



File: A084/19

Applicant: Lloyd and Marilyn Boone

Address: 60 Gordon Drive, Woodbridge

Agent: Battaglia Associates Inc.
(Anthony Battaglia)

Please note that comments received after the preparation of this Staff Report (up until 12:00 p.m. on the scheduled hearing date) will be provided as an addendum.

Commenting Department	<input checked="" type="checkbox"/> Positive Comment	Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/> Negative Comment	
Committee of Adjustment	<input checked="" type="checkbox"/>	
Building Standards	<input checked="" type="checkbox"/>	
Building Inspection	<input checked="" type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	
Cultural Heritage (Urban Design)	<input checked="" type="checkbox"/>	
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Parks Department		
By-law & Compliance		
Financial Planning & Development	<input checked="" type="checkbox"/>	
Fire Department		
TRCA		
Ministry of Transportation		
Region of York	<input checked="" type="checkbox"/>	
Alectra (Formerly PowerStream)	<input checked="" type="checkbox"/>	
Public Correspondence (see Schedule B)		

Adjournment History: N/A

Background History: N/A



**Minor Variance
Application**

A084/19

Agenda Item: 13

Ward: 2

Staff Report Prepared By: Adriana MacPherson, Assistant Secretary Treasurer

Date of Hearing: Thursday, July 25, 2019

Applicant: Lloyd and Marilyn Boone

Agent: Battaglia Associates Inc. (Anthony Battaglia)

Property: **60 Gordon Drive, Woodbridge**

Zoning: The subject lands are zoned R3 Residential Zone Three, under By-law 1-88 as amended.

OP Designation: Vaughan Official Plan 2010 ('VOP 2010'): Low-Rise Residential

Related Files: None

Purpose: Relief from the By-law is being requested to permit the construction of a proposed detached garage located in the rear yard.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
A minimum rear yard setback of 7.5 metres is required.	To permit a minimum rear yard setback of 4.6 metres to the accessory building (detached garage).

Background (previous applications approved by the Committee on the subject land): N/A

For information on the previous approvals listed above please visit www.vaughan.ca. To search for a file number, enter it using quotes around it. For example, "A001/17".

To search property address, enter street number and street name using quotes. For example, "2141 Major Mackenzie". Do not include street type (i.e. drive).

Adjournment History: N/A

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **4:00 p.m.** on the last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:
Public notice was mailed on July 10, 2019

Applicant confirmed posting of signage on July 12, 2019

Property Information	
Existing Structures	Year Constructed
Dwelling	1965
Accessory Bldg (Detached Garage)	TBC

Applicant has advised that they cannot comply with By-law for the following reason(s): Owner prefers that garage is located behind the house.

Adjournment Request:
None

Building Standards (Zoning Review):
Stop Work Order(s) and Order(s) to Comply: None

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2.

A maximum eave and gutter encroachment of 0.50 metres is permitted into a required yard.

Building Inspections (Septic):
No comments or concerns

Development Planning:
Vaughan Official Plan 2010 ('VOP 2010'): Low-Rise Residential

The Development Planning Department is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

The Development Planning Department recommends approval of the application.

Cultural Heritage (Urban Design):
The Cultural Heritage Division has no issue with this Variance Application.

Development Engineering:
The Development Engineering (DE) Department does not object to variance application A084/19 subject to the following condition:

The Owner/applicant shall submit the Final Lot Grading Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading approval for the proposed detached garage prior to any work being undertaken on the property (greater than 40m2 and therefore required a grading permit. Please visit or contact Development Engineering's front desk on the 2nd floor of City Hall to apply for lot grading approval.

Parks Development:
No comments.

By-Law and Compliance, Licensing and Permit Services:
No Response.

Financial Planning and Development Finance:
No comment no concerns

Fire Department:
No Response.

Schedule A – Plans & Sketches

Schedule B – Public Correspondence
None

Schedule C - Agency Comments
Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections

Staff Recommendations:
Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended:

	Department/Agency	Condition
1	Development Engineering Brad Steeves 905-832-8585 x 8977 brad.steeves@vaughan.ca	The Owner/applicant shall submit the Final Lot Grading Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading approval for the proposed detached garage prior to any work being undertaken on the property (greater than 40m2 and therefore required a grading permit).

Please Note:

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City's Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department;

Notice to Public

WRITTEN SUBMISSIONS: Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Public written submissions on an Application shall only be received by the Secretary Treasurer until **4:00 p.m.** on the last business day **prior** to the day of the scheduled Meeting.

