



File: A093/19

Applicant: Navid Mirhakkak

Address: 326 Firglen Ridge, Woodbridge

Agent: Chezsa Sanita

Please note that comments received after the preparation of this Staff Report (up until 12:00 p.m. on the scheduled hearing date) will be provided as an addendum.

Commenting Department	<input checked="" type="checkbox"/> Positive Comment <input checked="" type="checkbox"/> Negative Comment	Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
Committee of Adjustment	<input checked="" type="checkbox"/>	
Building Standards	<input checked="" type="checkbox"/>	
Building Inspection	<input checked="" type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	
Cultural Heritage (Urban Design)	<input checked="" type="checkbox"/>	
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Parks Department		
By-law & Compliance		
Financial Planning & Development	<input checked="" type="checkbox"/>	
Fire Department		
TRCA		
Ministry of Transportation		
Region of York	<input checked="" type="checkbox"/>	
Alectra (Formerly PowerStream)	<input checked="" type="checkbox"/>	
Public Correspondence (see Schedule B)		

Adjournment History: None

Background History: None



Minor Variance
Application

Agenda Item: 16

A093/19

Ward: 2

Staff Report Prepared By: Adriana MacPherson, Assistant Secretary Treasurer

Date of Hearing: Thursday, July 25, 2019

Applicant: Navid Mirhakkak

Agent: Chezsza Sanita

Property: 326 Firglen Ridge, Woodbridge

Zoning: The subject lands are zoned R1 9(145) and subject to the provisions of Exception under By-law 1-88 as amended

OP Designation: Vaughan Official Plan 2010: Woodbridge Centre Secondary Plan (VOP 2010, Volume 2, Section 11.11): "Low-Rise Residential"

Related Files: None

Purpose: Relief from the By-law is being requested to permit an addition to the existing two car garage.

*The addition is partially constructed.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
A maximum Lot Coverage of 30% is permitted	To permit a maximum Lot Coverage of 32.99% (28.65% Dwelling, Garage 2.99% and Covered Porch 1.35%).

Background (previous applications approved by the Committee on the subject land):

For information on the previous approvals listed above please visit www.vaughan.ca. To search for a file number, enter it using quotes around it. For example, "A001/17".

To search property address, enter street number and street name using quotes. For example, "2141 Major Mackenzie". Do not include street type (i.e. drive).

Adjournment History: NA

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **4:00 p.m.** on the last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:
Public notice was mailed on July 10, 2019

Applicant confirmed posting of signage on July 12, 2019

Property Information	
Existing Structures	Year Constructed
Dwelling	1978
Garage	Partially Constructed

Applicant has advised that they cannot comply with By-law for the following reason(s): Construction began without knowing it was outside of By-Law requirements.

Adjournment Request:
None

Building Standards (Zoning Review):

Stop Work Order(s) and Order(s) to Comply: Order No. 19-000095,
Order to Comply Issue Date: Jun 21, 2019

Building Permit No. 17-001498 for Single Detached Dwelling - HVAC Only, Issue Date: Feb 11, 2019
Building Permit No. 17-001498 for Single Detached Dwelling - Alteration, Issue Date: (Not Yet Issued)
Building Permit No. 17-001498 for Single Detached Dwelling - Alteration, Issue Date: Jul 28, 2017

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Building Inspections (Septic):

No comments or concerns

Development Planning:

Vaughan Official Plan 2010: Woodbridge Centre Secondary Plan (VOP 2010, Volume 2, Section 11.11): "Low-Rise Residential.

The Owner is requesting permission to continue construction of a single-family dwelling with the above noted variance. Building Permit (17-001498 A) was issued for the single-family dwelling on July 28, 2017. During construction, the garage was extended without a revision to the building permit resulting in an Order to Comply being issued on June 21, 2019 (19-000095 OB). Upon review of the garage extension, it was determined that relief from the zoning by-law was required.

Development Planning and Development Engineering staff attended the site on July 17, 2019. The extension of the garage is located towards the rear of the property and has no impact on the streetscape. The garage, as constructed, does not encroach into the interior side yard and accounts for 2.99% of the total lot coverage. Accordingly, the Development Planning Department is of the opinion that the variance for an increased lot coverage is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

The Development Planning Department recommends approval of the application.

