcoming Council or Committee meetings, please visit: Public Notices City of Vaughan</p>	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

The Owner / Applicant shall ensure that the proposed addition to existing residence to provide a new garage and master bedroom does not negatively impact neighbours due to surface water runoff. The property should be properly graded, ensuring that surface water from the proposed addition does not flow onto adjacent lots. It's important to note that additions more than 40 m² necessitate a Grading Permit. Once the Grading Permit is obtained, please reach out to the Development Engineering Reviewer to clear the Condition imposed on this application. The proposed work by the Owner / Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer. The Development Engineering Department does not object to the Minor Variance application A078/24, subject to the following condition(s):

Development Engineering Recommended Conditions of Approval:	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or
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DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: [Permits | City of Vaughan](#) to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca

PARKS, FORESTRY & HORTICULTURE (PFH)

Conditions of approval listed below:

PFH Recommended Conditions of Approval:

Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to any construction works on the subject property.

DEVELOPMENT FINANCE

No comment no concerns

Development Finance Recommended Conditions of Approval:

None.

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comment no concerns

BCLPS Recommended Conditions of Approval:

None.

BUILDING INSPECTION (SEPTIC)

No comment no concerns

Building Inspection Recommended Conditions of Approval:

None.

FIRE DEPARTMENT

No comment no concerns

Fire Department Recommended Conditions of Approval:

None.

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Engineering Rex.bondad@vaughan.ca	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
2	Parks, Forestry and Horticulture Operations zachary.quizzetti@vaughan.ca	Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to any construction works on the subject property.

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

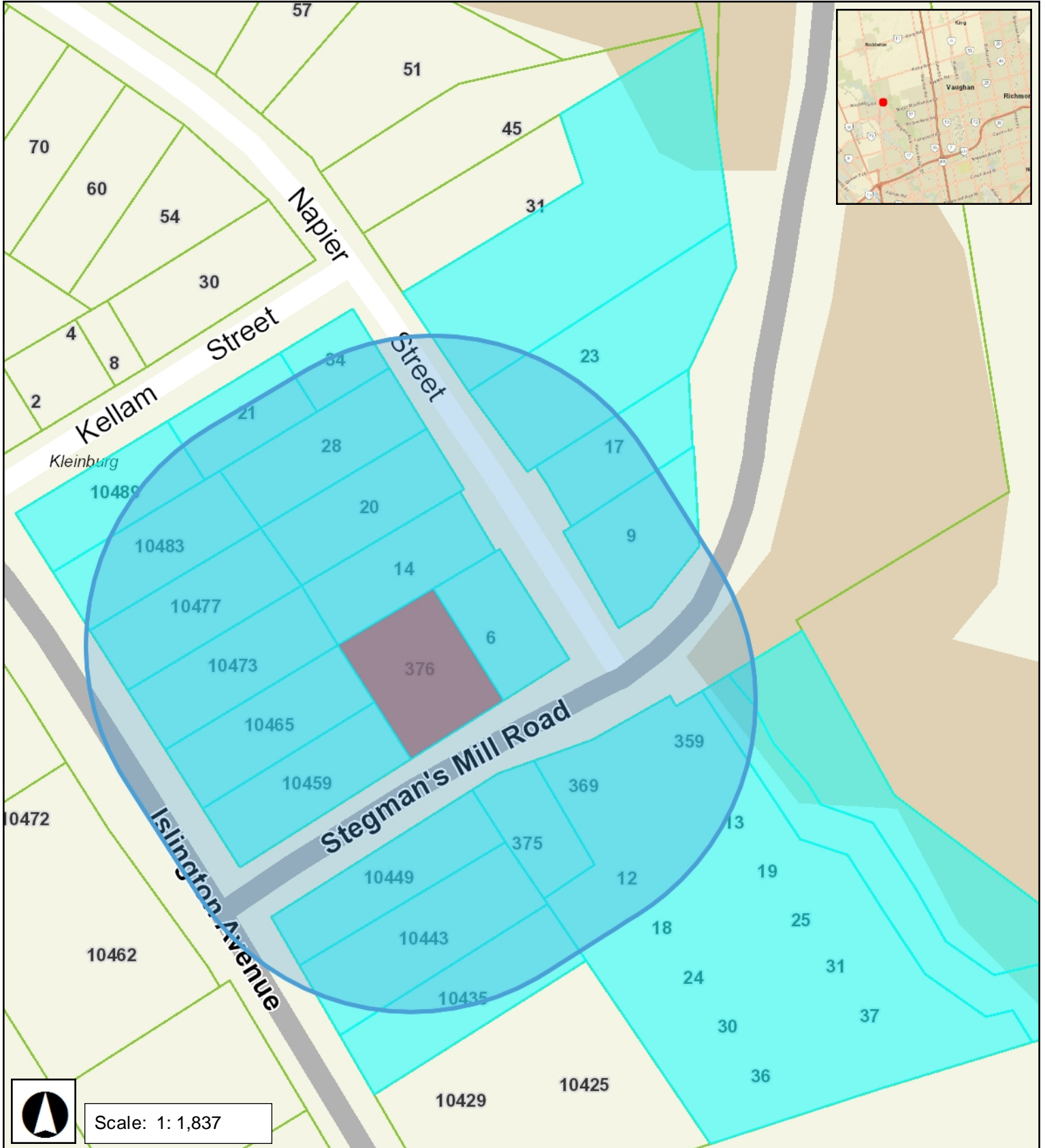
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS

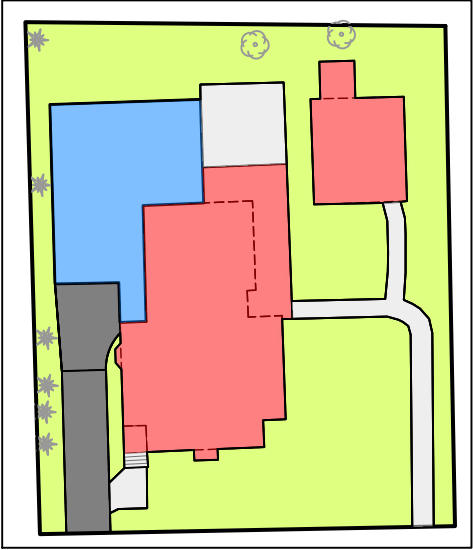
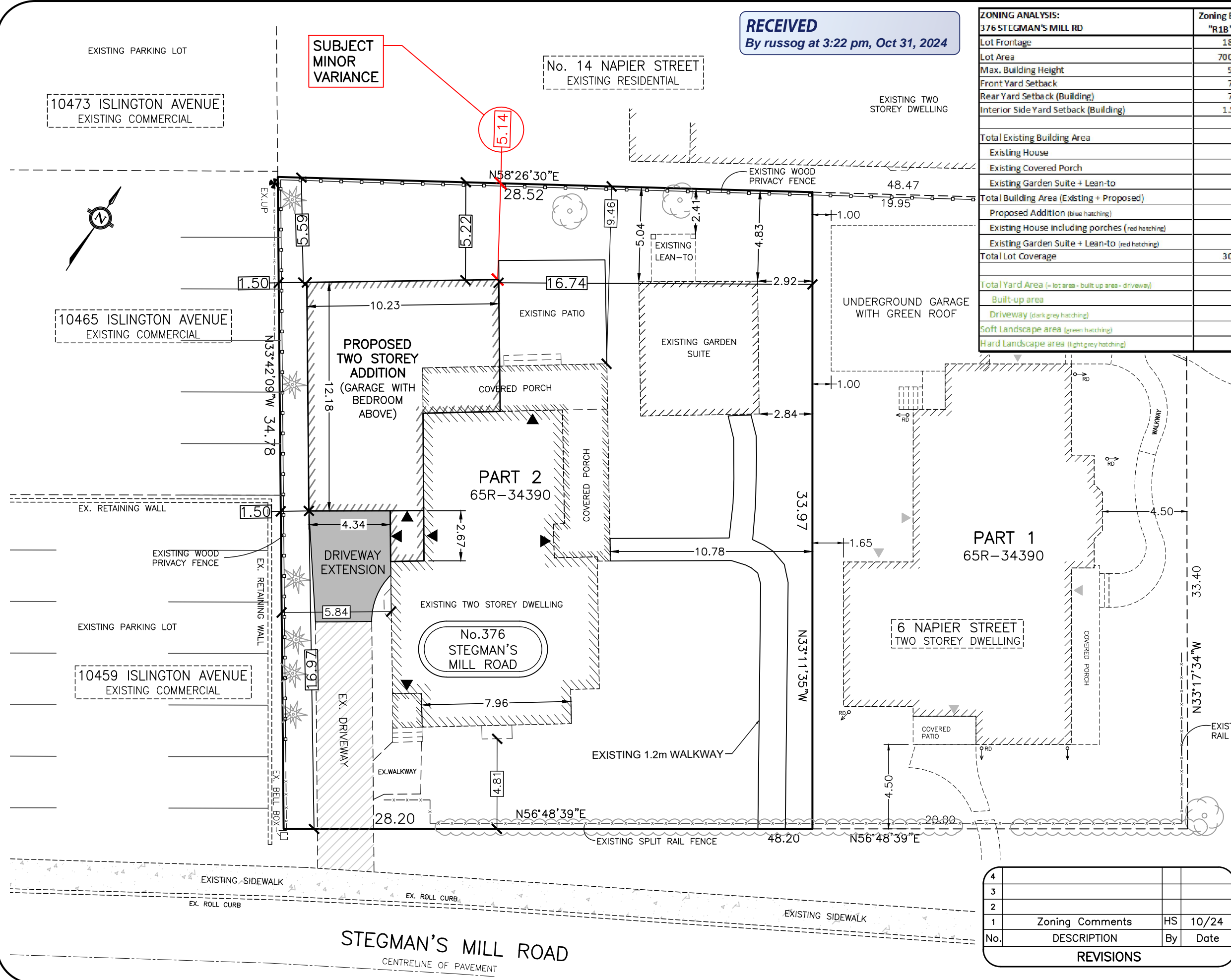


RECEIVED
By russog at 3:22 pm, Oct 31, 2024

**SUBJECT
MINOR
VARIANCE**

5.14

ZONING ANALYSIS: 376 STEGMAN'S MILL RD	Zoning By-law #1-88 "R1B" Required	Zoning By-law #001- 2023 "R1B" Required	Existing	Proposed
Lot Frontage	18.0 m	18.0 m	28.2 m	no change
Lot Area	700.0 m ²	600.0 m ²	974.57 m ²	no change
Max. Building Height	9.5 m	11.0 m	9.50 m	
Front Yard Setback	7.5 m	9.0 m	4.81 m	no change
Rear Yard Setback (Building)	7.5 m	12.0 m	9.46 m	5.14 m
Interior Side Yard Setback (Building)	1.50 m	1.50 m	5.84 m	1.50 m
Total Existing Building Area			247.837 m ²	
Existing House			150.01 m ²	
Existing Covered Porch			46.75 m ²	
Existing Garden Suite + Lean-to			51.08 m ²	
Total Building Area (Existing + Proposed)				349.46 m ²
Proposed Addition (blue hatching)				108.71 m ²
Existing House including porches (red hatching)				189.67 m ²
Existing Garden Suite + Lean-to (red hatching)				51.08 m ²
Total Lot Coverage			30.0 %	40.0 %
Total Yard Area (= lot area - built up area - driveways)				568.83 m ²
Built-up area				349.46 m ²
Driveway (dark grey hatching)				56.29 m ²
Soft Landscape area (green hatching)			341.2956 m ²	489.40 m ²
Hard Landscape area (light grey hatching)				79.43 m ²



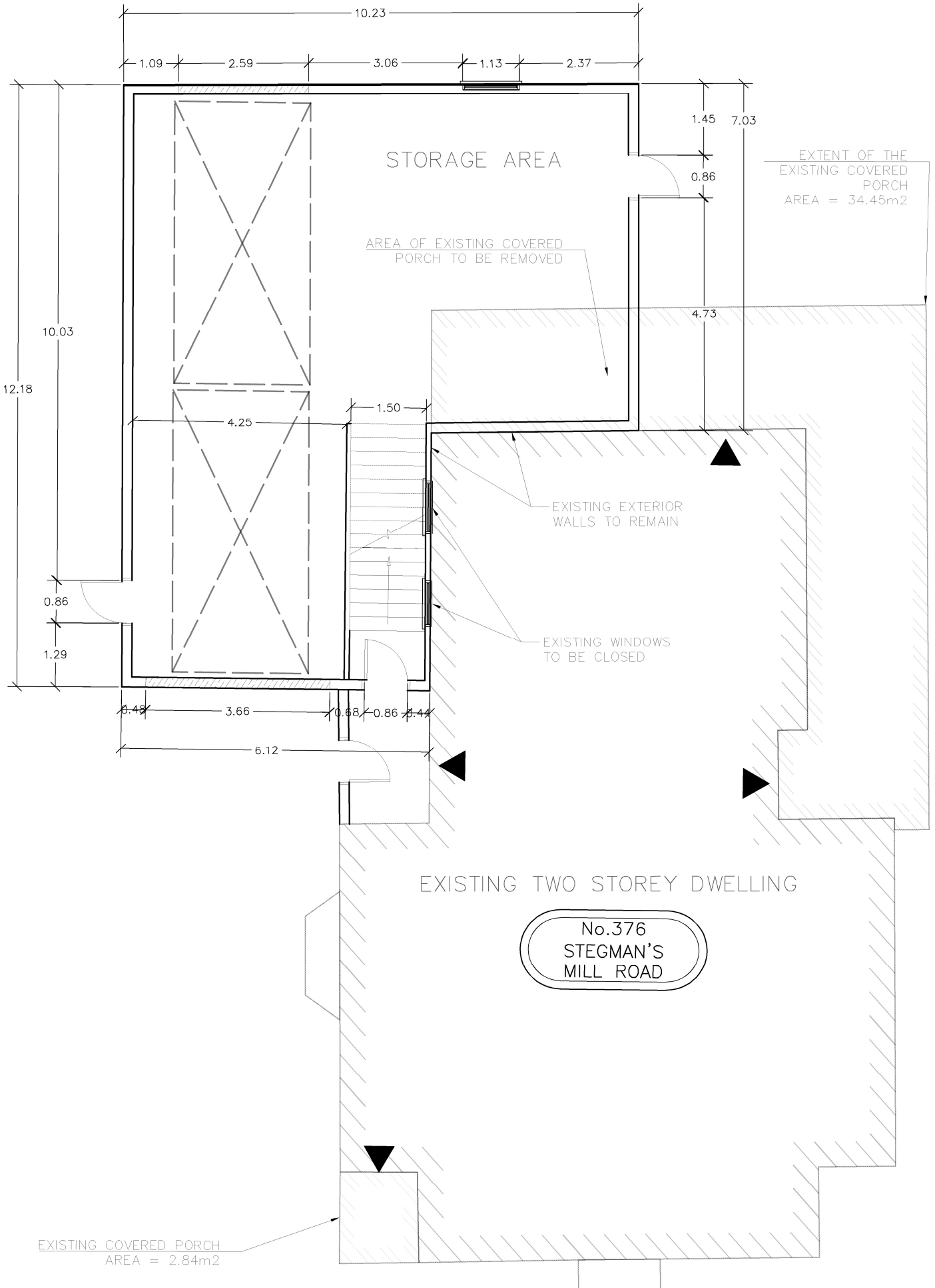
EMC GROUP LIMITED
Engineers Planners Project Managers
Vaughan Ontario (905) 738-3939