Written submissions can be mailed and/or emailed to:

City of Vaughan
Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
CofA@vaughan.ca

ORAL SUBMISSIONS: If you wish to attend the meeting you will be given an opportunity to make an oral submission. Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings are audio recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

PUBLIC RECORD: Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

For further information please contact the City of Vaughan, Committee of Adjustment

Adriana MacPherson

T 905 832 8585 Extension 8360

E CofA@vaughan.ca

Schedule A: Plans & Sketches

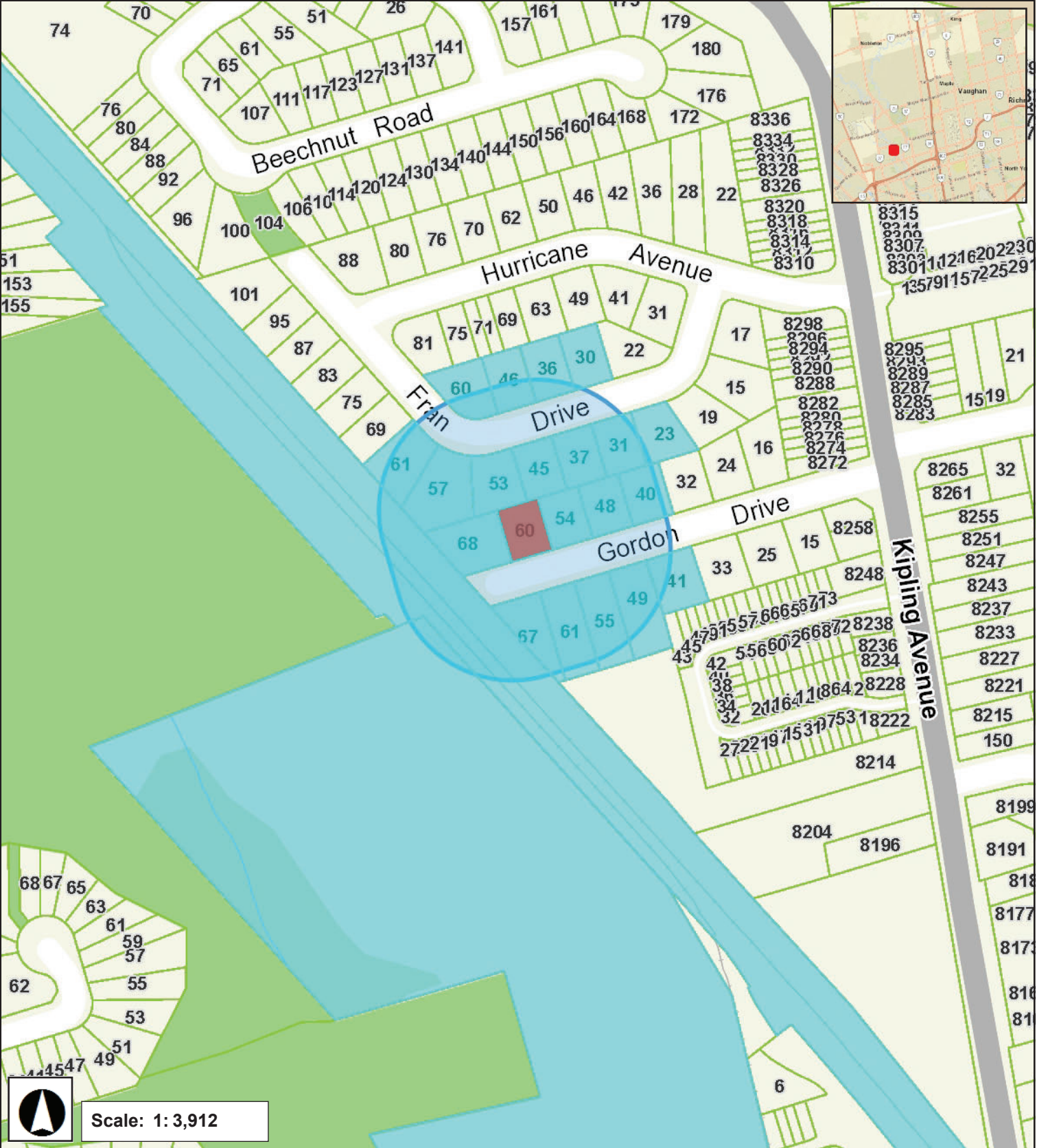
Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum. Correspondence will only be accepted until 12:00 p.m. on the date of the scheduled hearing.

