

ITEM: 6.7	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER 150/24
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Report Date: November 14, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input checked="" type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments w/Conditions
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Engineering	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Forestry	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments w/Conditions

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
Applicant			09/11/2024	Planning Justification Letter

BACKGROUND (SCHEDULE D, IF REQUIRED)

* Background Information contains historical development approvals considered to be related to this file.
This information should not be considered comprehensive.

Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
N/A	N/A

SCHEDULES

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A150/24

CITY WARD #:	1
APPLICANT:	York Region Standard Condominium Corporation No.1169
AGENT:	Joshua Chiappetta & Gabriel DiMartino (Trinity Point Developments)
PROPERTY:	9973 Keele Street, Vaughan
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Mixed-Use"
RELATED DEVELOPMENT APPLICATIONS:	A278/09
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit reduced visitor parking spaces onsite to facilitate the development of a 5-storey mixed use condominium development.

The following variances are being requested from the City's Zoning By-law to accommodate the above proposal:

The subject lands are zoned MMS, Main Street Mixed-Use - Maple Zone and subject to the provisions of Exception 14.911 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A minimum of 6.0 visitor parking spaces are required. [Section 6.3.5, Table 6-2]	To permit a minimum of 5.0 visitor parking spaces.

HEARING INFORMATION

DATE OF MEETING: Thursday, November 14, 2024
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

INTRODUCTION	
<p>That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.</p> <p>Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.</p>	

COMMITTEE OF ADJUSTMENT	
Date Public Notice Mailed:	November 1, 2024
Date Applicant Confirmed Posting of Sign:	October 30, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	Due to the underutilization of the 3 off site spots, and Everlook Investments Inc proceeding through their Site Plan application, relief is required from the bylaw to permit a total of 5 visitor parking spaces, whereas 6 visitor parking spaces are required by By-law NO. 001-2021
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
<p>On October 31, 2024, Development Engineering provided the following: <i>While Development Engineering is aware of the variance, this is a variance that we cannot accept. We ask that you explore options to obtain the sixth visitor parking space.</i></p> <p>On October 31, 2024, Committee of Adjustment staff provided the following: <i>In response to Development Engineering comments provided below, our office is recommending that the application be adjourned at this time to address these comments.</i></p> <p>On October 31, 2024 the applicant confirmed that they wanted to proceed to the November 14 hearing.</p> <p>Should the application be adjourned from the November 14 hearing, adjournment fees apply to reschedule.</p>	
Committee of Adjustment Recommended Conditions of Approval:	Should the application be adjourned from the November 14 hearing adjournment fees apply.

BUILDING STANDARDS (ZONING)	
**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING	
**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	TBD

DEVELOPMENT ENGINEERING	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
TBD	
Development Engineering Recommended Conditions of Approval:	TBD

PARKS, FORESTRY & HORTICULTURE (PFH)	
Forestry has no comment.	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE

No comment no concerns

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date.

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC)

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT

No comments received to date.

Fire Department Recommended Conditions of Approval:	None
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RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Committee of Adjustment cofa@vaughan.ca	Should the application be adjourned from the November 14 hearing adjournment fees apply.
2	Development Planning Alyssa.Pangilinan@vaughan.ca	TBD
3	Development Engineering jonal.hall@vaughan.ca	TBD

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

IMPORTANT INFORMATION

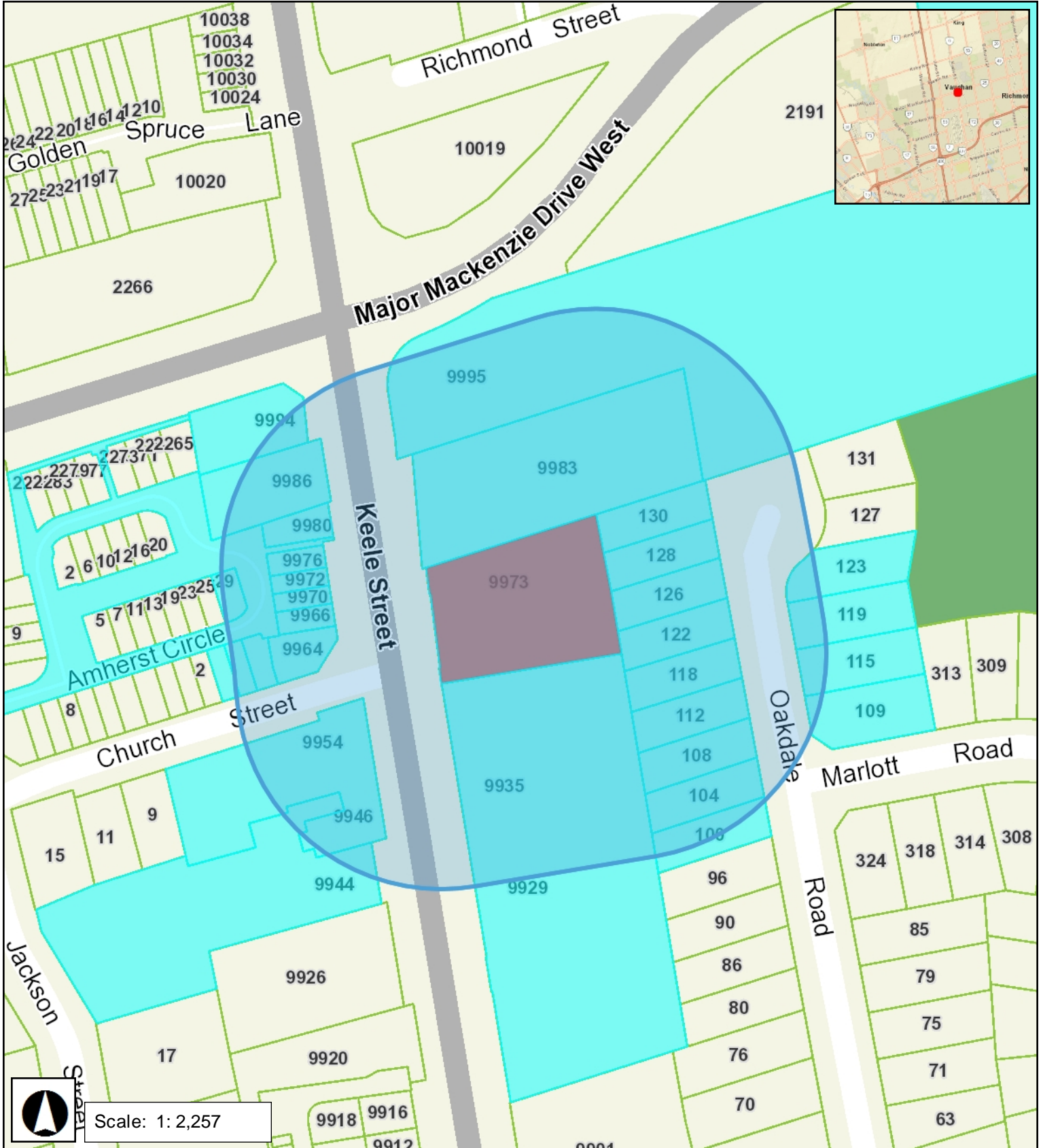
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



STAGE 2: FINALIZED PLANS FOR COMMITTEE/PUBLIC REVIEW

Location: 9973 Keele St. (Visitor Parking pots to be Removed off the Lands at 9929 Keele St.)

Application # A150/24

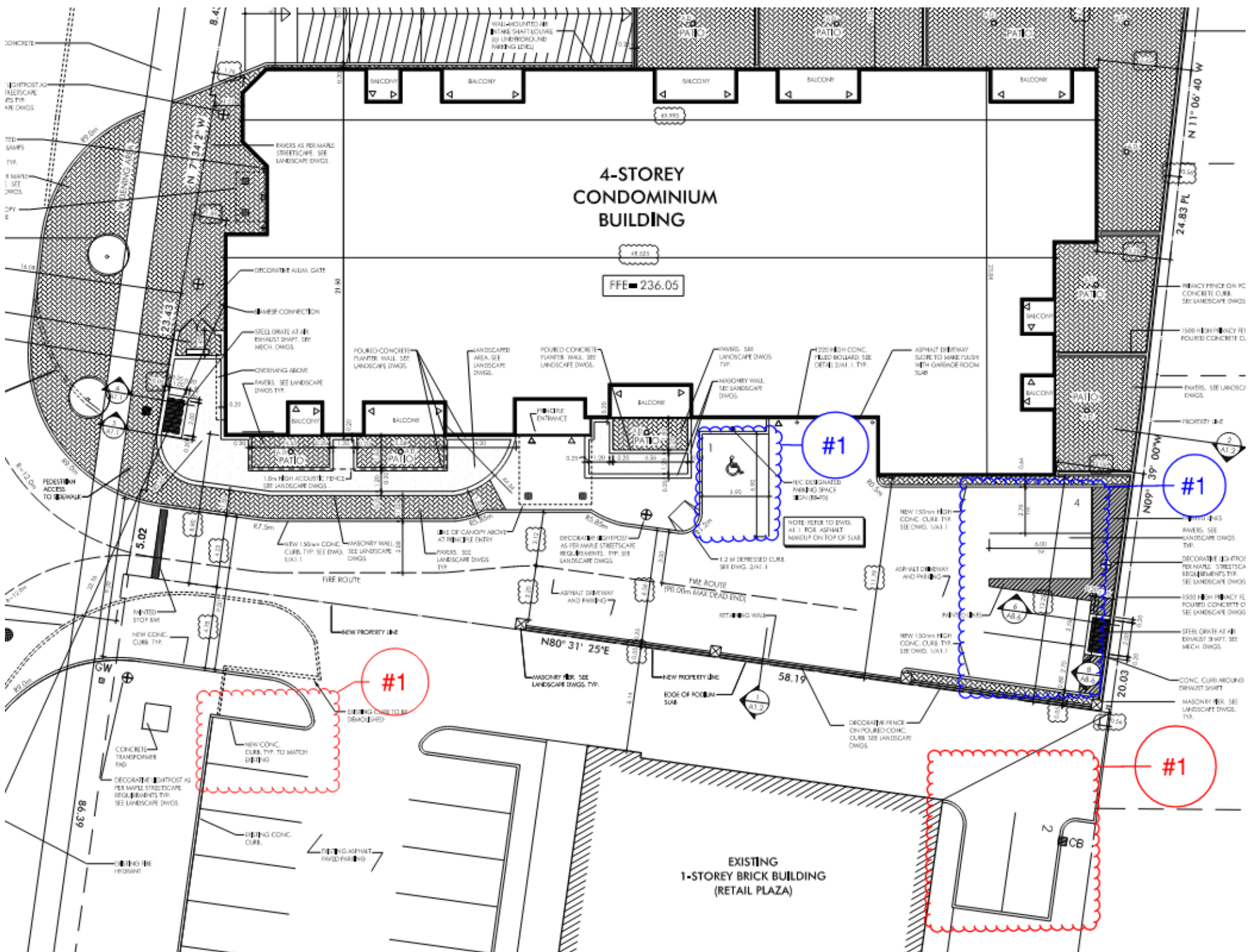
ZONING COMMENTS:

The subject lands are zoned MMS, Main Street Mixed-Use - Maple Zone and subject to the provisions of Exception 14.911 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A minimum of 6.0 visitor parking spaces are required. [Section 6.3.5, Table 6-2]	To permit a minimum of 5.0 visitor parking spaces.

SITE PLAN:

#1- The red clouded area represents the three spots that are to be removed off the 9929 Keele St lands. the blue clouded area represents the 5 Visitor spaces that will remain @ 9973 Keele St.



INDEX OF PARTS		
PART	SHEET(S)	DESCRIPTION
1	3	PLAN OF SURVEY OF THE CONDOMINIUM PROPERTY, THE ILLUSTRATION OF THE APPURTENANT AND SERVENT INTERESTS AND THE DESIGNATION OF UNITS ON LEVELS 1 TO 4, INCLUSIVE, AND LEVEL A
2	NILL	PLAN OF SURVEY OF THE EXCLUSIVE USE PORTIONS OF THE COMMON ELEMENTS
3	43	ARCHITECTURAL PLANS.
4	14	STRUCTURAL PLANS.

**LEVEL 1
UNITS 1 TO 10, INCLUSIVE**

REGISTERED IN THE LAND REGISTRY OFFICE FOR THE LAND TITLES DIVISION OF YORK REGION (No.65) AT 16:12 O'CLOCK ON THE 3RD DAY OF March 2010

"S. Coles"
Asst. DEPUTY LAND REGISTRAR

SURVEYOR'S CERTIFICATE

- I CERTIFY THAT:
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE CONDOMINIUM ACT, 1998, THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 13TH DAY OF FEBRUARY, 2010.
- THE DIAGRAMS OF THE UNITS SHOWN ON THIS PLAN ARE SUBSTANTIALLY ACCURATE.

DATE: Feb. 13TH 2010

Y. WAHBA
ONTARIO LAND SURVEYOR

DECLARATION REGISTERED AS No. YR 1448486

THIS PLAN COMPRISES ALL OF P.L.N. 03340-4316, 03340-4317 AND 03340-4318

SCHEDULE OF APPURTENANT AND SERVENT INTERESTS

TOGETHER WITH (APPURTENANT) INTEREST	PART	PLAN	DESCRIBED IN	NOTES
SUBJECT TO (SERVENT) INTEREST	9,10,11 & 12	65R-32033	RE020228	AFFECTS PART OF UNITS 7,8 & 10 ON LEVELS 1,2 & 3, PART 2 OF UNITS 1,2,3 & 10 ON LEVEL 4, ALL OF UNITS 9 TO 27, INCLUSIVE, ALL OF UNITS 30 AND PART OF UNITS 8,28 TO 35, INCLUSIVE AND PART OF UNITS 37 AND 38 ON LEVEL A.
	8,17 & 20	65R-32033	RE020228	AFFECTS ALL UNITS
	5,6 & 7	65R-32033	RE020228	AFFECTS ALL UNITS
	4,5,13,14 & 25	65R-32033	RE020228	AFFECTS ALL UNITS
	16,17 & 18	65R-32033	RE020228	AFFECTS ALL UNITS
	22	65R-32033	RE020228	AFFECTS ALL UNITS
	8 & 17	65R-32033	RE020228	AFFECTS ALL UNITS
	5,6 & 7	65R-32033	RE020228	AFFECTS ALL UNITS
	4,5,13 & 14	65R-32033	RE020228	AFFECTS ALL UNITS
	3 & 24	65R-32194	RE020228	AFFECTS ALL UNITS
	1,2,3,4,6,7,8,9,10,11 & 12	65R-32194	RE020228	AFFECTS ALL UNITS
	5,13,14,15,16 & 17	65R-32194	RE020228	AFFECTS ALL UNITS
3	65R-32033	RE020228	AFFECTS ALL UNITS	
1,2,3,5	65R-32033	RE020228	AFFECTS ALL UNITS	
20	65R-32033	RE020228	AFFECTS ALL UNITS	

NOTES AND LEGEND

- DENOTES BOUNDARIES OF UNITS AND THE COMMON ELEMENTS
 - DENOTES OUTSIDE FACE OF STRUCTURE
 - DENOTES MONUMENT FOUND
 - DENOTES MONUMENT SET
 - SB DENOTES STANDARD IRON BAR
 - SSB DENOTES SHORT STANDARD IRON BAR
 - IB DENOTES IRON BAR
 - (WT) DENOTES WITNESS
 - CP DENOTES CONCRETE PIN
 - P.I.N. DENOTES PROPERTY IDENTIFIER NUMBER
 - PL DENOTES PLAN 65R-29457
 - PL1 DENOTES PLAN 65R-30094
 - PL2 DENOTES PLAN 65R-15311
 - PL3 DENOTES PLAN 65R-32033
 - PL4 DENOTES PLAN 65R-19808
 - PL5 DENOTES PLAN 65R-7948
 - PL6 DENOTES BUILDING LOCATION SURVEY BY DONALD E. ROBERTS LTD., O.L.S., DATED DECEMBER 22, 1998
 - U/G DENOTES UNDERGROUND
 - (ORP) DENOTES RADY-PENTEK & EDWARD SURVEYING LTD., O.L.S.
 - UP DENOTES STEPS UP
 - DN DENOTES STEPS DOWN
 - H/C DENOTES HANDICAP PARKING
 - E.C. DENOTES ELECTRICAL CLOSET
 - F.H.C. DENOTES FIREHOSE CABINET
 - V DENOTES VISITOR'S PARKING
 - P DENOTES PATIO
 - DENOTES NOT PART OF THE UNIT
 - ① DENOTES SLOPING PLANE ESTABLISHED BY ELEVATION
 - ② DENOTES VERTICAL PLANE ESTABLISHED BY MEASUREMENT
 - ③ DENOTES HORIZONTAL PLANE ESTABLISHED BY ELEVATION
- ALL FOUND MONUMENTS BY RADY-PENTEK & EDWARD SURVEYING LTD., O.L.S. UNLESS NOTED OTHERWISE.
- ALL TIES TAKEN TO CONCRETE FOUNDATION AND ARE PERPENDICULAR TO THE PERIMETER OF THE PROPERTY UNLESS OTHERWISE SHOWN.

BEARING NOTE

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE NORTH LIMIT OF PART 1, PLAN 65R-32033 HAVING A BEARING OF N72°30'20"E.

ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE CITY OF VAUGHAN BENCHMARK No. 18-2 HAVING AN ELEVATION OF 240.536 METRES LOCATED ON A CITY OF VAUGHAN MUNICIPAL BUILDING (CIVIC OFFICE) ON SOUTHWEST CORNER OF MAJOR MACKENZIE DRIVE, NORTHWEST CORNER OF THE BUILDING, NORTH WALL WITH CITY GRID, 0.500 METRE EAST NORTHEAST CORNER OF BUILDING, 0.100 METRES ABOVE BOTTOM OF SLAB, NO. 2141 MAJOR MACKENZIE DRIVE.

CERTIFICATE OF DECLARANT

THIS IS TO CERTIFY THAT THE PROPERTY INCLUDED IN THIS PLAN HAS BEEN LAID OUT INTO UNITS AND COMMON ELEMENTS IN ACCORDANCE WITH OUR INSTRUCTIONS.

DECLARANT: LEOPARD LANE DEVELOPMENT INC.