PROJECT:
**376 STEGMAN'S MILL ROAD
KLEINBURG, VAUGHAN**
REGISTER PLAN 11, LOTS 13 & 14
PART 2 - 65R-34390

DRAWING TITLE: **SITE PLAN
PROPOSED ADDITION
(TANDEM GARAGE WITH
BEDROOM ABOVE)**

DESIGNED: DRAWN: DATE: 2024-10-21
SCALE: 1:200 DRAWING No.: 224135-SP

No.	DESCRIPTION	By	Date
4			
3			
2			
1	Zoning Comments	HS	10/24
REVISIONS			



No.376
STEGMAN'S
MILL ROAD

PROPOSED ADDITION

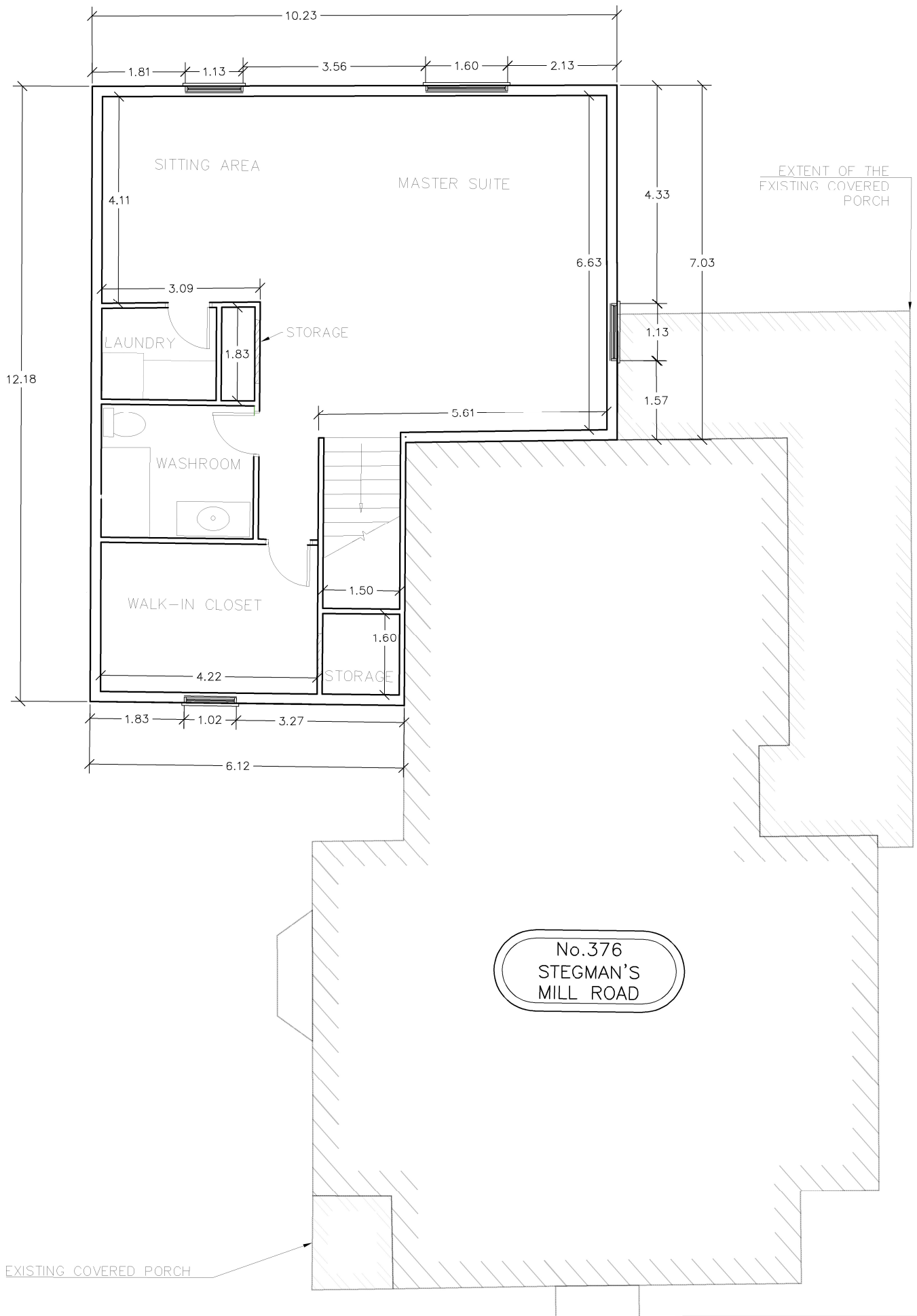
376 STEGMAN'S MILL ROAD
KLEINBURG, CITY OF VAUGHAN

GROUND FLOOR PLAN
TANDEM GARAGE AND STORAGE AREA

DATE:
2024-10-21

SCALE:
1:100

DWG NO.:
224135-FL1



PROPOSED ADDITION

376 STEGMAN'S MILL ROAD
KLEINBURG, CITY OF VAUGHAN

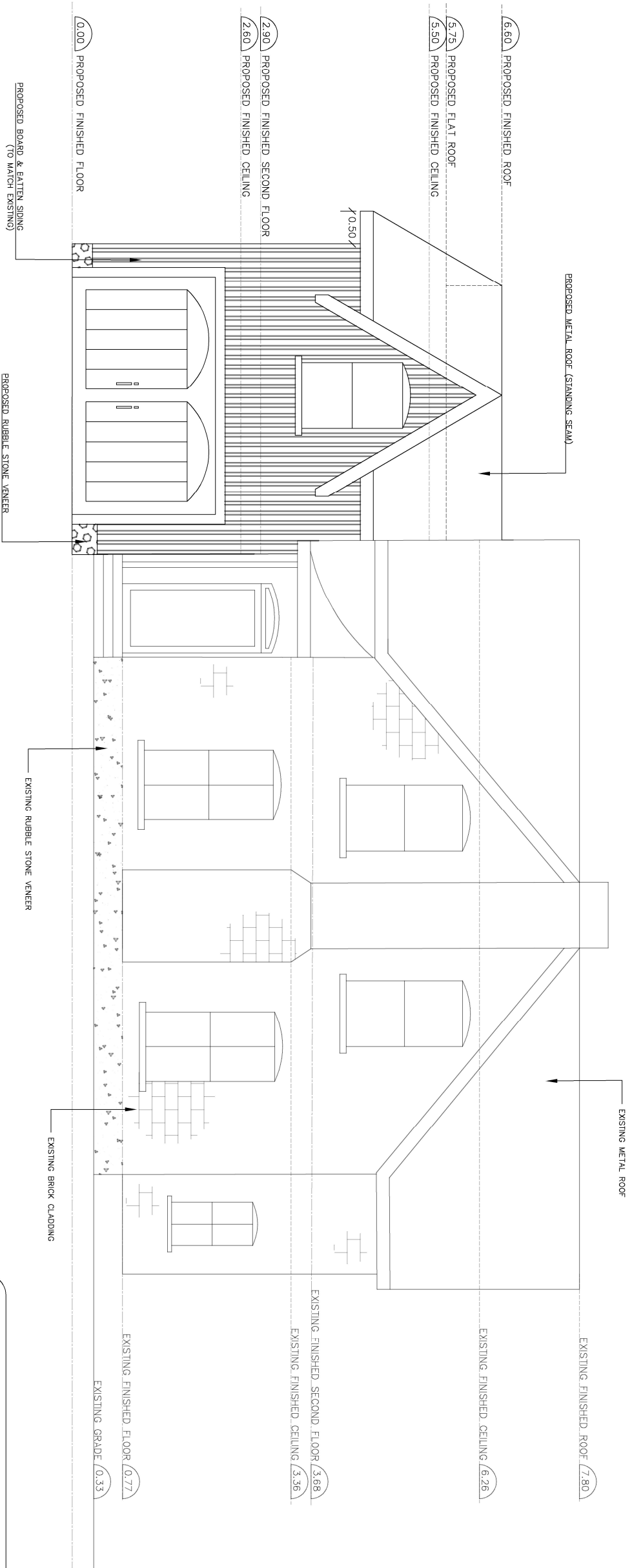
UPPER LEVEL FLOOR PLAN
MASTER SUITE

DATE:
2024-10-21

SCALE:
1:100

DWG NO.:
224135-FL2

PROPOSED



FRONT Elevation (Looking North)

No.	DESCRIPTION	By	Date
1	Zoning Comments	HS	10/24
2			
3			
4			

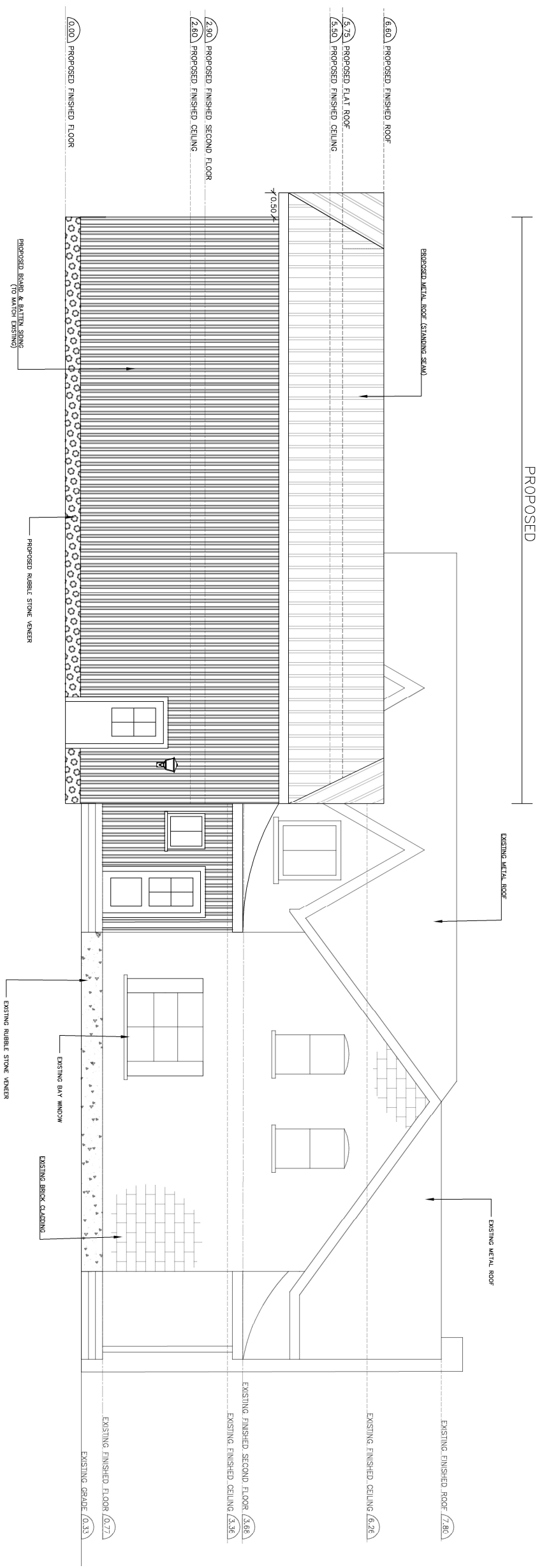
REVISIONS

PROPOSED ADDITION

376 STEGMAN'S MILL ROAD
KLEINBURG, CITY OF VAUGHAN

FRONT ELEVATION

DATE: 2024-10-21 SCALE: 1:75 DWG NO.: 224135-N



WEST Elevation
(Looking East)