Location Map
Sketches

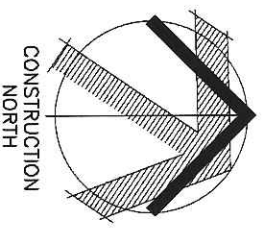


A084/19 - Notification Map

60 Gordon Drive, Woodbridge

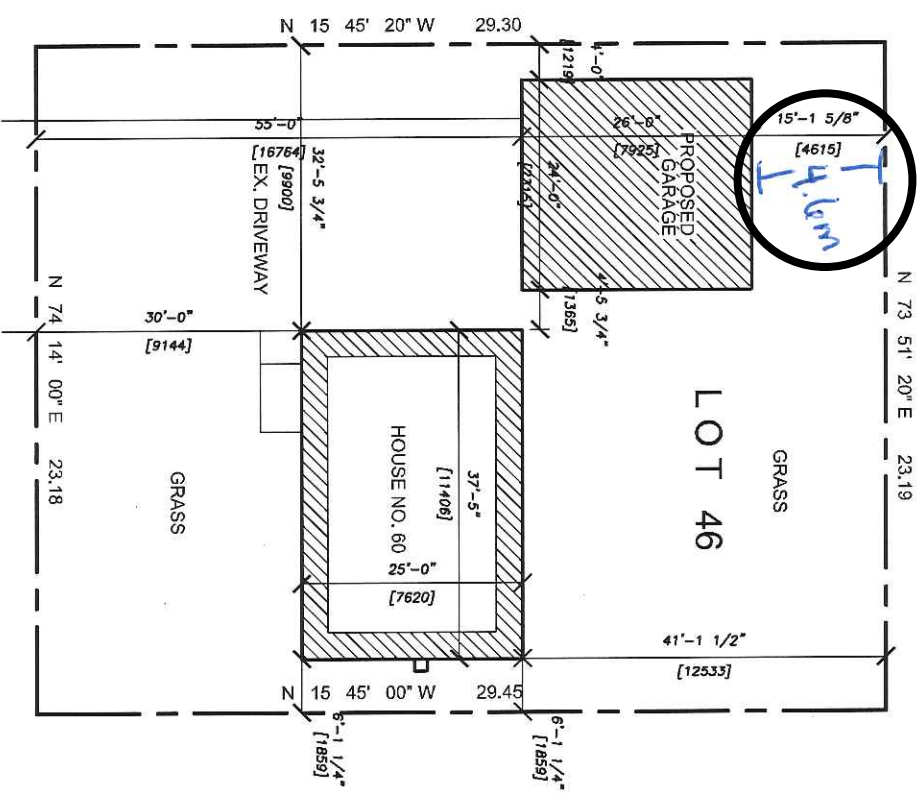


A084/19



1
A-1
Site Plan
SCALE 1:200

GORDON DRIVE



SITE STATISTICS

ZONING:	R3	REQUIRED	PROVIDED
LOT AREA:		360 sm min.	679.174sm (7310.6 sf) (100%)
EXISTING BUILDING AREA			
EXISTING DWELLING:			86.91 sm (935.5 sf) (12.8%)
PROPOSED GARAGE:		67 sm max.	58.0 sm (625 sf) (8.5%)
TOTAL COVERAGE:		271.67 sm (2924.2 sf) (40.0%)	144.91 sm (1560.5 sf) (21.3%)
LOT FRONTAGE:	12m		23.18m
SETBACKS			
- FRONT YARD	4.5 m		9.13 m (30'-0")
- SIDE YARD	1.2 m		1.22 m (4'-0")
- REAR YARD	7.5 m		4.6 m (15'-1")
LANDSCAPING			
- 60% OF REGD REAR YARD	104.36 sm MIN.		149.0 sm (1604 sf)
GARAGE			
- MAX HEIGHT	4.5 m MAX.		3.85 m (12'-8")
- HEIGHT OF EVE	3.0 m MAX.		2.82 m (9'-3")

INFORMATION TAKEN FROM
PLAN OF SURVEY.
OF LOT 46
REGD PLAN 4735
TOWN OF VAUGHAN
AS PREPARED BY
MCCONNEL, MAUGHAN LTD. OLS
AUGUST 30TH 1985