DATE: Feb. 13TH 2010

BRUNO BALDASSARA
AUTHORIZED SIGNING OFFICER
I HAVE THE AUTHORITY TO BIND THE CORPORATION

PLANNING APPROVAL

PARTS 1, 2 AND 3 APPROVED AND PARTS 4 AND 5 EXEMPTED UNDER SECTION 9 OF THE CONDOMINIUM ACT, 1998 AND SECTION 51 OF THE PLANNING ACT, R.S.O. 1990 THIS 2ND DAY OF March 2010

GRANT UYEYAMA
Chief of Development Planning

PLAN OF SURVEY OF PART OF THE WEST HALF OF LOT 20, CONCESSION 3 (GEOGRAPHIC TOWNSHIP OF VAUGHAN) CITY OF VAUGHAN REGIONAL MUNICIPALITY OF YORK

SCALE 1:150
RADY-PENTEK & EDWARD SURVEYING LTD., O.L.S.

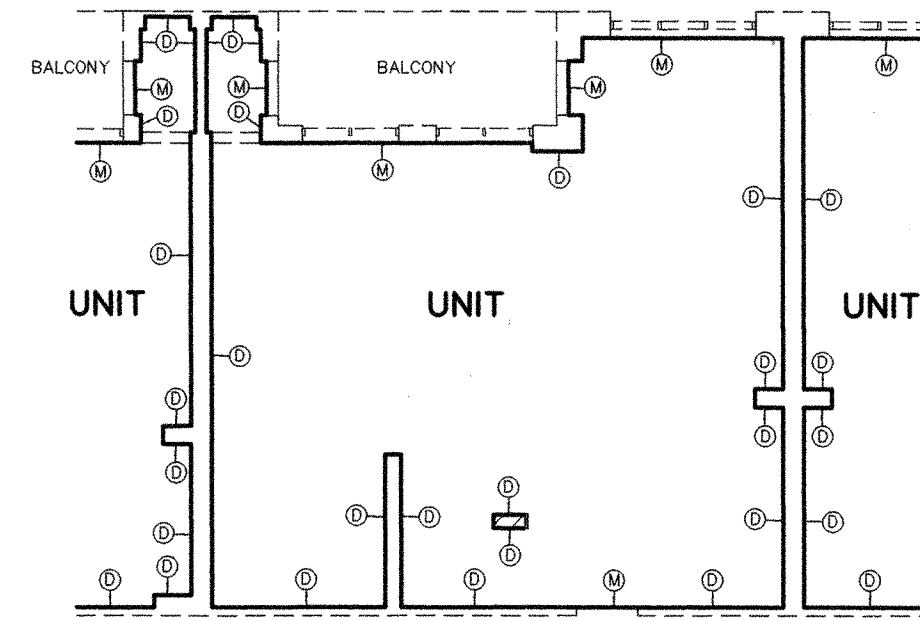
METRIC DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

UNIT BOUNDARY DEFINITIONS

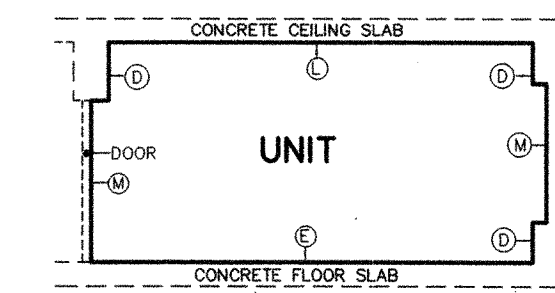
THE MONUMENTS CONTROLLING THE EXTENT AND LOCATION OF THE UNITS ARE THE WALLS, FLOORS, CEILINGS AND OTHER PHYSICAL FEATURES AS MORE PARTICULARLY DESCRIBED IN SCHEDULE "C" OF THE DECLARATION.

AREAS NOT DESIGNATED AS UNITS ARE COMMON ELEMENTS.

