



File: A038/19

Applicant: Diane and Lorenzo Paravani

Address: 64 Brownlee Avenue, Woodbridge

Agent: Great Room Inc.

Please note that comments received after the preparation of this Staff Report (up until 12:00 p.m. on the scheduled hearing date) will be provided as an addendum.

Commenting Department	<input checked="" type="checkbox"/> Positive Comment <input checked="" type="checkbox"/> Negative Comment	Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
Committee of Adjustment	<input checked="" type="checkbox"/>	
Building Standards	<input checked="" type="checkbox"/>	
Building Inspection	<input checked="" type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	
Cultural Heritage (Urban Design)	<input checked="" type="checkbox"/>	
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Parks Department		
By-law & Compliance		
Financial Planning & Development	<input checked="" type="checkbox"/>	
Fire Department		
TRCA		
Ministry of Transportation		
Region of York	<input checked="" type="checkbox"/>	
Alectra (Formerly PowerStream)	<input checked="" type="checkbox"/>	
Public Correspondence (see Schedule B)		

Adjournment History: None

Background History: None



Minor Variance
Application

Agenda Item:12

A038/19

Ward: 3

Staff Report Prepared By: Adriana MacPherson, Assistant Secretary Treasurer

Date of Hearing:	Thursday, June 27, 2019
Applicant:	Diane and Lorenzo Paravani
Agent:	Great Room Inc.
Property:	64 Brownlee Avenue, Woodbridge
Zoning:	The subject lands are zoned R2, Residential Zone, and subject to the provisions of Exception 9(769) under By-law 1-88 as amended.
OP Designation:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
Related Files:	None
Purpose:	Relief from the By-Law is being requested to permit the construction of proposed addition to the rear of the existing dwelling which will include an attached cabana.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A minimum Rear yard setback of 7.5 metres is required.	1. To permit a minimum Rear yard setback if 1.37 metres to an accessory structure.
2. A minimum Soft Landscape area of 117.9 m2 is required.	2. To permit a minimum of 61.2 m2 of Soft Landscape area in the Rear yard.

Background (previous applications approved by the Committee on the subject land): None

For information on the previous approvals listed above please visit www.vaughan.ca. To search for a file number, enter it using quotes around it. For example, "A001/17".

To search property address, enter street number and street name using quotes. For example, "2141 Major Mackenzie". Do not include street type (i.e. drive).

Adjournment History: None

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until 4:00 p.m. on the last business day prior to the day of the scheduled Meeting.

Committee of Adjustment:

Public notice was mailed on June 12, 2019

Applicant confirmed posting of signage on June 13, 2019

Property Information	
Existing Structures	Year Constructed
Dwelling	1988
Additon/Cabana	TBC

Applicant has advised that they cannot comply with By-law for the following reason(s): Given the size of the rear yard and the proposed pool, the By-Law limitation are too restrictive to accommodate the desired cabana.

Adjournment Request: None

Building Standards (Zoning Review):

Stop Work Order(s) and Order(s) to Comply: None

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

An A/C unit and/or pool equipment shall be setback a minimum of 1.2 metres from the interior side lot line; and may encroach a maximum of 1.5 metres into the required rear yard or exterior side yard.

Building Inspections (Septic):

No comments or concerns

Development Planning:

Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

The Owner is requesting permission to construct a pool, covered porch and an attached cabana in the rear yard with the above-noted variances. At the request of the Development Planning Department, the Owner revised their proposal to address massing and height concerns. This resulted in the removal of variances concerning height, lot coverage and interior side yard setbacks.

Variance #1 respecting a reduced rear yard setback is considered minor as the cabana is under the maximum allowable height for an accessory structure and will not adversely impact the neighbouring lots.

The Development Planning Department does not object to Variance #2 for a reduced soft landscaping area in the rear yard. The subject lands are adjacent to an existing mature tree on the adjacent property ('tree #5') which will be impacted by the proposed development. As such, an Arborist Report was submitted by Cinerea Urban Forestry Services., dated May 27, 2019, which identified remedial options for tree #5 (for exposed roots) and tree protection measures to be provided on site. The Urban Design and Cultural Heritage Division of the Development Planning Department has reviewed the submitted Arborist Report and concurs with its recommendations.

The Development Planning Department is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

The Development Planning Department recommends approval of the application.

Cultural Heritage (Urban Design):

There are no cultural heritage concerns for this application.

Development Engineering:

In addition to the conditions provided related to variance application A038/19, DE offers the follow comments listed below:

The Owner shall apply for a pool fence enclosure and grading permit through the Development Inspection and Lot Grading Division of DE and is required to be issued by DE prior to the installation of any swimming pool as required by City of Vaughan Fencing By-law 80-90 as amended. Please visit or contact Development Engineering's front desk on the 2nd floor of City Hall to apply.

Recommended conditions of approval:

1. The Owner/applicant shall apply and obtain lot grading approval via grading permit through the Development Inspection and Lot Grading Division of the City's Development Engineering Department for the proposed addition and cabana prior to any work being undertaken on the property. Please visit or contact Development Engineering's front desk on the 2nd floor of City Hall to apply.
2. The Owner/applicant shall demonstrate appropriate LID (Low-impact Development) measures to the satisfaction of DE to address the requested decrease in soft landscaping in the rear yard from a minimum of 117.9m² to a minimum of 61.2m².

Please note, LID measures such as increased topsoil depth, bio-swales, soak-away pits, etc. can be utilized to mitigate potential impacts on the municipal stormwater system (increased stormwater run-off as a result of decreased soft landscaping).

Parks Development:

No comment, No Response.

By-Law and Compliance, Licensing and Permit Services:

No Response.

Financial Planning and Development Finance:

No comment, no concerns.

Fire Department:
No Response.

Schedule A – Plans & Sketches

Schedule B – Public Correspondence
None

Schedule C - Agency Comments
Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections

Staff Recommendations:
Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended:

	Department/Agency	Condition
1	Development Engineering Brad Steeves 905-832-8585 x 8977 brad.steeves@vaughan.ca	1) The Owner/applicant shall apply and obtain lot grading approval via grading permit through the Development Inspection and Lot Grading Division of the City’s Development Engineering Department for the proposed addition and cabana prior to any work being undertaken on the property. Please visit or contact Development Engineering’s front desk on the 2nd floor of City Hall to apply. 2) The Owner/applicant shall demonstrate appropriate LID (Low-impact Development) measures to the satisfaction of DE to address the requested decrease in soft landscaping in the rear yard from a minimum of 117.9m2 to a minimum of 61.2m2. Please note, LID measures such as increased topsoil depth, bio-swales, soak-away pits, etc. can be utilized to mitigate potential impacts on the municipal stormwater system (increased stormwater run-off as a result of decreased soft landscaping).

Please Note:

Relief granted from the City’s Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City’s Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

Notice to Public

WRITTEN SUBMISSIONS: Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Public written submissions on an Application shall only be received by the Secretary Treasurer until **4:00 p.m.** on the last business day **prior** to the day of the scheduled Meeting.