No.	DESCRIPTION	By	Date
1	Zoning Comments	HS	10/24
2			
3			
4			

REVISIONS

PROPOSED ADDITION

376 STEGMAN'S MILL ROAD
KLEINBURG, CITY OF VAUGHAN

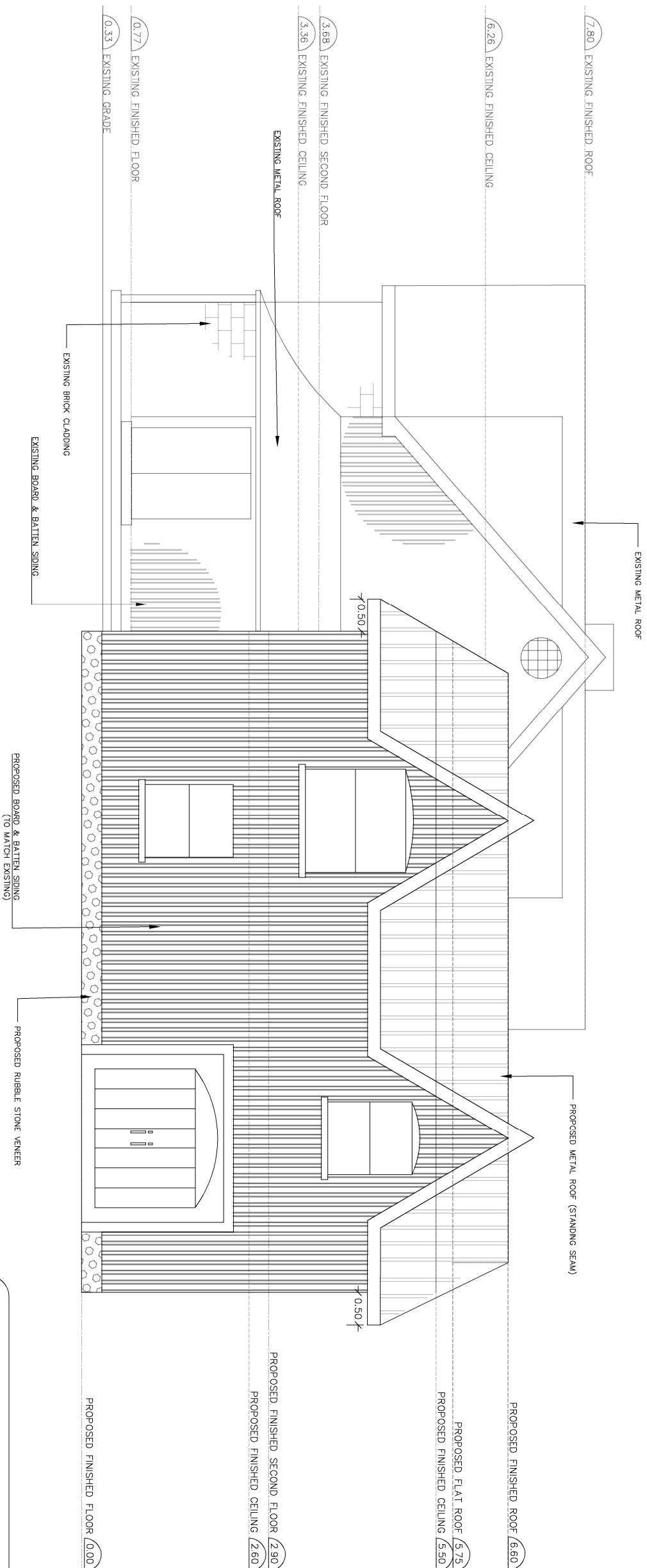
WEST ELEVATION

DATE: 2024-10-21

SCALE: 1:100

DWG NO.: 224135-W

PROPOSED



REAR Elevation (Looking South)

No.	Zoning Comments DESCRIPTION	HS By	10/24 Date
4			
3			
2			
1			

REVISIONS

PROPOSED ADDITION

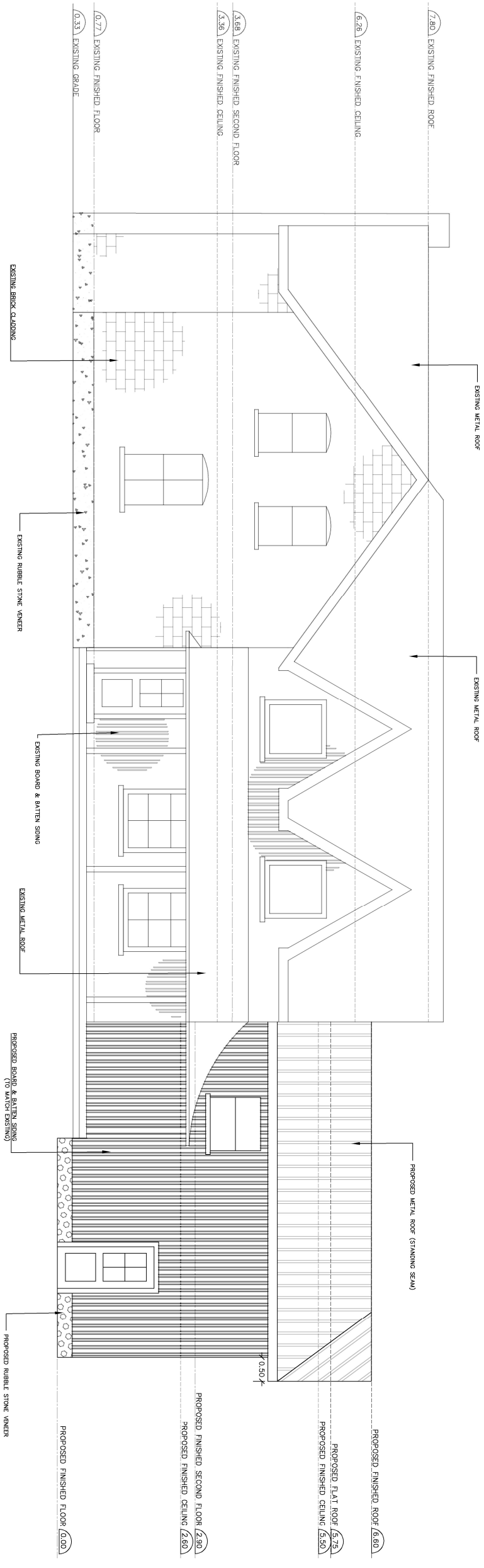
376 STEGMAN'S MILL ROAD
KLEENBURG, CITY OF VAUGHAN

SOUTH ELEVATION

DATE: 2024-10-21

SCALE: 1:75

DWG NO.: 224135-S



EAST Elevation (Looking West)

PROPOSED ADDITION

376 STEGMAN'S MILL ROAD
KLEINBURG, CITY OF VAUGHAN

EAST ELEVATION

DATE:
2024-10-21

SCALE:
1:100

DWG. NO.:
224135-E

No.	DESCRIPTION	By	Date
4			
3			
2			
1	Zoning Comments	HS	10/24
	DESCRIPTION		

REVISIONS

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: November 7th 2024

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A078-24**

Related Files:

Applicant: Mario and Josie Zuccaro

Location 376 Stegman's Mill Road



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

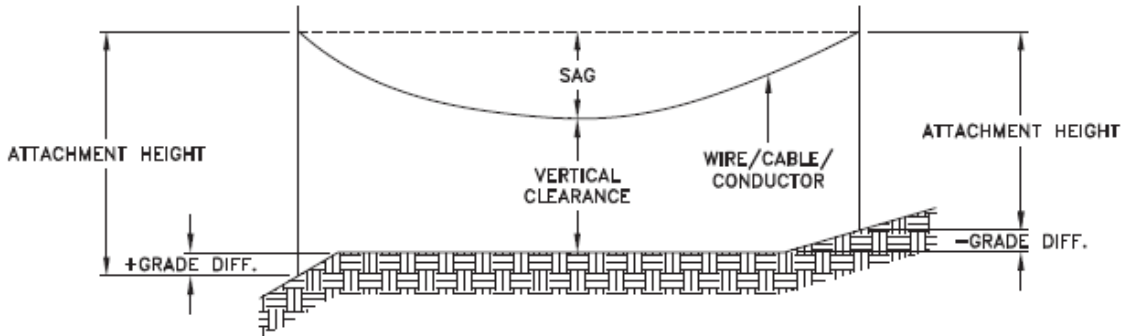
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

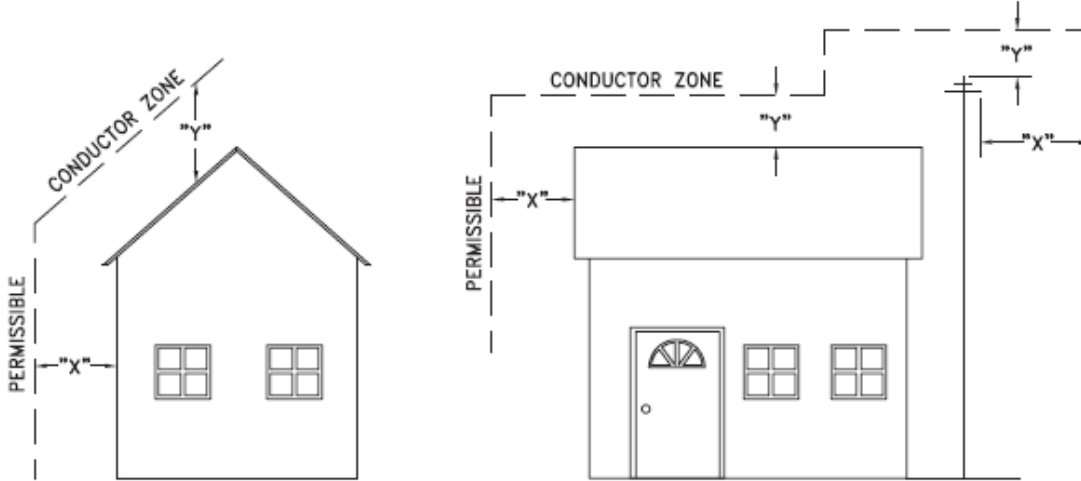
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3,3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Faegheh Gholami, Building Standards Department
Date: November 07, 2024
Applicant: Mario and Josie Zuccaro
Location: 376 Stegman's Mill Road
 Concession 8 Lot 24
File No.(s): A078/24

Zoning Classification:

The subject lands are zoned R1B (EN) – First Density Residential Zone (Established Neighbourhood) under Zoning By-law 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	A minimum setback of 12 m from the rear lot line to an addition to an existing dwelling is required.	To permit a minimum setback of 5.14 m from the rear lot line to an addition to an existing dwelling.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file.

Building Permit(s) Issued:

A building permit application has not been submitted for an addition to the existing dwelling.

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

None

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development and Parks Planning

Date: November 26, 2024

Name of Owners: Josie Zuccaro, Mario Zuccaro

Location: 376 Stegman's Mill Road

File No.(s): A078/24

Proposed Variance(s):

1. To permit a minimum setback of 5.14 m from the rear lot line to an addition to an existing dwelling.

By-Law 001-2021 Requirement(s):

1. A minimum setback of 12 m from the rear lot line to an addition to an existing dwelling is required.

Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential", subject to Area Specific Policy 12.2.1.1.a - Kleinburg-Nashville Conservation District Plan of Volume 2.

Comments:

The Owner is seeking relief to permit a two-storey addition to the existing two-storey dwelling with the above-noted variance.

The Development and Parks Planning Department has no objections to Variance 1 to reduce the rear yard setback for the proposed two-storey addition from 12 m to 5.14 m. The two-storey addition is proposed to contain a two-car tandem garage on the first floor and a one-bedroom loft on the second floor. The intent of the minimum rear lot line setback provision is to ensure that the lot provides adequate rear yard space to accommodate sufficient space for privacy, landscaping, stormwater run-off and movement around the dwelling. The proposed variance meets the intent of the provision. The property has a 10.78 m-wide east interior side yard that can also be utilized to provide rear yard functions. The proposed addition complies with the maximum height and lot coverage requirements and the massing of the addition is modest and is not anticipated to incur any negative impacts on the residential property to the north (14 Napier Street) and commercial properties to the west (10465 and 10473 Islington Avenue). As such, the requested variance is minor in nature and desirable for the development of the property.

The property is located within the Kleinburg-Nashville Heritage Conservation District and designated under Part V of the *Ontario Heritage Act*. Cultural Heritage staff have reviewed the application and advised that the proposed addition will require a Heritage Permit.

Accordingly, the Development and Parks Planning Department supports the requested variance and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development and Parks Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Harry Zhao, Planner 1
Janany Nagulan, Senior Planner

From: [Cameron McDonald](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: FILE NO A078/24 - 376 STEGMAN'S MILL ROAD- REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Thursday, November 7, 2024 7:32:57 PM
Attachments: [image002.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from the TRCA.

Based on the above, we have no comments/requirements.

Regards,

Cameron McDonald

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:(437)880-1925)

E: cameron.mcdonald@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](#) | trca.ca



From: [Development Services](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: FILE NO A078/24 - 376 STEGMAN'S MILL ROAD- REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Friday, November 15, 2024 12:33:12 PM
Attachments: [image001.png](#)
[image003.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

The Regional Municipality of York has completed its review of the minor variance application – A078/24 (376 Stegman’s Mill Road) and has no comment.

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Planning | Economic and Development Services Branch | Corporate Services Department

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: Working together to serve our thriving communities – today and tomorrow

Please consider the environment before printing this email.

From: Committee of Adjustment Mailbox <cofa@vaughan.ca>
Sent: Thursday, November 7, 2024 2:39 PM
To: rowcentre@bell.ca; carrie.gordon@bell.ca; Development Services <developmentservices@york.ca>; yorkplan@trca.ca; engineeringadmin@powerstream.ca; TCenergy@mhbcplan.com
Cc: Maya.Harris@ontario.ca; planning.services@yrdsb.ca; Enbridge: <randy.wilton@enbridge.com>; Committee of Adjustment Mailbox <cofa@vaughan.ca>
Subject: FILE NO A078/24 - 376 STEGMAN'S MILL ROAD- REQUEST FOR COMMENTS, CITY OF VAUGHAN

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, forward it to isitsafe@york.ca then delete it from your inbox. If you think

you may have clicked on a phishing link, report it to the IT Service Desk, ext. 71111, and notify your supervisor immediately.

Hello,

Please email comments and recommendations on the above noted application to cofa@vaughan.ca. If you wish to be notified of the decision, please confirm in writing.

The deadline to submit comments on this application is **NOVEMBER 21, 2024**.

Should you have any questions or require additional information please contact the undersigned.

Committee of Adjustment, City of Vaughan
Cofa@vaughan.ca
905-832-8504

When responding to this email please copy cofa@vaughan.ca

This e-mail, including any attachment(s), may be confidential and is intended solely for the attention and information of the named addressee(s). If you are not the intended recipient or have received this message in error, please notify me immediately by return e-mail and permanently delete the original transmission from your computer, including any attachment(s). Any unauthorized distribution, disclosure or copying of this message and attachment(s) by anyone other than the recipient is strictly prohibited.