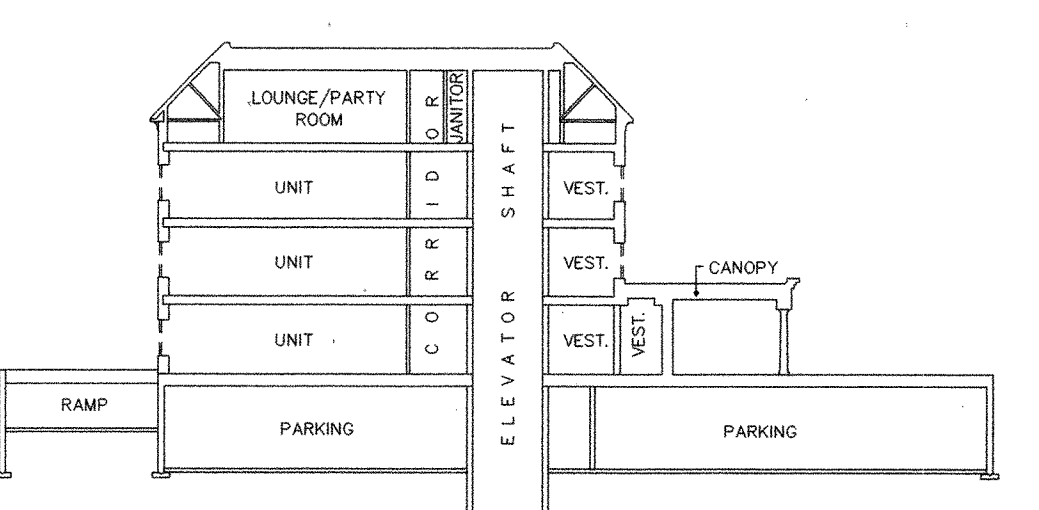
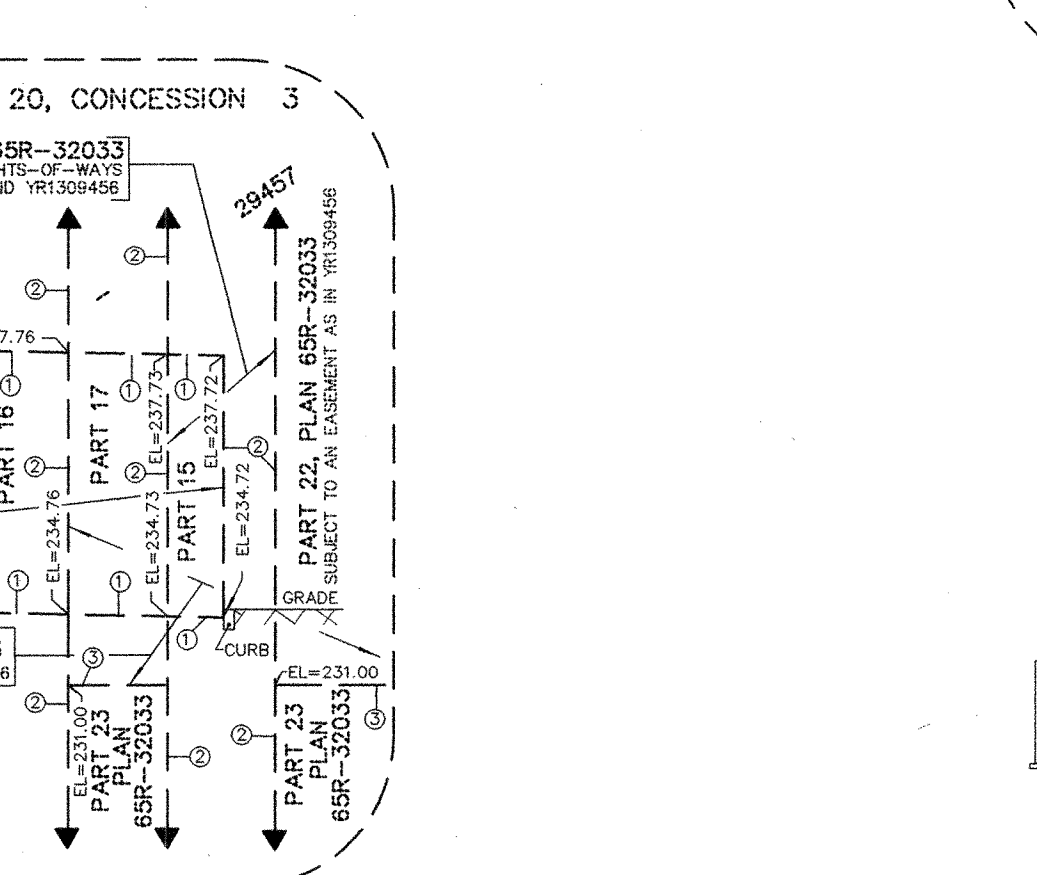
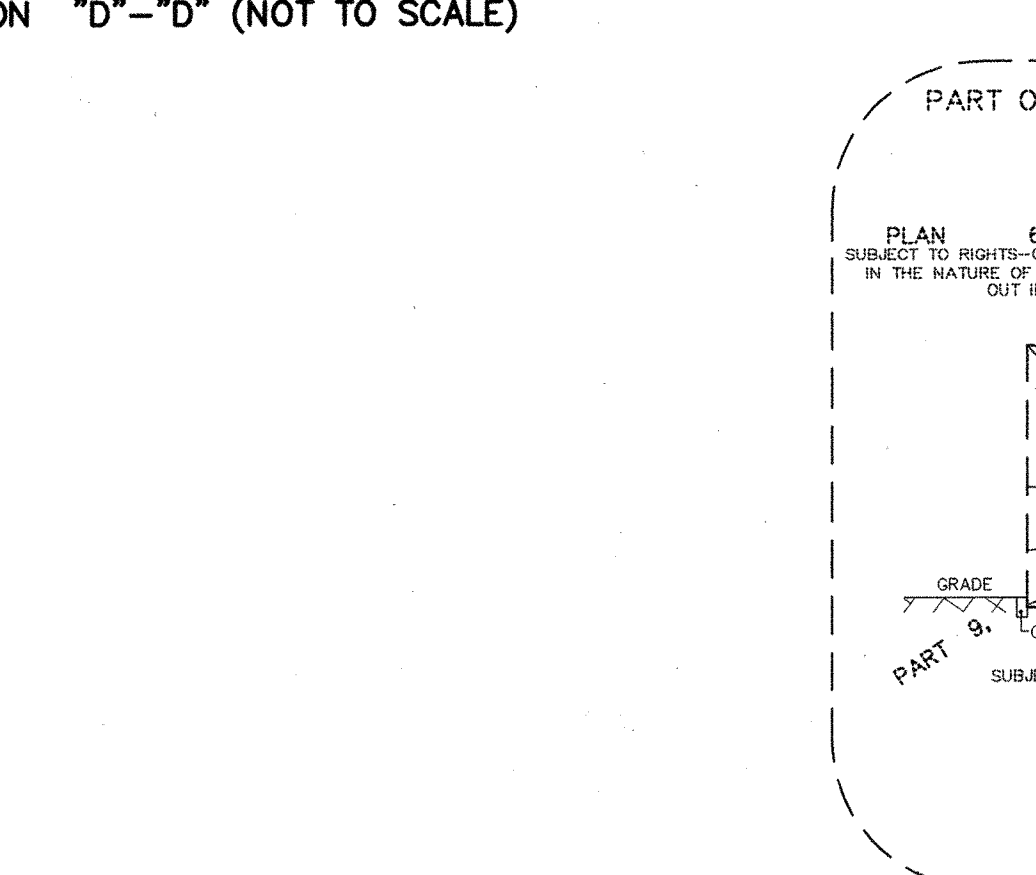
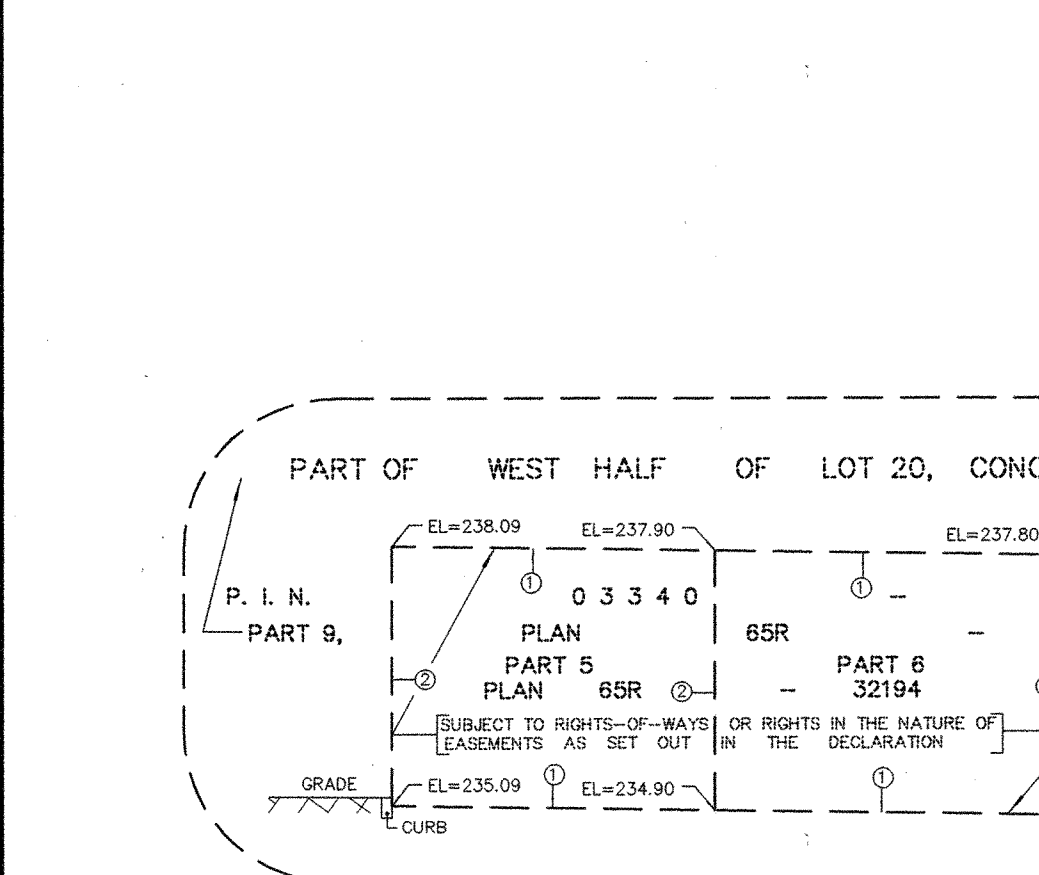
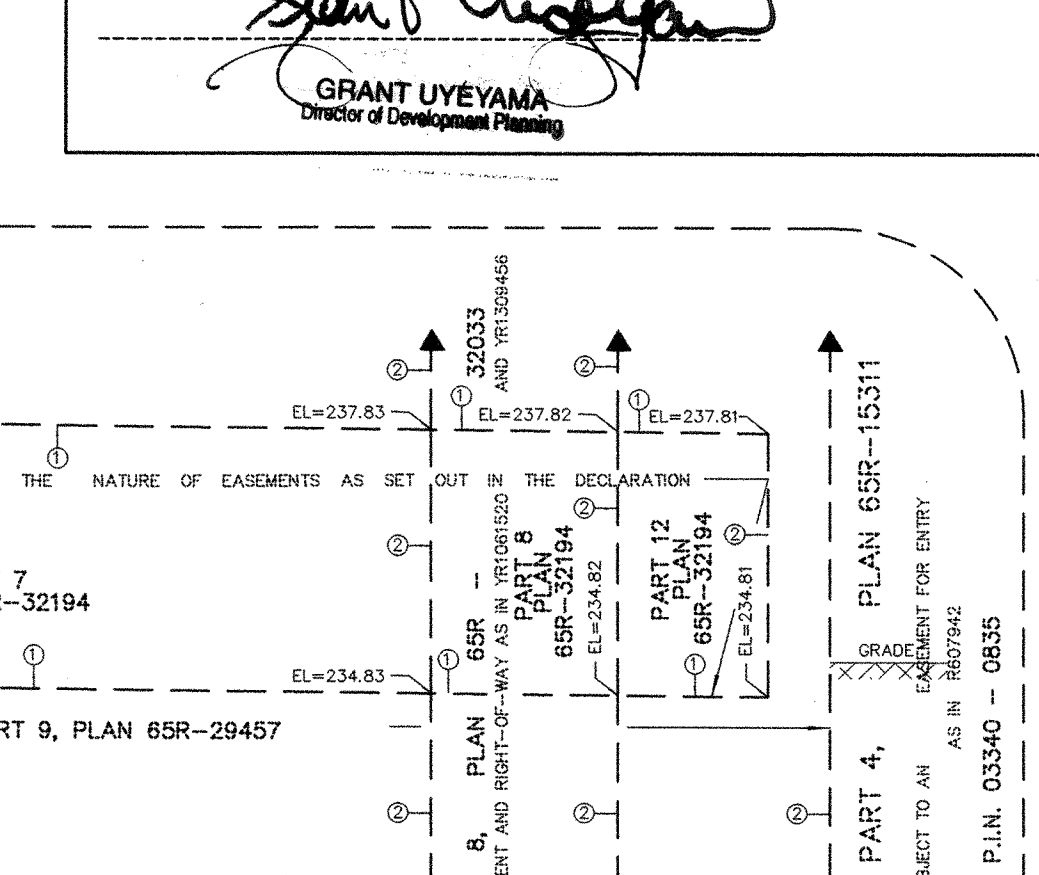
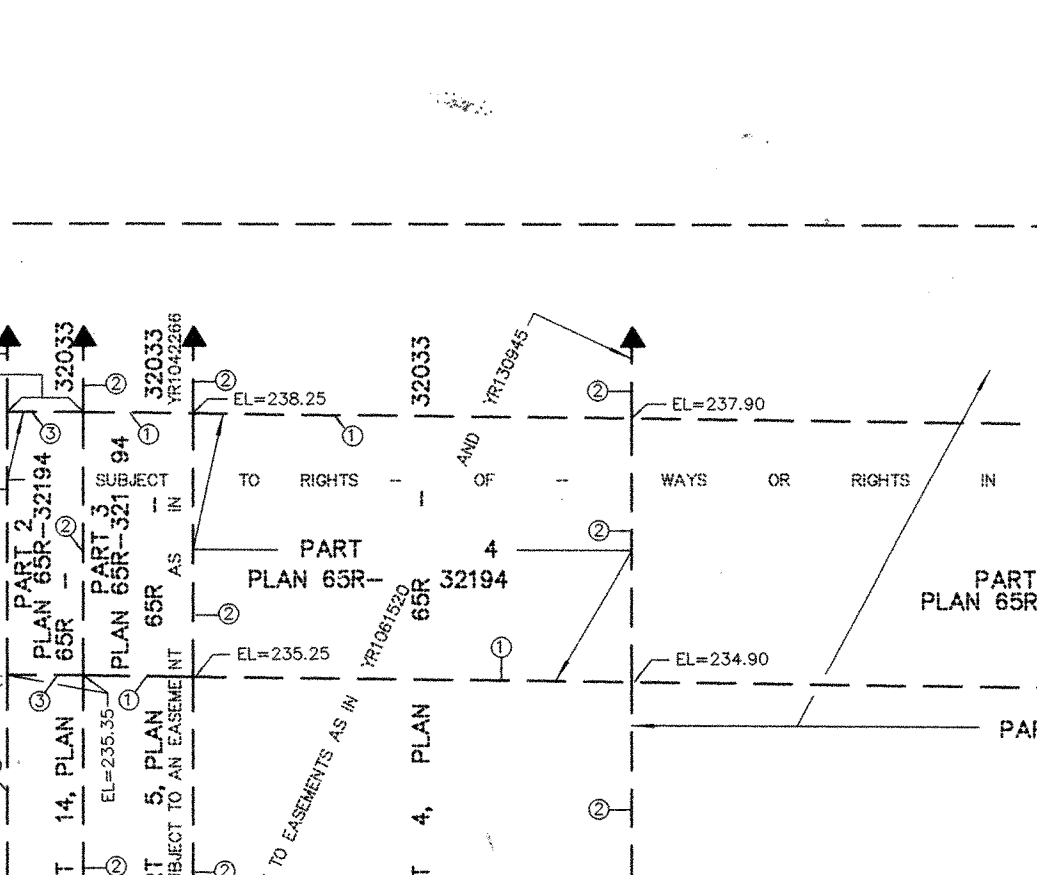
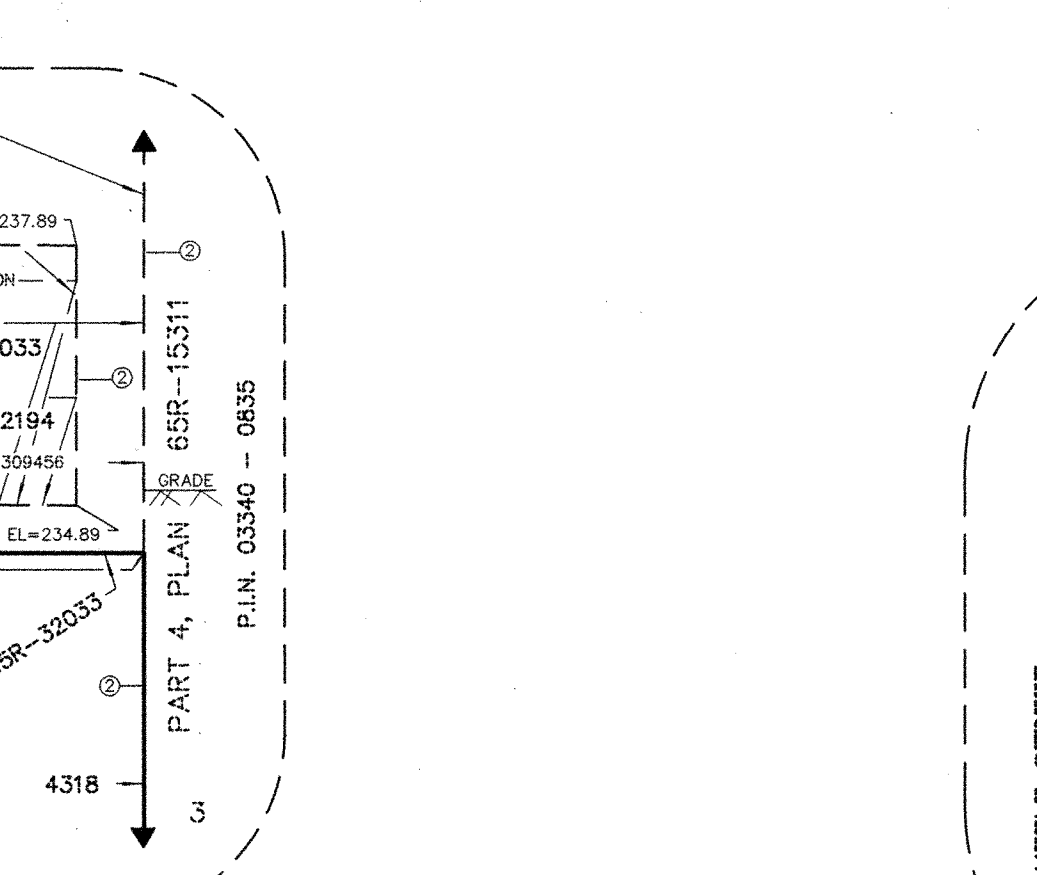
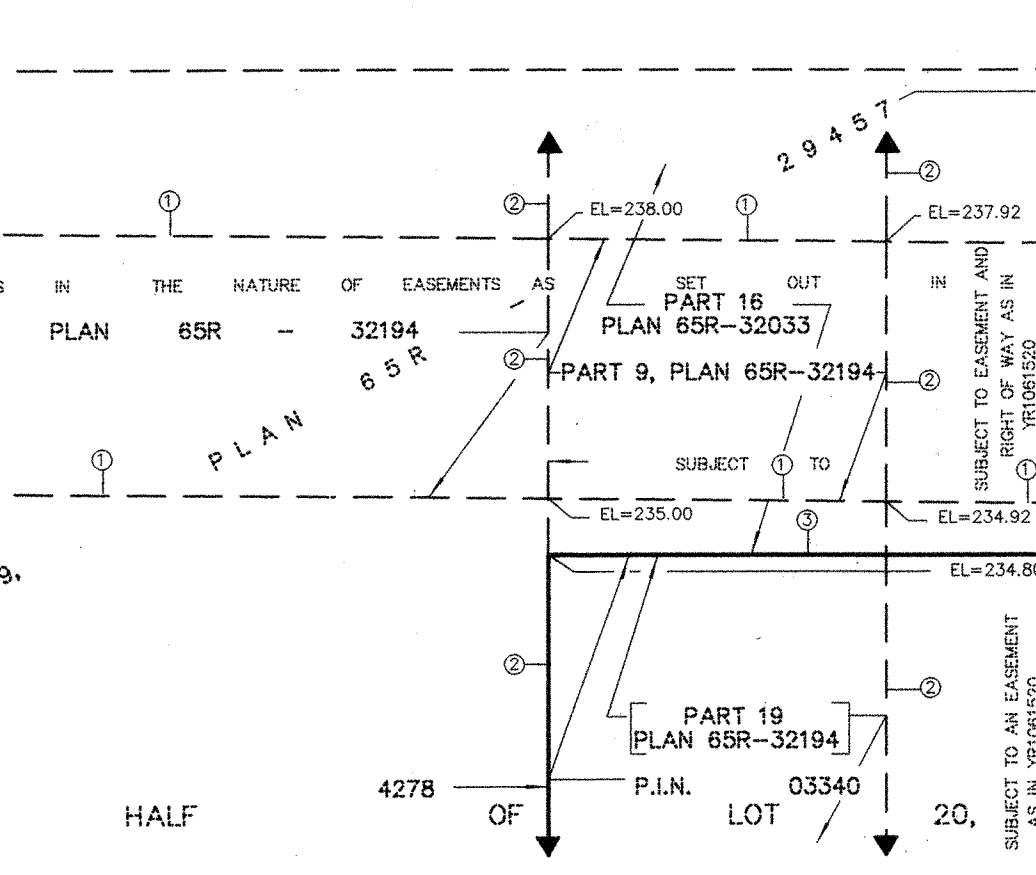
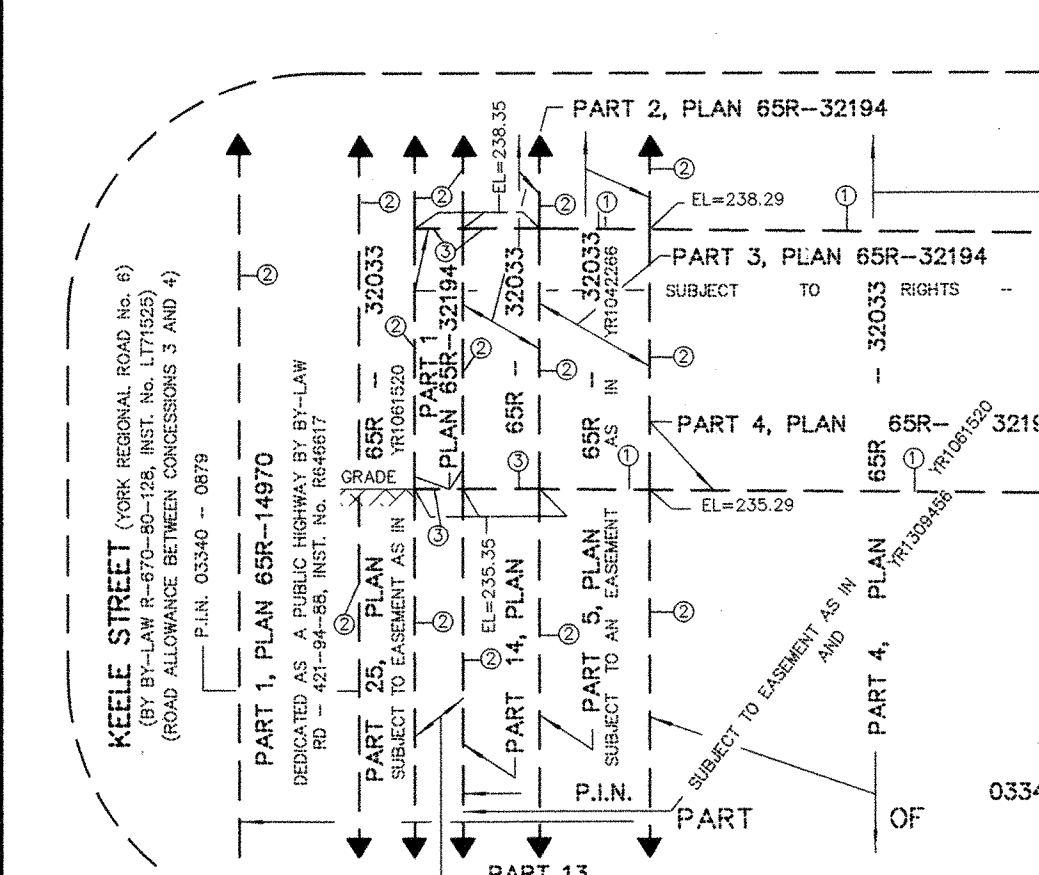
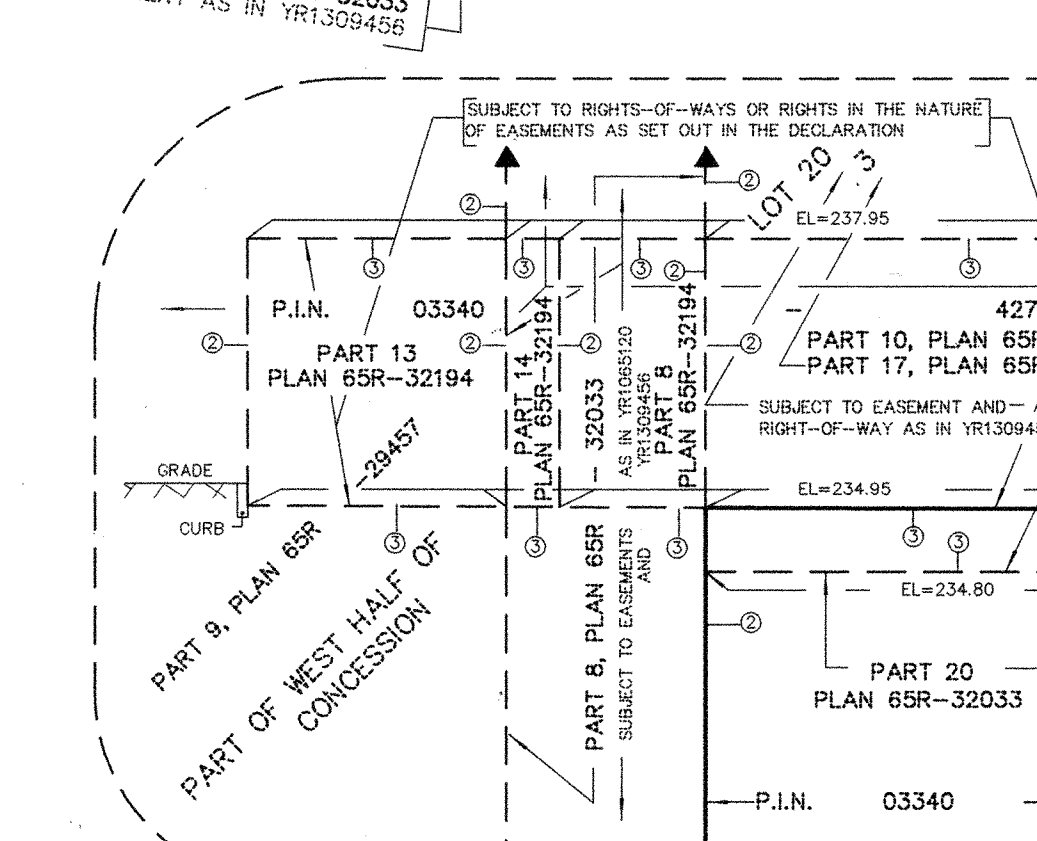
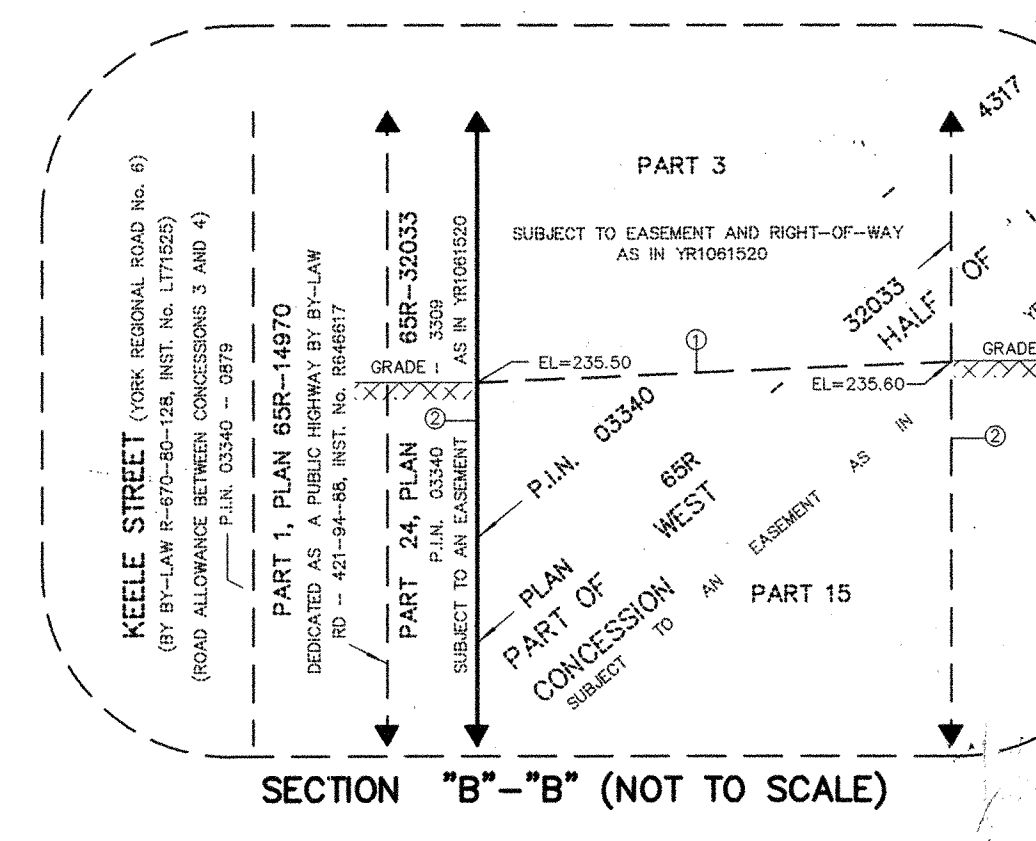
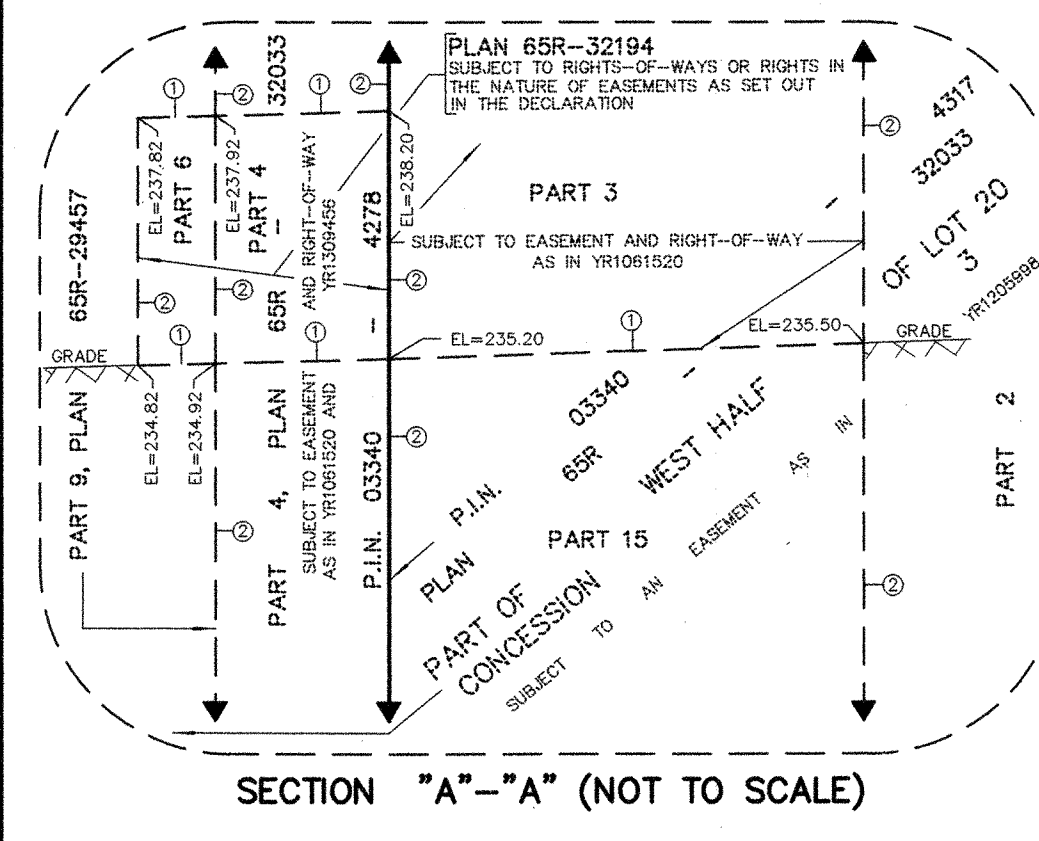
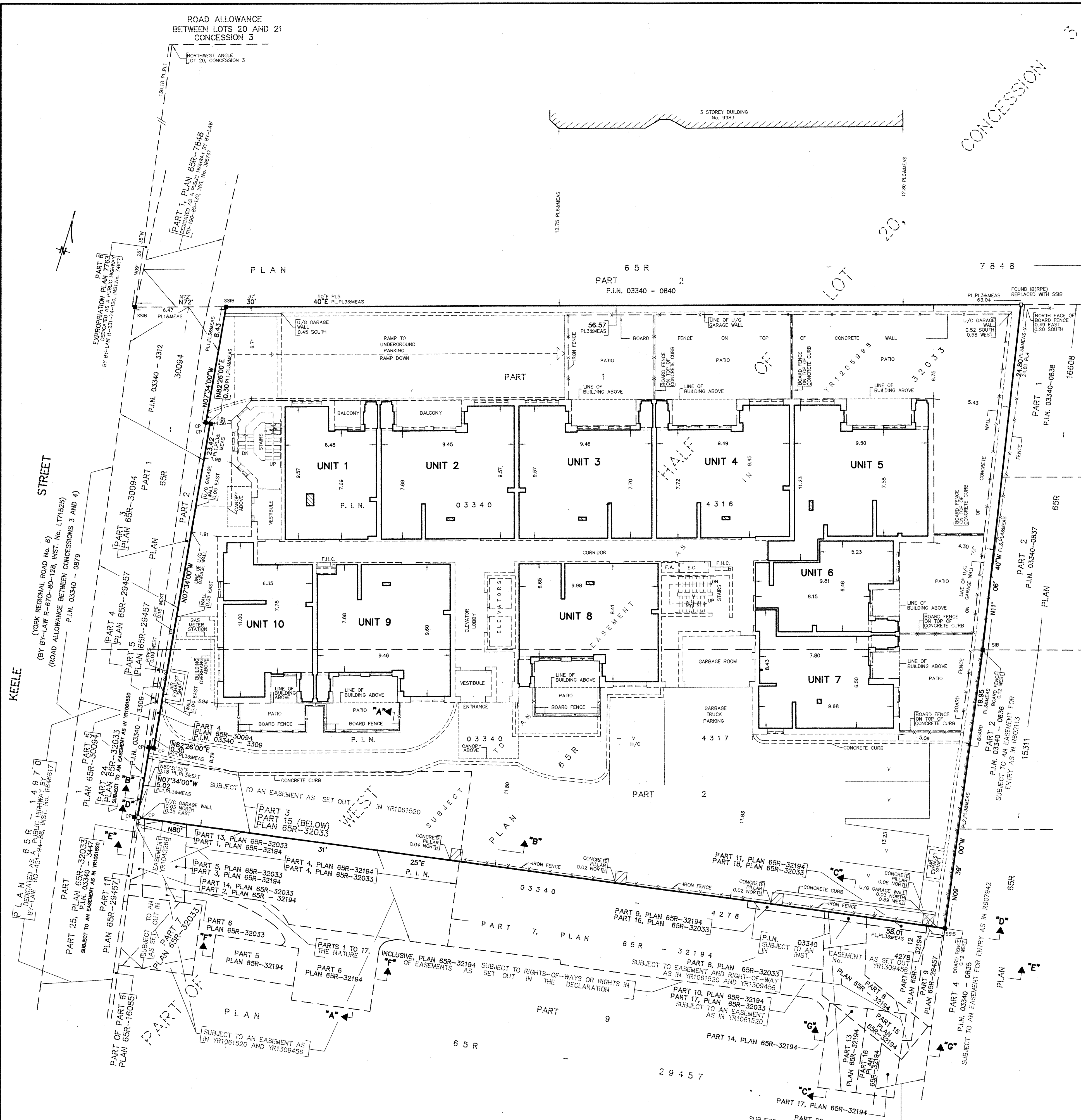
- ① DENOTES VERTICAL PLANE ESTABLISHED BY MEASUREMENT.
- ② DENOTES THE PLANE 2.00 METRES ABOVE AND PARALLEL TO THE UPPER SURFACE OF THE UNFINISHED CONCRETE FLOOR SLAB MEASURED PERPENDICULARLY THEREFROM.
- ③ DENOTES LOWER FACE AND PLANE OF THE STEEL WIRE MESH AND FRAME.
- ④ DENOTES BACKSIDE SURFACE AND PLANE OF PRODUCTION OF THE DRYWALL SHEATHING.
- ⑤ DENOTES UPPER SURFACE AND PLANE OF THE UNFINISHED CONCRETE FLOOR SLAB AND PRODUCTION.
- ⑥ DENOTES UNITSIDE SURFACE AND PLANE OF THE CONCRETE / CONCRETE TO THE FACE OF WALL OR COLUMN.
- ⑦ DENOTES VERTICAL PLANE ESTABLISHED BY THE LINE AND FACE OF THE CONCRETE COLUMNS AND / OR THE PRODUCTION THEREOF.
- ⑧ DENOTES VERTICAL PLANE ESTABLISHED BY MEASUREMENTS AND PARALLEL TO THE FACE OF WALL OR COLUMN.
- ⑨ DENOTES LOWER SURFACE AND PLANE OF THE UNFINISHED CONCRETE CEILING SLAB.
- ⑩ DENOTES UNFINISHED UNITSIDE SURFACE AND PLANE OF THE EXTERIOR DOORS, DOOR AND WINDOW FRAMES AND UNITSIDE SURFACE OF ALL GLASS PANELS LOCATED THEREIN IN CLOSED POSITION.
- ⑪ DENOTES UNITSIDE SURFACE AND PLANE OF THE STEEL WIRE MESH AND THE UNITSIDE SURFACE OF THE STEEL WIRE MESH DOOR IN CLOSED POSITION.
- ⑫ DENOTES VERTICAL PLANE ESTABLISHED BY MEASUREMENTS AND PERPENDICULAR TO THE CONCRETE / CONCRETE BLOCK WALL.
- ⑬ DENOTES VERTICAL PLANE ESTABLISHED BY THE CENTRELINE OF COLUMN AND PERPENDICULAR TO THE FACE OF SAID COLUMN.
- ⑭ DENOTES UPPER SURFACE AND PLANE OF THE DRYWALL CEILING AND THE PRODUCTION THEREOF.