104 Main Street
Tel: (905) 763-0900
THORNHILL, ONTARIO L3T 1Y5

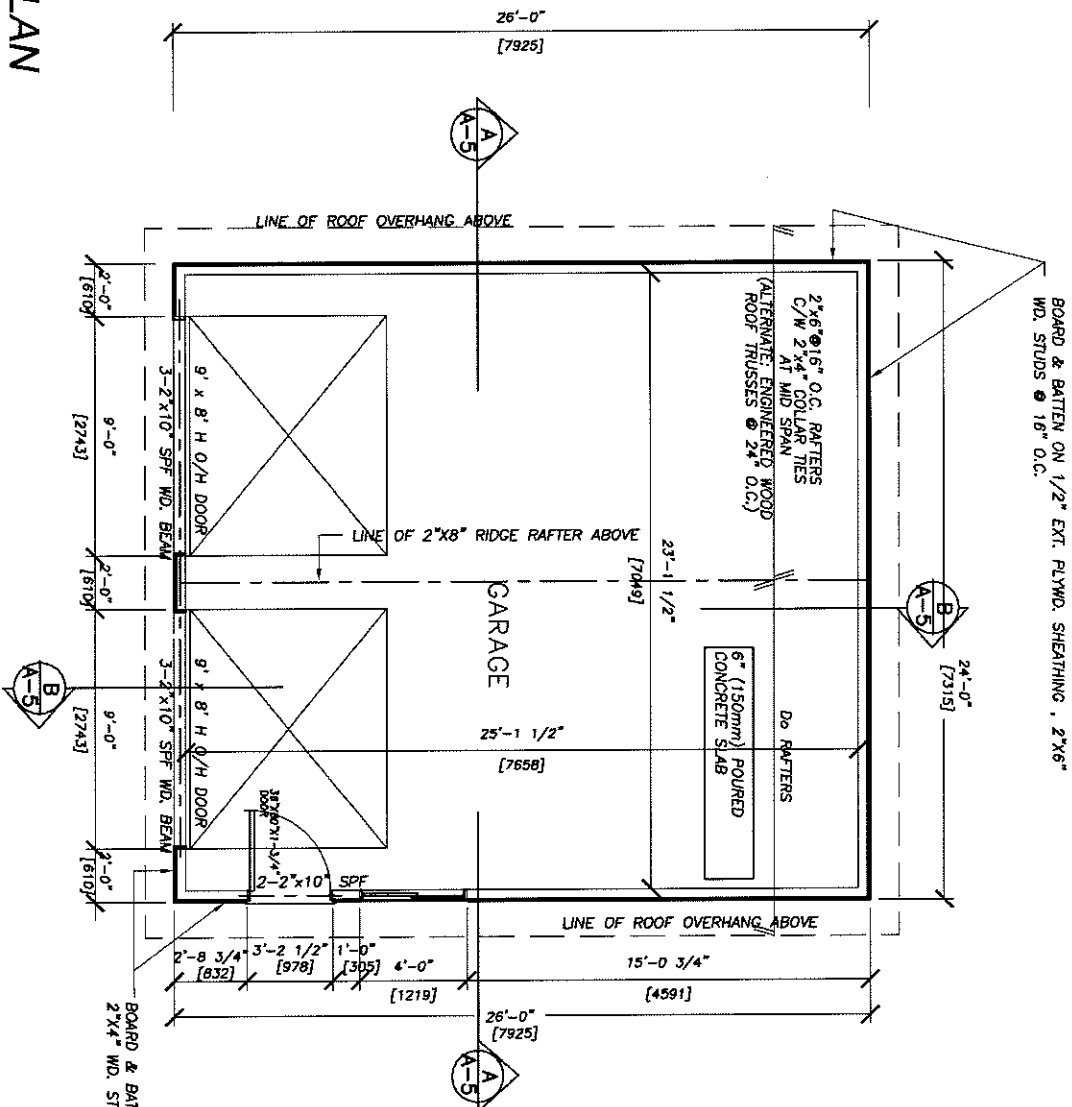
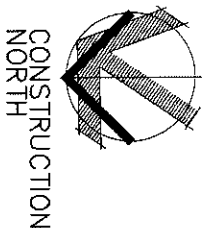