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			10/31/2024	Application Cover Letter

File: 224135
October 31, 2024

City of Vaughan
Committee of Adjustment
2141 Major Mackenzie Drive West
Vaughan, ON L6A 1T1

Digital Submission

Attention: Faeghreh Gholami
Zoning Examiner

Dear Madam,

Re: Minor Variance – A078/24
Proposed Addition to Existing Dwelling
376 Stegman's Mill Road
Lot 13 & 14, Part 2, Plan 65R-34390
Village of Kleinburg, City of Vaughan

Further to your zoning review and comments received via email on October 29, 2024, we confirm that the proposed addition to the existing dwelling is intended to provide a new garage and master bedroom. This addition will allow for interior parking for two (2) vehicles, along with additional storage space. The former garage was inaccessible by vehicles due to a previous land severance and is now being converted into a garden suite (Permit No. 23 140327 CHP 00 SS).

The homeowner is proposing a tandem garage to provide covered parking for their vehicles, primarily as protection from the sap leaked from the maple trees along the driveway. Additional due to the former garage's conversion, the homeowners require additional storage space. Furthermore, this addition for a garage provides the opportunity to expand the existing home with the creation of an additional bedroom.

As per your comment, the site plan has been revised to incorporate landscape calculations, and the elevation drawings now show eaves dimensions to address the encroachment.

Please note, we will reach out to Heritage Planning to obtain their comments.

A revised drawing set has been uploaded to the Committee of Adjustment Portal for your review and consideration. We trust that you may find the enclosed satisfactory. Should you have any questions or concerns, please do not hesitate to contact the undersigned.

Yours Truly,
EMC GROUP LIMITED

H. Sidhu

Harshinder Sidhu, B.E.S
Junior Planner

c: Owner

SCHEDULE D: BACKGROUND

Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
A006/16	Minor Variance Application; Approved by COA
A135/13 & A136/13	Minor Variance; Approved by COA
B008/13	Consent; Approved by COA
B016/17	Consent; Approved by COA

NOTICE OF DECISION
MINOR VARIANCES

FILE NUMBER: A006/16

APPLICANT: JOSEPHINE ZUCCARO

PROPERTY: Part of Lot 24, Concession 8 (Part of Lots 13 & 14, Registered Plan No.11) municipally known as 376 Stegman's Mill Road, Kleinburg.

ZONING: The subject lands are zoned R1, Residential Zone under By-law 1-88 as amended.

PURPOSE: To permit the construction of a proposed two-storey rear addition of the existing two-storey dwelling and proposed (below grade) garage with roof top garden.

PROPOSAL: 1. To permit a minimum rear yard setback of 2.5m to the dwelling.
2. To permit a maximum lot coverage of 34.37%.

BY-LAW REQUIREMENT: 1. Minimum rear yard setback 7.5m (dwelling).
2. Maximum lot coverage 30%.

BACKGROUND INFORMATION: Other Planning Act Applications
The land which is the subject in this application was also the subject of another application under the Planning Act:

Consent Application:
B008/13 APPROVED - May 23, 2013 (Creation of a new lot for residential purposes). Cert. Issued Apr 15/14.

Minor Variance Application:
A135/13 APPROVED - May 23, 2013 (lot area).
A136/13 APPROVED - May 23, 2013 (front & rear yard setbacks, chimney encroachments & building height).

A sketch is attached illustrating the request.

MOVED BY: _____ *Perrella*

SECONDED BY: _____ *Mary Mauti*

THAT Application No. A006/16, JOSEPHINE ZUCCARO, be **ADJOURNED** *Sine Die*

CARRIED.

CHAIR: _____ *JP*

Signed by all members present who concur in this decision:

_____ *JP*
H. Zheng,
Chair

_____ *Mary Mauti*
M. Mauti,
Vice Chair

_____ *R Buckler*
R. Buckler,
Member

_____ *J. Cesario*
J. Cesario,
Member

_____ *Perrella*
A. Perrella,
Member

CERTIFICATION

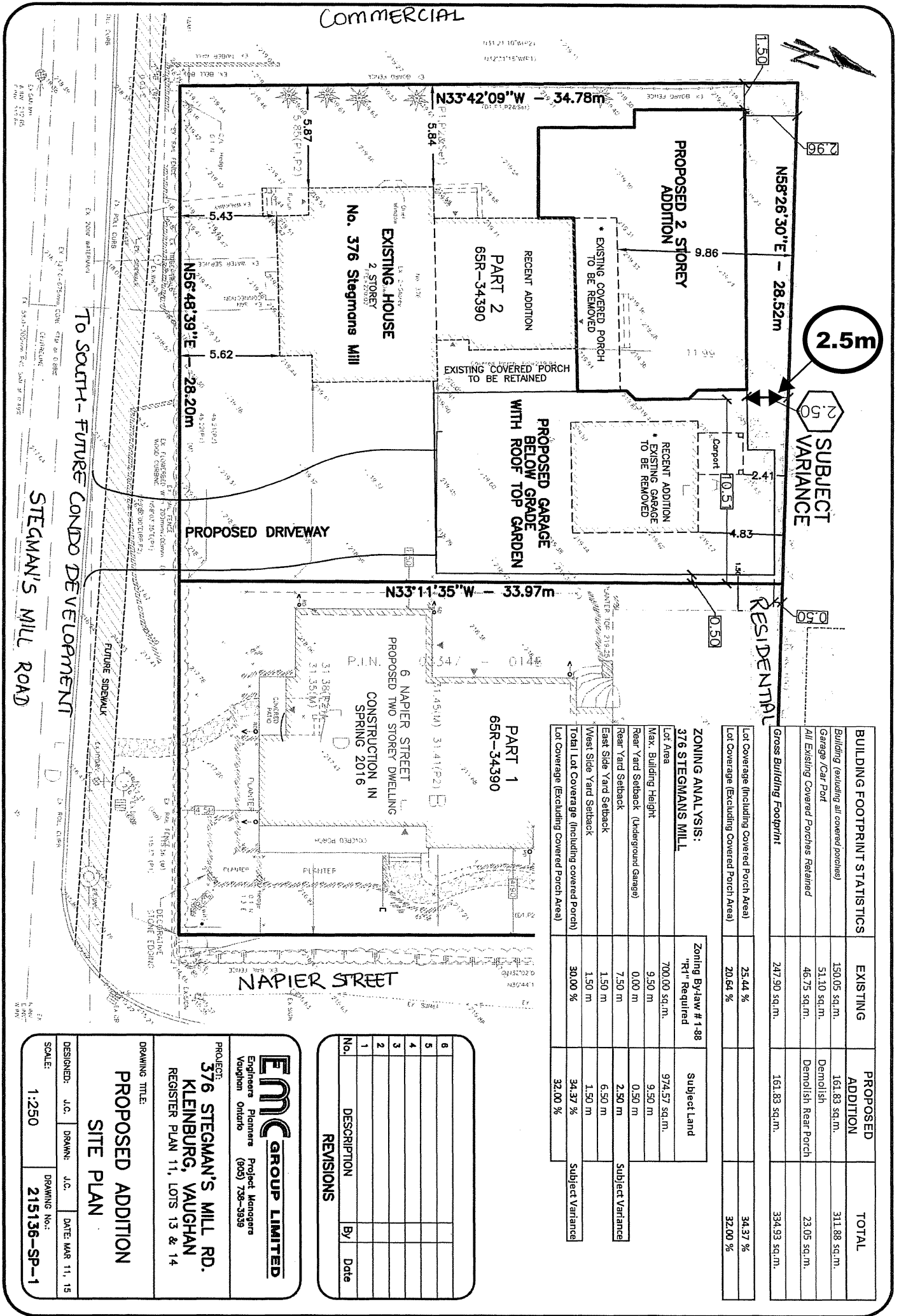
I hereby certify this to be a true copy of the decision of the Committee of Adjustment, and this decision was concurred in by a majority of the members who heard this application.

_____ *T. Coles*
Todd Coles, BES, MCIP, RPP
Manager of Development Services
and Secretary-Treasurer to
Committee of Adjustment

Date of Hearing: JANUARY 28, 2016

**LOT COVERAGE = 34.37%
INCLUDING PORCH**

A006/16



BUILDING FOOTPRINT STATISTICS	EXISTING	PROPOSED ADDITION	TOTAL
Building (excluding all covered porches)	150.05 sq.m.	161.83 sq.m.	311.88 sq.m.
Garage / Car Port	51.10 sq.m.	Demolish	
All Existing Covered Porches Retained	46.75 sq.m.	Demolish Rear Porch	23.05 sq.m.
Gross Building Footprint	247.90 sq.m.	161.83 sq.m.	394.93 sq.m.
Lot Coverage (Including Covered Porch Area)	25.44 %		34.37 %
Lot Coverage (Excluding Covered Porch Area)	20.64 %		32.00 %

ZONING ANALYSIS:	
376 STEGMAN'S MILL	
Lot Area	Zoning By-Law # 1-88 R1* Required
Max. Building Height	Subject Land
Rear Yard Setback (Underground Garage)	700.00 sq.m.
Rear Yard Setback	9.50 m
East Side Yard Setback	0.50 m
West Side Yard Setback	7.50 m
Total Lot Coverage (including covered porch)	2.50 m
Lot Coverage (Excluding Covered Porch Area)	1.50 m
	30.00 %
	34.37 %
	32.00 %

No.	DESCRIPTION	By	Date
1			
2			
3			
4			
5			
6			

EMC GROUP LIMITED
 Engineers Planners Project Managers
 Vaughan Ontario (905) 739-3339

PROJECT:
**376 STEGMAN'S MILL RD.
 KLEINBURG, VAUGHAN**
 REGISTER PLAN 11, LOTS 13 & 14

DRAWING TITLE:
**PROPOSED ADDITION
 SITE PLAN**

DESIGNED: J.C. | DRAWN: J.C. | DATE: MAR 11, 15
 SCALE: 1:250 | DRAWING No.: 215136-SP-1



Location Map - A006/16

376 STEGMAN'S MILL ROAD, KLEINBURG



City of Vaughan



The City of Vaughan makes every effort to ensure that this map is free of errors but does not warrant that the map or its features are spatially, tabularly, or temporally accurate or fit for a particular use. This map is provided by the City of Vaughan without warranties of any kind, either expressed or implied.

NOTICE OF DECISION

MINOR VARIANCES

FILE NUMBERS: A135/13 AND A136/13

APPLICANT: KATHRYN ANGUS

PROPERTY: Part of Lot 24, Concession 8 (being Lots 13 & 14 on Registered Plan #11, municipally known as 376 Stegman's Mill Road, Kleinburg).

ZONING: The subject lands are zoned *R1, Residential Zone One* under By-law 1-88 as amended.

PURPOSE: To facilitate the severance of the total lands application (Consent Application B008/13.)

PROPOSAL: **A135/13 (Subject lands):**
To permit a lot area of 672.65m².

A136/13 (Retained lands):

1. To permit a front yard setback of 5.39 metres to the existing dwelling.
2. To permit a front yard encroachment of 0.70 metres for the existing chimney.
3. To permit a rear yard setback of 5.05 metres to the existing detached garage and to permit a rear yard setback of 2.42 metres to the carport (covered and open storage).
4. To permit a building height of 5.20 metres for the existing detached garage.

BY-LAW REQUIREMENT: **A135/13 (Subject lands):**
A minimum lot area of 700m² is permitted.

A136/13 (Retained lands):

1. A minimum front yard setback of 7.50 metres is permitted.
2. A maximum encroachment of 0.50 is permitted for the chimney.
3. A minimum rear yard setback of 7.50 metres is permitted.
4. A maximum building height of 4.50 metres is permitted.

BACKGROUND INFORMATION: **Other Planning Act Applications**
The land which is the subject in this application was also the subject of another application under the Planning Act:

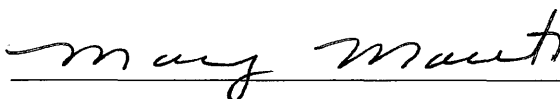
Consent Application:
B008/13 **Current** To be heard in conjunction with these applications.
(Creation of a new lot for residential purposes).

A sketch is attached illustrating the request.

MOVED BY:



SECONDED BY:



THAT the Committee is of the opinion that the variances sought, can be considered minor and are desirable for the appropriate development and use of the land. The general intent and purpose of the By-law and the Official Plan will be maintained.

THAT Application Nos. Nos. **A135/13 and A136/13, KATHRYN ANGUS**, be **APPROVED**, in accordance with the sketches attached and subject to the following conditions:

1. That the related Consent Application B008/13 be approved.

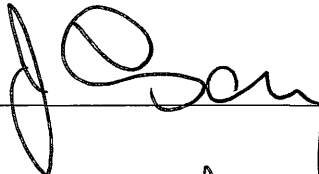
- 2. That if the condition(s) listed above is/are not fulfilled and the Building Permit is not applied for within twelve (12) months of the date this decision becomes final and binding, the said decision shall expire and shall be deemed to have been annulled and rescinded by the Committee. **(PLEASE NOTE THAT THIS TIME PERIOD CANNOT BE EXTENDED IN ANY WAY, FAILURE TO MEET THIS DEADLINE WILL RESULT IN REQUIRING A NEW APPLICATION AND FEE.)**

VERY IMPORTANT: IT IS THE RESPONSIBILITY OF THE OWNER/APPLICANT AND/OR AGENT TO OBTAIN AND PROVIDE A CLEARANCE LETTER FROM EACH AGENCY AND/OR DEPARTMENT LISTED IN THE CONDITIONS WHETHER "IF REQUIRED" APPEARS IN THE CONDITION OR NOT, AND FORWARD THIS CLEARANCE LETTER TO THE SECRETARY-TREASURER AS SOON AS THE CONDITIONS ARE FULFILLED.

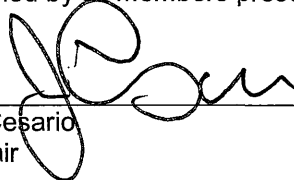
FAILURE TO COMPLY WITH THIS PROCEDURE WILL RESULT IN A LETTER BEING FORWARDED BY THE SECRETARY-TREASURER INDICATING THIS FILE HAS LAPSED AND, THEREFORE, WILL NECESSITATE THAT A NEW APPLICATION BE SUBMITTED TO LEGALIZE THIS PROPERTY.