REPRESENTATIVE PLAN VIEW SHOWING TYPICAL UNIT BOUNDARIES FOR UNITS 1 TO 10, INCLUSIVE ON LEVEL 1 (NOT TO SCALE)

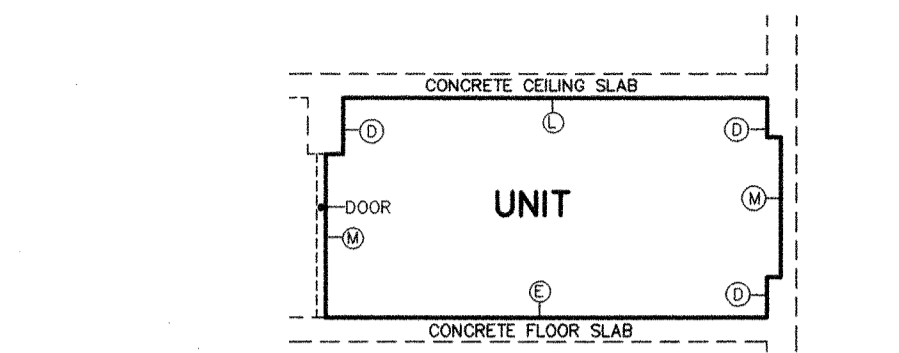
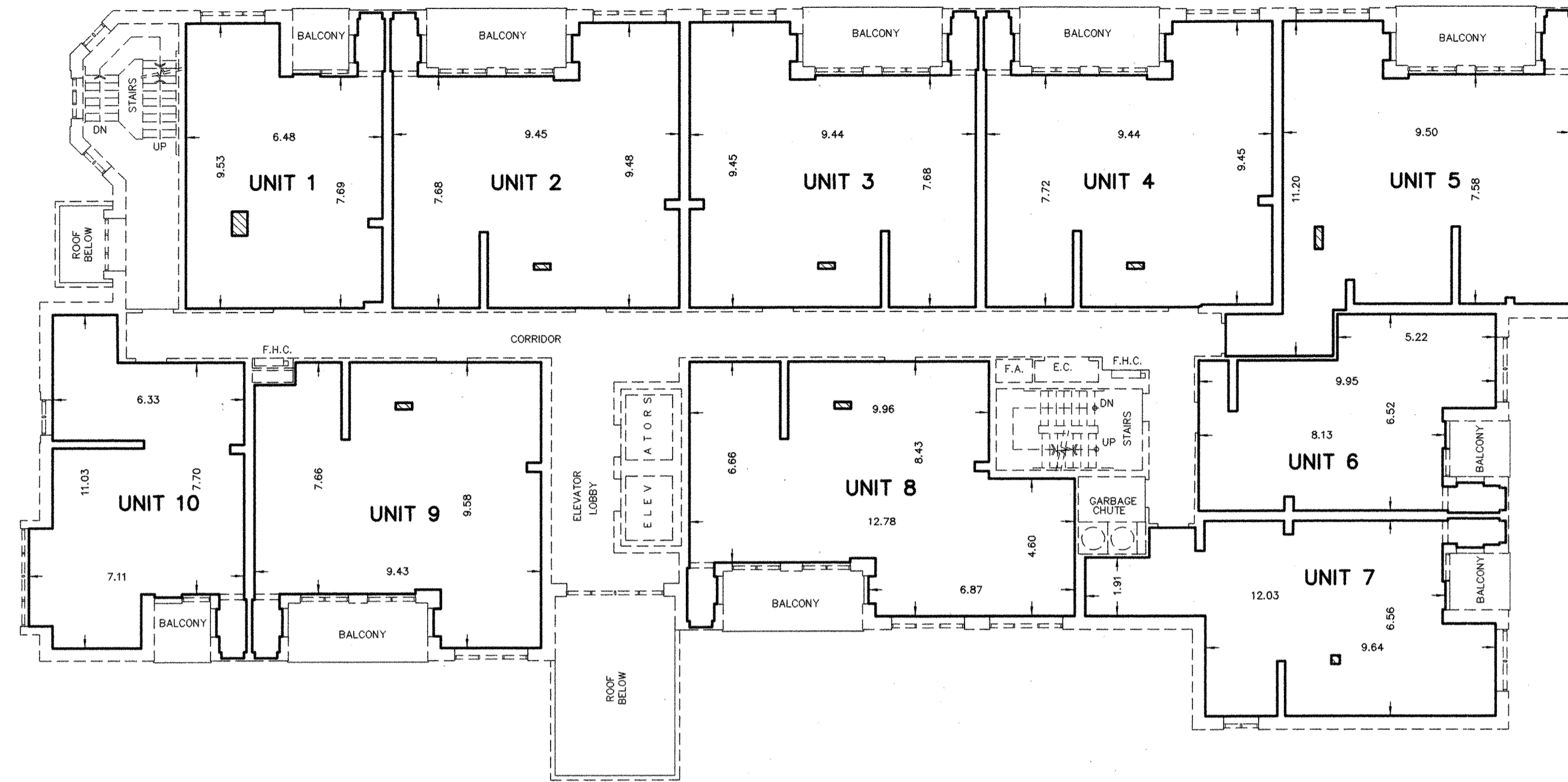


REPRESENTATIVE SECTION SHOWING TYPICAL UNIT BOUNDARIES FOR UNITS 1 TO 10, INCLUSIVE ON LEVEL 1 (NOT TO SCALE)

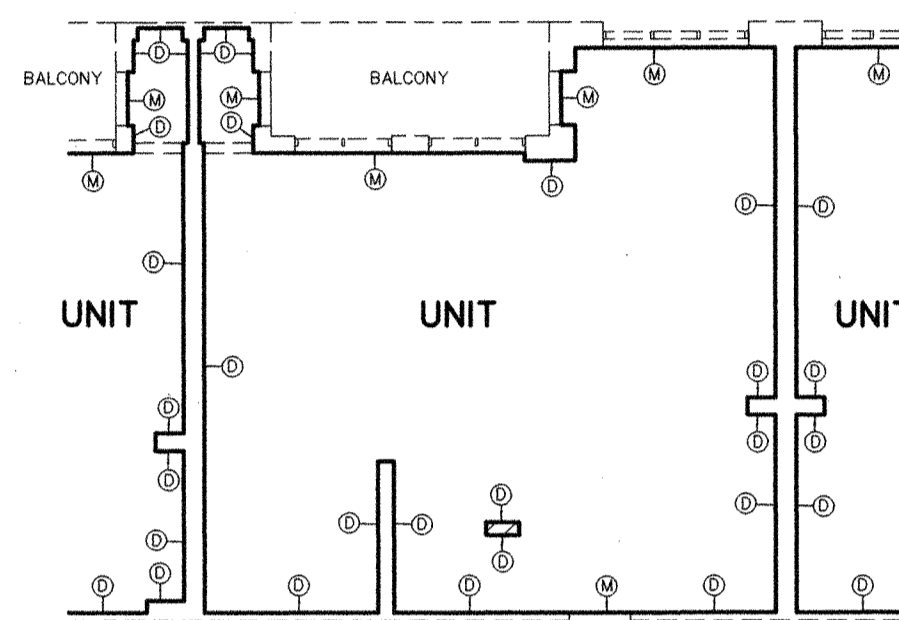


SECTION TO ILLUSTRATE THE VERTICAL RELATIONSHIP BETWEEN LEVELS (NOT TO SCALE)

LEVELS 2 AND 3
UNITS 1 TO 10, INCLUSIVE

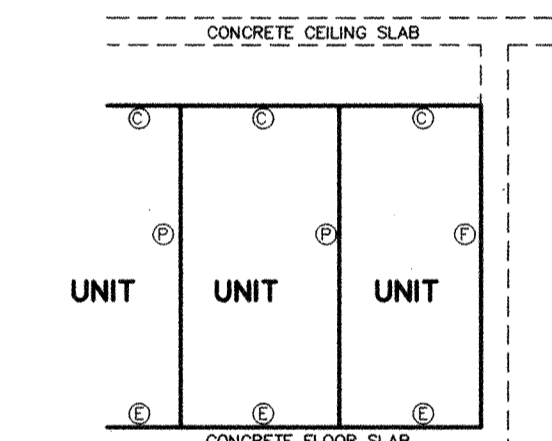
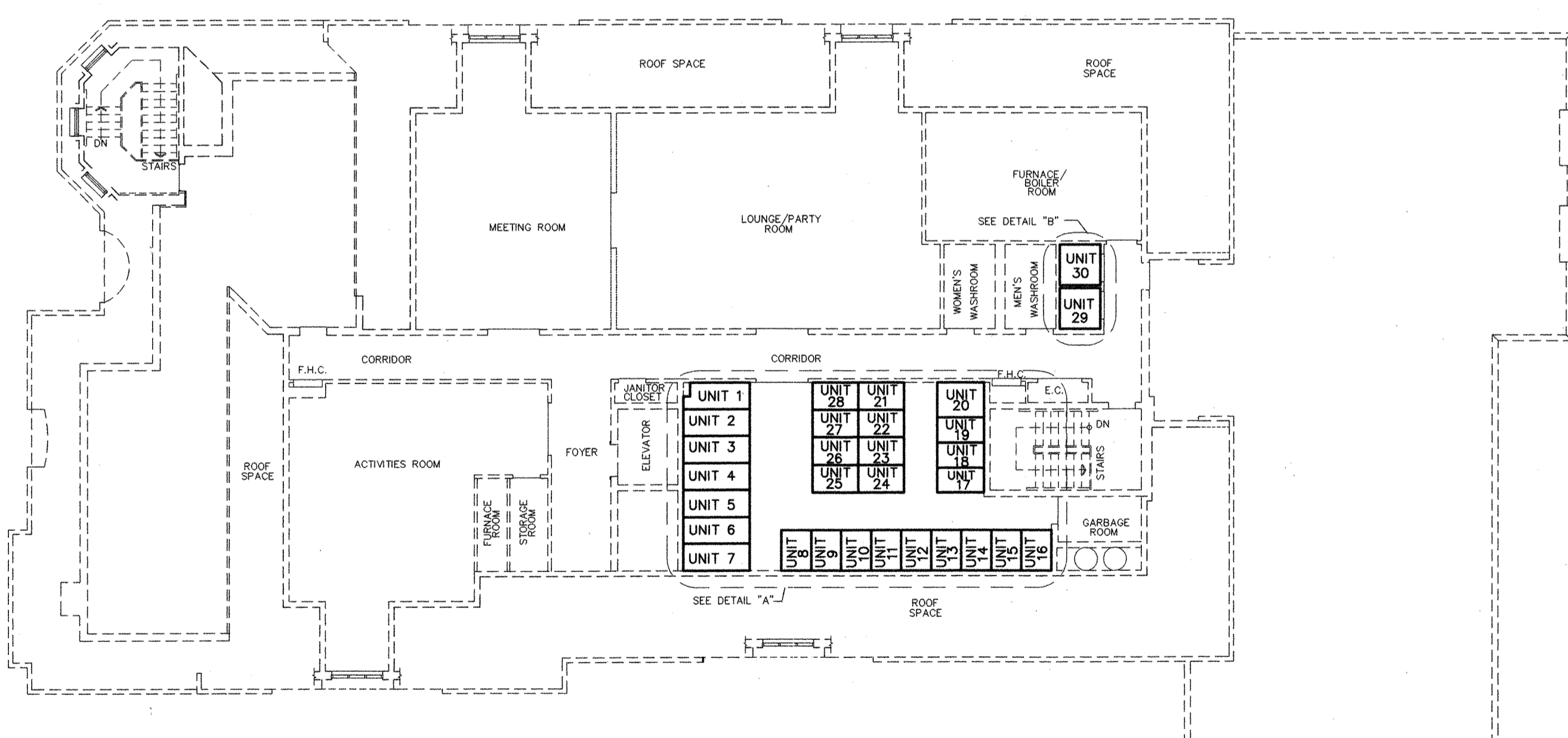


