

<b>ITEM: 6.4</b>	<b>REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A132/24</b>
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Report Date: November 8, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Forestry	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
By-law & Compliance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

**PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)**

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
None				

**BACKGROUND (SCHEDULE D, IF REQUIRED)**

\* Background Information contains historical development approvals considered to be related to this file.  
This information should not be considered comprehensive.

Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

**ADJOURNMENT HISTORY**

\* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
N/A	N/A

**SCHEDULES**

<b>Schedule A</b>	Drawings & Plans Submitted with the Application
<b>Schedule B</b>	Comments from Agencies, Building Standards & Development Planning
<b>Schedule C (if required)</b>	Public & Applicant Correspondence
<b>Schedule D (if required)</b>	Background



## MINOR VARIANCE APPLICATION FILE NUMBER A132/24

<b>CITY WARD #:</b>	2
<b>APPLICANT:</b>	Abbasali Murteza Hassanali & Ruqayyah Gulamhussein
<b>AGENT:</b>	Imtiaz Alibhai & Salma Alibhai (SPDG INC.)
<b>PROPERTY:</b>	8336 Pine Valley Drive, Vaughan
<b>ZONING DESIGNATION:</b>	See below.
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	N/A
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to permit a proposed sunroom in the rear yard.

The following variances have been requested from the City's Zoning By-law:

**The subject lands are zoned R1A(EN), First Density Residential Zone – Estate Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.1044 under Zoning By-law 001-2021, as amended.**

#	Zoning By-law 001-2021	Variance requested
1	A minimum rear yard of 8.5 metres is required. [14.1044]	To permit a minimum rear yard of 5.92 metres.
2	The maximum lot coverage shall be 40% of the lot area. [Table 7-3]	To permit a maximum lot coverage of 40.56%.

### HEARING INFORMATION

**DATE OF MEETING:** Thursday, November 14, 2024  
**TIME:** 6:00 p.m.  
**MEETING LOCATION:** Vaughan City Hall, Woodbridge Room (2<sup>nd</sup> Floor), 2141 Major Mackenzie Drive  
**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

#### PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

If you would like to submit written comments, please quote file number above and submit by mail or email to:

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to [cofa@vaughan.ca](mailto:cofa@vaughan.ca) no later than NOON on the last business day before the meeting.

**THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

### INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

## INTRODUCTION

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

## COMMITTEE OF ADJUSTMENT

<b>Date Public Notice Mailed:</b>	Revised Notice issued on November 1, 2024 (to reflect updated lot coverage).
<b>Date Applicant Confirmed Posting of Sign:</b>	October 30, 2024
<b>Applicant Justification for Variances:</b> <small>*As provided in Application Form</small>	Due to possible setbacks
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b> <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
<b>COMMENTS:</b>	
None	
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None

## BUILDING STANDARDS (ZONING)

<b>**See Schedule B for Building Standards (Zoning) Comments</b>	
<b>Building Standards Recommended Conditions of Approval:</b>	None

## DEVELOPMENT PLANNING

<b>**See Schedule B for Development Planning Comments.</b>	
<b>Development Planning Recommended Conditions of Approval:</b>	That an Arborist Report and Tree Protection Plan be prepared and approved to the satisfaction of the Development Planning Department.

## DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)   [Link to Pool Permit](#)   [Link to Curb Curt Permit](#)   [Link Culvert Installation](#)

The Owner / Applicant shall ensure that the installation of the proposed heated additon to the existing residence does not negatively impact neighbours due to surface water runoff. The backyard should be properly graded, ensuring that surface water from the extension area doesn't flow onto adjacent lots. Non-permeable surfaces, such as concrete, can cause water to flow more easily, potentially affecting the City's stormwater management system. Development Engineering strongly recommends that the Owner / Applicant implement Low-Impact Development (LID) measures—such as permeable pavers—to mitigate these impacts. Due to the size of the proposed outdoor amenity on the subject property, which measures 47.49 m<sup>2</sup>, the Owner/Applicant must acquire a Lot Grading Permit from the Development Inspection and Lot Grading Division of the City's Development Engineering Department. It's important note that any in-ground structure exceeding 10 m<sup>2</sup> necessitates a Grading Permit. Once the Grading Permit is obtained, please reach out to the Development Engineering Reviewer to clear the Condition imposed on this application. The Development Engineering Department does not object to the Minor Variance application A132/24, subject to the following condition(s):

<b>Development Engineering Recommended Conditions of Approval:</b>	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: <a href="#">Permits   City of Vaughan</a> to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a>
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## PARKS, FORESTRY & HORTICULTURE (PFH)

Recommended conditions of approval below:

**PFH Recommended Conditions of Approval:**

- 1) Applicant/owner shall supply an arborist report to the satisfaction of the forestry division.
- 2) Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to any construction works on the subject property.

## DEVELOPMENT FINANCE

No comment no concerns

**Development Finance Recommended Conditions of Approval:**

None

## BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments

**BCLPS Recommended Conditions of Approval:**

None

## BUILDING INSPECTION (SEPTIC)

No comments received to date.

**Building Inspection Recommended Conditions of Approval:**

None

## FIRE DEPARTMENT

No comments received to date.

**Fire Department Recommended Conditions of Approval:**

None

## RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Planning <a href="mailto:Harry.zhao@vaughan.ca">Harry.zhao@vaughan.ca</a>	That an Arborist Report and Tree Protection Plan be prepared and approved to the satisfaction of the Development Planning Department.
2	Development Engineering <a href="mailto:Rex.bondad@vaughan.ca">Rex.bondad@vaughan.ca</a>	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: <a href="#">Permits   City of Vaughan</a> to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a>
3	Parks, Forestry and Horticulture Operations <a href="mailto:zachary.quizzetti@vaughan.ca">zachary.quizzetti@vaughan.ca</a>	1) Applicant/owner shall supply an arborist report to the satisfaction of the forestry division. 2) Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to any construction works on the subject property.