THIS MINOR VARIANCE DECISION IS NOT A BUILDING PERMIT AUTHORIZING CONSTRUCTION UNDER THE BUILDING CODE ACT, R.S.O. 1990, AS AMENDED. A BUILDING PERMIT MAY BE REQUIRED. PLEASE CONTACT THE BUILDING STANDARDS DEPARTMENT IN THE EVENT THAT YOU REQUIRE FURTHER CLARIFICATION.


CARRIED.

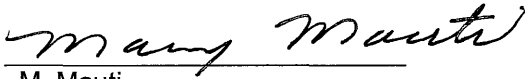
CHAIR: 

Signed by all members present who concur in this decision:


 J. Cesario
 Chair


 A. Perrella,
 Vice Chair

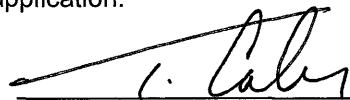

 L. Fluxgold,
 Member


 M. Mauti,
 Member


 H. Zheng,
 Member

CERTIFICATION

I hereby certify this to be a true copy of the decision of the Committee of Adjustment, and this decision was concurred in by a majority of the members who heard this application.


 Todd Coles, BES, MCIP, RPP
 Manager of Development Services
 and Secretary-Treasurer to
 Committee of Adjustment

Date of Hearing: MAY 23, 2013

Last Date of Appeal: JUNE 12, 2013

APPEALS

APPEALS MUST BE RECEIVED BY THIS OFFICE NO LATER THAN 4:30 P.M. ON THE LAST DATE OF APPEAL NOTED ABOVE.

Should you decide to appeal this decision to the Ontario Municipal Board, a copy of an appeal form is available for download in Microsoft Word and Adobe Acrobat versions from the Ontario Municipal Board website at www.omb.gov.on.ca. If you do not have Internet access, these forms can be picked up at the City of Vaughan, Committee of Adjustment offices.

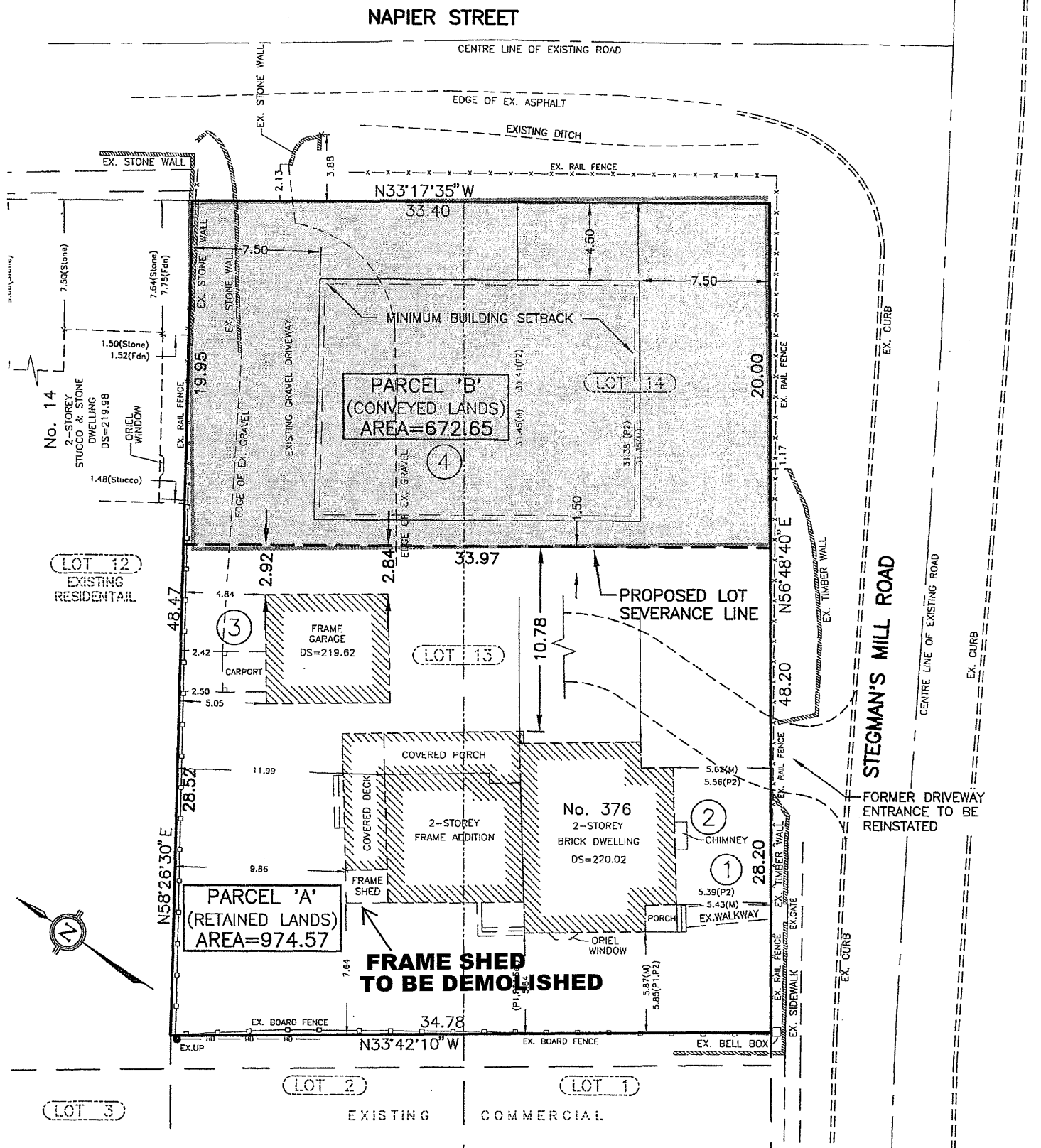
Please fill out Form A1 and follow the instructions as provided by the Ontario Municipal Board and submit your appeal to the City of Vaughan, Committee of Adjustment on or before the date stated above. You must enclose the completed form with the \$650.00 processing fee, paid by **certified cheque** or **money order**, to the "TREASURER, CITY OF VAUGHAN" and the appeal fee of \$125.00 for each application appealed, paid by **certified cheque** or **money order**, made payable to the "ONTARIO MINISTER OF FINANCE".

NOTE: The Planning Act provides for appeals to be filed by "persons". As groups or associations, such as residents or ratepayers groups which do not have incorporated status, may not be considered "persons" for the purposes of the Act, groups wishing to appeal this decision should do so in the name of individual group members, and not in the name of the group.

CONDITIONS

IF ANY CONDITIONS ARE IMPOSED ON THIS APPLICATION, THE FINAL DATE FOR FULFILLING THEM IS:
JUNE 12, 2014

(FRAME SHED TO BE DEMOLISHED)



Zoning Analysis- 376 Stegman's Mill Road

	Zoning By-law # 1-88 "R1" Required	Retained Lands "Parcel A" (Existing Home)	Conveyed Lands "Parcel B"
Lot Frontage	18.0 m	28.20 m	20.00 m
Lot Area	700 m sq (as per note 12)	974.57 sq.m	672.65 sq. m
Front Yard (Stegman's)	7.5 m	5.39 m (pre By-Law 1-88)	7.5 m (min.)
Rear Yard	7.5 m	9.86 m	7.5 m (min.)
Interior Side Yard	1.5 m	10.78 m	1.5 m (min.)
Exterior Side Yard	4.5 m	N/A	4.5 m (min.)
Lot Coverage	30% (as per note 12)	24.05%	30% (max.)

VARIANCES:

- ① FRONT YARD SETBACK:
EXISTING = 5.39m
REQUIRED SETBACK = 7.50m
- ② CHIMNEY PROJECTION INTO YARD:
EXISTING = 0.70m
REQUIRED MAX. PROJECTION = 0.50m
- ③ GARAGE:
EXISTING REAR YARD SETBACK TO GARAGE WALL = 4.84m
EXISTING COVERED STORAGE/LEAN TO = 2.42m
REQUIRED = 7.50m
- ④ LOT AREA (PARCEL B):
REQUIRED MIN. AREA = 700.00 sq.m.
PROPOSED = 672.65 sq.m.

EMC GROUP LIMITED

Engineers Planners Project Managers
Vaughan Ontario (905) 738-3939

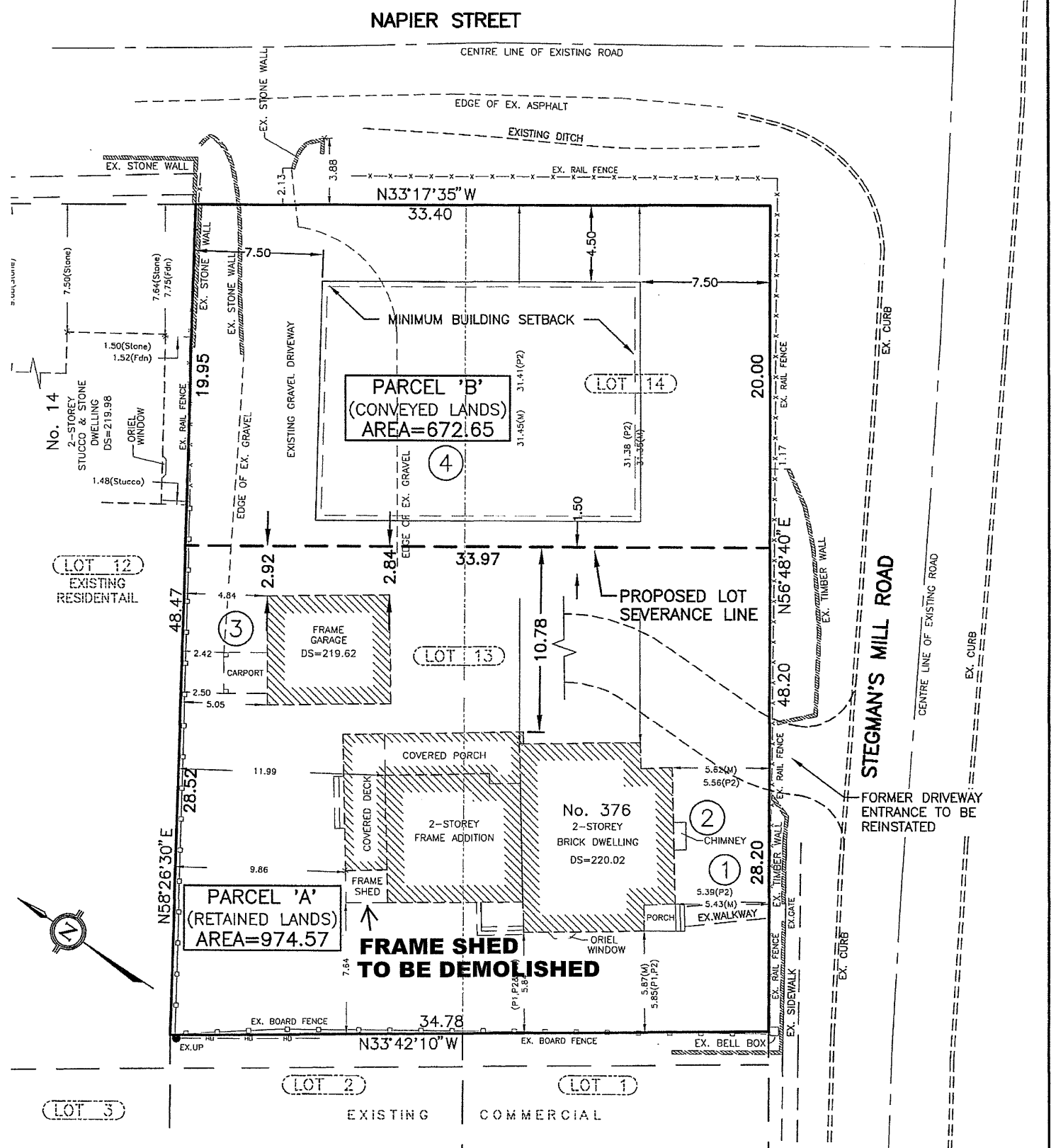
PROJECT:
**376 STEGMAN'S MILL ROAD,
KLEINBURG, VAUGHAN
B008/13**

DRAWING TITLE:
PROPOSED SEVERANCE

DESIGNED: J.C. DRAWN: J.C. DATE: APR. 22. 13

SCALE: NOT TO SCALE DRAWING No.: 213110-PL2A

(FRAME SHED TO BE DEMOLISHED)



Zoning Analysis- 376 Stegman's Mill Road

	Zoning By-law # 1-88 "R1" Required	Retained Lands "Parcel A" (Existing Home)	Conveyed Lands "Parcel B"
Lot Frontage	18.0 m	28.20 m	20.00 m
Lot Area	700 m sq (as per note 12)	974.57 sq.m	672.65 sq. m
Front Yard (Stegman's)	7.5 m	5.39 m (pre By-Law 1-88)	7.5 m (min.)
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Lot Coverage	30% (as per note 12)	24.05%	30% (max.)

VARIANCES:

- ① FRONT YARD SETBACK:
EXISTING = 5.39m
REQUIRED SETBACK = 7.50m
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EXISTING = 0.70m
REQUIRED MAX. PROJECTION = 0.50m
- ③ GARAGE:
EXISTING REAR YARD SETBACK TO GARAGE WALL = 4.84m
EXISTING COVERED STORAGE/LEAN TO = 2.42m
REQUIRED = 7.50m
- ④ LOT AREA (PARCEL B):
REQUIRED MIN. AREA = 700.00 sq.m.
PROPOSED = 672.65 sq.m.