REPRESENTATIVE SECTION SHOWING TYPICAL UNIT BOUNDARIES FOR UNITS 1 TO 10, INCLUSIVE ON LEVELS 2 AND 3 (NOT TO SCALE)

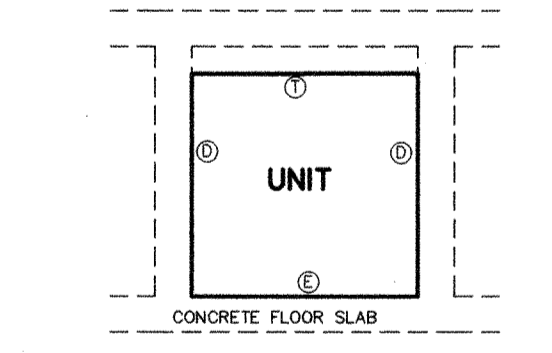


REPRESENTATIVE PLAN VIEW SHOWING TYPICAL UNIT BOUNDARIES FOR UNITS 1 TO 10, INCLUSIVE ON LEVELS 2 AND 3 (NOT TO SCALE)

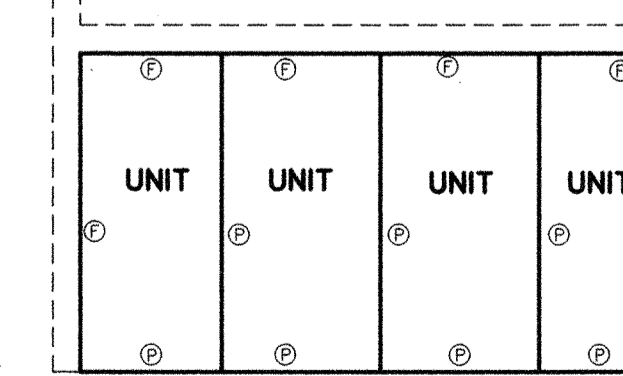
LEVEL 4
UNITS 1 TO 30, INCLUSIVE



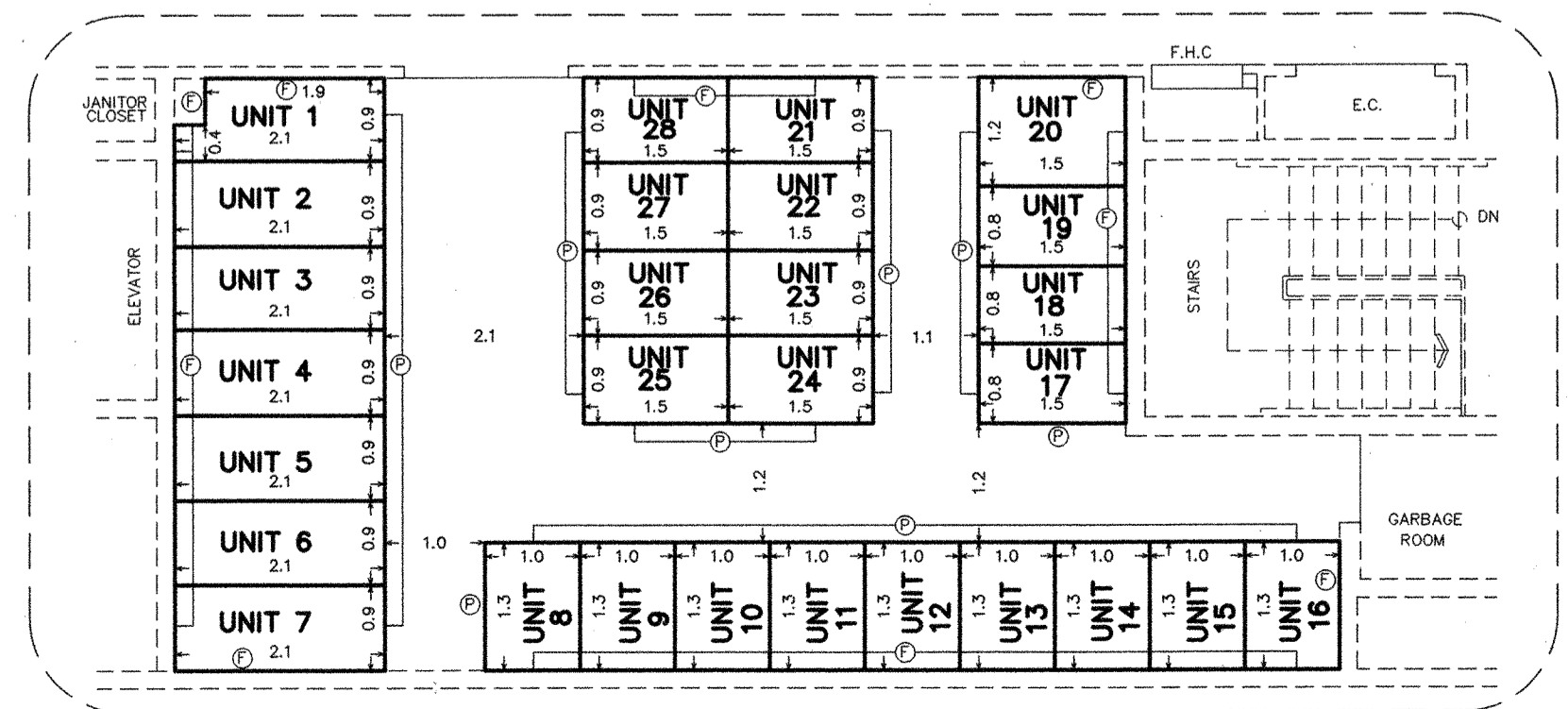
REPRESENTATIVE SECTION SHOWING TYPICAL UNIT BOUNDARIES FOR UNITS 1 TO 28, INCLUSIVE ON LEVEL 4 (NOT TO SCALE)



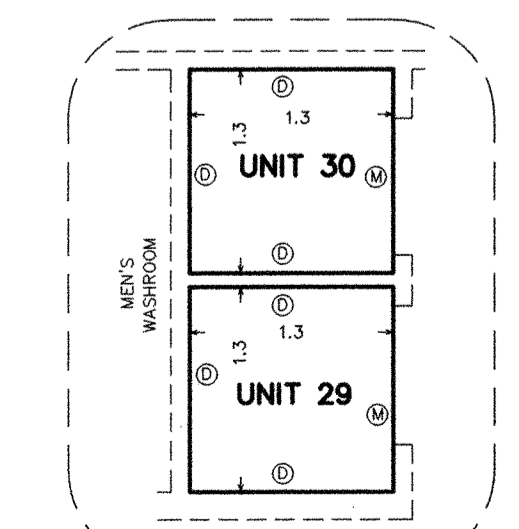
REPRESENTATIVE SECTION SHOWING TYPICAL UNIT BOUNDARIES FOR UNITS 29 AND 30 ON LEVEL 4 (NOT TO SCALE)



REPRESENTATIVE PLAN VIEW SHOWING TYPICAL UNIT BOUNDARIES FOR UNITS 1 TO 28, INCLUSIVE ON LEVEL 4 (NOT TO SCALE)



DETAIL "A" (NOT TO SCALE)



DETAIL "B" (NOT TO SCALE)

SCALE 1:150
10m 5m 0 10metres
RADY-PENTEK & EDWARD SURVEYING LTD, O.L.S.

METRIC DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

UNIT BOUNDARY DEFINITIONS
THE MONUMENTS CONTROLLING THE EXTENT AND LOCATION OF THE UNITS ARE THE WALLS, FLOORS, CEILINGS AND OTHER PHYSICAL FEATURES AS MORE PARTICULARLY DESCRIBED IN SCHEDULE "C" OF THE DECLARATION.
AREAS NOT DESIGNATED AS UNITS ARE COMMON ELEMENTS.

- (A) DENOTES VERTICAL PLANE ESTABLISHED BY MEASUREMENT.
- (B) DENOTES THE PLANE 2.00 METRES ABOVE AND PARALLEL TO THE UPPER SURFACE OF THE UNFINISHED CONCRETE FLOOR SLAB MEASURED PERPENDICULARLY THEREFROM.
- (C) DENOTES LOWER FACE AND PLANE OF THE STEEL WIRE MESH AND FRAME.
- (D) DENOTES BACKSIDE SURFACE AND PLANE AND PRODUCTION OF THE DRYWALL SHEATHING.
- (E) DENOTES UPPER SURFACE AND PLANE OF THE UNFINISHED CONCRETE FLOOR SLAB AND PRODUCTION.
- (F) DENOTES UNITSIDE SURFACE AND PLANE OF THE CONCRETE / CONCRETE BLOCK WALL AND / OR THE PRODUCTION THEREOF.
- (G) DENOTES VERTICAL PLANE ESTABLISHED BY THE LINE AND FACE OF THE CONCRETE COLUMNS AND / OR THE PRODUCTION THEREOF.
- (K) DENOTES VERTICAL PLANE ESTABLISHED BY MEASUREMENTS AND PARALLEL TO THE FACE OF WALL OR COLUMN.
- (L) DENOTES LOWER SURFACE AND PLANE OF THE UNFINISHED CONCRETE CEILING SLAB.
- (M) DENOTES UNFINISHED UNITSIDE SURFACE AND PLANE OF THE EXTERIOR DOORS, DOOR AND WINDOW FRAMES AND UNITSIDE SURFACE OF ALL GLASS PANELS LOCATED THEREIN IN CLOSED POSITION.
- (P) DENOTES UNITSIDE SURFACE AND PLANE OF THE STEEL WIRE MESH AND THE UNITSIDE SURFACE OF THE STEEL WIRE MESH DOOR IN CLOSED POSITION.
- (R) DENOTES VERTICAL PLANE ESTABLISHED BY MEASUREMENTS AND PERPENDICULAR TO THE CONCRETE / CONCRETE BLOCK WALL.
- (S) DENOTES VERTICAL PLANE ESTABLISHED BY THE CENTRELINE OF COLUMN AND PERPENDICULAR TO THE FACE OF SAID COLUMN.
- (T) DENOTES UPPER SURFACE AND PLANE OF THE DRYWALL CEILING AND THE PRODUCTION.

LEVELS 2 AND 3
UNITS 1 TO 10, INCLUSIVE

LEVEL 4
UNITS 1 TO 30, INCLUSIVE

REGISTERED IN THE LAND REGISTRY OFFICE FOR THE LAND TITLES DIVISION OF YORK REGION (No.65) AT 16:13 O'CLOCK ON THE 3rd DAY OF March 2010

S. Coles
Asst. DEPUTY LAND REGISTRAR

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE CONDOMINIUM ACT, 1998, THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM;
2. THE SURVEY WAS COMPLETED ON THE 16th DAY OF FEB., 2010.
3. THE DIAGRAMS OF THE UNITS SHOWN ON THIS PLAN ARE SUBSTANTIALLY ACCURATE.

DATE Feb. 12, 2010
Y. WAHBA
ONTARIO LAND SURVEYOR

DECLARATION REGISTERED AS No. YR 1448486

NOTES AND LEGEND

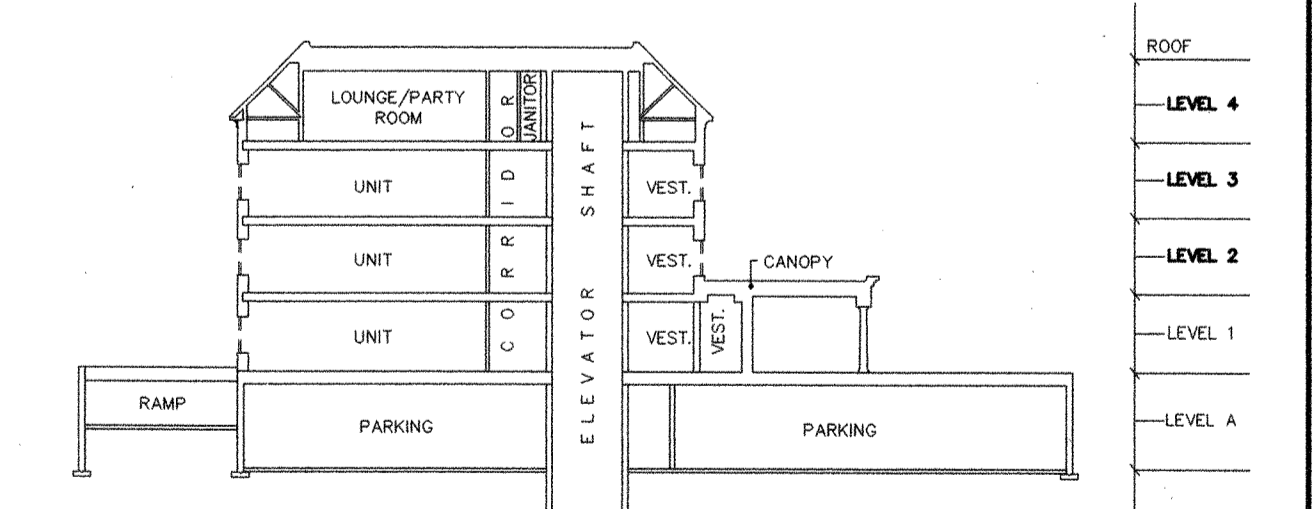
- DENOTES BOUNDARIES OF UNITS AND THE COMMON ELEMENTS
- - - - DENOTES OUTSIDE FACE OF STRUCTURE
- P.I.N. DENOTES PROPERTY IDENTIFIER NUMBER
- UP DENOTES STEPS UP
- DN DENOTES STEPS DOWN
- H/C DENOTES HANDICAP PARKING
- E.C. DENOTES ELECTRICAL CLOSET
- F.H.C. DENOTES FIREHOSE CABINET
- ☒ DENOTES NOT PART OF THE UNIT

CERTIFICATE OF DECLARANT

THIS IS TO CERTIFY THAT THE PROPERTY INCLUDED IN THIS PLAN HAS BEEN LAID OUT INTO UNITS AND COMMON ELEMENTS IN ACCORDANCE WITH OUR INSTRUCTIONS.

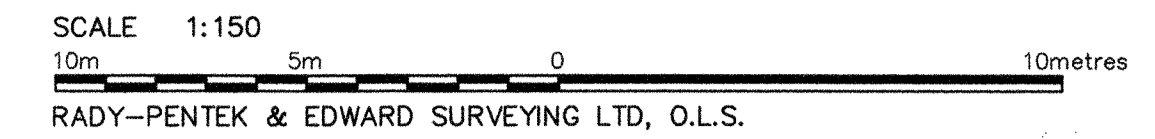
DECLARANT: LEOPARD LANE DEVELOPMENT INC.

DATE Feb. 17, 2010
BRUNO BALDASSARA
AUTHORIZED SIGNING OFFICER
I HAVE THE AUTHORITY TO BIND THE CORPORATION



SECTION TO ILLUSTRATE THE VERTICAL RELATIONSHIP BETWEEN LEVELS (NOT TO SCALE)

rpe RADY-PENTEK & EDWARD SURVEYING LTD.
ONTARIO LAND SURVEYORS
643 Chrislea Road, Suite 7
Woodbridge, Ontario L4L 8A3
Tel. (416) 635-5000 Fax (416) 635-5001
Tel. (905) 264-0881 Fax (905) 264-2099
Website: www.r-pe.ca
DRAWN: E.G. CHECKED: R.M./Y.W.
JOB No. 05-321 CAD FILE No. 05-321-CONDO-2



METRIC
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

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- (A) DENOTES VERTICAL PLANE ESTABLISHED BY MEASUREMENT.
- (B) DENOTES THE PLANE 2.00 METRES ABOVE AND PARALLEL TO THE UPPER SURFACE OF THE UNFINISHED CONCRETE FLOOR SLAB MEASURED PERPENDICULARLY THEREFROM.
- (C) DENOTES LOWER FACE AND PLANE OF THE STEEL WIRE MESH AND FRAME.
- (D) DENOTES BACKSIDE SURFACE AND PLANE AND PRODUCTION OF THE DRYWALL SHEATHING.
- (E) DENOTES UPPER SURFACE AND PLANE OF THE UNFINISHED CONCRETE FLOOR SLAB AND PRODUCTION.
- (F) DENOTES UNITSIDE SURFACE AND PLANE OF THE CONCRETE / CONCRETE BLOCK WALL AND / OR THE PRODUCTION THEREOF.
- (G) DENOTES VERTICAL PLANE ESTABLISHED BY THE LINE AND FACE OF THE CONCRETE COLUMNS AND / OR THE PRODUCTION THEREOF.
- (K) DENOTES VERTICAL PLANE ESTABLISHED BY MEASUREMENTS AND PARALLEL TO THE FACE OF WALL OR COLUMN.
- (L) DENOTES LOWER SURFACE AND PLANE OF THE UNFINISHED CONCRETE CEILING SLAB.
- (M) DENOTES UNFINISHED UNITSIDE SURFACE AND PLANE OF THE EXTERIOR DOORS, DOOR AND WINDOW FRAMES AND UNITSIDE SURFACE OF ALL GLASS PANELS LOCATED THEREIN IN CLOSED POSITION.
- (P) DENOTES UNITSIDE SURFACE AND PLANE OF THE STEEL WIRE MESH AND THE UNITSIDE SURFACE OF THE STEEL WIRE MESH DOOR IN CLOSED POSITION.
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- (T) DENOTES UPPER SURFACE AND PLANE OF THE DRYWALL CEILING AND THE PRODUCTION.

**LEVEL A
UNITS 1 TO 49, INCLUSIVE**

REGISTERED IN THE LAND REGISTRY OFFICE FOR THE LAND TITLES DIVISION OF YORK REGION (No.65) AT 16:13 O'CLOCK ON THE 3RD DAY OF March 2010

S. Coles
Asst. DEPUTY LAND REGISTRAR

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
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2. THE SURVEY WAS COMPLETED ON THE 16TH DAY OF Feb., 2010.
3. THE DIAGRAMS OF THE UNITS SHOWN ON THIS PLAN ARE SUBSTANTIALLY ACCURATE.