Written submissions can be mailed and/or emailed to:

City of Vaughan
Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
CofA@vaughan.ca

ORAL SUBMISSIONS: If you wish to attend the meeting you will be given an opportunity to make an oral submission. Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings are audio recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

PUBLIC RECORD: Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

For further information please contact the City of Vaughan, Committee of Adjustment

Adriana MacPherson

T 905 832 8585 Extension 8360

E CofA@vaughan.ca

Schedule A: Plans & Sketches

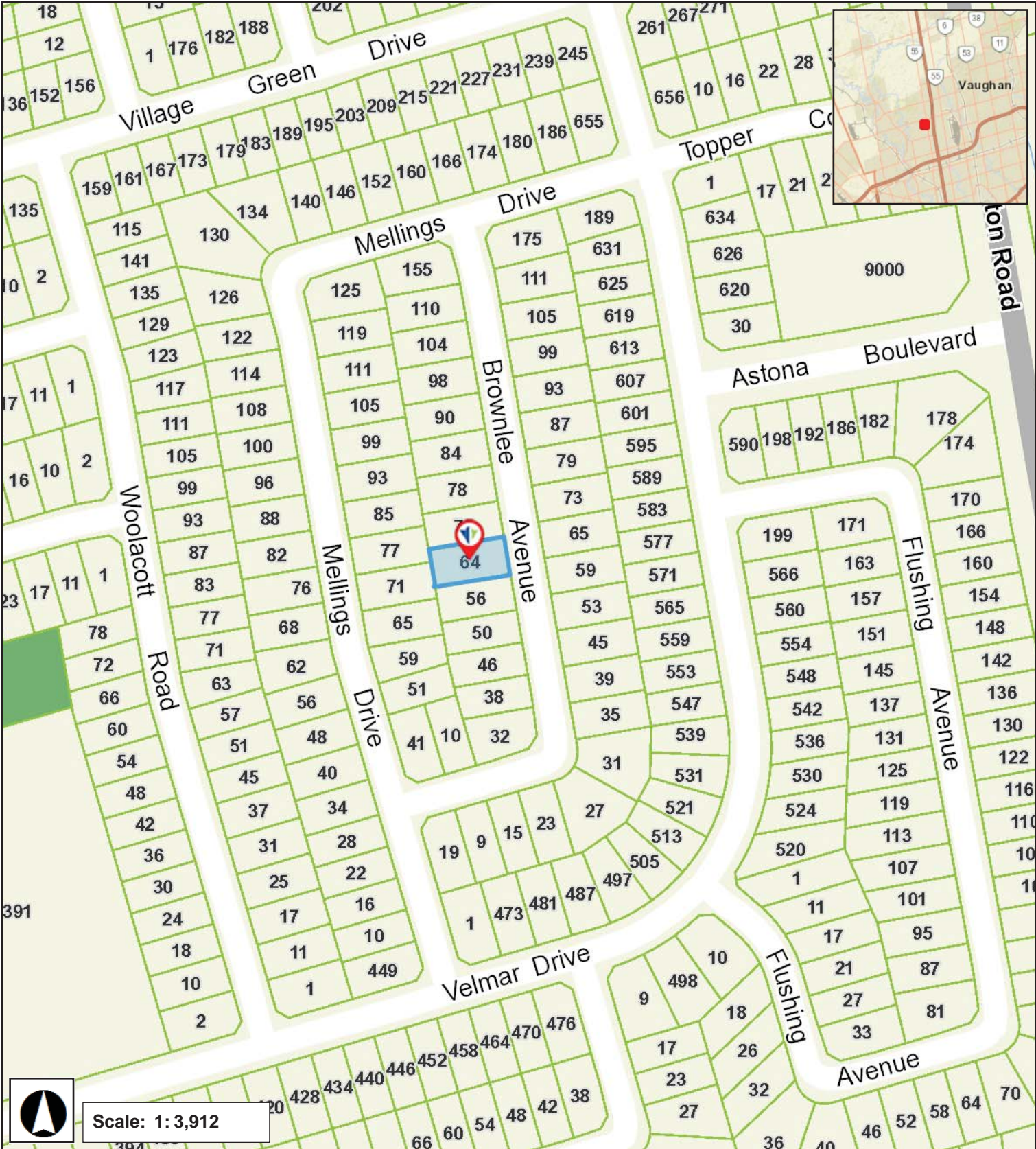
Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum. Correspondence will only be accepted until 12:00 p.m. on the date of the scheduled hearing.