Cultural Heritage (Urban Design):

The Cultural Heritage Division does not object to this Variance Application. The east property line of the subject parcel of land is adjacent to an area identified as a being of high archaeological potential in the City's database of archaeological resources. As such, the applicant should be advised that the following standard clauses apply:

Should archaeological resources be found on the property during construction activities, all work must cease and both the Ontario Ministry of Tourism, Culture and Sport and the City of Vaughan's Development Planning Department, Urban Design and Cultural Heritage Department shall be notified immediately.

Development Engineering:

The Development Engineering (DE) Department does not object to variance application A093/19 subject to the following condition(s):

The Owner/applicant shall submit the final Lot Grading plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading approval prior to any work being undertaken on the property. Please visit or contact Development Engineering's front desk on the 2nd floor of City Hall to apply for lot grading approval.

Parks Development:

No Response.

By-Law and Compliance, Licensing and Permit Services:

No Response.

Financial Planning and Development Finance:

No comment, no concerns

Fire Department:

No Response.

Schedule A – Plans & Sketches

Location Map
Sketches
Site Visit Photos

Schedule B – Public Correspondence

None

Schedule C - Agency Comments
Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections

Staff Recommendations:
Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended:

	Department/Agency	Condition
1	Development Engineering Brad Steeves 905-832-8585 x 8977 brad.steeves@vaughan.ca	The Owner/applicant shall submit the final Lot Grading plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading approval prior to any work being undertaken on the property. Please visit or contact Development Engineering's front desk on the 2nd floor of City Hall to apply for lot grading approval.

Please Note:

Relief granted from the City’s Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City’s Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

Notice to Public

WRITTEN SUBMISSIONS: Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Public written submissions on an Application shall only be received by the Secretary Treasurer until **4:00 p.m.** on the last business day **prior** to the day of the scheduled Meeting.

Written submissions can be mailed and/or emailed to:

City of Vaughan
Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
CofA@vaughan.ca

ORAL SUBMISSIONS: If you wish to attend the meeting you will be given an opportunity to make an oral submission. Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings are audio recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

PUBLIC RECORD: Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

For further information please contact the City of Vaughan, Committee of Adjustment