PROPOSED DETACHED
GARAGE
60 GORDON DRIVE

No.	Description	Date
1	Issued For CoA	05/22/19

Site Plan

Project number	21924	A-1
Date	May 2019	
Drawn by	A.P.	
Checked by	A.B.	Scale : AS NOTED



GENERAL NOTES:

- 01 FOUNDATION:**
ALL FOUNDATION SHALL REST ON NATURAL UNDISTURBED SOIL, ROCK OR COMPACTED GRANULAR FILL WITH MINIMUM BEARING CAPACITY OF 10.9 PSI (75 KPa) AND MUST BE MIN. 4'-0" (1200mm) BELOW FINISHED GRADE, AND CONTINUOUSLY KEYED. CONCRETE FOR FOOTINGS SHALL BE MIN. 2200 PSI (15 MPa) AT 28 DAYS.
- 02 FOUNDATION DRAINAGE:**
MIN 4" (100mm) DIAMETER WEeping TILE AROUND GARAGE FOUNDATION. TILE TO BE LAID ON UNDISTURBED OR WELL-COMPACTED SOIL SO THAT TOP OF THE TILE OR PIPE IS BELOW THE BOTTOM OF THE FLOOR SLAB OR CRAWL SPACE. TOP AND SIDES OF WEeping TILE TO BE COVERED WITH MIN. 6" (150mm) OF CRUSHED STONE. TIE INTO EXISTING DRAINAGE SYSTEM.
- 03 CONC. SLAB ON GRADE:**
6" (150mm) POURED CONCRETE 4000 PSI (32 MPa) AT 28 DAYS. TYPE C-2 CONCRETE, 5-7% AIR ENTRAINMENT
- 04 ROOF CONSTRUCTION:**
210# ASPHALT SHINGLES (SELF-SEALING) ASTM-106-58, CLASS TC ON 15# ROOFING PAPER (LAP JOINTS), ON 1/2" (12mm) PLYWOOD SHEATHING C/W H CLIPS (WITH TRUSSES ONLY), ON PRE-ENGINEERED WOOD ROOF TRUSSES @ 24" (600mm) O.C. MAX. C/W 1"x4" (19x49mm) WD. RIBBON TIES AS REQUIRED, OR CONVENTIONAL FRAMING (SIZE AND SPACING AS PER ROOF PLAN).
- 05 FASCIA AND SOFFITS:**
PRE-FINISHED ALUMINUM OR PAINTED GALVANIZED METAL EAVESTROUGH ON PRE-FINISHED ALUMINUM FASCIA. PRE-FINISHED ALUMINUM VENTED SOFFIT.
- 06 EAVESTROUGH AND RAIN WATER LEADERS:**
TO BE PRE-FINISHED ALUMINUM (UNLESS SHOWN OTHERWISE)