Location Map
Sketches

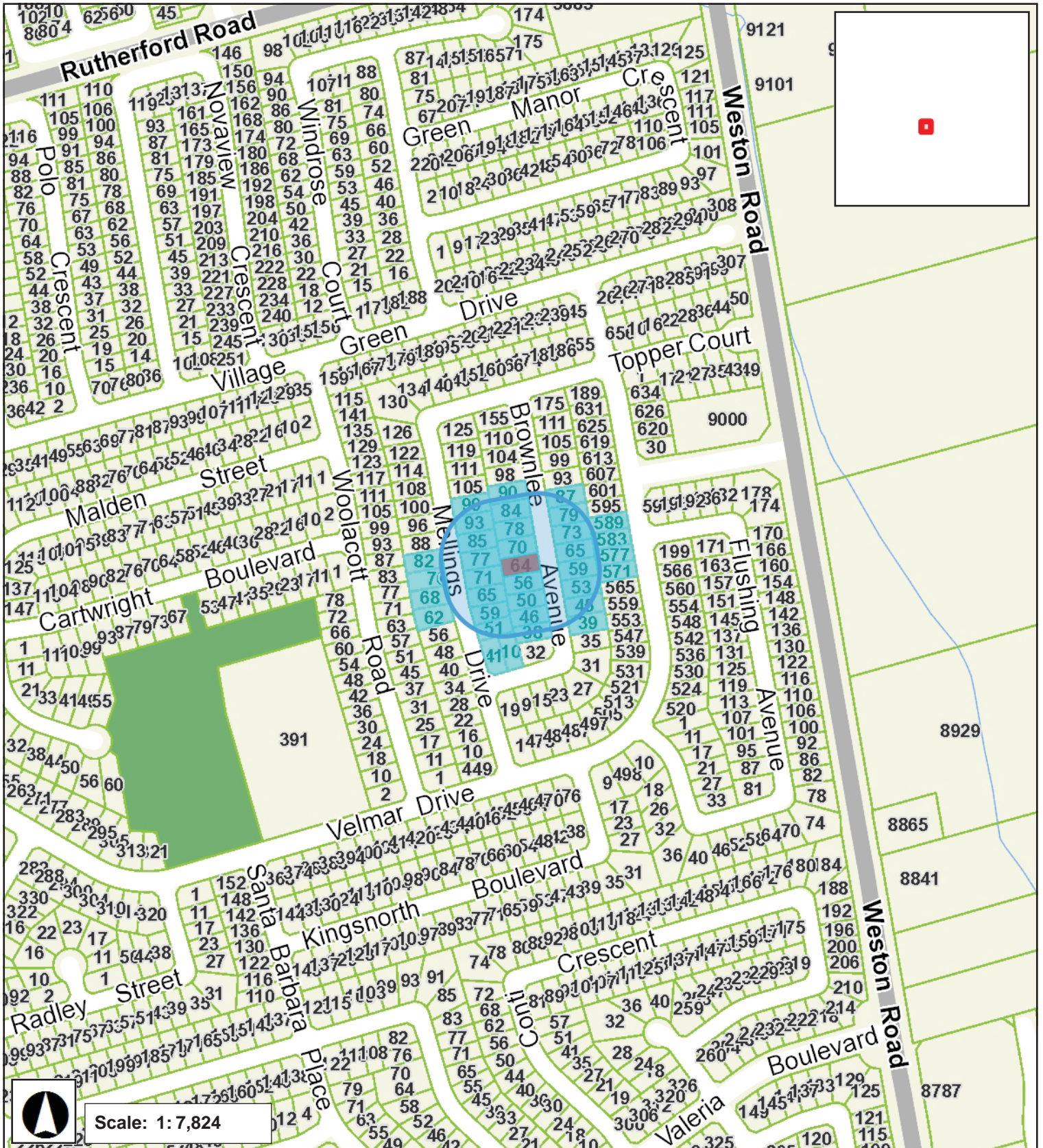


Location Map - A038/19

64 Brownlee Avenue, Woodbridge



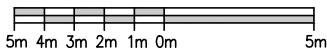
64 Brownlee Avenue, Woodbridge



SITE PLAN & BUILDING STATISTICS

Lot 6
REG. PLAN 65M-2701
CITY of VAUGHAN
MUNICIPALITY of YORK

SCALE 1 : 250



METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METERS AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

GRADE CONDITION

PLEASE NOTE:
ALL EXISTING CONTROL GRADES TO REMAIN UNCHANGED

CURB CUT NOTE

A SEPARATE PERMIT WILL BE OBTAINED FROM THE PUBLIC WORKS DEPARTMENT, PRIOR TO INSTALLATION AND/OR EXTENSION OF THE CURB CUT.

CONSTRUCTION NOTE

THE LOCATION OF ALL UNDERGROUND AND ABOVE GROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF THE LOCATION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE WORK COMMENCES, THE CONTRACTOR SHALL VERIFY THE EXACT LOCATIONS OF ALL SUCH UTILITIES AND SHALL ASSUME THE LIABILITY FOR ALL DAMAGES.

SITING INFORMATION

ALL INFORMATION TAKEN FROM
SURVEY DATED:
MARCH 27, 1989. PREPARED BY:
JOSEPH RADY-PENTEK LTD.
ONTARIO LAND SURVEYORS
878 SHEPPARD AVE. W.
DOWNSVIEW, ONTARIO