Adriana MacPherson

T 905 832 8585 Extension 8360

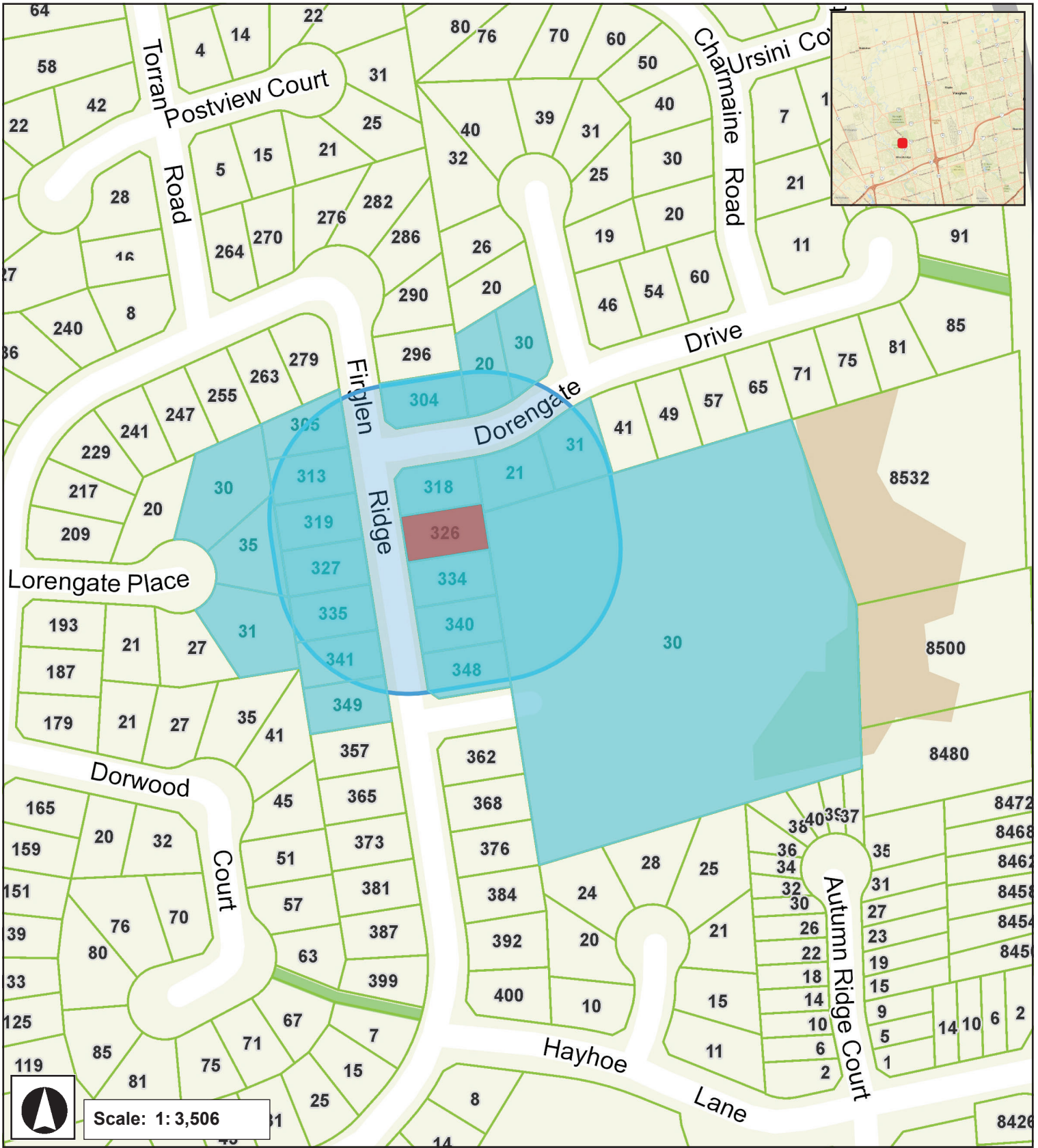
E CofA@vaughan.ca

Schedule A: Plans & Sketches

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum. Correspondence will only be accepted until 12:00 p.m. on the date of the scheduled hearing.

- Location Map
- Sketches
- Site Visit Photos

A093/19 - 326 Firglen Ridge, Woodbridge



To permit a maximum Lot Coverage of 32.99%
(28.65% Dwelling, Garage 2.99% and Covered Porch 1.35%)

A093/19

FIRGLEN RIDGE

(BY REGISTERED PLAN M-1701)

CENTRELINE OF PAVEMENT

CONCRETE CURB

CURB CUT

CURB CUT

CONCRETE SIDEWALK

N08°55'00"W (REFERENCE BEARING)

ASPHALT
DRIVEWAY

COVERED
PORCH

2-STORY BRICK
DUELLING
NO. 318
T.R.E. = 190000

LOT 18
(BY
REGISTERED
PLAN M-1701)
P.I.N. 03303-0074

N81°05'00"E (RP411)

40.84m (RP46ET)

EXIST.

EXIST.

EXIST.

EXIST.

NO. 326
2-STORY BRICK
DUELLING

F.F.E. LEVEL 1 = 183.91

F.F.E. LEVEL 2 = 184.35

EXISTING AREA =

28100 SM

(3035.38 SF) =

29.99%

LOT 19
(BY
REGISTERED
PLAN M-1701)
P.I.N. 03303-0075

CEDAR
DECK

18420

DN

SR

22.86m (RP411)

N08°55'00"W (RP411)

Partially Constructed Garage Addition

AREA = 28.35 SM =

3.01%

ALL SITE PLAN INFORMATION IS TAKEN
FROM PLAN OF SURVEY AS PREPARED BY
GREATER TORONTO ACRES SURVEYING INC.
DATED MARCH 6, 2011.