*All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.*

## IMPORTANT INFORMATION

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

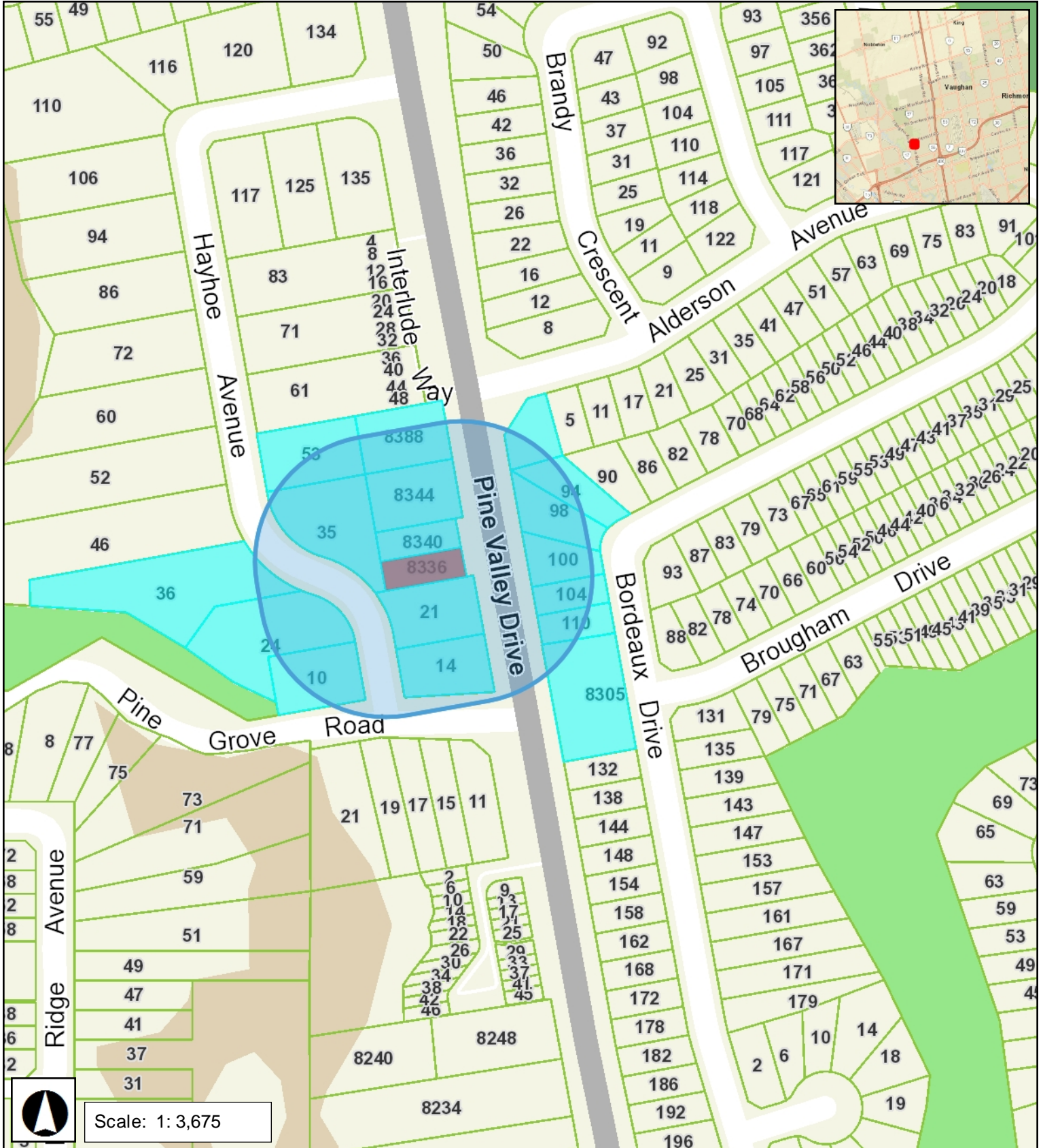
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

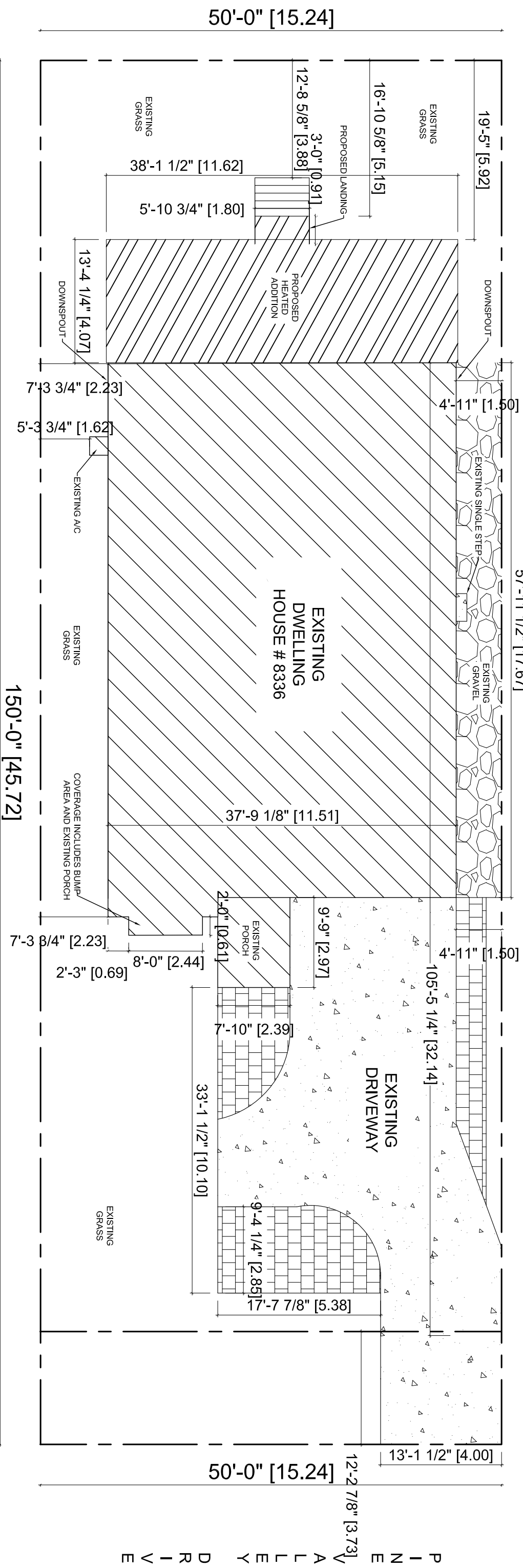
That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**SCHEDULE A: DRAWINGS & PLANS**

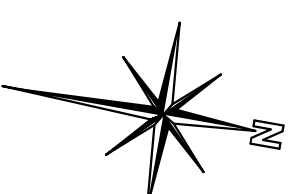


150'-0" [45.72]



SITE STATISTICS R1A		REQUIRED / PERMITTED	PROVIDED
LOT AREA	(MIN) 540 Sq. M.	LOT = 6910.27 Sq. Ft. / 641.98 Sq. M.	
LOT COVERAGE (MAX)	40%	EXISTING DWELLING = 2304.06 Sq. Ft. / 203.38 Sq. M. = 33.3% PROPOSED ADDITION = 511.19 Sq. Ft. / 47.29 Sq. M. = 7.2% FRONT PORCH: 76.34 Sq.Ft. / 7.1 Sq.M BAY WINDOW: 1.49 Sq.Ft. / 16.0 Sq.M PROPOSED LANDING = 14.89 Sq. Ft. / 1.38 Sq. M = 0.2% COVERAGE = 2809.08 Sq. Ft. / 260.97 Sq. M = 40.56%	
FRONT YARD SETBACK (MIN)	N/A	32.14M	
SIDE YARD SETBACK (MIN)	1.5M & 1.5M	1.5M & 2.23M	
REAR YARD SETBACK (MIN)	7.5M	5.92M	
HEIGHT (MAX)	9.5M	3.5M +/- (GRADE TO RIDGE)	

# Site Plan





**1 TECHNO POST FOUNDATION**  
 TECHNO METAL POST (AS PER ENGINEERED DRAWINGS INCLUDED)  
 HELICAL PILE FOUNDATION SYSTEM -CCMC APPROVED  
 MODEL #P2 - 2 3/8" DIA. POST  
 MINIMUM 4'-0" BELOW GRADE ON UNDISTURBED GROUND  
 MINIMUM 6" ABOVE GRADE - TYPICAL  
 HELIX TO BE DETERMINED AT TIME OF INSTALLATION  
 SUPPORTING 6x6 WOOD POST

**INSTALLATION**  
 INSTALLATION TO BE UNDERTAKEN IN SUCH A MANNER SO AS TO PREVENT DAMAGE TO EXISTING STRUCTURES, ADJACENT PROPERTY AND UTILITIES.