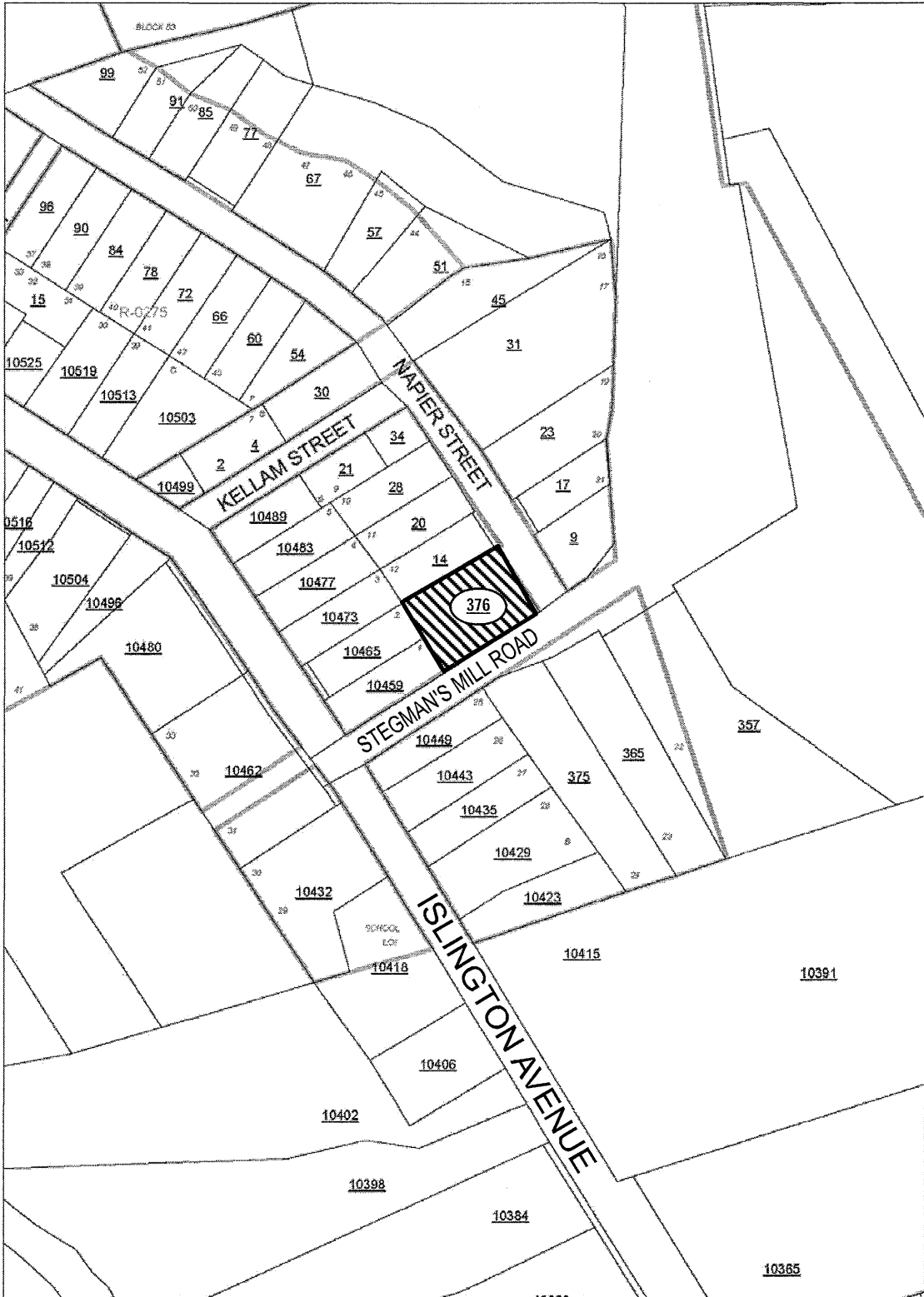
Engineers Planners Project Managers
Vaughan Ontario (905) 738-3939

PROJECT:
376 STEGMAN'S MILL ROAD,
KLEINBURG, VAUGHAN
B008/13

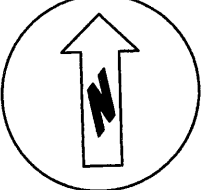

DRAWING TITLE:
PROPOSED SEVERANCE

DESIGNED: J.C. DRAWN: J.C. DATE: APR. 22, 13

SCALE: NOT TO SCALE DRAWING No.: 213110-PL2A



COMMITTEE OF ADJUSTMENT
 2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
 Phone: (905)832-8585 Fax: (905)832-8535

	FILE NUMBERS:	B008/13, A135/13 & A136/13
	APPLICANT:	KATHRYN ANGUS
		Subject Area Municipally known as 376 Stegman's Mill Road, Kleinburg





COMMITTEE OF ADJUSTMENT

2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
Phone: (905)832-8585 Fax: (905)832-8535

NOTICE OF DECISION
CONSENTS

FILE NUMBER: B016/17

APPLICANT: JOSEPHINE ZUCCARO, MARIO ZUCCARO

PROPERTY: Part of Lot 13/14, Concession 8 (Lots 24 of Registered Plan 65R-34390) municipally known as 376 Stegman's Mill Road, Kleinburg

ZONING: The subject lands are zoned R1 under By-law 1-88 as amended

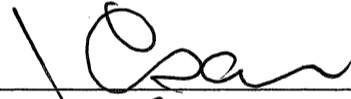
PURPOSE: **Addition to an existing lot taken from lands to the East.**
The purpose of this application is to request the consent of the committee of adjustment to convey parcel of land marked "A" on the attached sketch as an addition to an existing lot, together with all required easements and right-of-ways, if required, and retain the lands marked "B" on the attached sketch for residential purposes.


BACKGROUND INFORMATION: **Other Planning Act Applications**
The land which is the subject in this application was also the subject of another application under the Planning Act:

B008/13 - APPROVED - May 23 2013- Creation of a new lot. A135/13 & A136/13- APPROVED - May 23 2013- Lot coverage, setback and height for proposed structures.

A sketch is attached illustrating the request.

The above noted application was heard by the Committee of Adjustment on: **May 11, 2017**

MOVED BY: _____ 

SECONDED BY: _____ 

The Committee of Adjustment received written and/or oral submissions before and/or during the hearing and have taken these submissions into consideration when making the decision.

THAT Application No.B016/17, **JOSEPHINE ZUCCARO, MARIO ZUCCARO**, be **APPROVED**, in accordance with the sketch attached and subject to the following conditions:

NOTE: All conditions below must be fulfilled and clearance letters must be received by the Secretary-Treasurer before any cheques can be accepted and Certificate of Official can be issued.

1. A Surveyors Certificate of Lot Areas, Frontages and Depths as per the definitions in Section 2.0 of By-law 1-88 a.a is required in order to confirm compliance with the By-law requirements, if required to the satisfaction of the Building Standards department.
2. The Owner shall provide a revised Site Grading and Servicing plan for the merged and retained lands, to the satisfaction of the Development Engineering and Infrastructure Planning Department. The revised plans should identify all existing and/or proposed services, existing and/or proposed grades and include an acceptable driveway access for the merged lands, and for the retained lands, if required to the satisfaction of the Development Engineering and Infrastructure Planning Department.
3. The owner shall pay all property taxes as levied. Payment is to be made by certified cheque, to the satisfaction of the City of Vaughan Financial Planning and Development Finance Department (contact Nelson Pereira to have this condition cleared).
4. Submission to the Secretary-Treasurer of FOUR (4) white prints of a registered deposited reference plan of survey, showing the subject land which conforms with the application submitted and which shows the dimensions and areas of each part shown on the plan.
5. Upon fulfilling and complying with all of the above-noted conditions, the Secretary-Treasurer of the Committee of Adjustment must be provided with a letter and three (3) copies of a legal size

(8.5" by 14") "Schedule Page", in a format satisfactory to the Secretary-Treasurer, from the Applicant's solicitor confirming the legal description of the subject lands, sufficient for registration purposes the "Schedule Page" will be an attachment to the Certificate. Upon being satisfied with said legal description and upon all other conditions for the consent having been satisfied, the Secretary-Treasurer shall provide a Certificate of Official to the applicant in accordance with Section 53(42) of the Planning Act, R.S.O. 1990, as amended.

- 6. A fee of \$190.00 made payable to the Treasurer City of Vaughan shall, be submitted to the Secretary Treasurer for the issuance of the Certificate/stamping of the deeds. It will be necessary to allow up to three (3) working days after all conditions have been fulfilled and documentation filed. Same day service is also available for an additional cost of \$145.00, provided all conditions of approval have been fulfilled and all required documents are submitted by 11:30 am that day.
- 7. Prior to the issuance of a building permit, if required, the applicant shall fulfil and comply with all of the above noted consent conditions.

IMPORTANT: Pursuant to Section 53(41) of the *Planning Act*, the applicant shall have a period of one year from the date of the Committee of Adjustment giving Notice of the herein Decision to the Applicant to fulfill and comply with all of the above-noted conditions of Consent. Failing to comply with this requirement will result in the application to be deemed to be refused.

ALL CONDITIONS MUST BE FULFILLED.

Please contact each Agency or Department listed above whether "if required" appears in the condition or not.

Please Note:

- 1. That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.
- 2. That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.
- 3. That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment
- 4. That the payment of applicable Special Area Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Special Area Development Charge By-laws in effect at time of payment.

CARRIED.

CHAIR: Mary Mauti

Signed by all members present who concur in this decision:

Mary Mauti
M. Mauti,
Chair

J. Cesar
J. Cesar,
Vice Chair

R. Buckler
R. Buckler,
Member

H. Zheng
H. Zheng,
Member

ABSENT
A. Perrella,
Member

CERTIFICATION

I hereby certify this to be a true copy of the decision of the Committee of Adjustment, and this decision was concurred in by a majority of the members who heard this application.



Todd Coles, BES, MCIP, RPP
Manager of Development Services
and Secretary-Treasurer to
Committee of Adjustment

Date of Hearing:	May 11, 2017
Date of Notice:	May 19, 2017
Last Date of Appeal:	June 08, 2017

APPEALS

APPEALS MUST BE RECEIVED BY THIS OFFICE NO LATER THAN 4:30 P.M. ON THE LAST DATE OF APPEAL NOTED ABOVE.

Should you decide to appeal this decision to the Ontario Municipal Board, a copy of an appeal form is available for download in Microsoft Word and Adobe Acrobat versions from the Ontario Municipal Board website at elto.gov.on.ca/omb/. If you do not have Internet access, these forms can be picked up at the City of Vaughan, Committee of Adjustment offices.

Please fill out Form A1 and follow the instructions as provided by the Ontario Municipal Board and submit your appeal to the City of Vaughan, Committee of Adjustment on or before the date stated above. You must enclose the completed form with the **\$708.00** processing fee, paid by **certified cheque** or **money order**, to the "TREASURER, CITY OF VAUGHAN" and the appeal fee of **\$300.00** for each application appealed, paid by **certified cheque** or **money order**, made payable to the "ONTARIO MINISTER OF FINANCE".

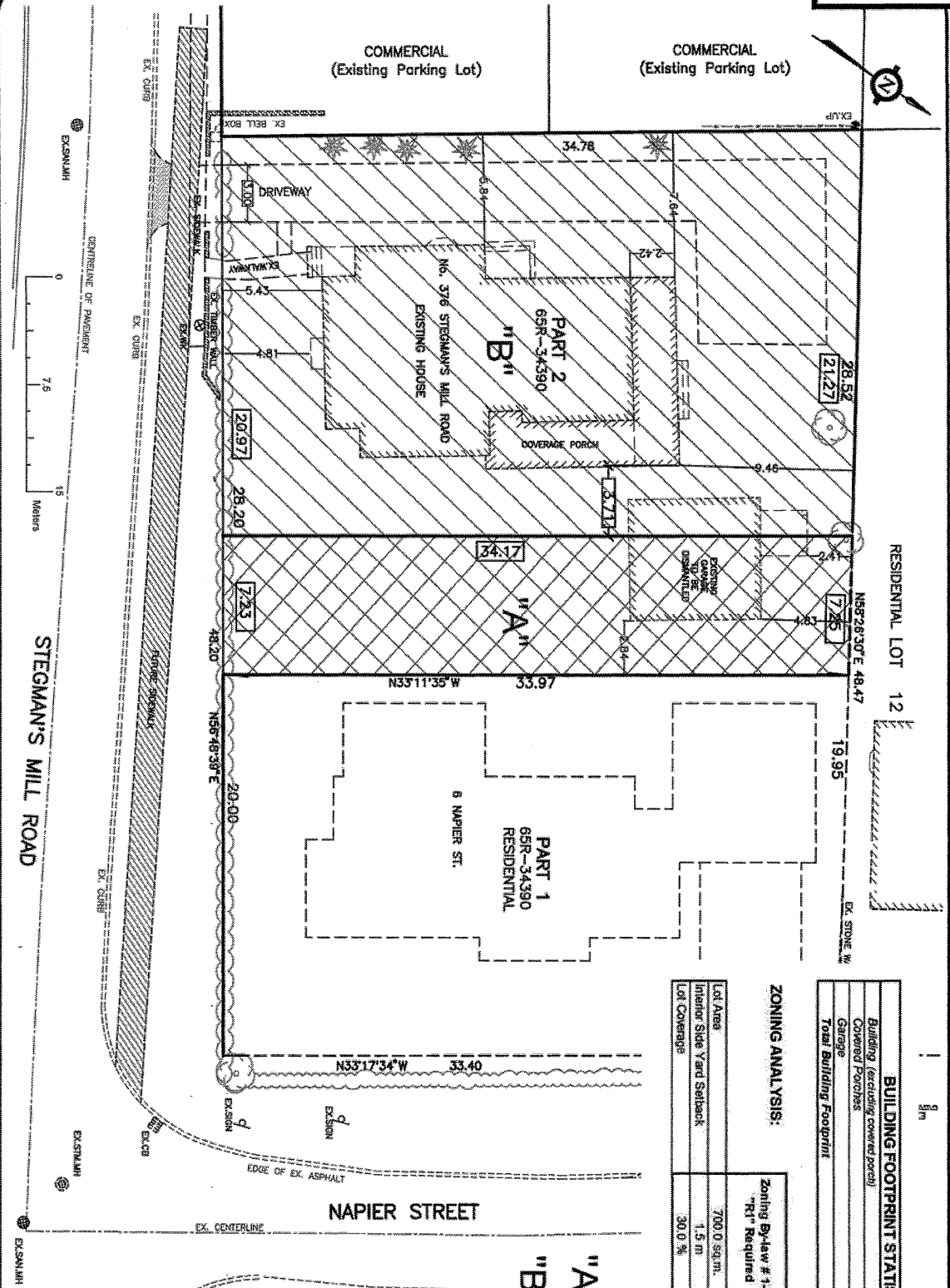
NOTE: The Planning Act provides for appeals to be filed by "persons". As groups or associations, such as residents or ratepayers groups which do not have incorporated status, may not be considered "persons" for the purposes of the Act, groups wishing to appeal this decision should do so in the name of individual group members, and not in the name of the group.