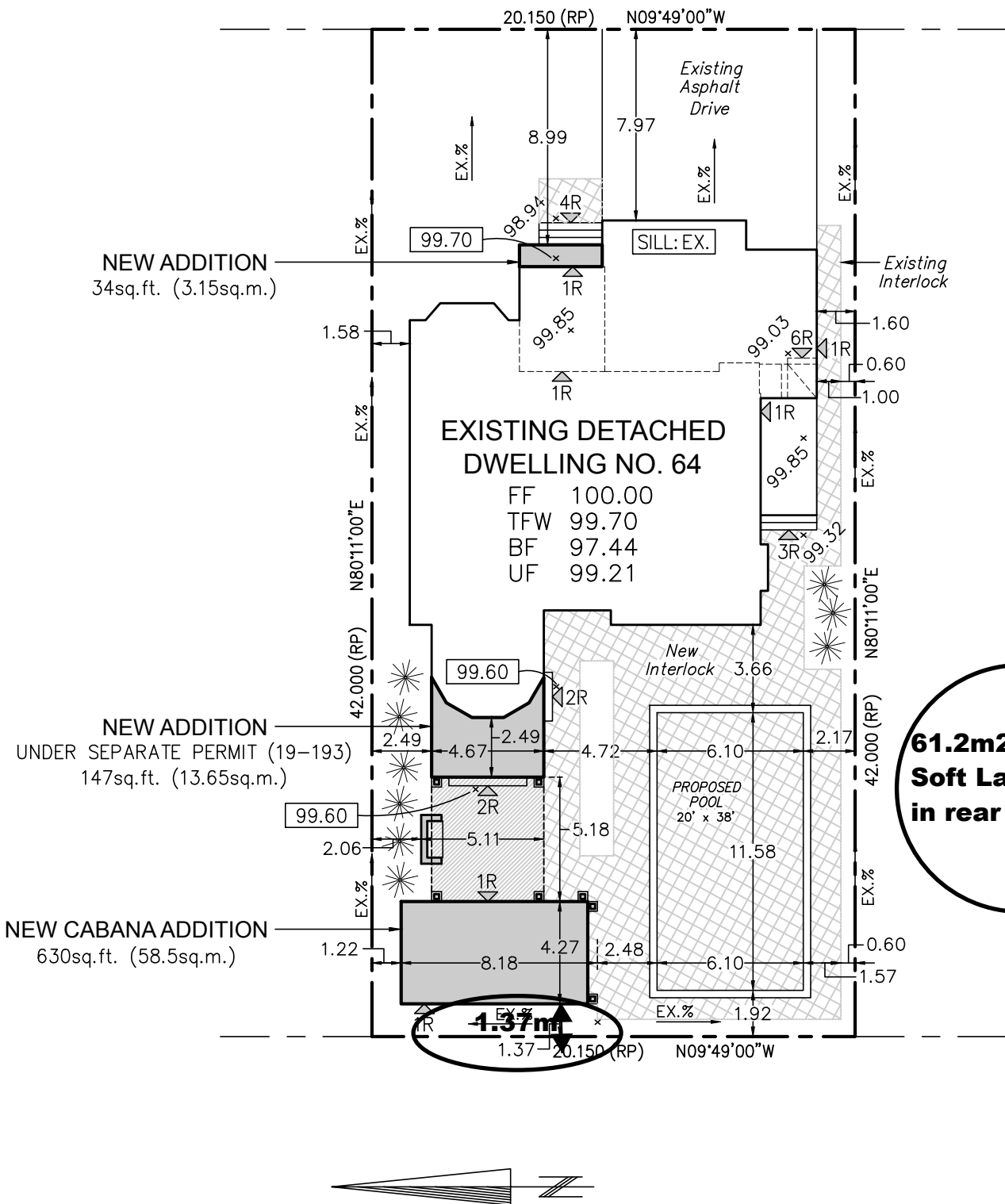
CITY OF VAUGHAN

RESIDENTIAL LOT GRADING NOTES

- ALL SITE PLANS, DRAWINGS AND CONSTRUCTION SHALL COMPLY WITH THE CITY OF VAUGHAN LOT GRADING CRITERIA, ENGINEERING STANDARDS, AND APPLICABLE PROVINCIAL STANDARDS, THE ONTARIO BUILDING CODE, AND BY-LAW'S UNLESS OTHERWISE APPROVED.
- APPROVAL OF THIS SITE PLAN DOES NOT RELEASE THE BUILDER/APPLICANT/OWNER OF THEIR RESPONSIBILITIES TO ENSURE THE PROPOSED DRAINAGE WORKS ARE COMPATIBLE WITH THE OVERALL DRAINAGE WITHIN THE SUBDIVISION. PROPOSED LOT DRAINAGE SHALL NOT ADVERSELY AFFECT ADJACENT PROPERTIES.
- ALTERATIONS TO EXISTING GRADES SHALL NOT BE PERMITTED WITHIN 600mm OF LOT LINES UNLESS SPECIFICALLY APPROVED AS PART OF THIS PERMIT. THE APPROVED GRADING/DRAINAGE PATTERN FOR THIS LOT/BLOCK SHALL BE MAINTAINED AND ALTERATIONS NOT APPROVED AS PART OF THIS PERMIT SHALL BE RESTORED BY THE BUILDER/APPLICANT/OWNER TO THE SATISFACTION OF THE CITY OF VAUGHAN.
- SEDIMENTATION/SILTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND OFFSET A MIN. OF 600mm FROM LOT LINES. THESE MEASURES SHALL BE MAINTAINED IN ORDER TO PREVENT ADVERSEITIES TO ADJACENT LANDS. REFER TO ATTACHED SAMPLE DRAWING.
- BUILDER SHALL VERIFY EXISTING AND PROPOSED GRADE ELEVATIONS PRIOR TO CONSTRUCTION. FOOTINGS MUST BEAR ON NATIVE, UNDISTURBED SOIL OR ROCK, AND BE A MIN. OF 1.22m BELOW FINISHED GRADE.
- BUILDER TO VERIFY SANITARY AND STORM INVERT ELEVATIONS PRIOR TO CONSTRUCTION. CITY ENGINEERING DEPARTMENT/YORK REGION APPROVAL IS REQUIRED FOR SANITARY, STORM AND WATER BOX LOCATION AND INSTALLATION TO THE LOT LINE PRIOR TO CONSTRUCTION.
- DOWNSPOUTS OF RAIN WATER LEADERS SHALL DISCHARGE ONTO SPLASH PADS AND DRAIN TOWARDS THE STREET. SPLASH PADS SHALL OUTLET OVER SODDED LAND WHERE POSSIBLE TO ENCOURAGE INFILTRATION OF SURFACE RUNOFF.
- HIGH POINT ON SPLIT LOT DRAINAGE TO BE A MIN. OF 2.0m BEHIND FRONT DOWNSPOUT LOCATION TO ENSURE DRAINAGE OUTLETS TO STREET.
- TOP OF FOUNDATION WALLS, EXTERIOR CLADDING, WINDOW AND DOOR SILLS SHALL BE A MIN. OF 150mm ABOVE FINISHED GRADE.
- THE DESIGNER/CONSULTANT/ENGINEER/ARCHITECT IS RESPONSIBLE TO ENSURE THAT HEIGHT THICKNESS, LATERAL BRACING, ETC. OFF ALL FOUNDATION WALLS CONFORM TO OBC. OBC SUBSECTION 9.15.4 SHALL APPLY.
- ALL FRONT AND REAR YARDS SHALL BE GRADED AT A 2%-5% GRADIENT WITHIN 5.0m OF THE BUILDING.
- DRAINAGE SWALES SHALL BE GRADED WITH A 2%-5% GRADIENT. DESIRABLE SWALE DEPTH IS 250mm. MIN. SWALE DEPTH IS 150mm. MAX. SWALE DEPTH IS VARIABLE AND DEPENDS ON LOCATION AND SAFETY CONSIDERATIONS, BUT MUST NOT EXCEED 450mm.
- CENTERLINE OF SWALES SHALL BE LOCATED 600mm FROM LOT LINES UNLESS OTHERWISE APPROVED.
- CENTERLINE OF SWALES MUST NOT BE LOCATED LESS THAN 600mm FROM ANY FOUNDATION WALL.
- ARTIFICIAL EMBANKMENTS AND/OR RETAINING WALLS SHALL NOT BE PERMITTED UNLESS APPROVED AS PART OF THIS PERMIT. THE MAX. EMBANKMENT SLOPE SHALL BE 3:1 (HORIZONTAL TO VERTICAL) WITH A MAX. GRADE DIFFERENTIAL OF 600mm.
- PROPOSED RETAINING WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF VAUGHAN LOT GRADING CRITERIA AND BY-LAW'S. RETAINING WALLS EXCEEDING 1.0m IN HEIGHT SHALL BE DESIGNED, INSPECTED AND CERTIFIED BY A PROFESSIONAL ENGINEER AND SHALL BE SERVED BY GUARDS OR OTHERWISE TREATED TO REDUCE ANY PUBLIC HAZARD. ALL RETAINING WALLS SHALL BE CONSTRUCTED OF STONE, PRECAST BLOCKS OR CONCRETE. A RETAINING WALL THAT EXCEEDS 1.0m IN HEIGHT MUST BE SETBACK FROM THE NEAREST PROPERTY LINE OR DISTANCE OR DISTANCE EQUAL TO ITS HEIGHT.
- DRIVEWAY GRADES SHALL BE 1.5%-8% AND COMPATIBLE WITH APPROVED SIDEWALK GRADES. BOULEVARD GRADES SHALL BE 2%-5%.
- DRIVEWAYS SHALL BE A MIN. 1.0m FROM ANY TREE, CATCH BASIN OR ABOVE GROUND UTILITY OR OTHER OBSTRUCTION.
- WATER SERVICE STOPS ARE TO BE LOCATED IN THE GRASS PORTION OF THE FRONT YARD, AS PER CITY OF VAUGHAN STANDARDS.
- DRIVEWAYS, CURB CUTS AND DRIVEWAY CULVERTS SHALL BE LOCATED, APPROVED AND CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY ENGINEERING DEPARTMENT, YORK REGION AND BY-LAW'S. A SEPARATE PERMIT IS REQUIRED FROM THE TOWN'S ENGINEERING/PUBLIC WORKS DEPARTMENT FOR CURB CUTS AND/OR PROPOSED CULVERTS.
- FOOTINGS CONSTRUCTED NEXT TO CATCH BASIN LEAD PIPE OR OTHER MUNICIPAL SERVICE SHALL BE INSPECTED BELOW LEAD PIPE EXCAVATION. FOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED SOIL OR SOIL CONSULTANTS VERIFICATION REQUIRED.
- IF THE PROPOSED CONSTRUCTION IS IN THE AREA OF FILL A PROFESSIONAL ENGINEER IS TO INSPECT THE EXCAVATION AND CERTIFY THE STABILITY AND BEARING CAPACITY OF THE SOIL PRIOR TO CONSTRUCTION.
- PRIOR TO LETTER OF CREDIT RELEASE THE OWNER SHALL SUBMIT AN AS-BUILT SURVEY ILLUSTRATING BOTH PROPOSED AND AS CONSTRUCTED GRADE ELEVATIONS. A STORM WATER MANAGEMENT REPORT AUTHORED BY PROFESSIONAL ENGINEER AND/OR LOT GRADING CERTIFICATION BY A PROFESSIONAL ENGINEER OR ONTARIO LAND SURVEYOR SHALL BE SUBMITTED TO THE CITY UPON THEIR REQUEST.
- POST CONSTRUCTION FLOWS, FROM A 5 YEAR STORM FREQUENCY, SHALL NOT EXCEED THE FLOWS FOR THE PRECONSTRUCTION CONDITIONS, FOR THE SAME STORM, UNLESS IT IS DEMONSTRATED TO THE SATISFACTION OF THE CITY THAT CONTROLLED FLOWS WILL NOT ADVERSELY AFFECT THE EXISTING DRAINAGE PATTERNS (THESE FLOWS SHALL BE COMPUTED USING THE RATIONAL METHOD ONLY).
- "THE BUILDING SHALL BE LOCATED OR THE BUILDING SITE GRADED SO THAT THE WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES." OBC 9.14.6.1.(1)
- TRCA APPROVAL REQUIRED WHERE GRADE CHANGES WILL OCCUR THAT ADJUT REGULATE AREAS; EXISTING NATURAL OR ARTIFICIAL WATERCOURSE, OPEN CHANNEL, SWALE OR DITCH USED TO DRAIN LAND.