**2 FLOOR FRAMING**  
 2"x12" FLOOR JOISTS @ 16" O.C.  
 3-2"x12" PERIMETER BEAMS U.N.O.  
 2-2"x12" LEDGER U.N.O. FASTENED TO EXISTING STRUCTURE w. 1/2" DIA. LAG SCREWS @16" O.C. STAGGERED TOP AND BOTTOM (LATERAL SUPPORT ONLY)  
 R31 SPRAY FOAM INSULATION  
 5/8" T&G PLYWOOD SUBFLOOR SCREWED DOWN (TOP)  
 1/2" T&G PLYWOOD SUBFLOOR SCREWED DOWN (BOTTOM)

**5 PROPOSED STAIRS AND LANDING (BY OTHERS)**  
 PRESSURE TREATED DECK BOARDS  
 2"x8" P.T. JOISTS @ 16" O.C.  
 2"x8" P.T. PERIMETER BEAMS U.N.O.

**STAIRS**  
 MAX. RISE= 7 7/8"  
 MIN. RUN= 10"

**HANDRAILS & GUARDRAILS**  
 A HANDRAIL AND LANDING ARE REQUIRED FOR EXTERIOR STAIRS OF MORE THAN 3 RISERS.  
 GUARDRAILS ARE REQUIRED AROUND EVERY ACCESSIBLE SURFACE WHICH IS MORE THAN 23 5/8" ABOVE THE ADJACENT LEVEL. INTERIOR & EXTERIOR GUARDS ARE TO BE MINIMUM HEIGHT OF 35". EXTERIOR GUARDRAILS ARE TO BE A MINIMUM HEIGHT OF 42" WHERE THE HEIGHT ABOVE THE ADJACENT SURFACE EXCEEDS 5'-11"  
 GUARDRAILS MUST HAVE NO OPENINGS GREATER THAN 4", AND NO MEMBER BETWEEN 4" AND 35" IN HEIGHT THAT WILL FACILITATE CLIMBING

**6 FLOATING CONCRETE SLAB**  
 FILL WITH 4" GRAVEL  
 6MIL VAPOUR BARRIER

OVER FULL SLAB  
 FINISH



Customer Approval:

Date:

Internal Approval:

Date:

# Addition Foundation Plan

Project Name  
 Abbasali Hassanali & Ruqayyah Gulamhusein  
 8336 Pine Valley Drive, Woodbridge  
 Sheet No.

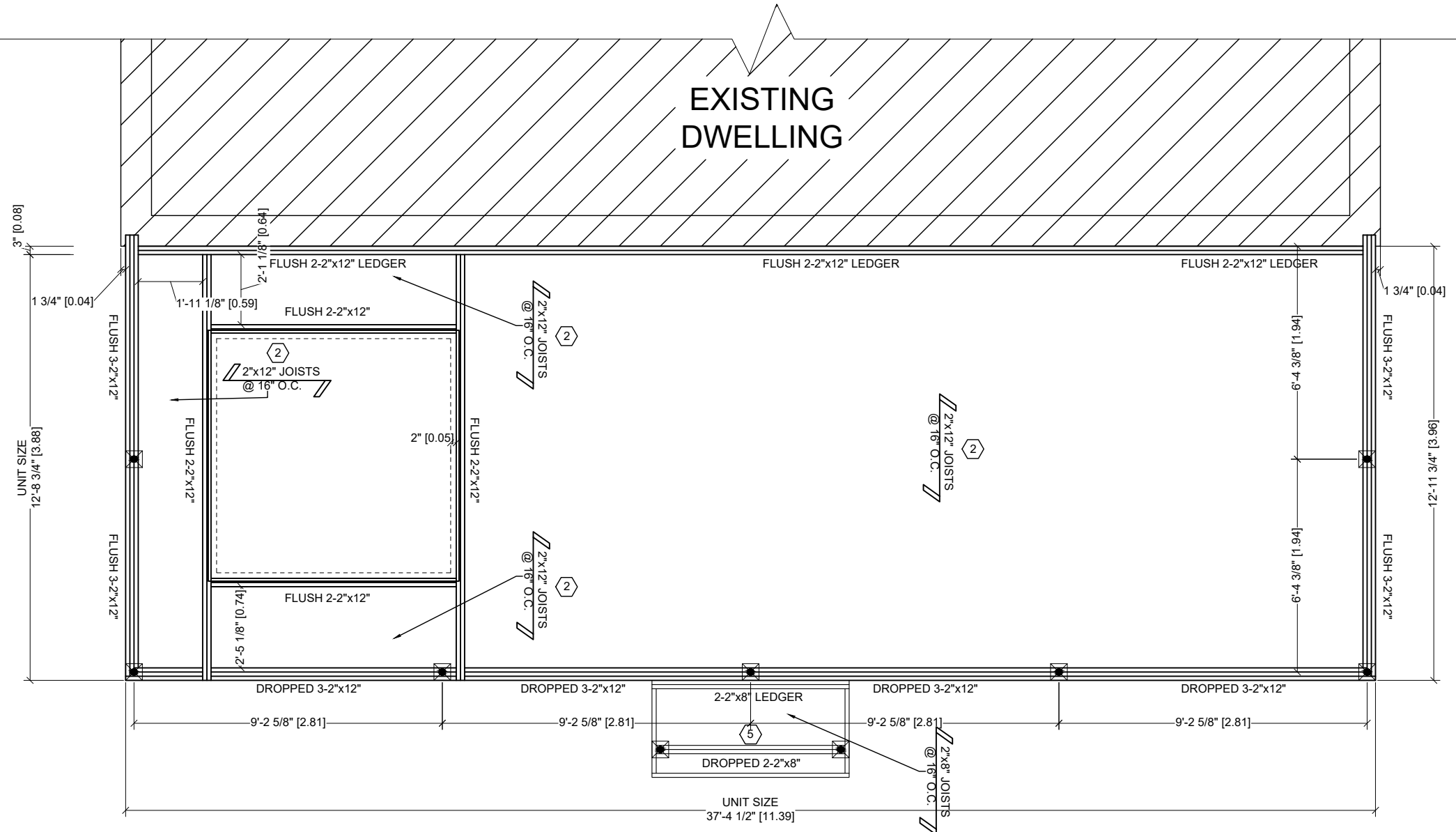
Scale  
 1/4" = 1'-0"