FLOOR PLAN

1
A-1
SCALE 3/16"=1'-0"



BATTAGLIA
ASSOCIATES
INC.
ARCHITECTS • CODE CONSULTANTS
104 Main Street
Tel: (905) 763-5090
THORNHILL, ONTARIO L3T 1V5

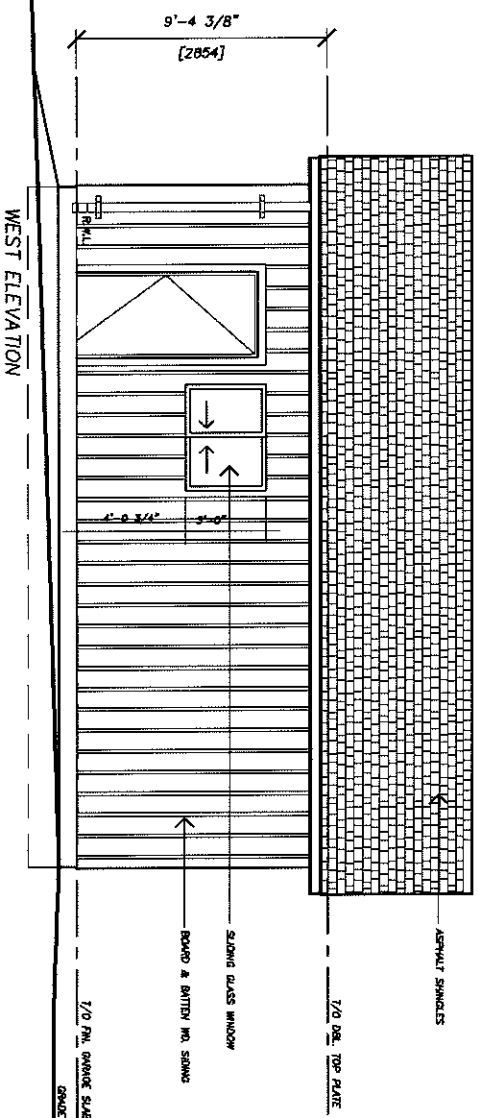
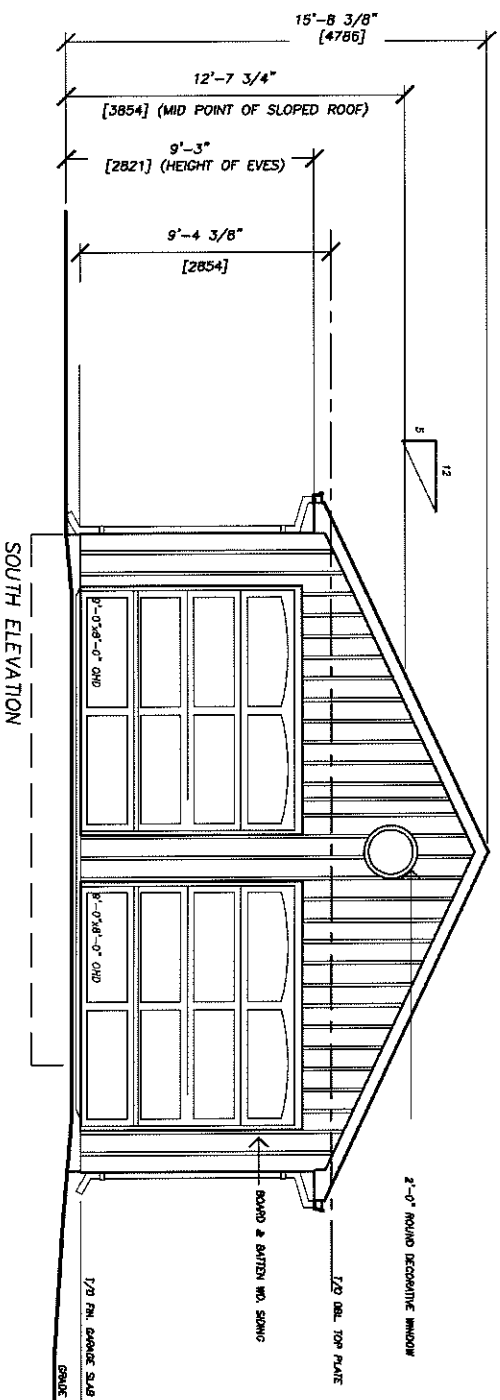


PROPOSED DETACHED GARAGE 60 GORDON DRIVE

No.	Description	Date
1	Issued For CoA	05/22/19

Floor Plan

Project number	21924	A-2
Date	May 2019	
Drawn by	A.P.	
Checked by	A.B.	Scale : AS NOTED



1 A-3 ELEVATIONS SCALE 3/16"=1'-0"



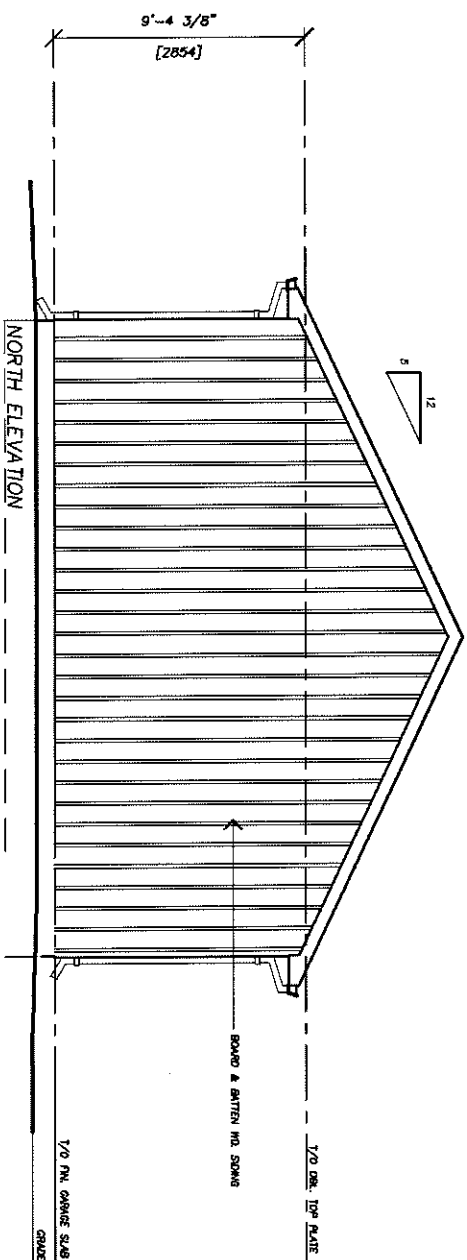
ARCHITECTS • CODE CONSULTANTS
104 JAM STREET
TEL: (905) 763-5900
THORNHILL, ONTARIO L3T 1T5