A038/19

BROWNLEE AVENUE



ZONING SUMMARY: DWELLING

ZONING : R2	REQUIRED	PROPOSED OR EXISTING
LOT FRONTAGE	15.0M (49'-2 1/2")	20.150M (66'-1") (EXISTING)
LOT AREA	450 SQ.M. (4,843.9 SQ.FT.)	846.3 SQ.M. (9,109.8 SQ.FT.) (EXISTING)
FRONT YARD SETBACK	4.5M (14'-9 1/2")	7.97M (26'-1 1/2") (EXISTING)
SIDE YARD SETBACK (NORTH)	1.2M (3'-11 1/2")	1.58M (5'-2") (EXISTING)
SIDE YARD SETBACK (SOUTH)	1.2M (3'-11 1/2")	1.60M (5'-3") (EXISTING)
REAR YARD SETBACK	7.5M (24'-7 1/2")	10.81M (35'-5 1/2") (PROPOSED)
LOT COVERAGE	40% (338.5 SQ.M.) (3,643.9 SQ.FT.)	33.1% (280.0 SQ.M.) (3,014 SQ.FT.)
BUILDING HEIGHT	9.5M (31'-2") (TO MID-POINT)	EXISTING TO REMAIN
MAX. EAVES ENCROACH	0.5M (1'-7 1/2")	EXISTING TO REMAIN

ZONING SUMMARY: ACCESSORY STRUCTURE (CABANA)

SIDE YARD SETBACK (NORTH)	1.2M (3'-11 1/2")	1.22M (4'-0") (PROPOSED)
REAR YARD SETBACK	7.5M (24'-7 1/2")	1.37M (4'-6") (PROPOSED)
LOT COVERAGE	7.92% (67.0 SQ.M.) (721.0 SQ.FT.)	6.9% (58.5 SQ.M.) (630.0 SQ.FT.) (PROP.)
BUILDING HEIGHT	4.5M (14'-9" TO PEAK) (3.0M TO SOFFIT)	4.11M (TO PEAK) (2.95M TO SOFFIT)
TOTAL (COMBINED) LOT COVERAGE	40% (338.5 SQ.M.) (3,644 SQ.FT.)	40.0% (338.5 SQ.M.) (3,644 SQ.FT.)
MAX. EAVES ENCROACH	0.5M (1'-7 1/2")	0.41M (1'-4") (PROPOSED)
REAR YARD SOFT LANDSCAPE AREA	(318.0 SQ.M.-135 SQ.M. X 60%) 109.8 SQ.M.	61.2 SQ.M. (PROPOSED)

Project:
NEW RESIDENTIAL ADDITION & CABANA
64 BROWNLEE AVE., WOODBRIDGE (VAUGHAN), ONTARIO
CITY OF VAUGHAN

Title:
PROPOSED SITE PLAN

Scale:
1:250

Date:
DEC. 10/18

Legal:
LOT 6
REG. PLAN 65M-2701

Drawn By:
GS

Area:
630 SQ.FT.

Drawing No:
S-1

Ownership:
MR. LORENZO & DIANE PARAVANI

GREAT ROOM INC.
Tel. No. (416) 627-2394
DESIGN . CONSULT . MANAGE
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the 2012 Ontario Building Code to design the work shown on the attached documents.
Required unless design is exempt under Div. C, Part 3, Section 3.2.5 of the Building Code
Qualification Information
GEORGE SHAMA 43035
REGISTRATION INFORMATION
Required unless design is exempt under Div. C, Section 3.2.4 of the Building Code
GREAT ROOM INC. 43844

REVISIONS:

1	12/11/18	ISSUED FOR CLIENT REVIEW
2	1/28/19	ISSUED FOR GRADING PERMIT APPLICATION
3	3/20/19	ISSUED FOR MINOR VARIANCE APPLICATION
4	4/29/19	ISSUED FOR MINOR VARIANCE APPLICATION
5	5/7/19	ISSUED FOR MINOR VARIANCE APPLICATION

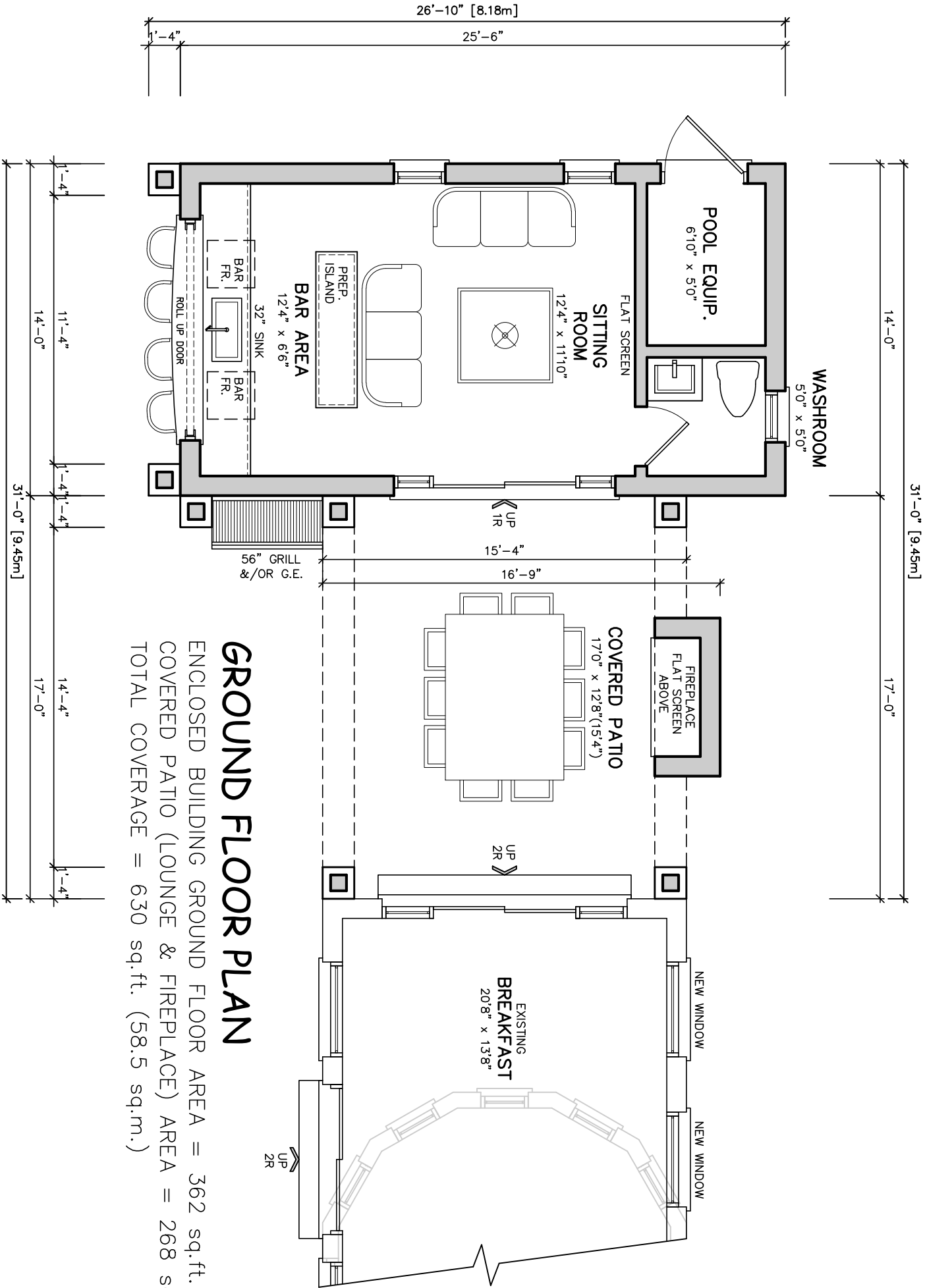
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO GREAT ROOM INC. PRIOR TO COMMENCEMENT OF CONSTRUCTION.
GREAT ROOM INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.
GREAT ROOM INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF GREAT ROOM INC. THIS DRAWING IS NOT TO BE SCALED.