NOTES

1. You will be entitled to receive notice of any changes to the conditions of the provisional consent if you have made a written request to be notified of changes to the conditions of the provisional consent.
2. A Certificate pursuant to Subsection 53(21) of The Planning Act cannot be given until all conditions of consent have been fulfilled.

REVISED MAY 4, 2017

B016/17



STEGMAN'S MILL ROAD

NAPIER STREET

BUILDING FOOTPRINT STATISTIC

Building (excluding covered porch)	199.82 sq.m.
Covered Porches	46.75 sq.m.
Garage	45.00 sq.m.
Total Building Footprint	242.57 sq.m.

ZONING ANALYSIS:

	Zoning By-law # 188 "R1" Required	Existing Lands	"A" Conveyed Lands	"B" Retained Lands
Lot Area	700.0 sq.m.	974.57 sq.m.	247.48 sq.m.	727.09 sq.m.
Interior Side Yard Setback	1.5 m	2.04 m	N/A	3.71 m
Lot Coverage	30.0 %	24.89 %	N/A	27.17 % *

* 1.0m Garage Removed

"A" LAND TO BE CONVEYED 247.48m²
 "B" LAND TO BE RETAINED 727.09m²

No.	DESCRIPTION	By	Date
1			
2			
3			
4			

REVISIONS

EMC GROUP LIMITED
 Engineers Planners Project Managers
 Vaughan Ontario (905) 738-3539

PROJECT:
**376 STEGMAN'S MILL RD,
 KLEINBURG, VAUGHAN**
 PARTS 2 65-R-34390
 (REG. PLAN 11, LOTS 13 & 14)

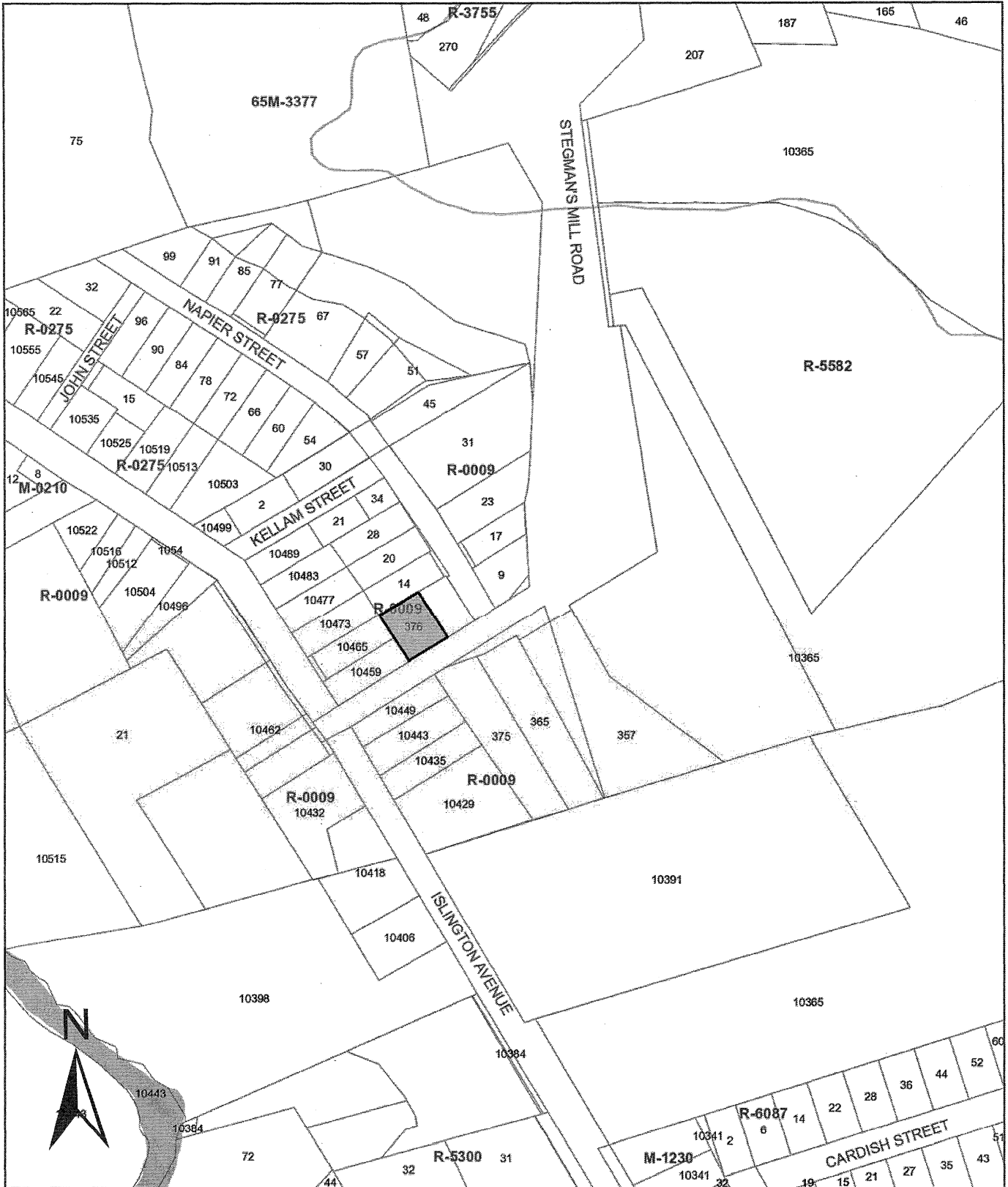
DRAWING TITLE:
**PROPOSED SEVERANCE
 LOT LINE ADJUSTMENT**

DESIGNED: D.Y.	DRAWN: D.Y.	DATE: MAY 03, '17
SCALE: 1:250	DRAWING No.: 215136-SV-2	



Location Map - B016/17

376 Stegman's Mill Road, Kleinburg



City of Vaughan

Major Mackenzie Drive



The City of Vaughan makes every effort to ensure that this map is free of errors but does not warrant that the map or its features are spatially, tabularly, or temporally accurate or fit for a particular use. This map is provided by the City of Vaughan without warranties of any kind, either expressed or implied.

CONSENTS

Please refer to the file number: **B016/17**

Address all correspondence to the Secretary-Treasurer

NOTICE TO THE OWNER

The Committee of Adjustment has approved your application for consent, subject to certain conditions.

A copy of the "Notice of Decision" is attached, together with relevant information concerning appeal procedures for the decision.

If the decision is not appealed, you will receive a notice that it is "Final and Binding", when the appeal period has expired. When the application is Final and Binding it will be appropriate for you to fulfil the conditions of approval.

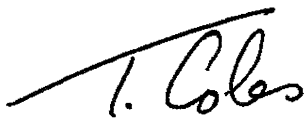
All conditions must be fulfilled before a Certificate of Official can be issued by the Secretary-Treasurer certifying that consent has been given. These conditions must be fulfilled not later than the date set out in the decision.

The period for fulfilling conditions cannot be extended.

Although you may have appointed an agent to act on your behalf in the application, it is your responsibility, as the owner, to ensure that all conditions are fulfilled in time. Failure to do so will result in the decision being deemed to have been refused, pursuant to subsection 53(41) of The Planning Act, and your application file will be closed.

NO FURTHER NOTICE OF THE LAST DAY FOR FULFILLING CONDITIONS WILL BE GIVEN.

Respectfully,



Todd Coles, ACST(A), MCIP, RPP
Manager of Development Services and
Secretary-Treasurer to Committee of Adjustment
City of Vaughan

**COMMITTEE OF ADJUSTMENT**

2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
 Phone: (905)832-8585 Fax: (905)832-8535

CONSENTS

Please refer to the file number: **B016/17**

Address all correspondence to the Secretary-Treasurer

TO: OWNER/AGENT/SOLICITOR
SUBJECT: FULFILMENT OF CONDITIONS OF APPROVAL

Please note carefully the following:

1. All conditions of approval must be fulfilled before a Certificate of Official pursuant to subsection 42 of Section 53 of The Planning Act can be issued. Unnecessary delay in the issue of the Certificate can be avoided by observing the following procedures:

(a) CONDITIONS CONCERNING THE MUNICIPALITY IN WHICH THE SUBJECT LAND IS LOCATED:

Payment of lot levy, fees, deed for road widening request for written advice, agreements, etc., must be forwarded directly to the Municipality, together with a request that a certificate that such conditions have been fulfilled, be forwarded to the Secretary-Treasurer (standard certificate forms have been provided to the Municipality for the purpose).

(b) CONDITIONS CONCERNING THE REGIONAL MUNICIPALITY OF YORK:

(i) Deed for road widening – must be forwarded directly to the Regional Solicitors,

17250 Yonge Street
 P.O. Box 147
 Newmarket, Ontario
 L3Y 6Z1

Together with necessary certification that the land described in the deed is free of all encumbrances. The deed must be accompanied by a white print of the deposited Reference Plan referred to in the deed.

(ii) Payment of a Regional Development Charge is payable to the City of Vaughan and is to be deposited with the City Treasurer in accordance with the Development Charges Act and Regional By-law DC1-91-136.

(c) CONDITIONS CONCERNING OTHER AGENCIES:

(i.e. Conservation Authorities, Ministry of Transportation, railways, etc)

Requests for written advice, permits, etc., must be forwarded directly to the Agency concerned, together with a request that the information required by the Committee be forwarded to the Secretary-Treasurer.

PLEASE INCLUDE OWNER'S NAME AND APPLIATION NUMBER WITH ANY MATERIAL FORWARDED TO THE ABOVE MUNICIPALITIES AND AGENCIES.

2. It is the owner's responsibility to ensure that all conditions of approval have been fulfilled in accordance with the Committee's decision not later than the date set out in the decision. Failure to do so will result in a lapse of the consent and the file will be closed. Time limits set out in the decision **CANNOT** be extended. **NO FURTHER NOTICE WITH REGARD TO THE LAST DAY FOR FULFILLING CONDITIONS OF APPROVAL WILL BE GIVEN.**

**COMMITTEE OF ADJUSTMENT**

2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
 Phone: (905)832-8585 Fax: (905)832-8535

**Committee of Adjustment Requirements
 Electronic Registration
 Planning Act
 Consents – Section 53(42)**

Prior to electronic registration, a consent under Section 53(42) of the Planning Act could be issued in certificate form or be stamped directly on the document (Transfer/Deed, Transfer of Easement, Charge/Mortgage). Our usual practice was to stamp the consent on the document. Since the document itself had insufficient space to place the stamp, our practice was to stamp the consent on an attached schedule containing the legal description of the property to be severed.

Under electronic registration, since there is no opportunity to place a stamp on a paper document, our practice has been amended to issue the consent in certificate form.

In order to ensure that the legal description in the certificate matches that in the Notice of Decision, **we require a letter and a "Schedule Page" from the Applicant's Solicitor confirming the legal description of the subject lands, sufficient for registration purposes (the "Schedule Page" will be an attachment to the Certificate)**, and four copies of the deposited Reference Plan.

Once we have satisfied ourselves that the legal description provided by the Applicant's Solicitor is correct, and that all other conditions for the consent have been met, we will issue the certificate, and the solicitor may complete the registration of the Transfer or Charge.

To complete our file, we require that the applicant's solicitor provide us with registration particulars after registration has been completed.

For information purposes only:

On a Transfer or Transfer of Easement, one of the following statements on the electronic Transfer must be selected and completed:

Statement 100: a consent from the NAME has been obtained for this severance and contains the following conditions: INSERT CONDITIONS OR 'NONE'

Statement 101: The NAME has consented to this severance herein: INPORT CONSENT (i.e. scan the consent and attach it or type the consent verbatim).

As neither Statement 100 nor 101 appears in a Charge document, the consent must be types verbatim or scanned and attached to the document in the Schedules section.

For information on electronic registration, please contact Teranet at 416-360-1190.

A handwritten signature in black ink that reads 'T. Coles'.

Todd Coles, ACST(A), MCIP, RPP
 Manager of Development Services and
 Secretary-Treasurer to Committee of Adjustment
 City of Vaughan

NOTICE OF DECISION
CONSENTS

FILE NUMBER: B008/13

APPLICANT: KATHRYN ANGUS

PROPERTY: Part of Lot 24, Concession 8 (being Lots 13 & 14 on Registered Plan #11, municipally known as 376 Stegman's Mill Road, Kleinburg).

ZONING: The subject lands are zoned R1 Residential Zone One under By-law 1-88 as amended.

PURPOSE: The purpose of this application is to request the consent of the Committee of Adjustment to convey a parcel of land marked "A" on the attached sketch for the **creation of a new lot**, together with all required easements and right of ways, for residential purposes, and retain the lands marked "B" on the attached sketch for residential purposes.

Currently a frame garage straddles both the subject and the retain lands, which will be demolished. A single family dwelling is proposed for the subject land.

There is an existing residential dwelling located on the retained land.

A sketch is attached illustrating the request.