Date  
 Feb.7/2024

Revision #  
 1

Revision Date  
 June 4/2024

**A-1**



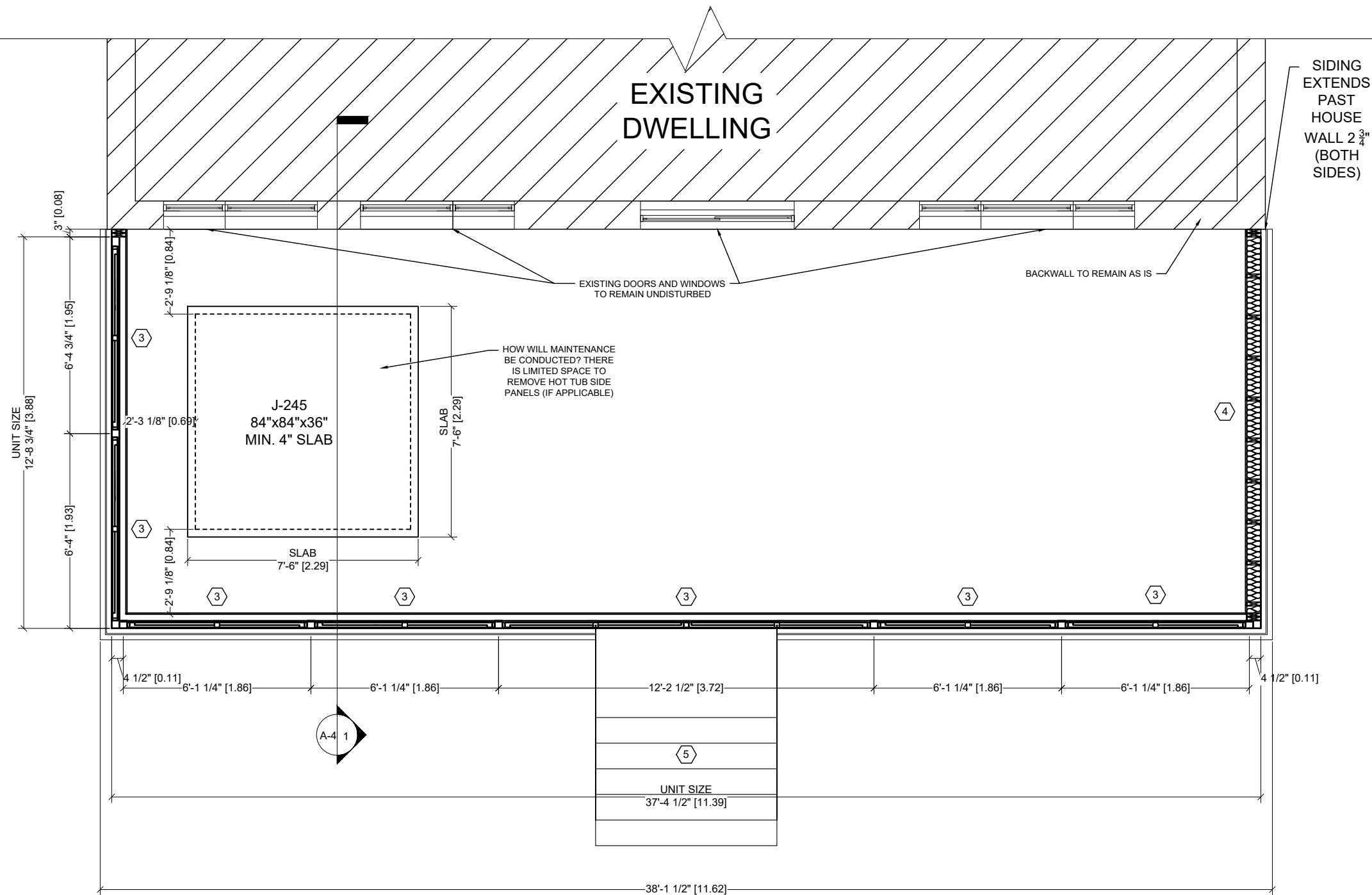
**3 VERTICAL GLAZING**  
 CONSERVAGLASS SELECT (MC-7E)  
 EXCLUSIVE HIGH PERFORMANCE GLAZING  
 MULTI-COAT GLAZING TECHNOLOGY (CODE 7E)  
 EASY-CLEAN II EXTERIOR COATING + STAY CLEAN-CLEAN TECHNOLOGY  
 ARGON GAS FILLED FOR BETTER INSULATION  
 75% REDUCTION IN TOTAL SOLAR TRANSMITTANCE  
 HIGH VISIBLE TRANSMITTANCE  
 R4.0/ U0.25 CENTER OF GLASS INSULATION VALUE  
 STAINLESS STEEL CONTINUOUS BENT SPACERS  
 DUAL POLY-ISOBUTYLENE AND SILICONE SEALS  
 PROTECTIVE GLASS MASKING

**4 SOLID WALLS**  
 WALL STUDS TO BE 2x6 ON 16" CENTERS  
 w. 1/2" GYPSUM BOARD ON INTERIOR (BY OTHERS)  
 R22 BATT INSULATION w. R10ci AND 6 MIL VAPOUR BARRIER  
 1/2" EXTERIOR PLYWOOD SHEATHING w. TYVEK BUILDING PAPER  
 2" BE-ON-STONE EXTERIOR WALL FINISH (BY OTHERS)

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# Addition Floor Plan

Project Name  
 Abbasali Hassanali & Ruqayyah Gulamhusein  
 8336 Pine Valley Drive, Woodbridge

Sheet No.

**A-2**

Scale 1/4" = 1'-0" Date Feb.7/2024 Revision # 1 Revision Date June 4/2024

Customer Approval:

Date:

Internal Approval:

Date:

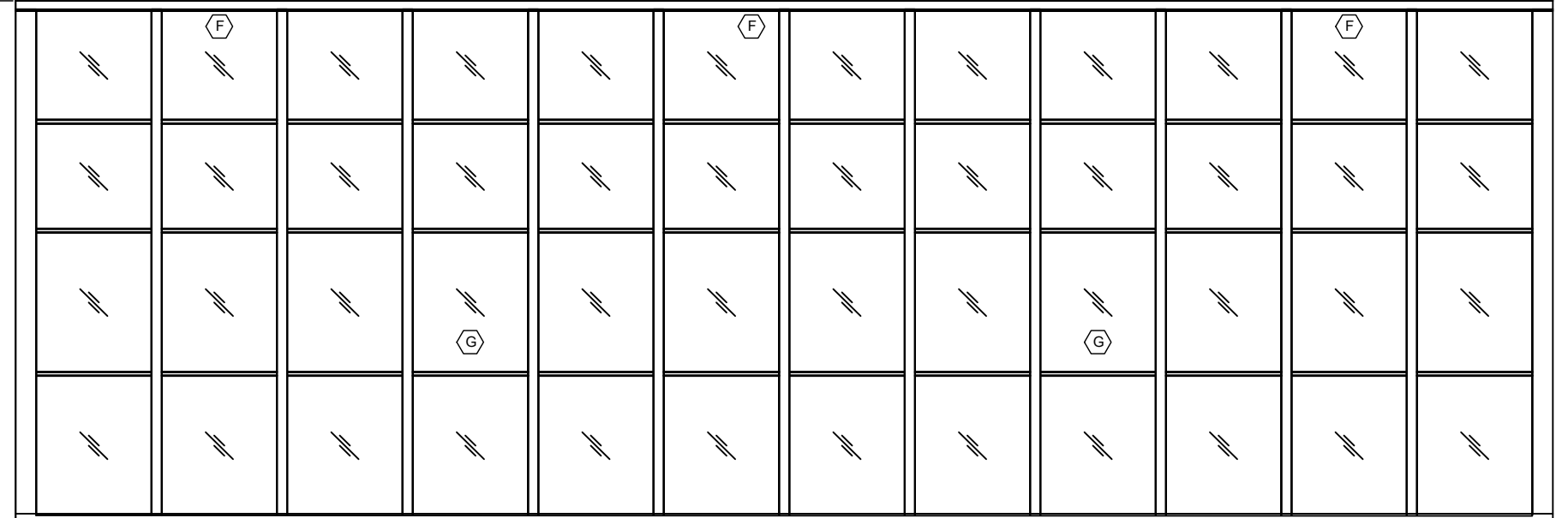
EXISTING DWELLING

**F FLASHING**  
 ALUM. FLASHINGS @ SILICONE SEALANT AT RIDGE MIN.  
 0.48mm THICK ALUM. COATED FLASHING SEAL AT SUNROOM RIDGE  
 USE MASONRY APPROVED SEALANT FOR BRICK