LEGEND

- DENOTES SURVEY MONUMENT FOUND
 - SB SURVEY MONUMENT SET
 - ST STANDARD IRON BAR
 - IB IRON BAR
 - CP CONCRETE PIN
 - IP IRON PIPE
 - CLC CALCULATED
 - P.L.N. PROPERTY IDENTIFIER NUMBER
 - WT WITNESS
 - OU ORIGIN UNKNOWN
 - M MEASURED
 - RP REGISTERED PLAN 3762
 - DF PLAN BY DIEGO FAZO, O.L.S. FEB. 27/01
 - N.S.E.W.* NORTH/SOUTH/EAST/WEST
 - WD WOOD RAIL FENCE
 - RCC REMAINS OF CONCRETE CURB
 - CB CATCH BASIN
 - FF FINISHED FLOOR ELEVATION
 TFW TOP OF FOUNDATION WALL ELEVATION | BF BASEMENT FLOOR ELEVATION | UF UNDERSIDE OF FOOTING ELEVATION | T.R.E. TOP OF ROOF ELEVATION |
- MH MAN HOLE
 - INV INVERT
 - CUL CULVERT
 - DS DOWNSPOUT
 - LS LIGHT STANDARD
 - UP UTILITY POLE
 - HV HYDRO VAULT
 - HT HYDRO TRANSFORMER
 - BP BELL POLE
 - BB BELL BOX
 - AC AIR CONDITIONING UNIT
 - GM GAS METER
 - HM HYDRO METER
 - SPP SWIM POOL PUMP
 - OW OVERHEAD WIRE
 - SW 3:1 SLOPE
 - * ENGINEERED FILL LOT
- CTB CABLE TELEVISION BOX
 - FH FIRE HYDRANT
 - WV WATER VALVE
 - WC WATER CHAMBER
 - GV GAS VALVE
 - SS STREET SIGN
 - DT DECIDUOUS TREES
 - CT CONIFEROUS TREES
 - BC BOTTOM OF CURB
 - TC TOP OF CURB
 - DS DOWNSPOUT
 - o EXISTING ELEV.
 - X EX. ELEV. TO REMAIN
 - [] NEW PROPOSED ELEV.
 - [] NEW PROPOSED ELEV. HIGH POINT

64 Brownlee Ave.

CABANA



GROUND FLOOR PLAN

ENCLOSED BUILDING GROUND FLOOR AREA = 362 sq.ft. (33.6 sq.m.)
COVERED PATIO (LOUNGE & FIREPLACE) AREA = 268 sq.ft. (24.9 sq.m.)
TOTAL COVERAGE = 630 sq.ft. (58.5 sq.m.)

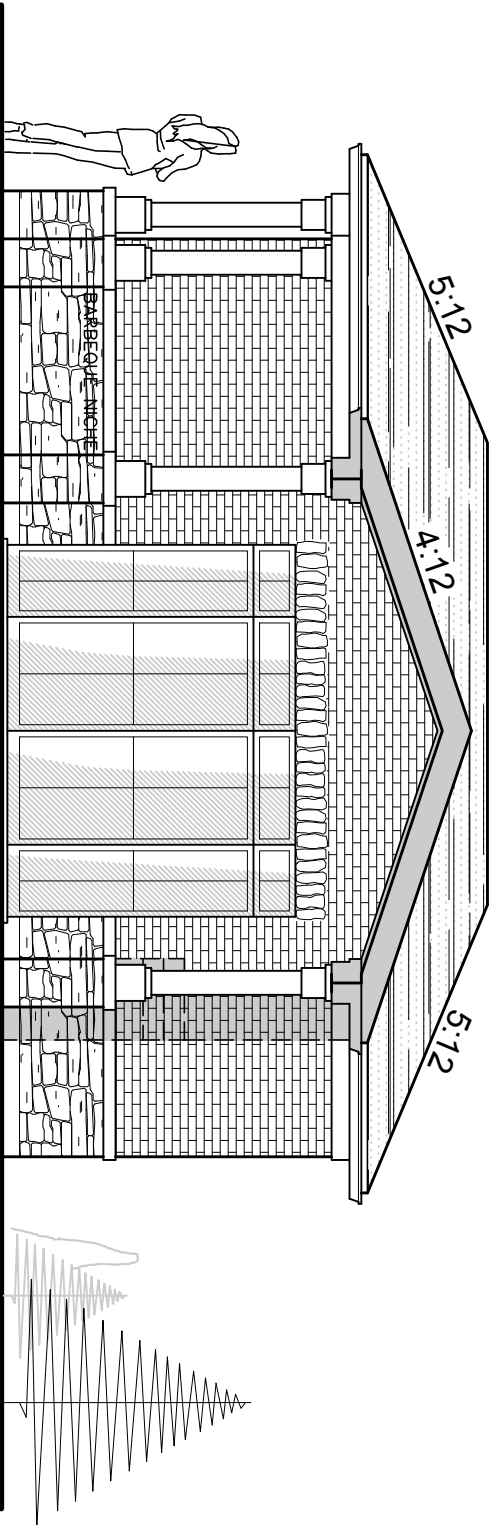
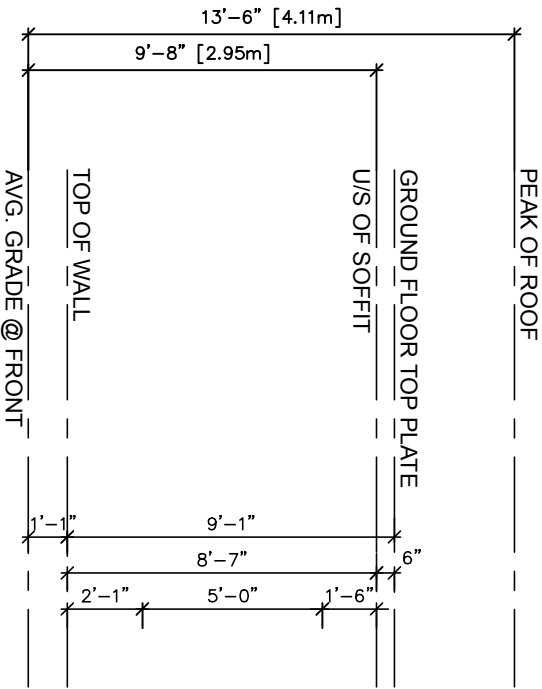
ARTISTS IMPRESSION

ORIENTATION OF HOME MAY BE REVERSED AND PURCHASER AGREES TO ACCEPT THE SAME. STEPS MAY VARY AT ANY EXTERIOR ENTRANCE. THIS IS DUE TO GRADING VARIANCE. NOTE: ACTUAL FLOOR SPACE MAY VARY FROM THE STATED FLOOR AREA. ALL RENDERINGS ARE ARTISTS' CONCEPTS. DIMENSIONS, SPECIFICATIONS AND ARCHITECTURAL DETAILING ARE SUBJECT TO MINOR VARIANCE. E & O.E.