N81°05'00"E (RP411)

40.84m (RP46ET)

EXIST. 8.06

2-CAR GARAGE

PROF. 12.18

11.25

21.33

22.86m (RP411)

2-STORY BRICK
DUELLING
NO. 334
T.R.E. = 190002

LOT 20 (BY REGISTERED
PLAN M-1701)
P.I.N. 03303-0076

COVERED
PORCH

1-STORY
BRICK

326 FIRGLEN RIDGE - INFORMATION

LOT AREA	94011 SM	101124 SF	
COVERAGE:			
EXISTING LOT COVERAGE	28200 SM	3029.38 SF	29.99%
PROF. LOT COVERAGE (GARAGE ADDITION)	2811 SM	3032.4 SF	2.93%
TOTAL COVERAGE	31011 SM	33318.78 SF	32.99%

SITE PLAN

PROPOSED GARAGE ADDITION FOR:

326 FIRGLEN RIDGE

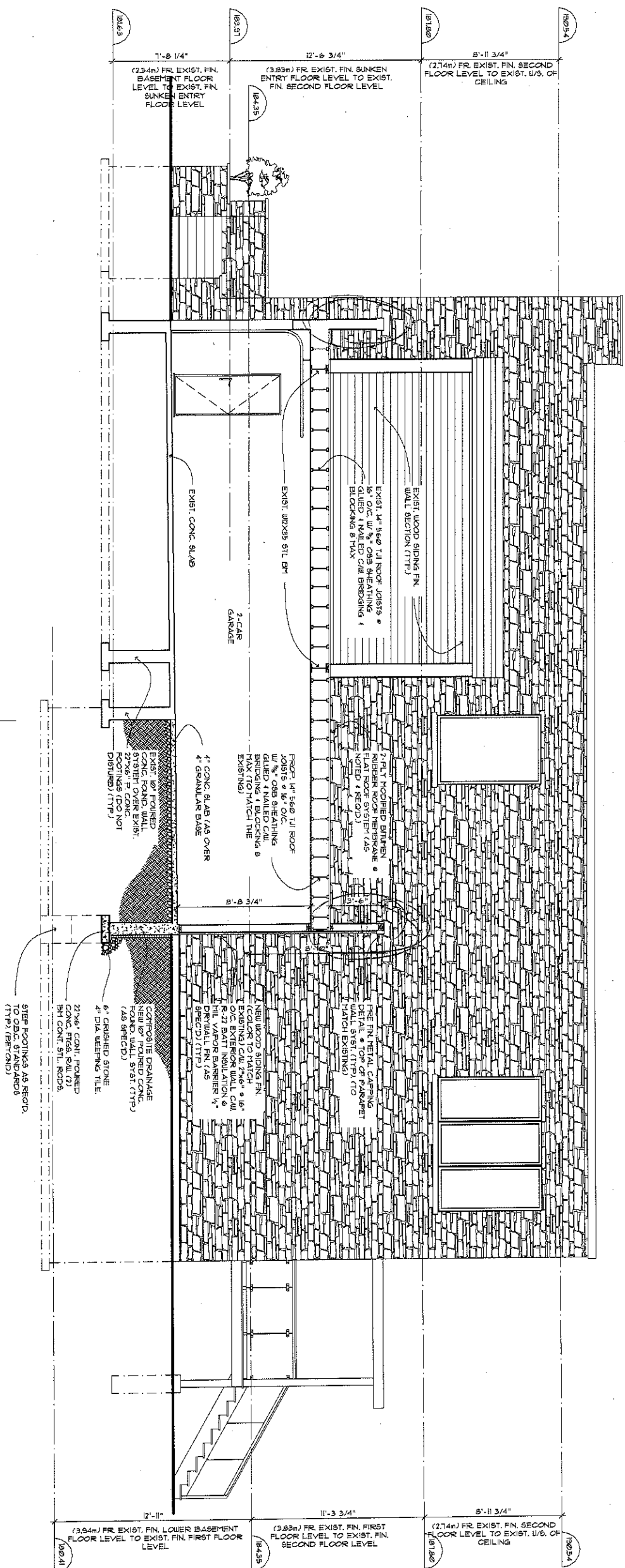
VAUGHAN, ONTARIO

SHEET