**G ROOF GLAZING**  
 CODE 15 HIGH PERFORMANCE GLAZING  
 TO BE CONSERVAGLASS (MC-15)  
 EASY-CLEAN II EXTERIOR COATING + STAY-CLEAN TECHNOLOGY  
 ARGON GAS FILLED FOR BETTER INSULATION  
 90% REDUCTION IN TOTAL SOLAR TRANSMITTANCE  
 HIGH VISIBLE TRANSMITTANCE  
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 FULLY TEMPERED INSULATED SAFETY GLASS  
 PROTECTIVE GLASS MASKING

**DESIGN LOADS**  
 SNOW LOADS:  
 WIND LOADS:

3" [0.08]  
 UNIT SIZE  
 12'-8 3/4" [3.88]



UNIT SIZE  
 37'-4 1/2" [11.39]

# Addition Roof Plan



Customer Approval:

Date:

Internal Approval:

Date:

Project Name  
 Abbasali Hassanali & Ruqayyah Gulamhusein  
 8336 Pine Valley Drive, Woodbridge

Sheet No.

Scale  
 1/4" = 1'-0"

Date  
 Feb.7/2024

Revision #  
 --

Revision Date  
 --

**A-3**

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 MINIMUM 4'-0" BELOW GRADE ON UNDISTURBED GROUND  
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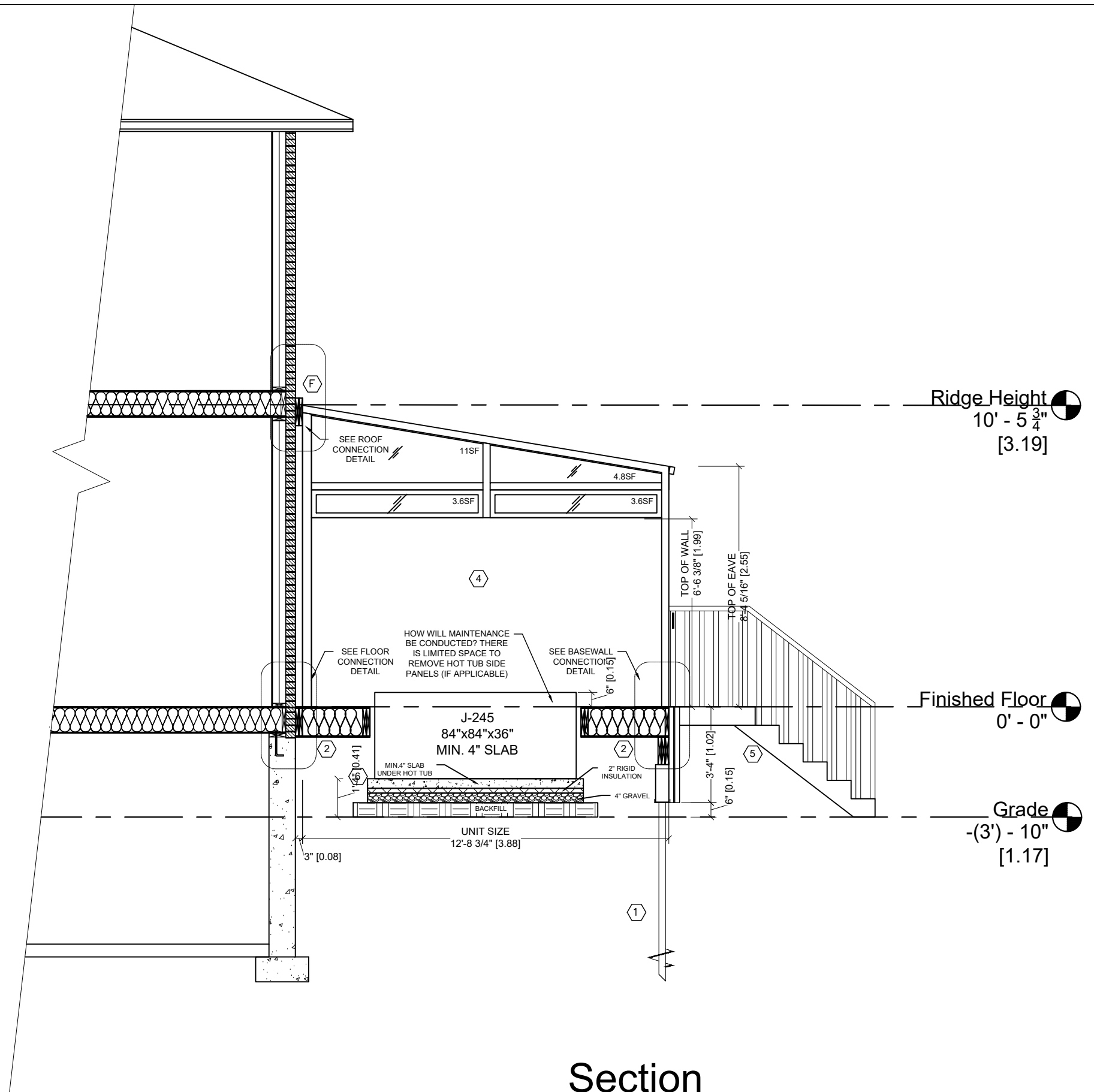
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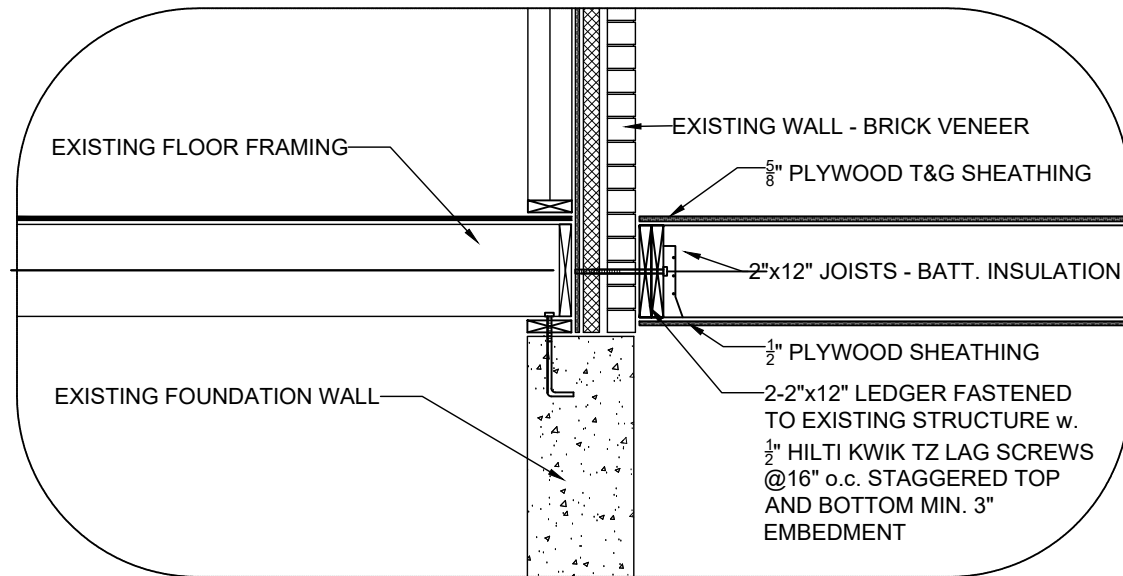
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**6 FLOATING CONCRETE SLAB**  
 FILL WITH 4" GRAVEL  
 6MIL VAPOUR BARRIER  
 REINFORCING BAR CROSS HATCH ON 12" CENTERS  
 R10 2" HIGH DENSITY FOAM INSULATION UNDER FULL SLAB  
 WHEEL CONCRETE AND POUR AND TROWEL FINISH  
 MIN. SLAB THICKNESS 4"