PROPOSED DETACHED
GARAGE
60 GORDON DRIVE

No.	Description	Date
1	Issued For COA	05/22/19

Elevations		
Project number	21924	A-3
Date	May 2019	
Drawn by	A.P.	
Checked by	A.B.	Scale : AS NOTED



A-4) SCALE 3/16"=1'-0"



ARCHITECTS • CODE CONSULTANTS

104 John Street
Tel: (905) 763-9900

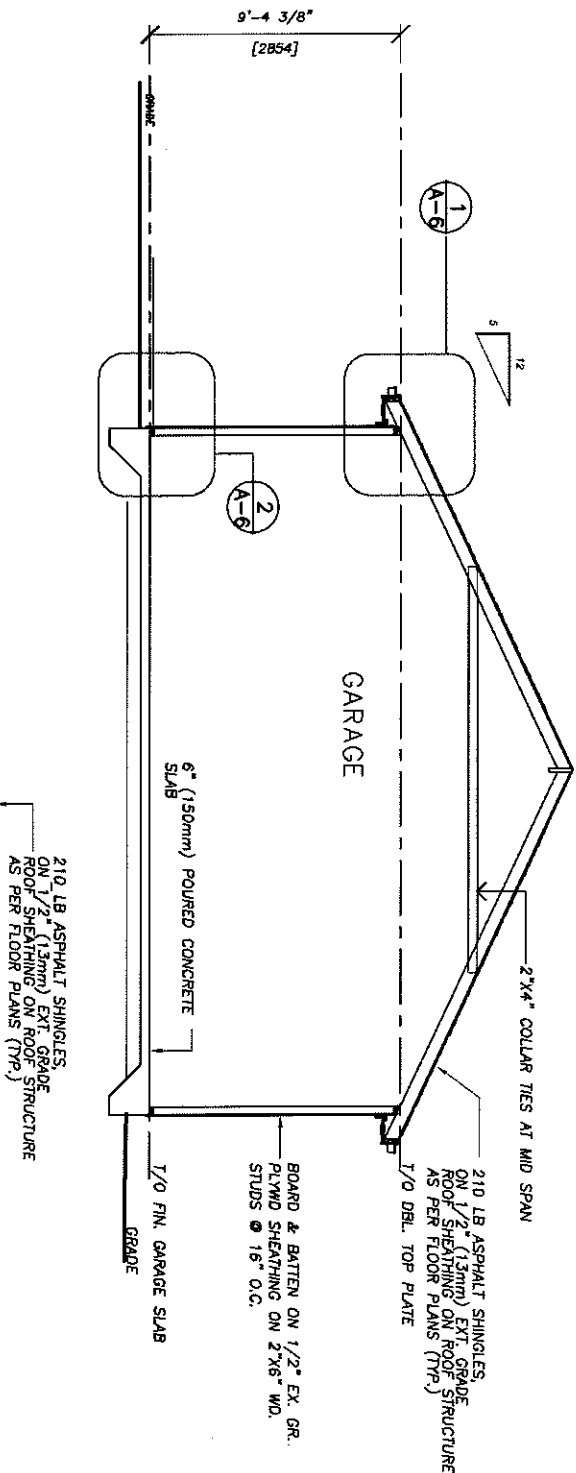
THORNHILL, ONTARIO L3T 1Y5



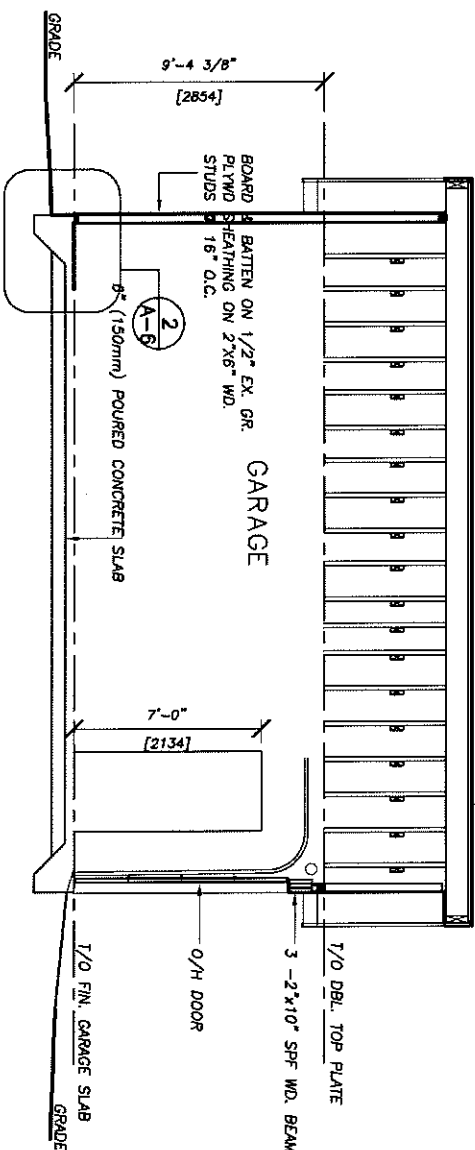
PROPOSED DETACHED
GARAGE
60 GORDON DRIVE

Elevations	
Project number	21924
Date	May 2019
Drawn by	A.P.
Checked by	A.B.
Scale : AS NOTED	

A
A-5
SECTION A-A
SCALE 3/16"=1'-0"



B
A-5
SECTION B-B
SCALE 3/16"=1'-0"



BATTAGLIA
ASSOCIATES
INC.

ARCHITECTS • CODE CONSULTANTS

104 Main Street
Tel.: (905) 763-0980
Thornhill, Ontario L3T 1Y3

ONTARIO ASSOCIATION
OF ARCHITECTS
ANTHONY C. BATTAGLIA
LICENCE
390

PROPOSED DETACHED
GARAGE

60 GORDON DRIVE

No.	Description	Date
1	Issued For COA	05/22/19

Sections

Project number	21924
Date	May 2019
Drawn by	A.P.
Checked by	A.B.

A-5

Scale : AS NOTED

Schedule B: Public Correspondence Received

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum. Written submissions from the public will only be accepted / processed until 12:00 p.m. on the date of the scheduled hearing.

None

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum. Correspondence will only be accepted until 12:00 p.m. on the date of the scheduled hearing.

Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections



COMMENTS:

☐