SP

SCALE: 1:200

DATE: 03-27-2019



A4 SECTION

PROPOSED SECTION

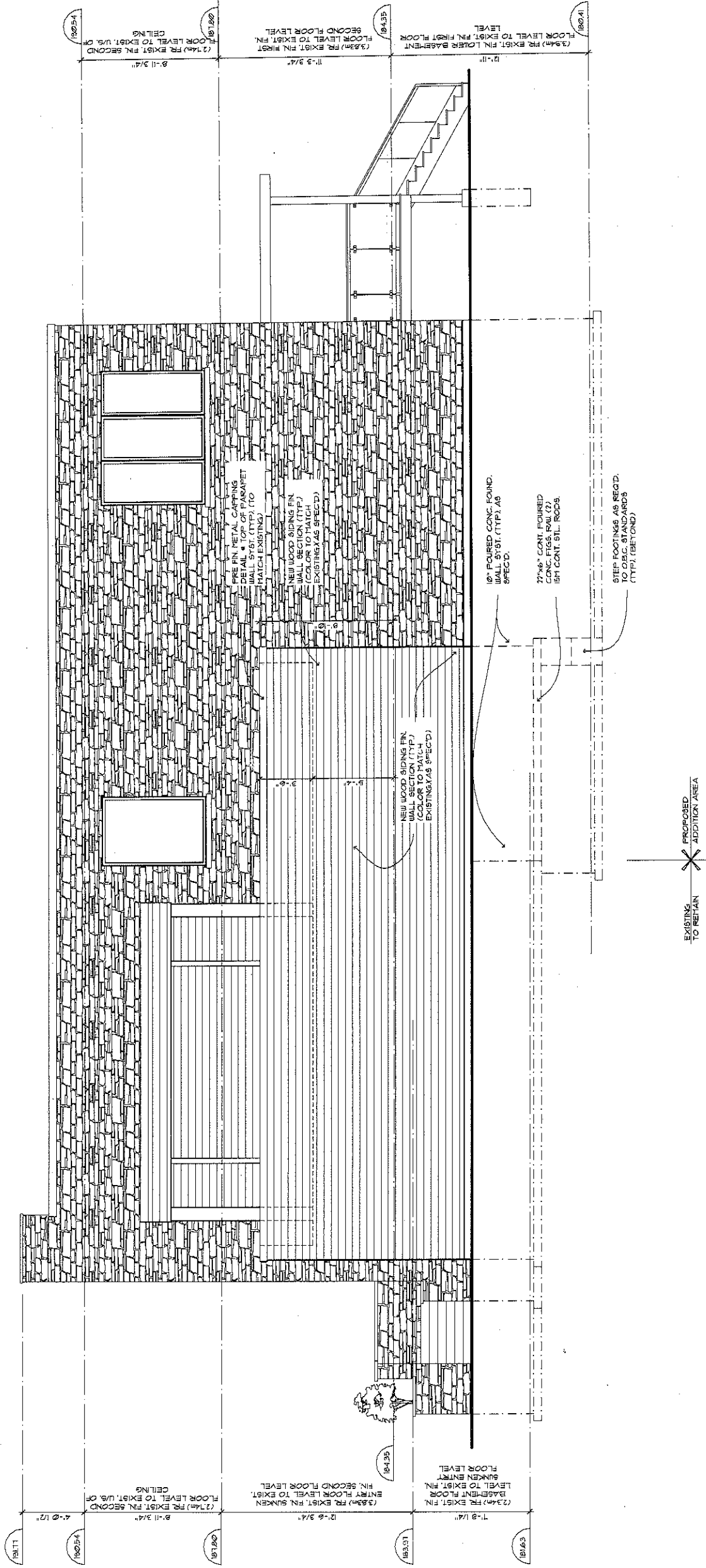
CROSS SECTION

SHEET

PROPOSED GARAGE ADDITION FOR:
326 FIRGLEN RIDGE
VAUGHAN, ONTARIO

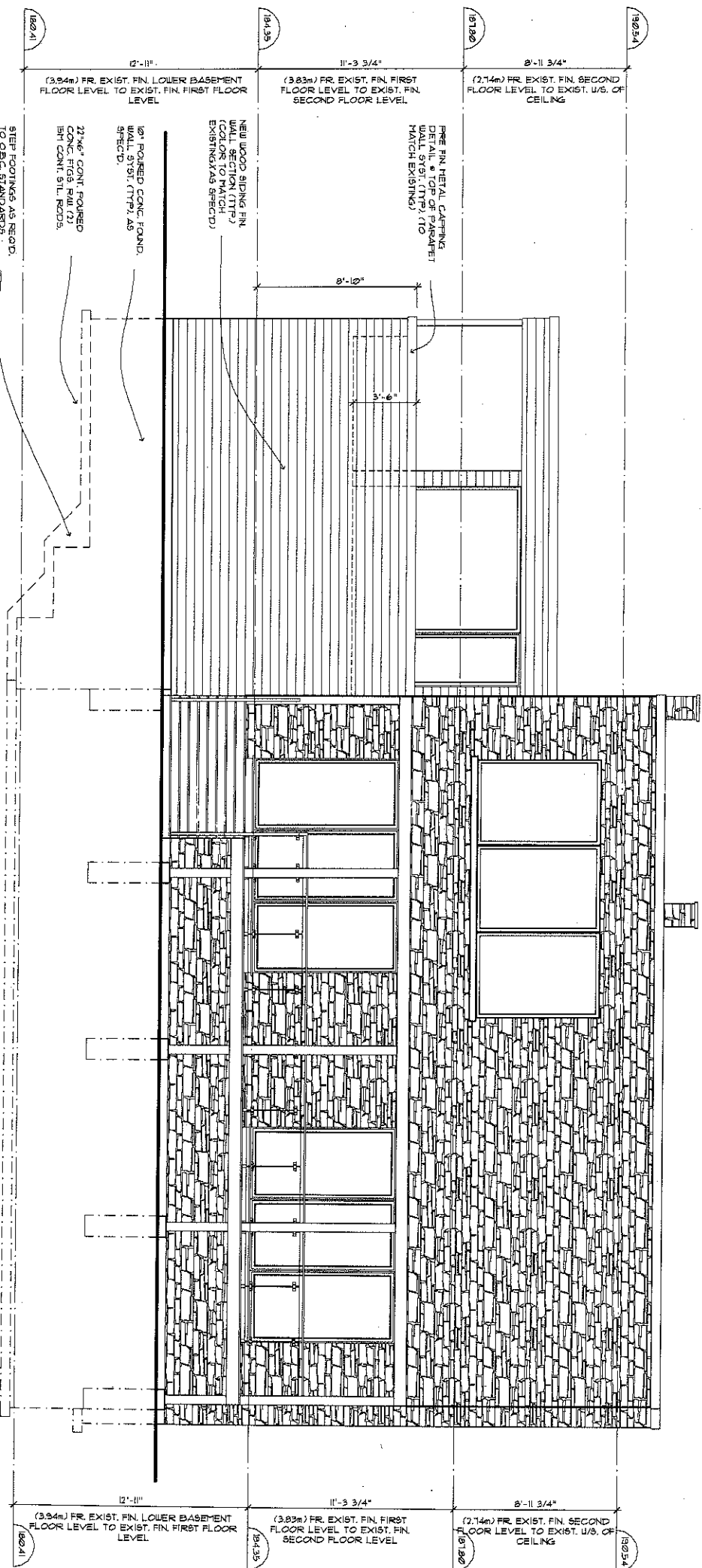
A4

SCALE: 1/8" = 1'-0"
DATE: 03-27-2019