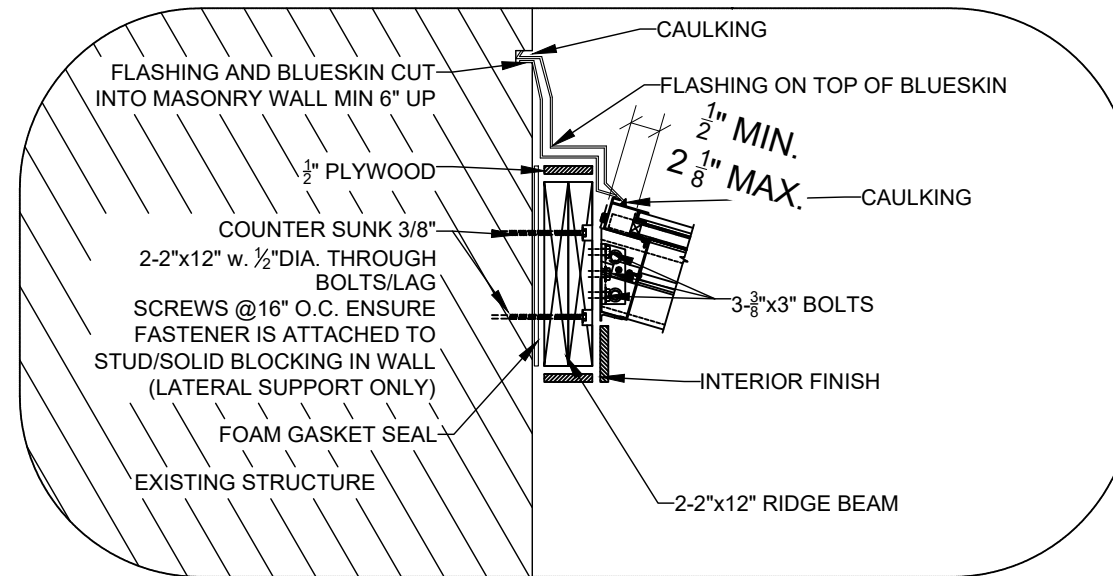


## Section

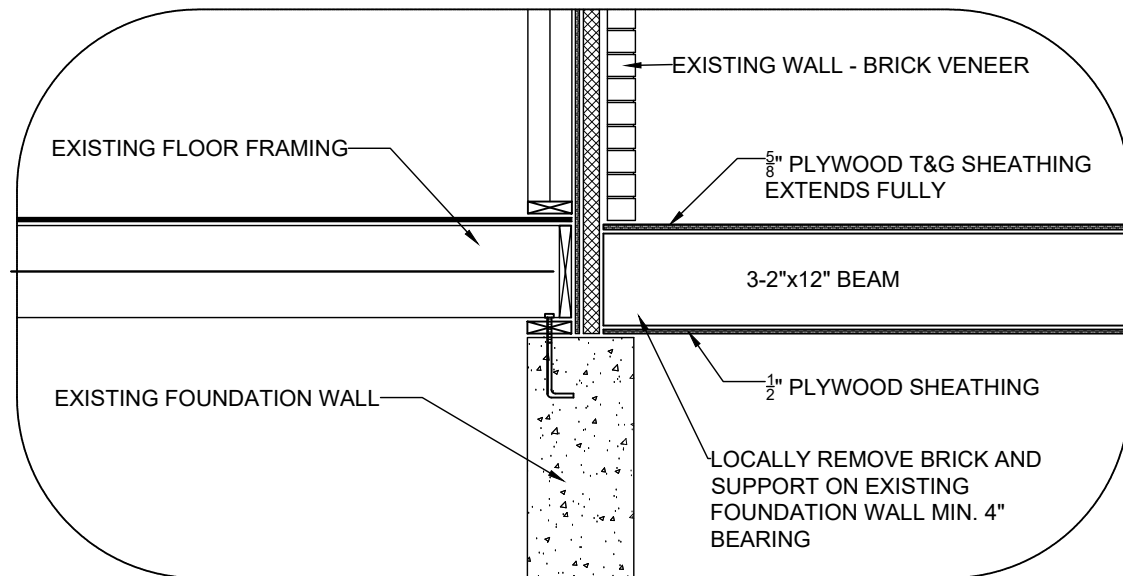
FLOOR CONNECTION DETAIL



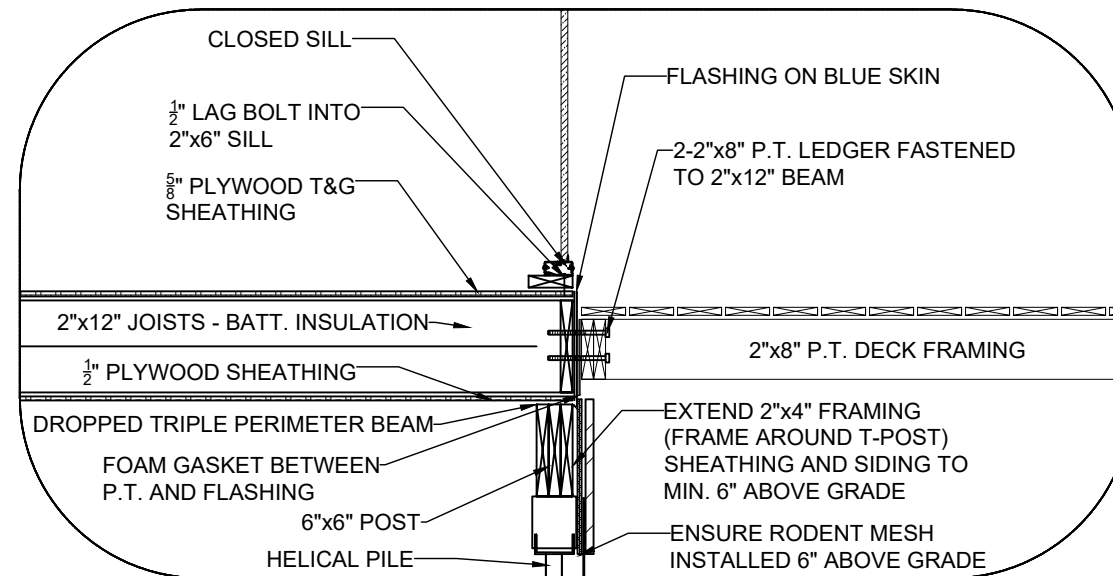
230 SUN&STAR - RIDGE BEAM CONNECTION



BEAM POCKET DETAIL



BASE WALL DETAIL



# Details

GLAZED OPENING  
CALCULATIONS

PER O.B.C. TABLE 9.10.15.4

North/Side Elevation

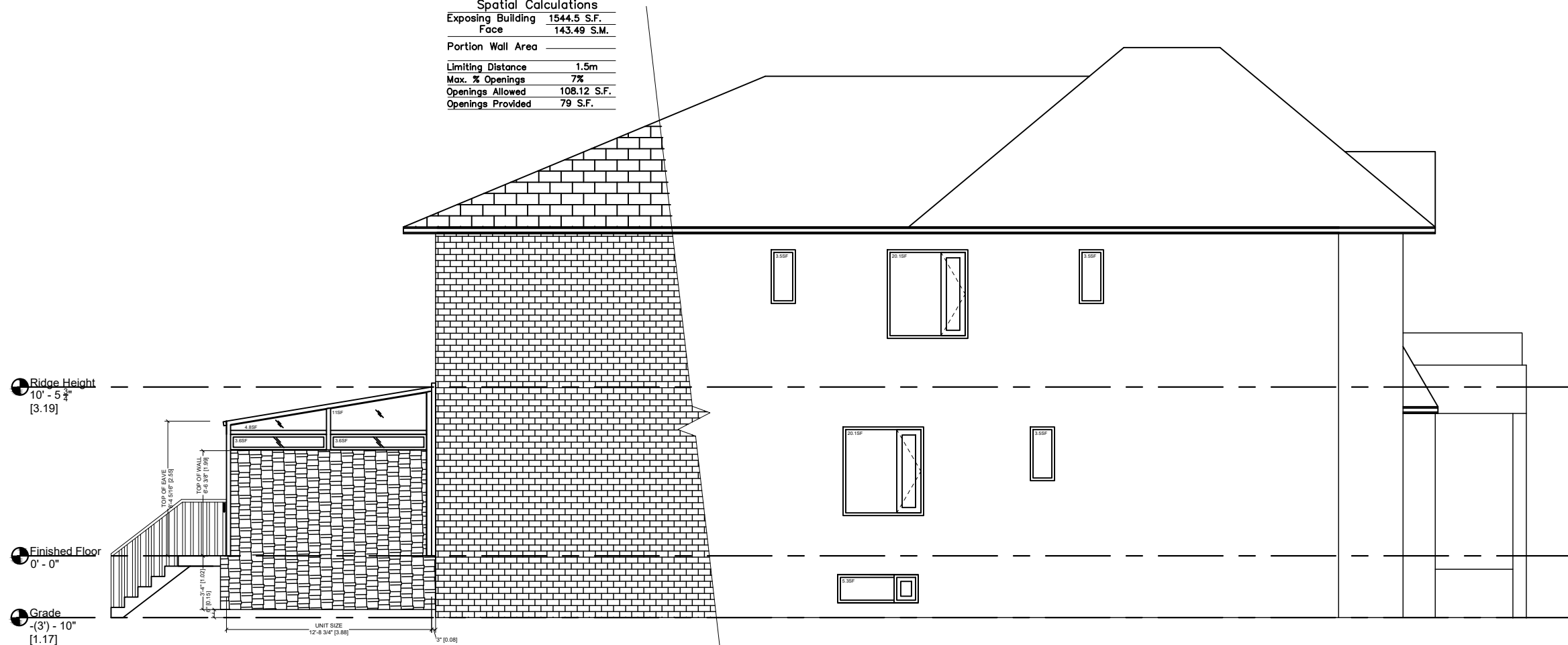
#	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
6	Existing		56
4	New		23

Spatial Calculations

Exposing Building	1544.5 S.F.
Face	143.49 S.M.

Portion Wall Area

Limiting Distance	1.5m
Max. % Openings	7%
Openings Allowed	108.12 S.F.
Openings Provided	79 S.F.



## Right (N) Elevation

Project Name  
Abbasali Hassanali & Ruqayyah Gulamhusein  
8336 Pine Valley Drive, Woodbridge

Sheet No.

Scale  
3/16" = 1'-0"

Date  
Feb.7/2024

Revision #

Revision Date

A-6

Customer Approval:

Date:

Internal Approval:

Date:

**SCHEDULE B:  
COMMENTS FROM AGENCIES, BUILDING STANDARDS &  
DEVELOPMENT PLANNING**

<b>Internal Departments</b> <small>*Comments Received</small>	<b>Conditions Required</b>		<b>Nature of Comments</b>
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions

<b>External Agencies</b> <small>*Comments Received</small>	<b>Conditions Required</b>		<b>Nature of Comments</b> <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

**To:** Committee of Adjustment  
**From:** Sean Fitzpatrick, Building Standards Department  
**Date:** November 01, 2024  
**Applicant:** SPDG INC.  
**Location:** 8336 Pine Valley Drive  
 CONC 7 Part of Lot 9  
 PLAN 65R35744 Part 2  
**File No.(s):** A132/24

**Zoning Classification:**

The subject lands are zoned R1A(EN), First Density Residential Zone – Estate Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.1044 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A minimum rear yard of 8.5 metres is required. [14.1044]	To permit a minimum rear yard of 5.92 metres.