64 Brownlee Ave.

CABANA



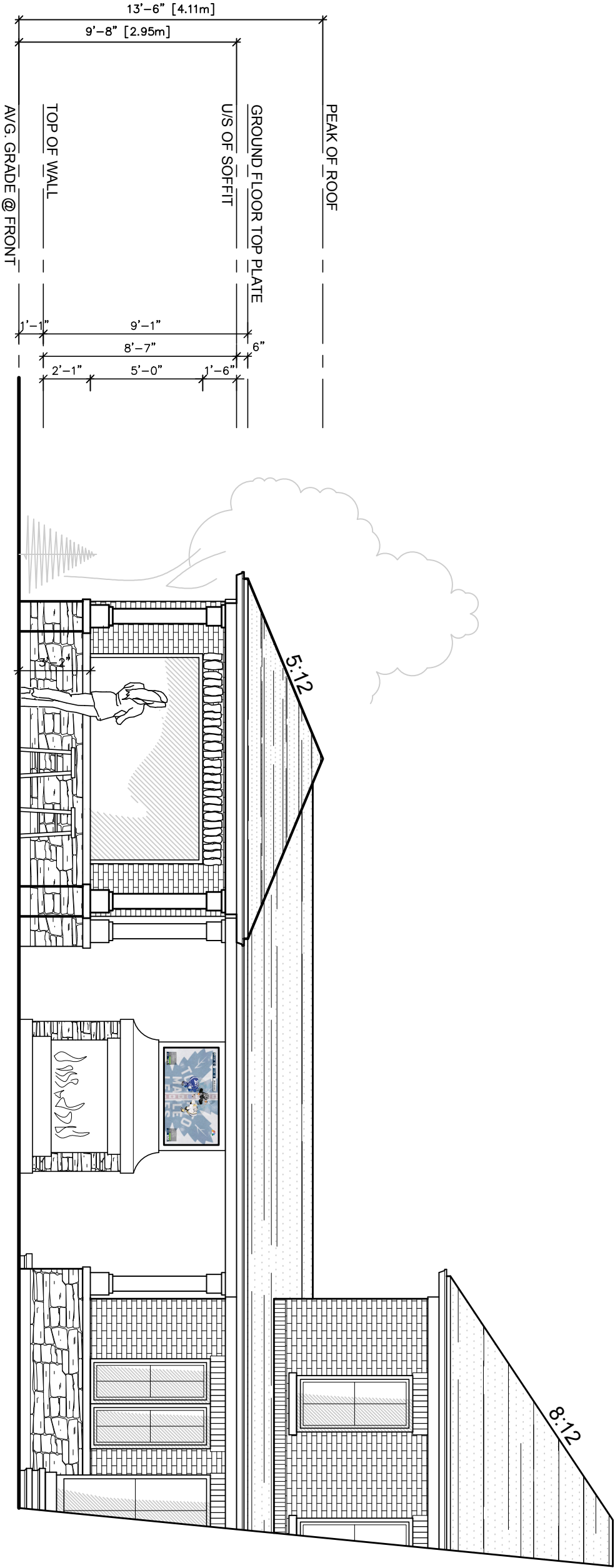
FRONT ELEVATION

ARTISTS IMPRESSION

ORIENTATION OF HOME MAY BE REVERSED AND PURCHASER AGREES TO ACCEPT THE SAME. STEPS MAY VARY AT ANY EXTERIOR ENTRANCE. THIS IS DUE TO GRADING VARIANCE. NOTE: ACTUAL FLOOR SPACE MAY VARY FROM THE STATED FLOOR AREA. ALL RENDERINGS ARE ARTISTS CONCEPT. DIMENSIONS, SPECIFICATIONS AND ARCHITECTURAL DETAILING ARE SUBJECT TO MINOR VARIANCE. E & O.E.

64 Brownlee Ave.

CABANA



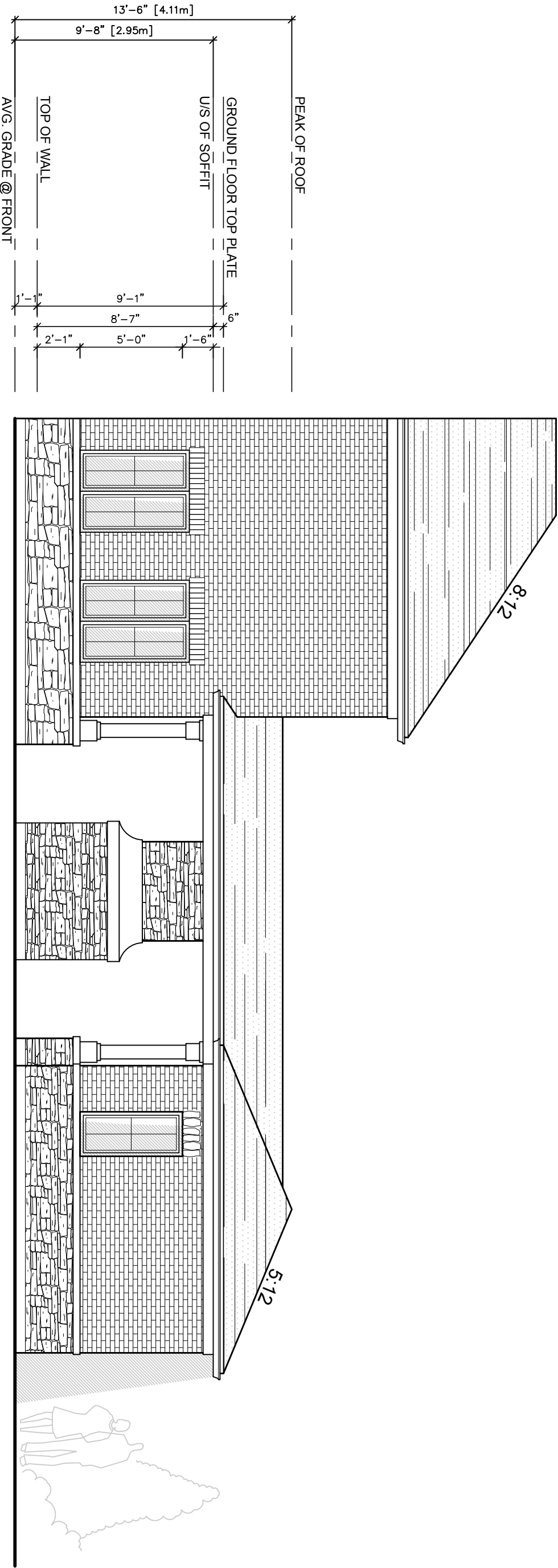
LEFT SIDE ELEVATION

ARTISTS IMPRESSION

ORIENTATION OF HOME MAY BE REVERSED AND PURCHASER AGREES TO ACCEPT THE SAME. STEPS MAY VARY AT ANY EXTERIOR ENTRANCE. THIS IS DUE TO GRADING VARIANCE. NOTE: ACTUAL FLOOR SPACE MAY VARY FROM THE STATED FLOOR AREA. ALL RENDERINGS ARE ARTISTS CONCEPT. DIMENSIONS, SPECIFICATIONS AND ARCHITECTURAL DETAILING ARE SUBJECT TO MINOR VARIANCE. E & O.E.