Partially Constructed · RIGHT (SOUTH SIDE) ELEVATION

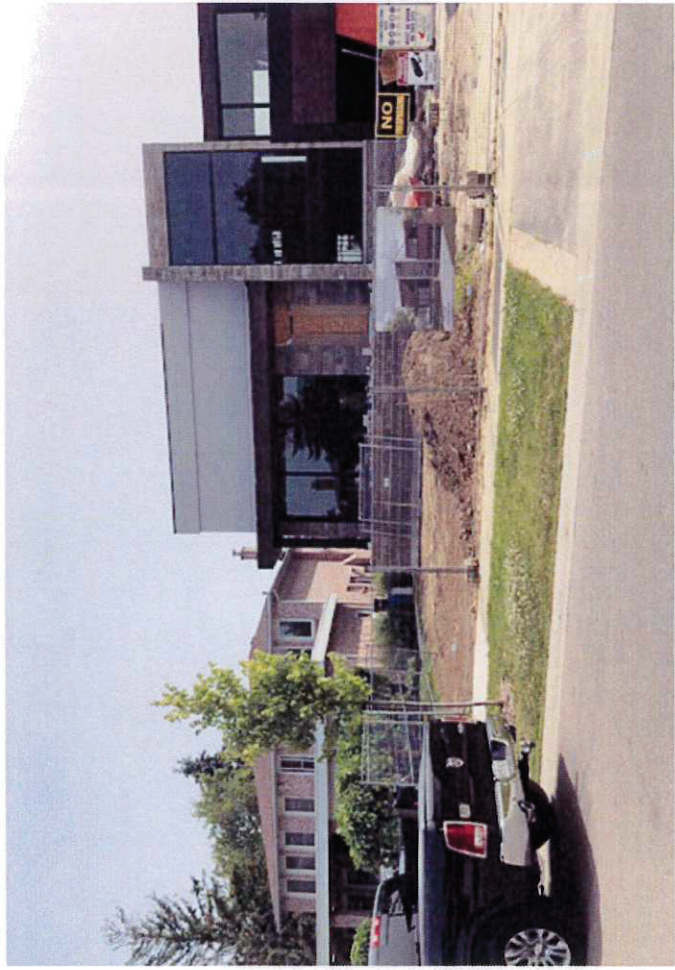
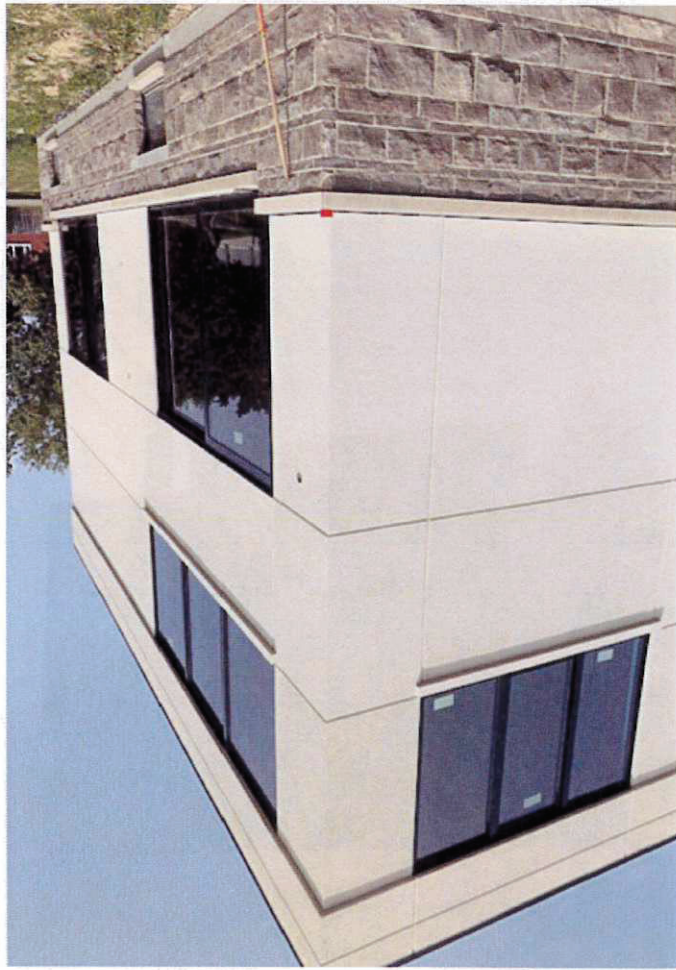
	PROPOSED ELEVATIONS	A5	SHEET
	PROPOSED RIGHT (SOUTH SIDE) ELEVATION		
	PROPOSED GARAGE ADDITION FOR:		
	326 FIRGLEN RIDGE VAUGHAN, ONTARIO		SCALE: 1/8" = 1'-0"
			DATE: 03-27-2019