We have reviewed the proposed Variance Application and have no comments or objections to its approval.

☒

We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).

☐

We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI
Phone: 1-877-963-6900 ext. 31297
Fax: 905-532-4401
E-mail: stephen.cranley@alectrautilities.com

Mr. Tony D'Onofrio
Supervisor, Subdivisions & New Services
Phone: 1-877-963-6900 ext. 24419
Fax: 905-532-4401
Email: tony.donofrio@alectrautilities.com

MacPherson, Adriana

Subject: FW: MVAR.19.M.0269 (A084/19) - 60 Gordon Drive

From: Shahid, Sadaf <Sadaf.Shahid@york.ca>
Sent: July-15-19 1:38 PM
To: MacPherson, Adriana <Adriana.MacPherson@vaughan.ca>
Cc: Attwala, Pravina <Pravina.Attwala@vaughan.ca>; Providence, Lenore <Lenore.Providence@vaughan.ca>; McMackin, Joseph <Joseph.McMackin@york.ca>
Subject: MVAR.19.M.0269 (A084/19) - 60 Gordon Drive

Hi Adriana,

The Regional Municipality of York has completed its review of the above mentioned Minor Variance Application and has no comment.

Should you have any questions or concerns, please contact Sadaf Shahid, Assistant Planner at ext. 73012 or by email at sadaf.shahid@york.ca.

Best,

Sadaf Shahid | Planning Assistant

Planning and Economic Development Branch, Corporate Services Dept.

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
O: 1-877-464-9675 ext. 73012 | sadaf.shahid@york.ca | www.york.ca

Our Values: Integrity, Commitment, Accountability, Respect, Excellence

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