64 Brownlee Ave.

CABANA



RIGHT SIDE ELEVATION

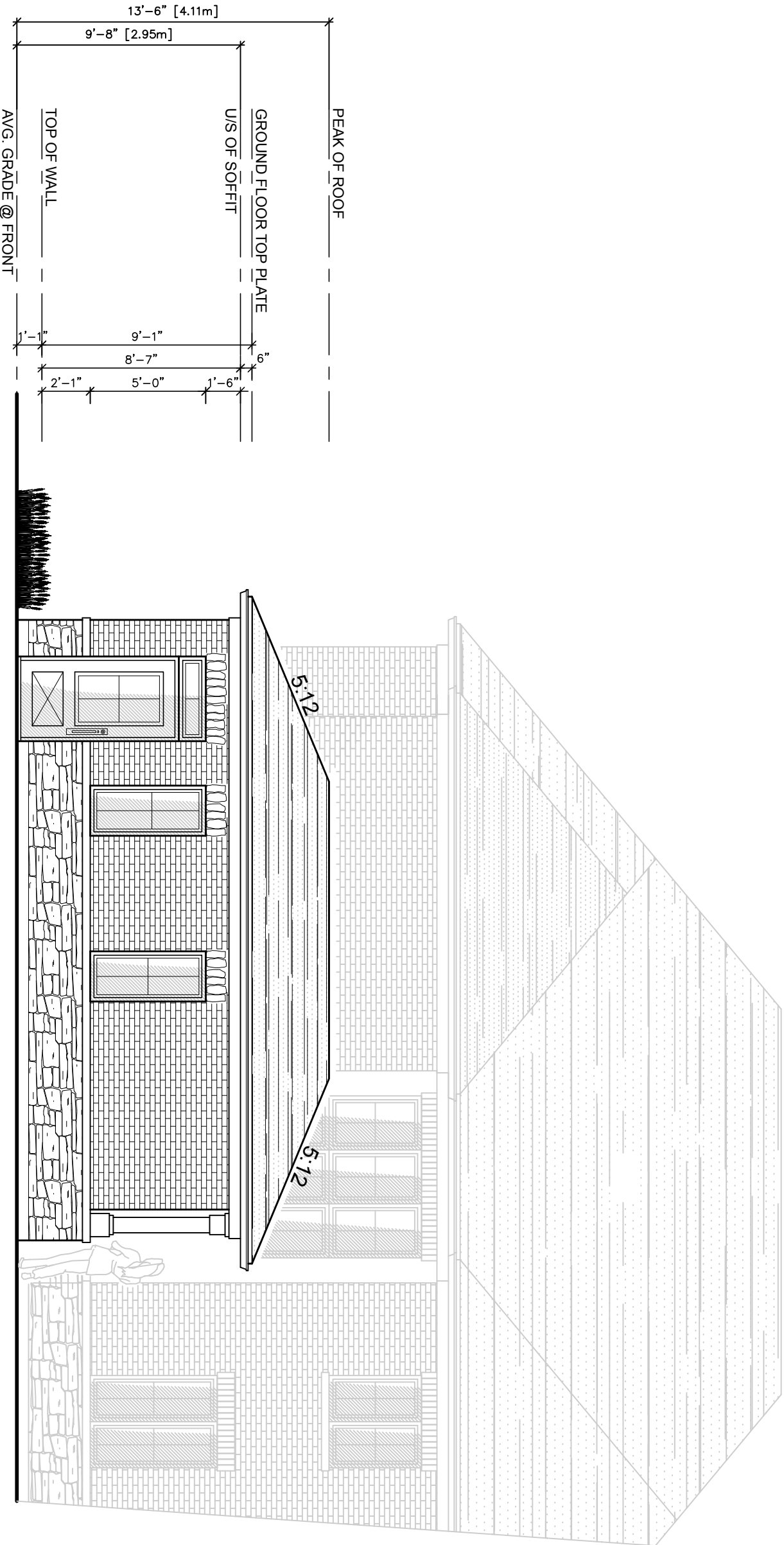
ARTISTS IMPRESSION

ORIENTATION OF HOME MAY BE REVERSED AND PURCHASER AGREES TO ACCEPT THE SAME. STEPS MAY VARY AT ANY EXTERIOR ENTRANCE. THIS IS DUE TO GRADING VARIANCE. NOTE: ACTUAL FLOOR SPACE MAY VARY FROM THE STATED FLOOR AREA. ALL RENDERINGS ARE ARTISTS CONCEPT. DIMENSIONS, SPECIFICATIONS AND ARCHITECTURAL DETAILING ARE SUBJECT TO MINOR VARIANCE. E & O.E.



64 Brownlee Ave.

CABANA



REAR ELEVATION

ARTISTS IMPRESSION

ORIENTATION OF HOME MAY BE REVERSED AND PURCHASER AGREES TO ACCEPT THE SAME. STEPS MAY VARY AT ANY EXTERIOR ENTRANCE. THIS IS DUE TO GRADING VARIANCE. NOTE: ACTUAL FLOOR SPACE MAY VARY FROM THE STATED FLOOR AREA. ALL RENDERINGS ARE ARTISTS' CONCEPTS. DIMENSIONS, SPECIFICATIONS AND ARCHITECTURAL DETAILING ARE SUBJECT TO MINOR VARIANCE. E & O.E.

Schedule B: Public Correspondence Received

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum. Written submissions from the public will only be accepted / processed until 12:00 p.m. on the date of the scheduled hearing.

None

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum. Correspondence will only be accepted until 12:00 p.m. on the date of the scheduled hearing.

Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections



COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra’s cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream(Construction Standard 03-1, 03-4, 03-9), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI
Phone: 1-877-963-6900 ext. 31297
Fax: 905-532-4401
E-mail: stephen.cranley@alectrautilities.com

Mr. Tony D’Onofrio
Supervisor, Subdivisions & New Services
Phone: 1-877-963-6900 ext. 24419
Fax: 905-532-4401
Email: tony.donofrio@alectrautilities.com

MacPherson, Adriana

To: Hurst, Gabrielle
Subject: RE: A038/19 - Request for Comments - Regional Response

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>
Sent: May-22-19 10:39 AM
To: MacPherson, Adriana <Adriana.MacPherson@vaughan.ca>
Subject: RE: A038/19 - Request for Comments - Regional Reaponse

Good Morning Adriana,
The Regional Municipality of York has completed its review of the above minor variance and has no comment.
Gabrielle