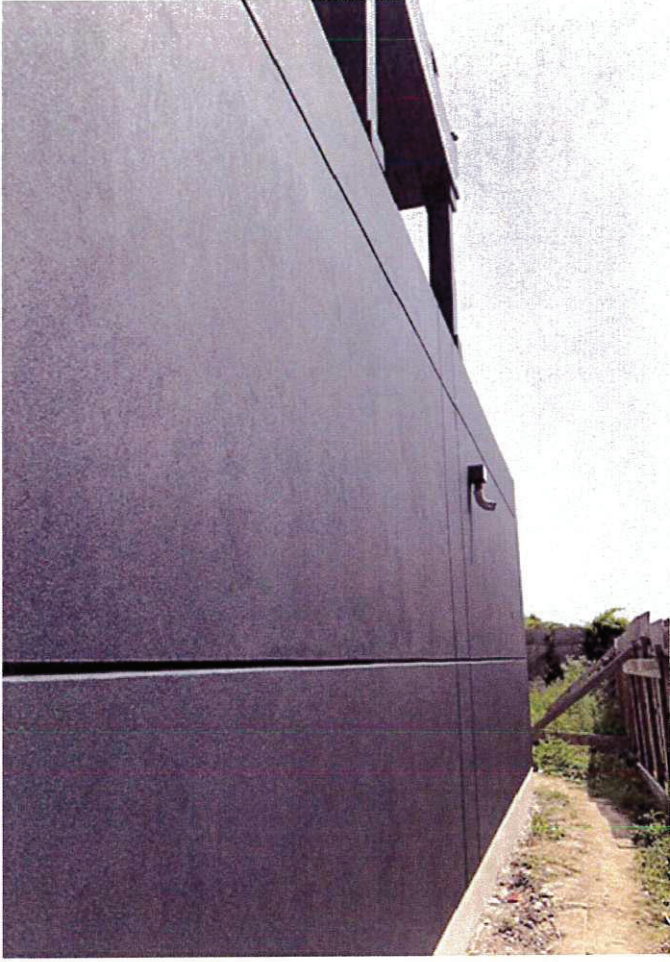


Partially Constructed REAR (EAST SIDE) ELEVATION

PROPOSED ELEVATIONS		SHEET
PROPOSED REAR (EAST SIDE) ELEVATION		A6
PROPOSED GARAGE ADDITION FOR:		
326 FIRGLEN RIDGE VAUGHAN, ONTARIO		
SCALE: 1/8" = 1'-0"		
DATE: 03-27-2019		







Schedule B: Public Correspondence Received

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum. Written submissions from the public will only be accepted / processed until 12:00 p.m. on the date of the scheduled hearing.

None

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum. Correspondence will only be accepted until 12:00 p.m. on the date of the scheduled hearing.

Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections

MacPherson, Adriana

Subject: FW: A093/19 - Request for Comments
Attachments: A093-19 - Circ.pdf

From: Wong, Tiffany <Tiffany.Wong@york.ca>
Sent: July-12-19 1:40 PM
To: Committee of Adjustment <CofA@vaughan.ca>
Subject: FW: A093/19 - Request for Comments

Hello Adriana,

The Regional Municipality of York has completed its review of the above Minor Variance Application-A093/19 (326 Firglen Ridge) and has no comments. Please feel free to e-mail me in regards to any questions or concerns.

Thank you,
Tiffany Wong, B.E.S. | Associate Planner, Programs and Process Improvement,
Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | tiffany.wong@york.ca | www.york.ca
Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Please consider the environment before printing this email.



COMMENTS:

☐

We have reviewed the proposed Variance Application and have no comments or objections to its approval.

☒

We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).

☐

We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI
Phone: 1-877-963-6900 ext. 31297
Fax: 905-532-4401
E-mail: stephen.cranley@alectrautilities.com

Mr. Tony D'Onofrio
Supervisor, Subdivisions & New Services
Phone: 1-877-963-6900 ext. 24419
Fax: 905-532-4401
Email: tony.donofrio@alectrautilities.com