DATE Feb. 17, 2010
Y. WAHBA
ONTARIO LAND SURVEYOR

DECLARATION REGISTERED AS No. YR 1448486

NOTES AND LEGEND

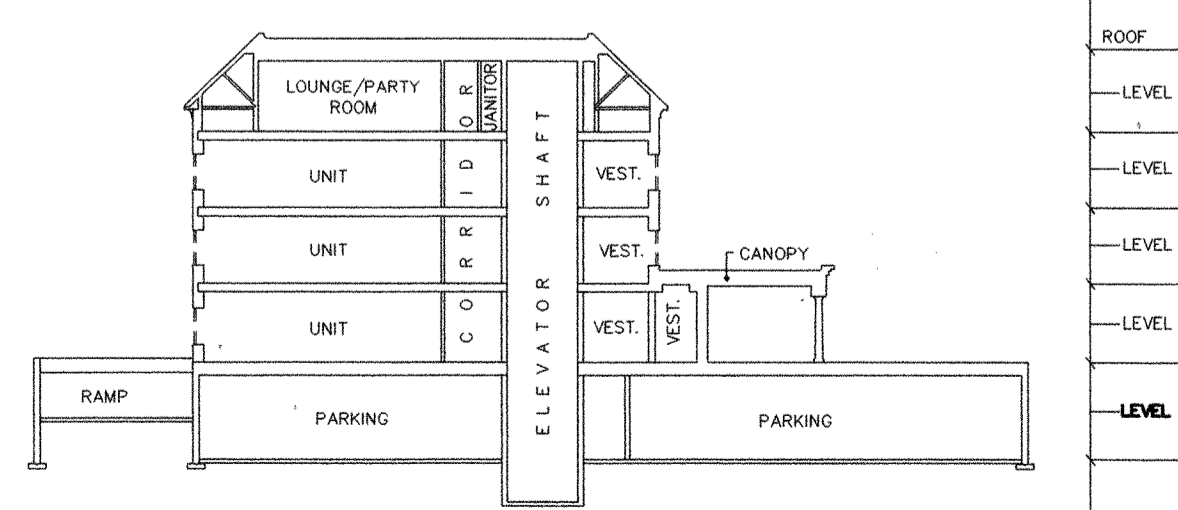
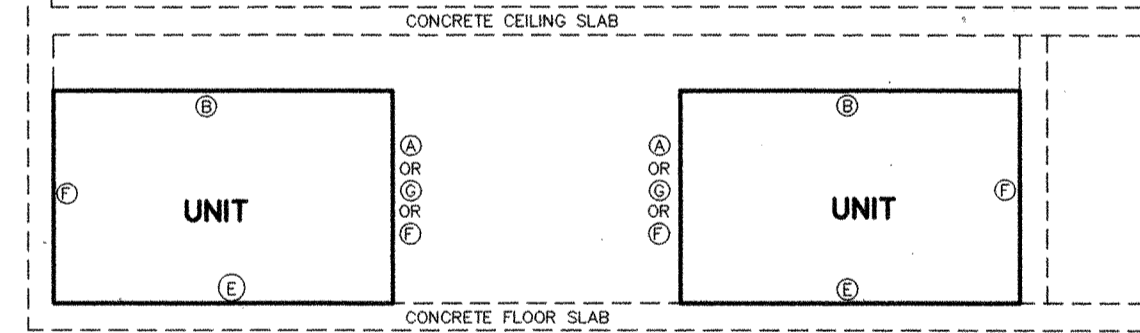
- DENOTES BOUNDARIES OF UNITS AND THE COMMON ELEMENTS
- - - - DENOTES OUTSIDE FACE OF STRUCTURE
- P.I.N. DENOTES PROPERTY IDENTIFIER NUMBER
- UP DENOTES STEPS UP
- DN DENOTES STEPS DOWN
- H/C DENOTES HANDICAP PARKING
- E.C. DENOTES ELECTRICAL CLOSET
- F.H.C. DENOTES FIREHOSE CABINET
- V DENOTES VISITOR'S PARKING
- P DENOTES PATIO
- DENOTES NOT PART OF THE UNIT
- O/H DENOTES OVERHEAD

CERTIFICATE OF DECLARANT

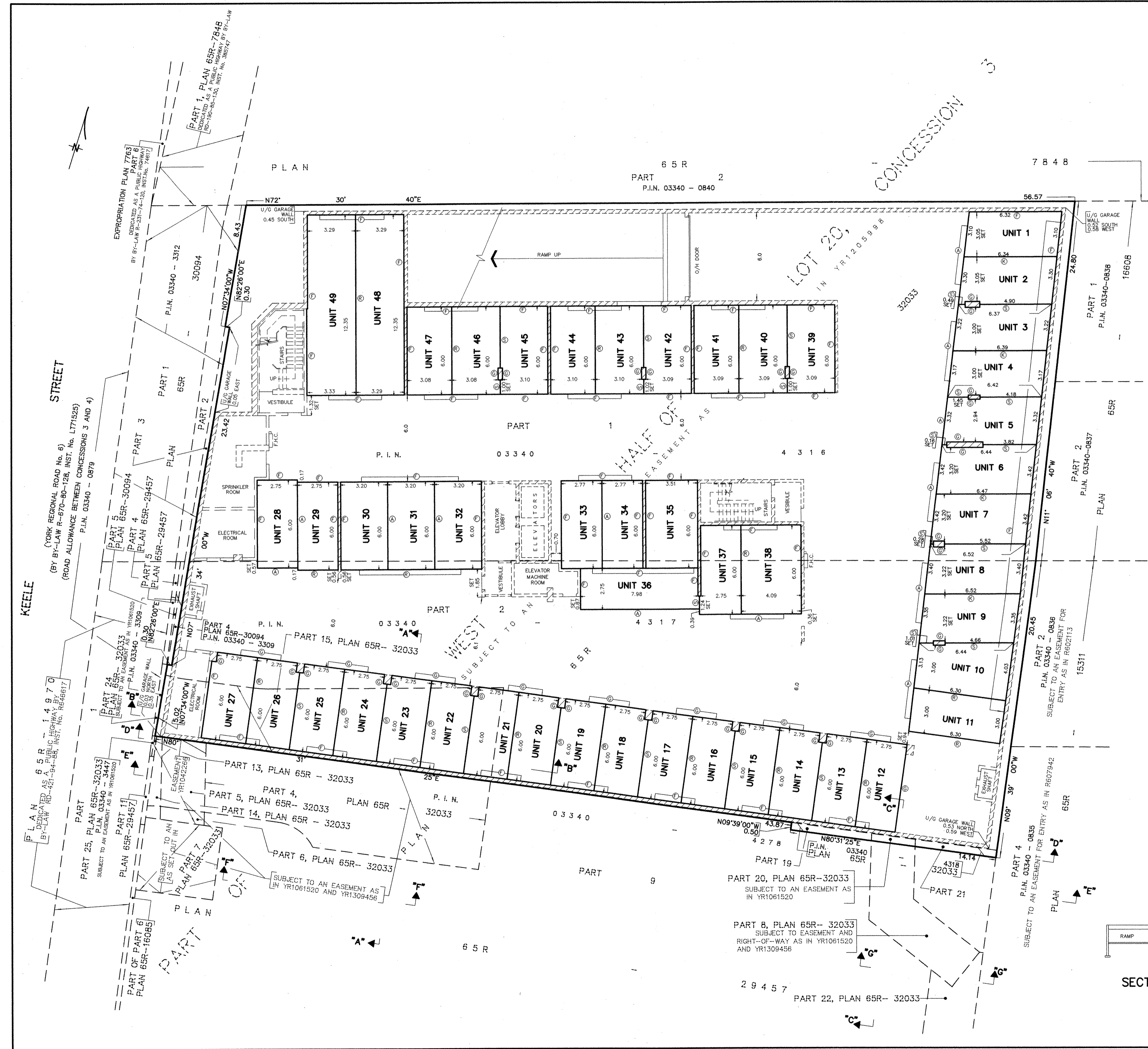
THIS IS TO CERTIFY THAT THE PROPERTY INCLUDED IN THIS PLAN HAS BEEN LAID OUT INTO UNITS AND COMMON ELEMENTS IN ACCORDANCE WITH OUR INSTRUCTIONS.

DECLARANT: LEOPARD LANE DEVELOPMENT INC.
DATE Feb. 17, 2010
BRUNO BAEDASSAR
AUTHORIZED SIGNING OFFICER
I HAVE THE AUTHORITY
TO BIND THE CORPORATION

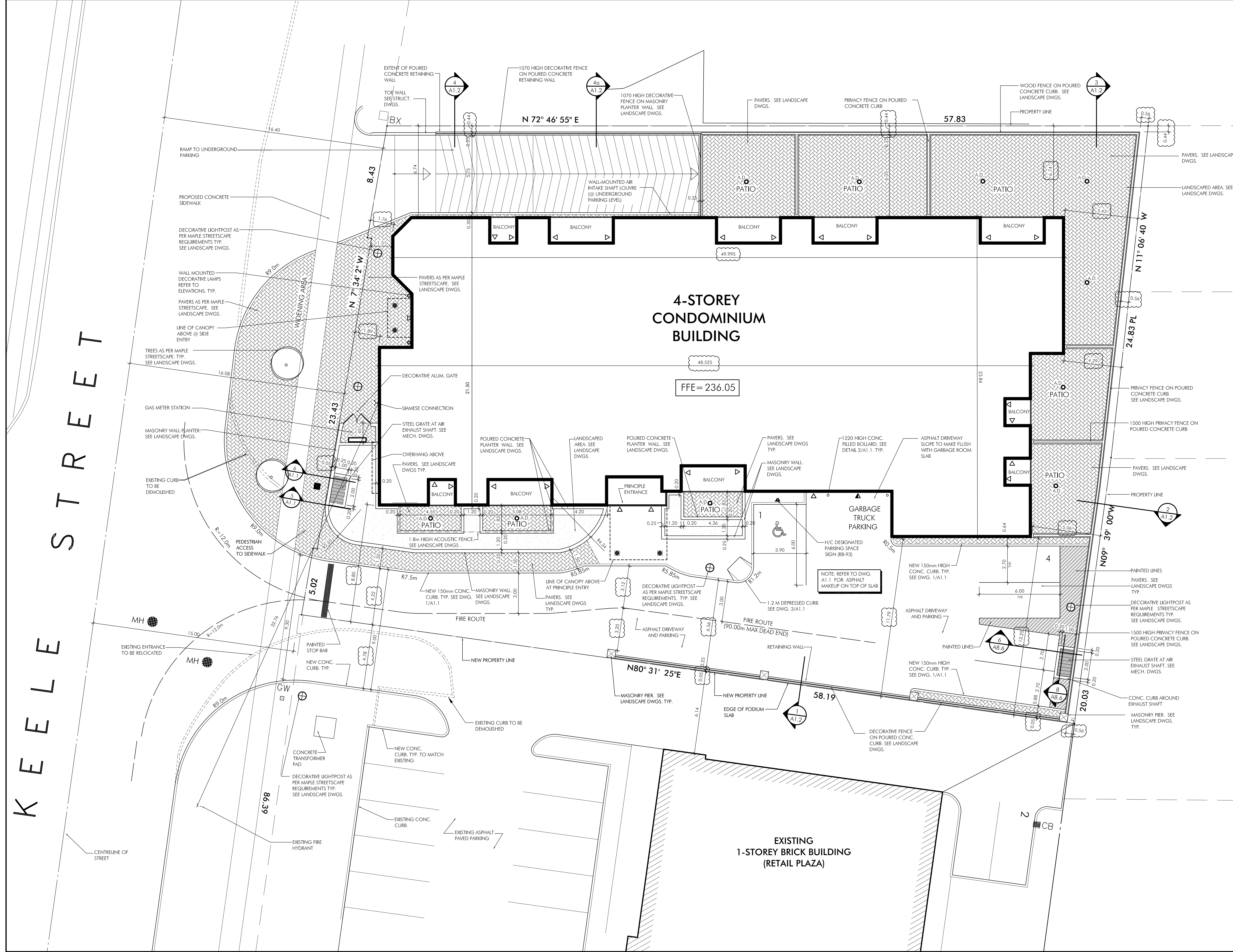
REPRESENTATIVE SECTION SHOWING
TYPICAL UNIT BOUNDARIES FOR UNITS
1 TO 49, INCLUSIVE ON LEVEL A
(NOT TO SCALE)



SECTION TO ILLUSTRATE THE VERTICAL RELATIONSHIP
BETWEEN LEVELS (NOT TO SCALE)



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Website: www.r-pe.ca
DRAWN: E.G. CHECKED: R.M./Y.W.
JOB No. 05-321 CAD FILE No. 05-321-CONDO-3



1 SITE PLAN
SCALE: 1:125

- STANDARD NOTES FOR SITE PLAN**
- STANDARD DRAWINGS OF THE CITY OF VAUGHAN CONSTITUTE PART OF THE SITE PLAN DRAWING(S).
 - ALL CONSTRUCTION WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS.
 - THE OWNER AND/OR HIS REPRESENTATIVE SHALL RECTIFY ALL DISTURBED AREAS TO ORIGINAL CONDITION OR BETTER AND TO THE SATISFACTION OF THE CITY.
 - THE LOCATION OF ALL UNDER/ABOVE GROUND UTILITIES AND STRUCTURES IS APPROXIMATE ONLY, AND WHERE SHOWN ON THE DRAWING(S) THE ACCURACY OF THE LOCATION OF SUCH UTILITIES IS NOT GUARANTEED. THE OWNER AND/OR HIS REPRESENTATIVES SHALL DETERMINE THE LOCATION OF ALL SUCH UTILITIES AND STRUCTURES BY CONSULTING THE APPROPRIATE AUTHORITIES OR UTILITY COMPANIES CONCERNED. THE OWNER SHALL PROVE THE LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND SHALL ASSUME ALL LIABILITY FOR DAMAGE OR RESTORATION TO SAME.
 - ANY CONFLICTS WITH EXISTING SERVICES SHALL BE RECTIFIED AT THE OWNER'S EXPENSE.
 - SANITARY AND STORM CONTROL MANHOLES SHALL BE IN ACCORDANCE WITH CITY STANDARD DRAWINGS. FRAME AND COVER SHALL BE MCCOY HM331 OR APPROVED EQUAL. THE MANHOLES SHALL BE BENCHMARK TO THE OVERT OF PIPES.
 - ALL SANITARY MANHOLE COVERS IN THE PONDING AREAS TO BE WATER TIGHT SEALED COVERS.
 - ALL CATCHBASINS SHALL BE INSTALLED IN ACCORDANCE WITH CITY STANDARD DRAWING. ALL CATCHBASIN FRAMES AND COVERS SHALL BE MCCOY HM311 OR APPROVED EQUAL.
 - ALL INDUSTRIAL/COMMERCIAL/CONDOMINIUM WATERMAIN CONNECTIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY STANDARD DRAWINGS.
 - WATERMAIN SHALL HAVE A MINIMUM VERTICAL SEPARATION OF 0.5 M AND HORIZONTAL SEPARATION OF 2.5 M BETWEEN ANY SEWER OR MANHOLE.
 - HYDRANTS TO BE INSTALLED AS PER CITY STANDARD.
 - DRIVEWAY ENTRANCE SHALL BE CONSTRUCTED WITH HEAVY DUTY ASPHALT FROM THE BACK OF THE MUNICIPAL CURB OR EDGE OF PAVEMENT TO THE PROPERTY LINE (AREA HIGHLIGHTED ON DRAWING(S)) IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
 - 50 MM COMPACTED DEPTH OF HLB ASPHALT - TOP COURSE
 - 75 MM COMPACTED DEPTH OF HLB ASPHALT - BINDER COURSE
 - 150 MM COMPACTED DEPTH OF 20 MM CRUSHER RUN LIMESTONE - GRANULAR BASE
 - 350 MM COMPACTED DEPTH OF 50 MM CRUSHER RUN LIMESTONE - GRANULAR SUB-BASE
 - ALL CONCRETE CURBS FROM EXISTING ROAD CURB TO STREET LINE SHALL BE BARRIER CURB CITY STANDARD. ALL CONCRETE CURB HEIGHTS SHALL BE 150 MM UNLESS OTHERWISE NOTED. DRIVEWAY CURB TO BE DISCONTINUOUS AT SIDEWALK AND TAPERED BACK 600 MM MINIMUM.
 - ALL REQUIRED CURB CUTTING AT DRIVEWAY ENTRANCE(S) AND CURB DEPRESSIONS AT SIDEWALK CROSSINGS SHALL BE INSTALLED TO THE SATISFACTION OF THE CITY.
 - SIDEWALK TO BE 200 MM THICK THROUGH DRIVEWAY ENTRANCE PER CITY STANDARD.
 - FROST COLLARS ARE TO BE PROVIDED ON CURB STOPS AND VALVE BOXES WHEN LOCATED WITHIN THE LIMITS OF THE DRIVEWAY.
 - DRIVEWAYS SHALL BE SETBACK A MINIMUM CLEARANCE OF 1.0 M FROM ALL ABOVE GROUND SERVICES OR OTHER OBSTRUCTIONS.
 - APPROPRIATE CONSTRUCTION DETAILS SHOULD BE PROVIDED FOR RETAINING WALLS HIGHER THAN 1.0 M. DETAILS SHALL BE DESIGNED AND CERTIFIED BY A PROFESSIONAL ENGINEER UPON APPROVAL. HANDRAIL/GUARD IS REQUIRED WHEN HEIGHT EXCEEDS 0.60 M (AS PER CITY STANDARD DRAWING OR APPROVED EQUAL).
 - LANDSCAPING SHALL NOT ENROACH ON BOULEVARD NOR SHALL BOULEVARD GRADES BE ALTERED.
 - SLOPES IN LANDSCAPED AREAS AND ON BERMS SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL.
 - PAVEMENT GRADES (MIN. 0.5 % MAX. 5%).
 - DRAINAGE SWALES WITH GRADES (MIN. 2 % MAX. 5%).
 - OUTSIDE LIGHTING SHALL BE DIRECTED DOWNWARD AND INWARD AND DESIGNED TO MAINTAIN ZERO CUTOFF LIGHT LEVEL DISTRIBUTION AT THE PROPERTY LINE.
 - SANITARY, STORM AND WATER SERVICE CONNECTIONS WHICH ARE NOT IN PLACE ON THE MUNICIPAL ROAD ALLOWANCE TO THE PROPERTY LINE SHALL BE ARRANGED FOR INSTALLATION BY THE CITY ON PAYMENT OF INSTALLATION COSTS BY THE OWNER. TO INITIATE THE INSTALLATION OF THE SERVICE CONNECTION(S), THE OWNER SHALL FILE AN APPLICATION WITH THE CONSTRUCTION SERVICES DIVISION.
 - SILT FENCE(S) TO BE INSTALLED AND MAINTAINED TO PREVENT SILT FLOWING ONTO ADJACENT LANDS DURING CONSTRUCTION.
 - CONSTRUCTION ACCESS SHALL BE CONSTRUCTED WITH A MINIMUM DEPTH OF 450 MM CRUSHED STONE BASE FROM THE MUNICIPAL CURB OR EDGE OF PAVEMENT TO THE PROPERTY LINE, TO THE SATISFACTION OF THE CITY.
 - THE SURFACE OF ALL LOADING SPACES AND RELATED DRIVEWAYS, PARKING SPACES, AND MANOEUVRING AREAS WITHIN THE SITE SHALL BE PAVED WITH A HARD SURFACE. THE RECOMMENDED MINIMUM DEPTH REQUIREMENTS ARE AS FOLLOWS:
 - 40 MM COMPACTED DEPTH HLB ASPHALT - TOP COURSE
 - 50 MM COMPACTED DEPTH HLB ASPHALT - BINDER COURSE
 - 150 MM COMPACTED DEPTH 20 MM CRUSHER RUN LIMESTONE - GRANULAR BASE
 - 200 MM COMPACTED DEPTH 50 MM CRUSHER RUN LIMESTONE - GRANULAR SUB-BASE