The above noted application was heard by the Committee of Adjustment on: **APRIL 11, 2013.**

MOVED BY: *may mauti*

SECONDED BY: *Perrella*

THAT Application No. **B008/13, KATHRYN ANGUS**, be **ADJOURNED SINE DIE.** *no so*

CARRIED. **CHAIR:** *Per*

Signed by all members present who concur in this decision:

Per
J. Cesario,
Chair

Perrella
A. Perrella,
Vice Chair

ABSENT
L. Fluxgold,
Member

may mauti
M. Mauti,
Member

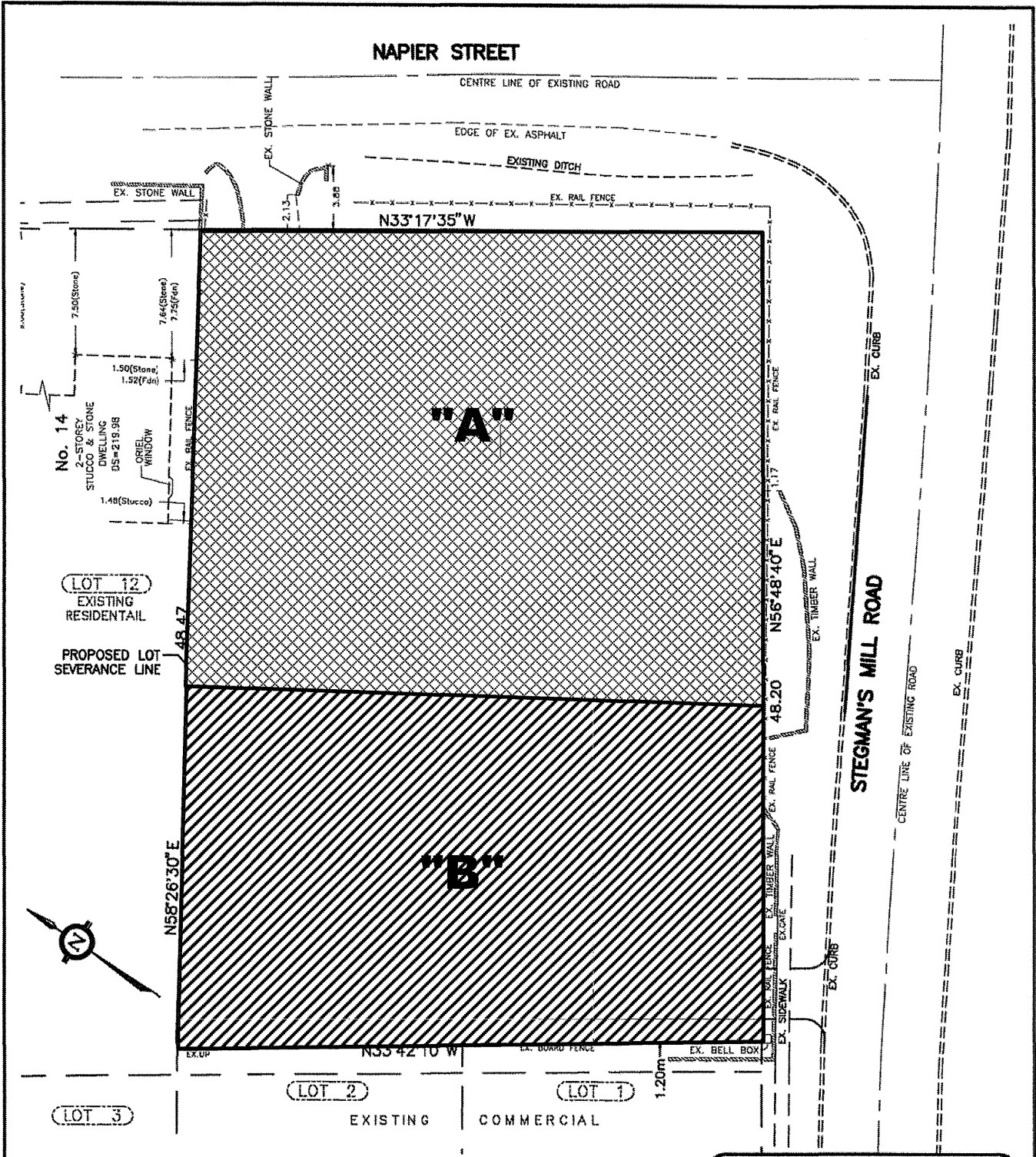
no
H. Zheng,
Member

CERTIFICATION

I hereby certify this to be a true copy of the decision of the Committee of Adjustment, and this decision was concurred in by a majority of the members who heard this application.

T. Coles
Todd Coles, BES, MCIP, RPP
Manager of Development Services
and Secretary-Treasurer to
Committee of Adjustment

Date of Hearing: APRIL 11, 2013



Zoning Analysis-376 Stegman's Mill Road

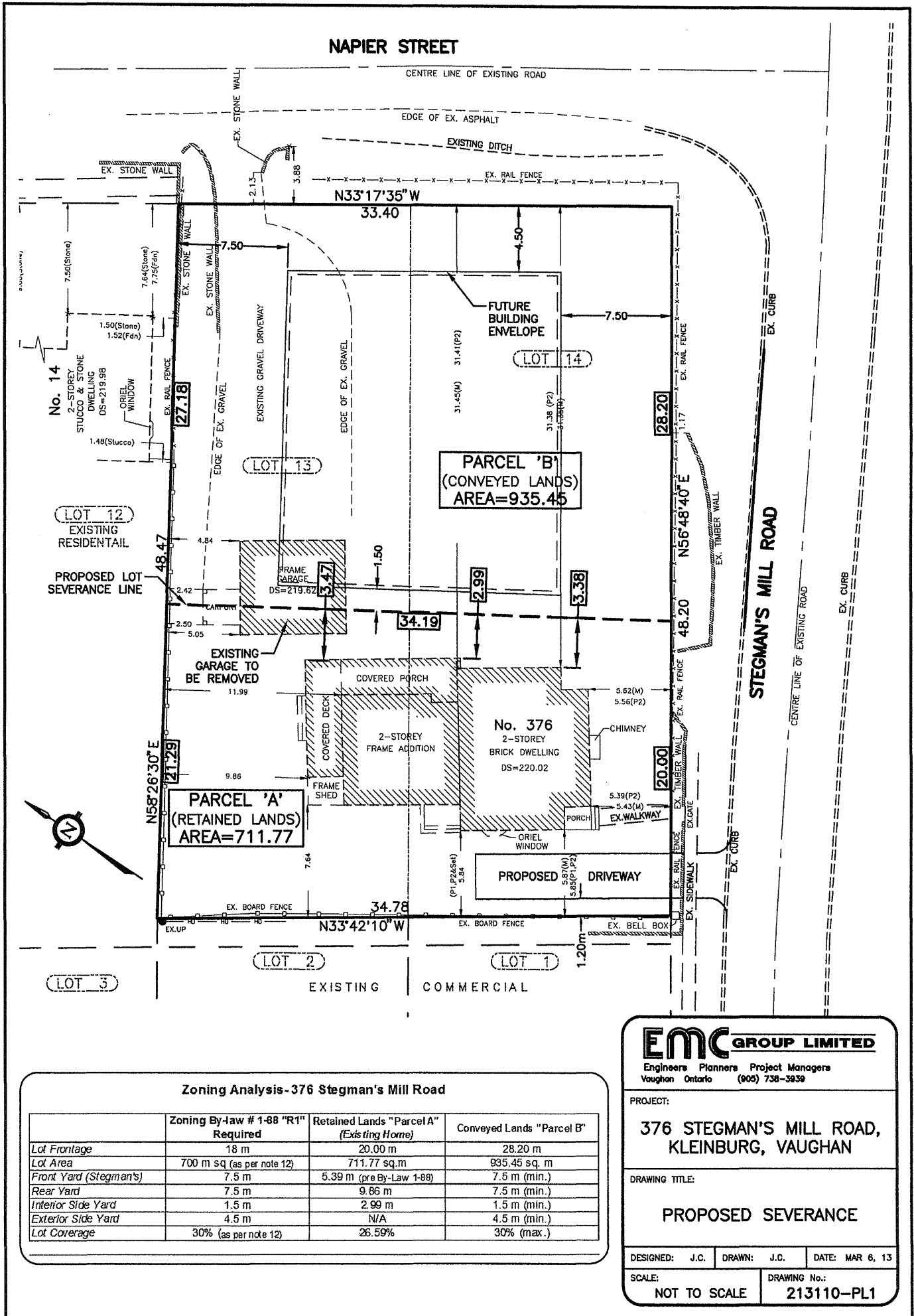
	Zoning By-law # 1-88 "R1" Required	Retained Lands "Parcel A" (Existing Home)	Conveyed Lands "Parcel B"
Lot Frontage	18 m	20.00 m	28.20 m
Lot Area	700 m sq (as per note 12)	711.77 sq.m	935.45 sq. m
Front Yard (Stegman's)	7.5 m	5.39 m (pre By-Law 1-88)	7.5 m (min.)
Rear Yard	7.5 m	9.88 m	7.5 m (min.)
Interior Side Yard	1.5 m	2.99 m	1.5 m (min.)
Exterior Side Yard	4.5 m	N/A	4.5 m (min.)
Lot Coverage	30% (as per note 12)	26.59%	30% (max.)

EMC GROUP LIMITED
 Engineers Planners Project Managers
 Vaughan Ontario (905) 738-3939

PROJECT:
**376 STEGMAN'S MILL ROAD,
 KLEINBURG, VAUGHAN**

DRAWING TITLE:
PROPOSED SEVERANCE

DESIGNED: J.C. DRAWN: J.C. DATE: MAR 6, 13
 SCALE: NOT TO SCALE DRAWING No.: 213110-PL1



Zoning Analysis - 376 Stegman's Mill Road

	Zoning By-law # 1-88 "R1" Required	Retained Lands "Parcel A" (Existing Home)	Conveyed Lands "Parcel B"
Lot Frontage	18 m	20.00 m	28.20 m
Lot Area	700 m sq (as per note 12)	711.77 sq.m	935.45 sq. m
Front Yard (Stegman's)	7.5 m	5.39 m (pre By-Law 1-88)	7.5 m (min.)
Rear Yard	7.5 m	9.86 m	7.5 m (min.)
Interior Side Yard	1.5 m	2.99 m	1.5 m (min.)
Exterior Side Yard	4.5 m	N/A	4.5 m (min.)
Lot Coverage	30% (as per note 12)	26.59%	30% (max.)

EMC GROUP LIMITED

Engineers Planners Project Managers
Vaughan Ontario (905) 738-3939

PROJECT:

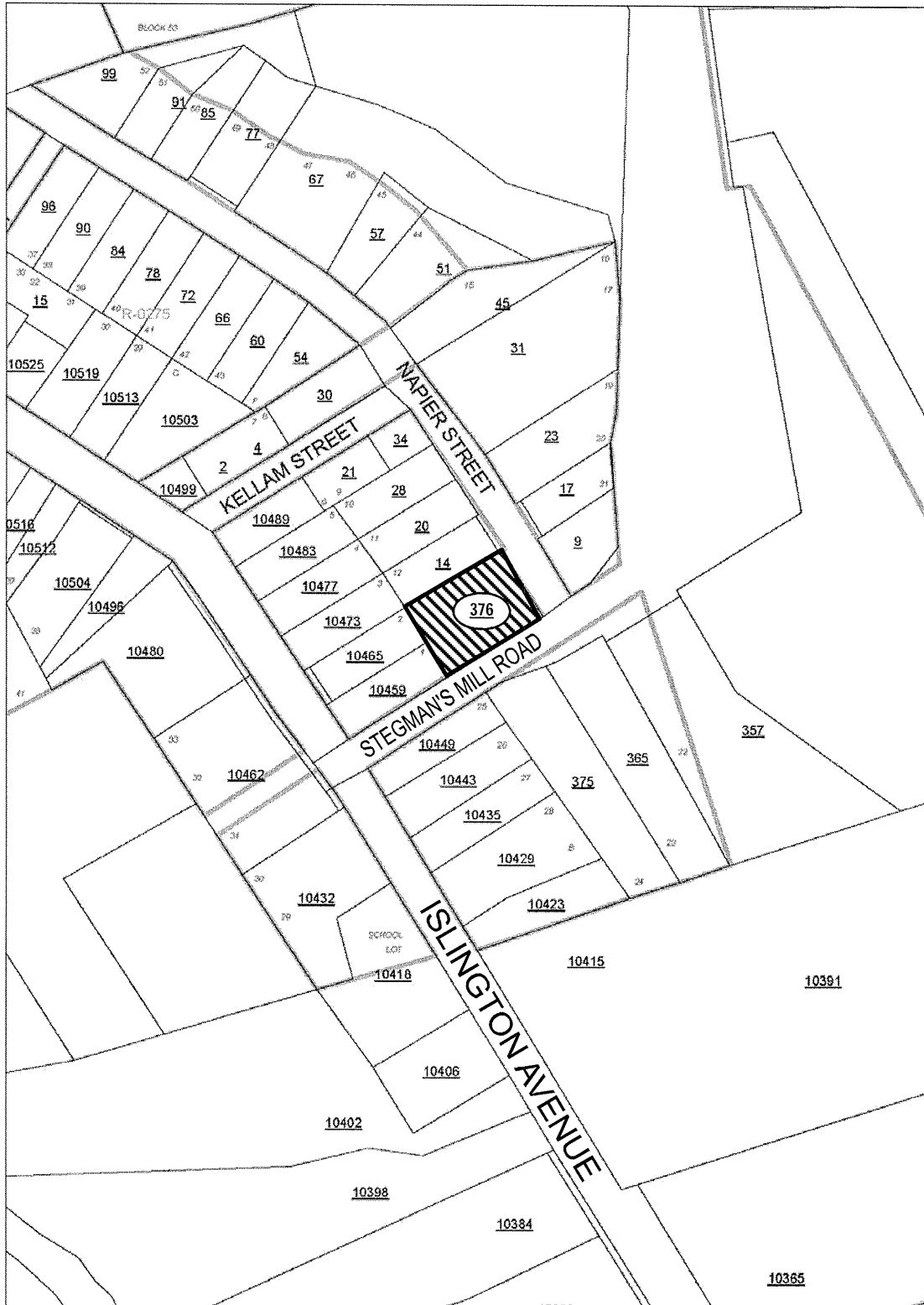
**376 STEGMAN'S MILL ROAD,
KLEINBURG, VAUGHAN**

DRAWING TITLE:

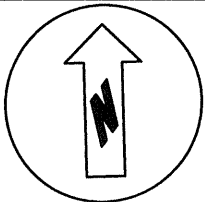

PROPOSED SEVERANCE

DESIGNED: J.C. DRAWN: J.C. DATE: MAR 6, 13

SCALE: NOT TO SCALE DRAWING No.: 213110-PL1



COMMITTEE OF ADJUSTMENT
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
Phone: (905)832-8585 Fax: (905)832-8535

	FILE NUMBER:	B008/13
	APPLICANT:	KATHRYN ANGUS
		Subject Area Municipally known as 376 Stegman's Mill Road, Kleinburg