2	The maximum lot coverage shall be 40% of the lot area. [Table 7-3]	To permit a maximum lot coverage of 40.56%.

**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file

**Building Permit(s) Issued:**

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m<sup>2</sup>

**Other Comments:**

Zoning By-law 01-2021	
1	Where a lot, building, structure or required parking space is deemed to be deficient of any requirement of this By-law, and that deficiency is expressly the result of acquisition or expropriation of land by a public authority, the lot, building, structure or required parking space shall be deemed to comply with the requirements of this By-law. The existing house is protected under this provision. The lot area is slightly less than the minimum required, and is protected by this clause. [1.10 #3]

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.



**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer  
**From:** Nancy Tuckett, Director of Development Planning  
**Date:** November 6, 2024  
**Name of Owner:** Abbasali Hassanali  
**Location:** 8336 Pine Valley Drive  
**File No.(s):** A132/24

---

**Proposed Variance(s):**

1. To permit a minimum rear yard of **5.92 m**.
2. To permit a maximum lot coverage of **40.56%**.

**By-Law 001-2021 Requirement(s):**

1. A minimum rear yard of **8.5 m** is required.
2. The maximum lot coverage shall be **40%** of the lot area.

**Official Plan:**

Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

**Comments:**

The Owner is seeking relief to permit a single-storey addition to the existing dwelling in the rear yard with the above-noted variances.