- GENERAL NOTES**
- MAX. SLOPE OF LANDSCAPED AREAS TO BE 1:3.
 - PROVIDE TOE WALL WHERE GRADE DIFFERENCE EXCEEDS 0.6M.
 - PROVIDE 100MM HIGH GUARDRAIL WHERE GRADE DIFFERENCE EXCEEDS 0.6M.
 - DEPRESS CONCRETE CURBS AT SIDEWALKS TO MEET SIDEWALK DEPRESSION TO THE SATISFACTION OF THE DIRECTOR OF ENGINEERING.
 - ALL SIDEWALK FINISHES AT BUILDING ENTRANCES TO BE POURED CONCRETE BORDERED WITH CONC. CURBS UNLESS OTHERWISE NOTED.
 - ALL CONC. CURBS SHALL BE 150MM ABOVE FINISHED ASPHALT UNLESS OTHERWISE NOTED.
 - SHARDE AREAS AT ENTRANCE RAMPS DENOTES HEAVY DUTY ASPHALT PAVING.
 - ANY CONFLICT WITH EXISTING SERVICES SHALL BE RECTIFIED AT THE APPLICANT'S EXPENSE.
 - LANDSCAPED BERMS SHALL NOT ENROACH ON BOULEVARD.
 - PAVEMENT GRADES: MIN. 0.5%, MAX. 5.0%.
 - DRAINAGE SWALES: MIN. 2.0%, MAX. 5.0%.
 - ALL LIGHTING TO BE DIRECTED DOWNWARD AS WELL AS INWARDS.

ITEM	ONTARIO BUILDING CODE DATA MATRIX PARTS 3 & 9	OBC REFERENCE
1	PROJECT DESCRIPTION: <input type="checkbox"/> NEW <input type="checkbox"/> ALTERATION	B Part 1.1 B Part 3 B Part 7
2	MAJOR OCCUPANCY: GROUP C RESIDENTIAL UP TO 4 STOREYS	3.2.2.1 3.1.2
3	BUILDING AREA (sq. m.): NEW 290.23 SQ.M. TOTAL 990.23 SQ.M.	1.1.3.2 1.1.3.2
4	GROSS AREA: NEW 3406.61 SQ.M. TOTAL 10743.34 SQ.M.	1.1.3.2 1.1.3.2
5	NUMBER OF STOREYS: ABOVE GRADE 4 BELOW GRADE 1	3.2.1.1 3.2.1.1
6	HEIGHT OF BUILDING (m): 13.24	3.2.1.1 3.2.1.1
7	NUMBER OF STREETS / ACCESS ROUTES: 2 STREETS	3.2.2.1.3 3.2.2.1.3
8	BUILDING CLASSIFICATION: GROUP C OR D	3.2.2.1.3 3.1.4
9	SPRINKLER SYSTEM PROPOSED: <input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> BASEMENT - PENHOUSE ONLY <input type="checkbox"/> PENHOUSE OF ROOF RATING	3.2.2.1 3.2.2.1.1
10	STANDPIPE REQUIRED: <input type="checkbox"/> YES <input type="checkbox"/> NO	3.2.2 3.2.2
11	FIRE ALARM REQUIRED: <input type="checkbox"/> YES <input type="checkbox"/> NO	3.2.2 3.10.12.2
12	WATER SERVICE SUPPLY & ADEQUATE: <input type="checkbox"/> YES <input type="checkbox"/> NO	3.2.2 3.10.12.2
13	HIGH BUILDING: <input type="checkbox"/> YES <input type="checkbox"/> NO	3.2.6
14	PERMITTED CONSTRUCTION ACTUAL CONSTRUCTION: <input type="checkbox"/> COMPLETABLE <input type="checkbox"/> NON-COMPLETABLE <input type="checkbox"/> BOTH	3.2.2.4.3 9.10.6
15	MEZZANINE AREA (sq. m.): N/A	3.2.1.12(B) 9.10.4.1
16	OCCUPANT LOAD BASED ON: <input type="checkbox"/> PERSON <input type="checkbox"/> DESIGN OF BUILDING	3.1.16 9.10.3
17	BARRIER-FREE DESIGN: <input type="checkbox"/> YES <input type="checkbox"/> OVERLAPPING	3.8 9.2.2
18	HAZARDOUS SUBSTANCES: <input type="checkbox"/> YES <input type="checkbox"/> NO	3.2.1.12(A) 3.1.10 9.10.1.3
19	REQUIRED FIRE RESISTANCE RATING (FRR): HORIZONTAL ASSEMBLIES (FR HOURLS) LISTED DESIGN NO. OR DESCRIPTION (SG-2)	3.2.2.20.1(A) 3.2.2.14 9.10.9
20	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS	3.2.3 9.10.1.4

LEGAL DESCRIPTION
AS CONSTRUCTED TOPOGRAPHIC SURVEY
PART OF THE WEST HALF OF LOT 20,
CONCESSION 3
GEOGRAPHIC TOWNSHIP OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK
CITY OF VAUGHAN
AS PREPARED BY
RADY-PENK & EDWARD SURVEYING LTD.
465 WILSON AVE., DOWNSVIEW, ONTARIO
ONTARIO LAND SURVEYORS
(416) 655-5000

BENCHMARK NOTE:
ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE CITY OF VAUGHAN BENCHMARK No. 18-2 HAVING AN ELEVATION OF 240.536 METRES LOCATED ON A CITY OF VAUGHAN MUNICIPAL BUILDING (C.M.C. OFFICE) ON SOUTHWEST CORNER OF MAJOR MACKENZIE DRIVE, NORTHWEST CORNER OF THE BUILDING, NORTH WALL WITH CITY CREST, 0.300 METRES EAST NORTHWEST CORNER OF BUILDING, 0.100 METRES ABOVE BOTTOM OF SLAB, No. 2141 MAJOR MACKENZIE DRIVE.
BEARING NOTE:
BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE WEST LIMIT OF PART 3, PLAN 658-1668 HAVING A BEARING OF N07°25'50"

GROSS FLOOR COVERAGE (EXCLUDING UNDERGROUND AREA) 16.85% (ROAD WIDENING AREA NOT INCLUDED)

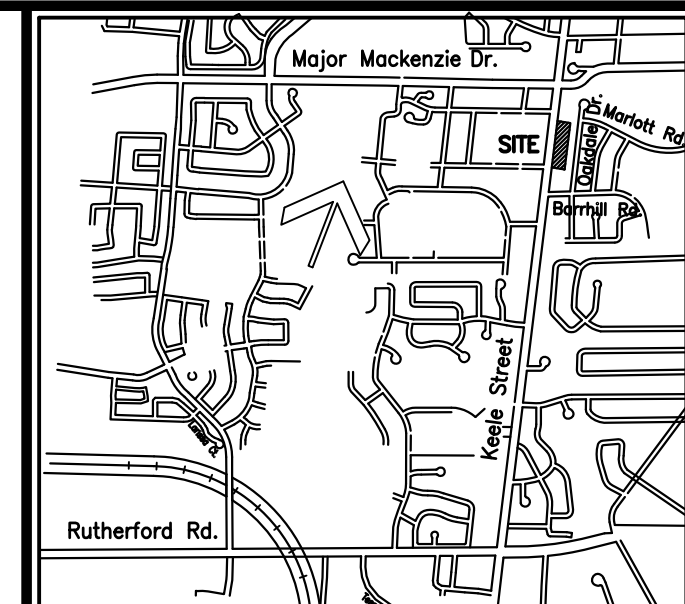
SITE ANALYSIS

• ZONE	REFER TO OP.05.025, & Z.05.051 FILE No.	
• LOT AREA	LEOPARD LANE ROAD WIDENING AREA	2,357.62 SQ.M. (0.58 ac)
• BUILDING AREA	GROUND FL. (RESIDENTIAL)	990.23 SQ.M. 10,659.10 SQ.FT.
	SECOND FL. (RESIDENTIAL)	986.97 SQ.M. 10,624.00 SQ.FT.
	THIRD FL. (RESIDENTIAL)	986.97 SQ.M. 10,624.00 SQ.FT.
	FOURTH FL. (AMENITY AREA)	445.44 SQ.M. 4,794.83 SQ.FT.
	TOTAL GROSS FL. AREA	3406.61 SQ.M. 36,701.94 SQ.FT.
• AMENITY AREA	AMENITY AREA PROVIDED	INDOOR AMENITY AREA 445.44 sq.m 4794.83 sq.f
	OUT DOOR AMENITY AREA	PATIO AREA 1172.20 sq.m 12618.95 sq.f
	BALCONY AREA	198.72 sq.m 2139.07 sq.f
	TOTAL	1371.02 sq.m 14758.02 sq.f
	TOTAL PROVIDED	1816.46 sq.m 19552.85 sq.f
• LOT COVERAGE	BUILDING FOOTPRINT	990.23 SQ.M. 42.00%
	GROSS FLOOR AREA	3409.61 SQ.M.
	LOT AREA	2357.62 SQ.M.
	FLOOR SPACE INDEX	$\frac{3409.61 \text{ SQ.M.}}{2357.62 \text{ SQ.M.}} = 1.45$
• SETBACKS	FRONT YARD	3.01 M
	REAR YARD	4.03 M
	SIDE YARD (INT 1)	6.60M/9.04 M
• PARKING	PARKING REQUIRED: RESIDENTIAL (2.7m x 6.0m)	45 SPACES
	1:5 SPACE PER UNIT (+30 UNITS)	8 SPACES (VISITOR)
	2:5 SPACE PER UNIT (+30 UNITS)	53 SPACES
	REQUIRED HANDICAP PARKING: 1 SPACE / 100 PARKING SPACES PROVIDED HANDICAP PARKING: 2 H.C. PROVIDED (1 H.C. SPACE REQUIRED)	5 SPACES
	PARKING PROVIDED: STREET LEVEL PARKING	5 SPACES
	UNDERGROUND PARKING	48 SPACES
	TOTAL PROVIDED	53 SPACES (INCLUDING 2 H.C. SPACES)
• LOADING SPACES	REQUIRED	PROVIDED
	RESIDENTIAL	1
• LANDSCAPED AREA	731.49 SQ.M. 31.02%	7873.95 SQ.FT.
• PAVED AREA	635.90 SQ.M. 26.97%	6844.49 SQ.FT.
• SNOW STORAGE	SNOW STORAGE AREA (2% OF LOT AREA)	SNOW STORAGE TO BE REMOVED OFF-SITE

ITEM	ONTARIO BUILDING CODE DATA MATRIX PARTS 3 & 9	OBC REFERENCE
1	PROJECT DESCRIPTION: <input type="checkbox"/> NEW <input type="checkbox"/> ALTERATION	B Part 1.1 B Part 3 B Part 7
2	MAJOR OCCUPANCY: GROUP C RESIDENTIAL UP TO 4 STOREYS	3.2.2.1 3.1.2
3	BUILDING AREA (sq. m.): NEW 290.23 SQ.M. TOTAL 990.23 SQ.M.	1.1.3.2 1.1.3.2
4	GROSS AREA: NEW 3406.61 SQ.M. TOTAL 10743.34 SQ.M.	1.1.3.2 1.1.3.2
5	NUMBER OF STOREYS: ABOVE GRADE 4 BELOW GRADE 1	3.2.1.1 3.2.1.1
6	HEIGHT OF BUILDING (m): 13.24	3.2.1.1 3.2.1.1
7	NUMBER OF STREETS / ACCESS ROUTES: 2 STREETS	3.2.2.1.3 3.2.2.1.3
8	BUILDING CLASSIFICATION: GROUP C OR D	3.2.2.1.3 3.1.4
9	SPRINKLER SYSTEM PROPOSED: <input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> BASEMENT - PENHOUSE ONLY <input type="checkbox"/> PENHOUSE OF ROOF RATING	3.2.2.1 3.2.2.1.1
10	STANDPIPE REQUIRED: <input type="checkbox"/> YES <input type="checkbox"/> NO	3.2.2 3.2.2
11	FIRE ALARM REQUIRED: <input type="checkbox"/> YES <input type="checkbox"/> NO	3.2.2 3.10.12.2
12	WATER SERVICE SUPPLY & ADEQUATE: <input type="checkbox"/> YES <input type="checkbox"/> NO	3.2.2 3.10.12.2
13	HIGH BUILDING: <input type="checkbox"/> YES <input type="checkbox"/> NO	3.2.6
14	PERMITTED CONSTRUCTION ACTUAL CONSTRUCTION: <input type="checkbox"/> COMPLETABLE <input type="checkbox"/> NON-COMPLETABLE <input type="checkbox"/> BOTH	3.2.2.4.3 9.10.6
15	MEZZANINE AREA (sq. m.): N/A	3.2.1.12(B) 9.10.4.1
16	OCCUPANT LOAD BASED ON: <input type="checkbox"/> PERSON <input type="checkbox"/> DESIGN OF BUILDING	3.1.16 9.10.3
17	BARRIER-FREE DESIGN: <input type="checkbox"/> YES <input type="checkbox"/> OVERLAPPING	3.8 9.2.2
18	HAZARDOUS SUBSTANCES: <input type="checkbox"/> YES <input type="checkbox"/> NO	3.2.1.12(A) 3.1.10 9.10.1.3
19	REQUIRED FIRE RESISTANCE RATING (FRR): HORIZONTAL ASSEMBLIES (FR HOURLS) LISTED DESIGN NO. OR DESCRIPTION (SG-2)	3.2.2.20.1(A) 3.2.2.14 9.10.9
20	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS	3.2.3 9.10.1.4

FOR PROPOSED CALCULATIONS ON THE NORTH SOUTH AND WEST/EAST DIRECTIONS REFER TO DRAWING 2.1.2

REGIONAL FILE: SP-V-093-05
CITY FILE: OP.05.025, Z.05.051 DA05.060



LEGEND

- PROPOSED FIN. GRADE
- EXISTING GRADE
- TOP OF CURB
- TOP OF CATCH BASIN
- MAN DOOR LOCATIONS
- DRIVE-IN DR. LOCATIONS
- LOADING DOCK DR. LOCATION
- C.B. CATCH BASIN
- C.B.M.H. CATCH BASIN MANHOLE
- M.H. SANITARY MANHOLE
- S.H.M. STORM SEWER MANHOLE
- G GAS
- A.D. AREA DRAIN
- B.H.1 BORE HOLE
- HEAVY DUTY ASPHALT PAVING

UNITS

ONE BEDROOM	9
TWO BEDROOM	21
TOTAL UNITS	30



No.	REVISIONS	DATE
10	SETTING OUT DIMENSIONS REWSED	APR 08, 2008
9	UPDATE SITE STATISTICS	JUL 04, 2007
8	ISSUED FOR BUILDING PERMIT	MAR 29, 2007
7	REVISIONS TO SITE DATA	MAR 05, 2007
6	REVISIONS FOR SPA	FEB. 26, 2007
5	ISSUED FOR REL-PRICING	JAN. 25, 2007
4	REVISIONS FOR SPA	JAN. 02, 2007
3	ISSUED FOR REL-PRICING	DEC. 01, 2006
2	ISSUED FOR REL-PRICING	OCT. 18, 2006
1	ISSUED FOR PRICING	JULY 24, 2006

ISSUED FOR CONSTRUCTION FEB. 19, 2008
ISSUED FOR BID N/A
ISSUED FOR BUILDING PERMIT MARCH 28, 2007
ISSUED FOR SITE PLAN APPROVAL MAY 03, 2006

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH CONSTRUCTION.

THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE ARCHITECT. DO NOT SCALE DRAWINGS.

PROJECT:
RESIDENTIAL DEVELOPMENT FOR LEOPARD LANE DEVELOPMENT INC.
9973 KEELE STREET
CITY OF VAUGHAN, ONTARIO

DRAWING:
SITE PLAN

PLOTTED: Mar 23/9 5:08 pm

intra architect inc.
2501 RUTHERFORD ROAD, BUILDING B, SUITE 25 VAUGHAN, ONTARIO L4K 2N6
TEL: (905) 653-5370 FAX: (905) 653-5372
INFO@INTRARCH.COM WWW.INTRARCH.COM

architect inc.
CERTIFICATE OF PRACTICE NO. 3177
BCDN 4050

DATE: JULY 2006. PROJECT No. 2605
SCALE: 1:125 DRAWING No. A1.0
DRAWN BY: S.S. REVIEWED BY: M.Z.

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments w/Conditions

To: Committee of Adjustment
From: Gregory Seganfreddo, Building Standards Department
Date: October 10, 2024
Applicant: Trinity Point Developments
Location: 9973 Keele Street
 CONC 3 Part of Lot 20
 YCC 1169 (Null)
File No.(s): A150-24

Zoning Classification:

The subject lands are zoned MMS, Main Street Mixed-Use - Maple Zone and subject to the provisions of Exception 14.911 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A minimum of 6.0 visitor parking spaces are required. [Section 6.3.5, Table 6-2]	To permit a minimum of 5.0 visitor parking spaces.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m²

Other Comments:

Zoning By-law 001-2021	
1	Parking has been calculated based on 30 dwelling units @ 0.2 visitor parking spaces = 6.0 visitor parking spaces.

General Comments	
2	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
3	The subject property is located within the Maple Heritage Area.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

Date: October 16th 2024

Attention: **Christine Vigneault**

RE:

File No.: **A150-24**

Related Files:

Applicant Trinity Point Development

Location 9973 Keele Street



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

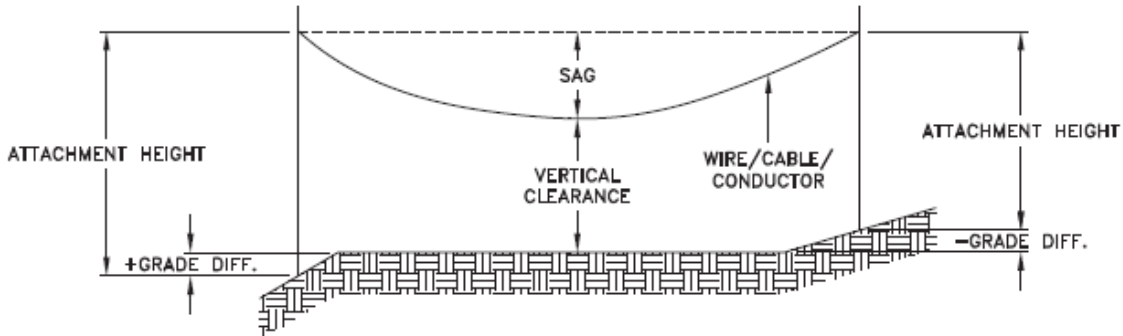
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

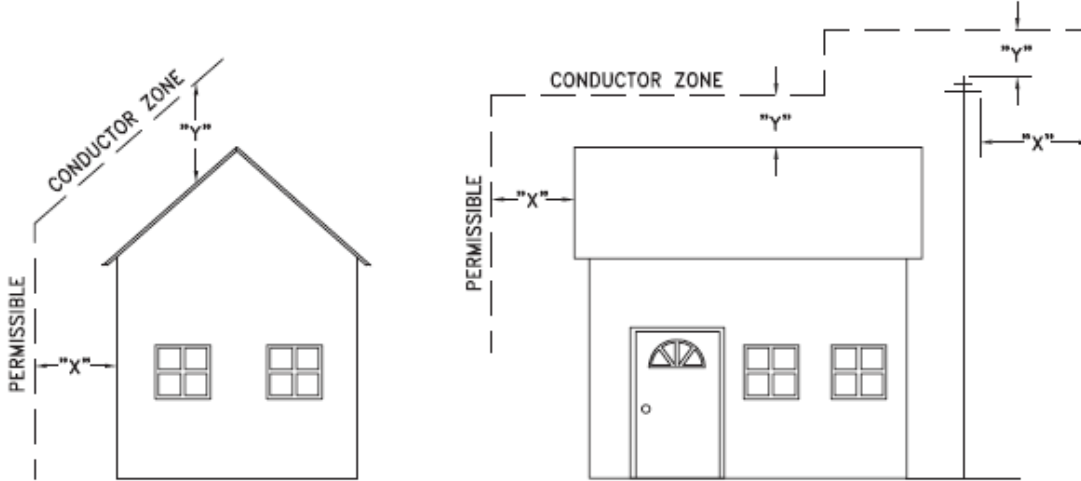
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

From: [Cameron McDonald](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A150/24 - 9973 Keele St - Agency Circulation
Date: Tuesday, October 15, 2024 10:10:23 AM
Attachments: [image002.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good morning,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from the TRCA.

Based on the above, we have no comments/requirements.

Regards,

Cameron McDonald

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:(437)880-1925)

E: cameron.mcdonald@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](#) | trca.ca

From: [Development Services](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A150/24 - 9973 Keele St - Agency Circulation
Date: Monday, October 21, 2024 3:49:42 PM
Attachments: [image001.png](#)
[image003.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

The Regional Municipality of York has completed its review of the minor variance application – A150/24 (9973 Keele St) and has no comment.

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Planning | Economic and Development Services Branch | Corporate Services Department

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

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Please consider the environment before printing this email.

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			09/11/2024	Planning Justification Report



August 19, 2024

City of Vaughan

2141 Major Mackenzie Dr.

Vaughan, Ontario

L6A 1T1

Attention: Christine Vigneault

Manager of Development Services and

Secretary-Treasurer to the Committee of Adjustment

Dear Ms. Vigneault,

RE: **Minor Variance Application**
York Region Standard Condominium Corporation No. 1169
9973 Keele St.
City of Vaughan

Trinity Point Developments is the applicant for York Region Standard Condominium Corporation No. 1169 (hereinafter referred to as "YRSCC 1169") regarding the captioned Minor Variance Application in respect of the lands at 9973 Keele Street (the "Subject Property"). YRSCC 1169 is the condominium corporation governing the existing residential condominium plan registered on the subject property, being a 4-storey residential building containing 30 units and 59 parking spaces, including 5 at-grade visitor parking spaces.

In order to affect the registration of the plan of condominium on the subject property in December 2009, relief from the provisions of the then in-force Comprehensive Zoning By-law No. 1-88 was required by the owners of the subject property (Leopard Lane Developments Inc.) to reduce the amount of required visitor parking spaces from 8 spaces to 5 spaces, and to permit the 3 deficient on-site parking spaces to be provided off-site in the parking lot of the adjacent commercial plaza at 9929 Keele St., which was owned at that time by Sharewell Investments Inc. and is now owned by Everlook Investments Inc. ("Everlook"), through the submission of Minor Variance Application No. A278/09. The Minor Variance was approved based on the fact that the Everlook site contained ample surface parking and a shared access, facilitating easy access to the 3 off-site visitor parking spaces, which was secured through an easement between YRSCC 1169 and Sharewell Investments Inc, the owners at that time.

1681 Langstaff Rd,
Vaughan, ON L4K 5T3

Trinitypoint.com
T 416-525-4507

With the Everlook lands now proceeding through the Site Plan Application process to redevelop the site into a 5-storey mixed use condominium development, together with the historic underutilization of the 3 off-site parking spaces by YRSCC 1169 visitors, and with the peak visitor parking demand for the subject property being able to be accommodated by the 5 on-site visitor parking spaces, as concluded by the Parking Study submitted in support of the captioned Minor Variance Application, relief is required from Comprehensive Zoning By-law No. 001-2021, which now governs the subject property, to reduce the on-site visitor parking requirement for the subject property from 6 spaces to 5 spaces, so that the 3 off-site visitor parking spaces are no longer required and the easement on the Everlook lands granting access to the 3 spaces can be released and abandoned as part of the redevelopment of the Everlook lands.

1.0 Proposed Variance

The proposed variance applied for is to permit a total of 5 visitor parking spaces, whereas 6 visitor parking spaces are required by By-law No. 001-2021, for a total reduction of 1 visitor parking space.

2.0 Locational Context

The subject property is located 9973 Keele Street, just south of Major Mackenzie Drive West, has a site area of 0.58 acres and is occupied by a 4-storey residential condominium building contains 30 dwelling units (YRSCC 1169).

Surrounding Land uses consist of the following:

North: Two (2) Mixed Use Buildings, Zoned as Main Street Mixed Use- Maple Zone

South: Two (2) 2-storey mixed use buildings, Zoned as Main Street Mixed Use- Maple Zone

East: 2-storey single-detached dwellings, Zoned as Low-Rise Residential

West: A heritage building, along with a Mixed-Use Building, Zoned as Main Street Mixed Use- Maple Zone

3.0 Background

In December 2009, Leopard Lane Developments Inc. submitted Minor Variance Application No. A278/09 requesting maintenance of the 5 existing on-site visitor parking spaces for the existing condominium building, whereas By-Law No. 1-88 required 8 visitor parking spaces, with the 3 visitor parking spaces shortfall to be provided off-site at the adjacent commercial plaza at 9929 Keele St. immediately south of the subject property. A Parking Justification Report was submitted in support of the application. The parking survey identified that ample shared parking was available on the lands at 9929 Keele Street as most stores on the site closed by 6

p.m. The variance was reviewed by Transportation and Development Planning staff and was supported, subject to the following conditions:

1. An agreement be in place between Sharewell Investments Inc. and Leopard Lane Developments Inc. for an easement to allow for the provision of 3 visitor parking spaces on the 9929 Keele St. lands.
2. Should the lands ever be sold, there should be a permanent easement on title for the Sharewell Investments Inc. property to allow for the shared parking of 3 visitor parking spaces for the Leopard Lane Developments Inc. property.
3. This easement cannot be deleted without the consent of the Corporation of the City of Vaughan

The preceding conditions were met, and the Minor Variance application was approved in January of 2010, thereby allowing for the registration of YRSCC No. 1169.

In October 2021, the City of Vaughan enacted the new Comprehensive Zoning By-law No. 001-2021, which was approved by the Ontario Land Tribunal (OLT) in January 2023. As such, the subject property is now regulated by the new parking requirements of By-law No. 001-2021, which introduced updated minimum parking requirements City wide which align with updated Provincial policies and initiatives and the Official Plan policies of VOP 2010, and are also more representative of current travel behaviour and the availability of multi modal travel opportunities.

4.0 Planning Analysis and Justification

1. The Proposed Variance maintains the general intent and purpose of the Official Plan.

The City of Vaughan Official Plan (VOP 2010) designates the subject property, which is located within the Maple Heritage Conservation District, "Low Rise Mixed Use". The subject property is also located within a Local Centre which promotes a mix of housing types, retail and office uses, and varying densities. VOP 2010 also designates Major Mackenzie Dr. as a Primary Intensification Corridor and Rapid Transit Corridor (with a planned future BRT route), and Keele St. as a Regional Transit Priority Network. . Bus stops are located within a 1-minute walk of the Major Mackenzie Dr. and Keele St. intersection, providing great accessibility to the York Region Transit network. Furthermore, Maple GO station is also located within an approximate 900 m walking distance, translating to approximately a 13-minute walk, providing access to GO transit services via the Barrie GO line. Overall, the proximity to existing local and regional transit connections improves the viability of transit as a travel mode to and from the site, thereby reducing the need for visitors to drive to the site. As such, the proposed variance not only maintains with the general intent of the Official Plan but also supports its strategies by encouraging visitors to use the well-connected transit network to access the site.

2. The Proposed Variances maintain the general intent and purpose of the Zoning By-Law.

The subject property is zoned Main Street Mixed-Use-Maple Zone (MMS, Exception 911) by Comprehensive Zoning By-law No. 001-2021, which supersedes Zoning By-law No. 1-88 under which the existing condominium was approved and against which Minor Variance Application No. A278/09 was approved, which granted relief for on-site visitor parking from 8 spaces to 5 spaces, with 3 spaces provided for off-site on the adjacent commercial plaza to the south (9929 Keele St.) subject to an easement.

The City of Vaughan's New Comprehensive Zoning Law No. 01-2021 has updated the parking requirements to be representative of current travel behavior and the use of multi-modal options for visitors to use. As depicted in Table 2-2 below, pursuant to the provisions of By-law No. 001-2021, the subject property requires a total of 36 parking spaces, consisting of 30 residential and 6 visitor spaces. Therefore, under the new by-law requirements the subject property has a surplus of 21 parking spaces for residents, and would only be short 1 visitor parking space with the removal of the 3 off-site spaces at 9929 Keele St. Furthermore, the supporting Parking Study concludes that the 5 existing on-site visitor parking spaces can accommodate the peak visitor parking demand of 4 spaces and, given that residential parking spaces that are never utilized can potentially be used for extra visitor parking spaces if required, that the reduction of 1 visitor parking space will not have any negative impacts on the site or abutting properties.

Table 2-2: Zoning By-law 01-2021 Vehicular Parking Requirements

Land Use	Units	ZBL 01-2021		Existing Supply	Proposed Supply
		Min. Requirement	Required Spaces ⁽¹⁾		
Residential	30 units	1.00 sp./unit	30	51	51
Visitor		0.20 sp./unit	6	8 ⁽²⁾	5
Total			36	59	56

Note: (1) – According to Section 6.2.2 in ZBL 01-2021, if the calculation of a required parking space results in a fraction, the requirement shall be rounded up to the next whole number.

(2) – Three (3) visitor parking spaces are currently provided at 9929 Keele Street through an easement with the adjacent property.

As such, it is our opinion that the proposed variance maintains the intent of the Zoning By-law No. 001-2021.

3. The Proposed Variance is Desirable for the Subject Lands

The proposed variance is desirable for the subject property as it negates the need to rely on 3 off-site parking spaces which are underutilized and which are located on the adjacent property which will be redeveloped, together with the recognition of the existing condition that the 5 on-site parking spaces can accommodate the peak demand of 4 visitor parking spaces, based on the subject property's location in a multi-modal transportation network (transit, cycling, walking, Uber) which provides visitors with alternative transportation modes to access the subject property.

As part of the Parking Study submitted in support of the proposed variance, a 2-day parking utilization survey was undertaken on the subject property to determine the existing peak

parking demand for both residential and visitor parking, as summarized on Table 3-1 below. The survey observed that of the 51 residential spaces in the underground garage, there was a peak demand of 34 spaces, resulting in a peak parking demand rate of 1.13 spaces/unit, a utilization rate of 67%, with 17 vacant resident parking spaces, 8 of which were vacant at all times during both visits. The parking survey also demonstrated how underutilized the visitor parking spaces are, specifically the 3 off-site parking spaces located on the adjacent lands at 9929 Keele St. During both site visits, the 3 off-site visitor parking spaces were not utilized at all, while the 5 on-site visitor parking space had a utilization rate of 50%, with 4 vacant spaces.

Table 3-1: Parking Utilization Survey Results

Date	Supply	Peak Time	Peak Demand	Peak Demand Rate
Residential				
Saturday June 15, 2024	51 (underground)	12:30 AM	34	1.13 sp./unit
Tuesday June 18, 2024	51 (underground)	10:30 PM	34	1.13 sp./unit
Visitor				
Saturday June 15, 2024	5 (surface lot)	11:00 AM	3	0.10 sp./unit
	3 (9929 Keele St)	-	0	0 sp./unit
	Total Peak Demand		3	0.10 sp./unit
Tuesday June 18, 2024	5 (surface lot)	6:00 PM	4	0.13 sp./unit
	3 (9929 Keele St)	-	0	0 sp./unit
	Total Peak Demand		4	0.13 sp./unit

Based on the Parking Utilization Surveys results, it is evident that the 3 off-site visitor parking spaces are rarely or never utilized by visitors of the subject property. Furthermore, the observed peak demand of 4 visitor parking spaces can be accommodated by the existing supply of 5 spaces, for a 1 visitor space surplus during peak demand. The Survey also demonstrates that if additional visitor parking spaces are required, there is the potential to utilize the vacant residential spaces for visitors while still maintaining a sufficient supply of resident parking spaces.

4. The Proposed Variances are Minor in Nature.

In light of the fact that the proposed reduction in the required visitor parking spaces by 1 space (from 6 spaces to the existing 5 on-site spaces) still results in the peak visitor parking demand of 4 visitor spaces being accommodated by the existing supply of 5 visitor spaces (resulting in a 1 visitor parking space surplus), the potential to utilize vacant residential parking spaces for visitors while maintaining a sufficient supply of resident parking, if required, and the subject property's location in a multi-modal transportation network (transit, cycling, walking, Uber) able to support sustainable modes of travel for visitors to the subject property, it is our opinion that the proposed variance is minor in nature.

5.0 Conclusion

Based on the preceding analysis, it is our opinion that the proposed variance satisfies the four tests identified in Section 45 (1) of the Planning Act, R.S.O 1990 c. P.13 and represents good planning. The variance will maintain the ability of the existing 5 on-site visitor parking spaces supply to accommodate the peak visitor parking demand of 4 parking spaces, with a surplus of 1 visitor parking space, and will not negatively impact either the subject property or the adjacent lands and structures. The proposed variance maintains the general intent and purpose of both the Official Plan (VOP 2010) and Zoning By-law No. 001-2021, and is considered to be appropriate for the subject property and is minor in nature. Therefore, we respectfully request that the proposed variance be approved.

In support of the Minor Variance Application, please find enclosed the following:

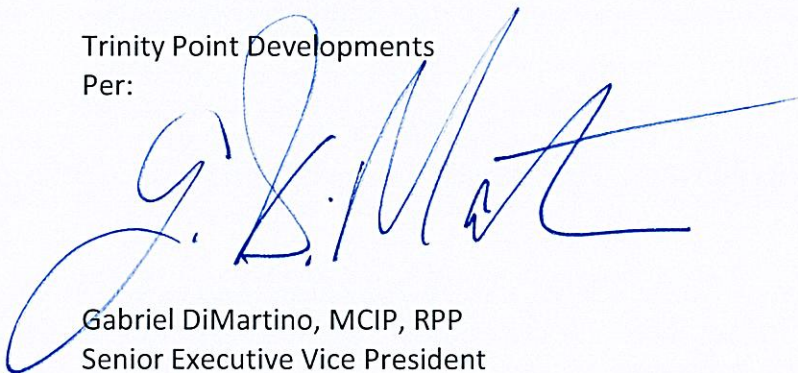
1. York Region Standard Condominium Corporation No. 1169 Plan
2. Site Plan 9973 Keele St.
3. Variance Chart
4. Authorization Form
5. Authorization Statements
6. Sworn Declaration Form
7. Tree Declaration Form
8. Parking Study, LEA Consultants dated August 2024
9. Release/Abandonment of Easement Agreement

We trust that the information included with this application is complete and sufficient to allow for its circulation, review and scheduling to an upcoming Committee of Adjustment meeting.

Should you have any questions or require any additional information, please contact the undersigned at 416-525-4507, ext. 211/gdimartino@trinitypoint.com, or Josh Chiapetta at ext. 212/joshc@trinitypoint.com.

Yours truly,

Trinity Point Developments
Per:

A handwritten signature in blue ink, appearing to read 'G. DiMartino', is written over the printed name and title of the signatory.

Gabriel DiMartino, MCIP, RPP
Senior Executive Vice President

c. York Region Standard Condominium Corporation No. 1169

SCHEDULE D: BACKGROUND

Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A