The Development Planning Department has no objection to Variance 1 to allow a 5.92 m rear yard. The single-storey addition is 4.36 m in height, and spans the entire width of the existing dwelling. The remaining rear yard, which is entirely sodded, is adequately sized to accommodate a variety of recreational amenity functions. Development Engineering staff have reviewed the proposed addition and do not have concerns with the stormwater retention and drainage functions of the rear yard.

The Development Planning Department has no objection to Variance 2 for a maximum lot coverage of 40.56% to permit the proposed addition, which exceeds the by-law requirement by 0.56%. The proposed coverage consists of the existing dwelling (33.3%) and the proposed addition (7.2%). The 0.56% lot coverage exceedance is approximately 3.4 m<sup>2</sup> in floor area, and is not anticipated to be visibly perceptible or anticipated to have a negative impact on the property or the surrounding neighbouring properties. A variety of vegetation exists in and around the rear yard including hedges along the south and north side lot lines and several mature deciduous and coniferous trees to the east, northeast, and southeast of the rear yard. The existing vegetation is anticipated to provide adequate visual buffering between the addition and the neighbours to the north (8340 Pine Valley Drive) and south (21 Hayhoe Avenue), as well as the public realm along Hayhoe Avenue to the west, which is in close proximity to the rear lot line. The proposed addition has a modest mass that complies with height and interior side yard setback provisions, and is appropriately screened from impacted neighbours. Urban Design staff anticipates that the construction of the proposed addition may potentially impact the existing trees in and around the rear yard, and requests that an arborist letter and tree protection plan be received and approved as a condition of approval.

Accordingly, the Development Planning Department supports the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

**Recommendation:**

The Development Planning Department recommends approval of the application.

**Condition of Approval:**

If the Committee finds merit in the application, the following condition of approval is recommended:

1. That an Arborist Report and Tree Protection Plan be prepared and approved to the satisfaction of the Development Planning Department.

**Comments Prepared by:**

Harry Zhao, Planner 1  
David Harding, Senior Planner  
Janany Nagulan, Senior Planner

**Date:** October 16<sup>th</sup> 2024

**Attention:** Christine Vigneault

**RE:**

**File No.:** A132-24

**Related Files:**

**Applicant** SPDG INC.

**Location** 8336 Pine Valley Drive



Discover the possibilities

### COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

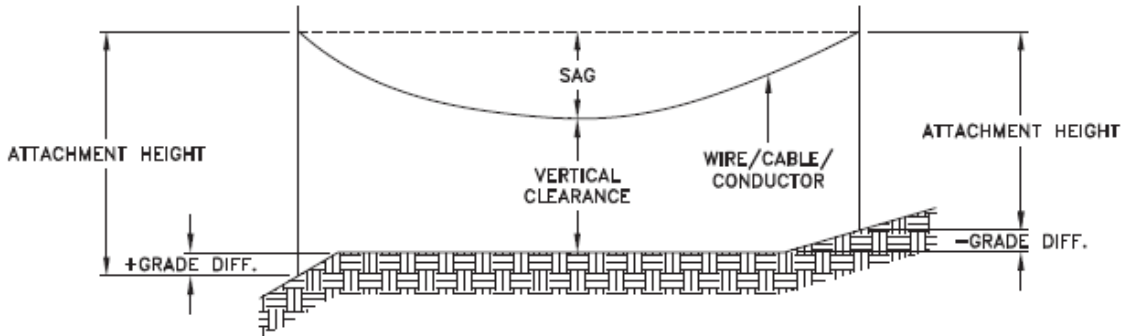
Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG  
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)  
 ± GRADE DIFFERENCE  
 + 0.3m (VEHICLE OR RAILWAY LOCATION)  
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

**NOTES:**

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

**CONVERSION TABLE**

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

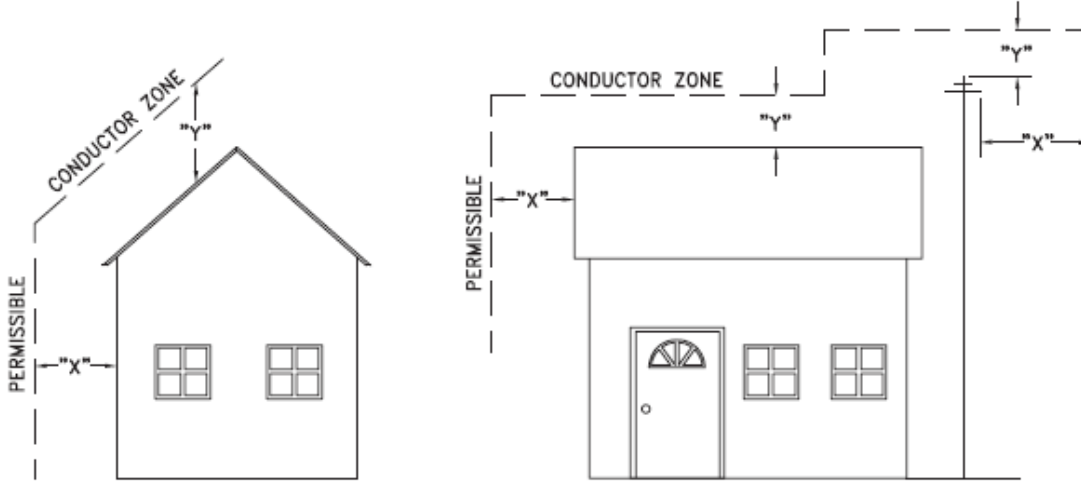
**REFERENCES**

SAGS AND TENSIONS | SECTION 02

**MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS**

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

**NOTES**

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

**MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)**

**Certificate of Approval**  
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04  
Debbie Dadwani, P.Eng. 2010-MAY-05  
Name Date  
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:  
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

**From:** [Cameron McDonald](#)  
**To:** [Committee of Adjustment Mailbox](#)  
**Subject:** [External] RE: A132/24 - 8336 PINE VALLEY DRIVE- REQUEST FOR COMMENTS, CITY OF VAUGHAN  
**Date:** Friday, October 11, 2024 2:22:37 PM  
**Attachments:** [image002.png](#)

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**CAUTION!** This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good afternoon,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from the TRCA.

Based on the above, we have no comments/requirements.

Regards,

**Cameron McDonald**

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:(437)880-1925)

E: [cameron.mcdonald@trca.ca](mailto:cameron.mcdonald@trca.ca)

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](#) | [trca.ca](http://trca.ca)



**From:** [Development Services](#)  
**To:** [Committee of Adjustment Mailbox](#)  
**Subject:** [External] RE: A132/24 - 8336 PINE VALLEY DRIVE- REQUEST FOR COMMENTS, CITY OF VAUGHAN  
**Date:** Tuesday, October 22, 2024 3:29:42 PM  
**Attachments:** [image001.png](#)  
[image003.png](#)

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**CAUTION!** This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

The Regional Municipality of York has completed its review of the minor variance application – A132/24 (8336 PINE VALLEY DRIVE) and has no comment.

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

*Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.*

**Niranjan Rajevan, M.Pl.** | Associate Planner, Development Planning | Economic and Development Services Branch | Corporate Services Department

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The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1  
1-877-464-9675 ext. 71521 | [niranjan.rajevan@york.ca](mailto:niranjan.rajevan@york.ca) | [www.york.ca](http://www.york.ca)

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## SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

## SCHEDULE D: BACKGROUND

Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A