

ITEM: 6.3	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A124/24
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Report Date: November 8, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
<p>All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.</p>				
Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
None				

BACKGROUND (SCHEDULE D, IF REQUIRED)	
<p><small>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</small></p>	
Application No. (City File)	Application Description
A121/22	(i.e. Minor Variance Application; Approved by COA / OLT) Approved by COA

ADJOURNMENT HISTORY	
<small>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</small>	
Hearing Date	Reason for Adjournment (to be obtained from NOD_ADJ)
September 12, 2024	Minor Variance Application A124/24 was adjourned at the request of staff/applicant sine die (indefinitely) to permit time for the applicant to revise the proposal.

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A124/24

CITY WARD #:	4
APPLICANT:	Wen Juan Wu
AGENT:	Serouj Kaloustian
PROPERTY:	39 Hillside Avenue, Concord
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 (,VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	N/A
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a proposed dwelling and retaining wall.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R1E(EN) – First Density Residential Zone (Established Neighbourhood) under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The maximum permitted building height is 8.5 metres. [4.5 1.b.]	To permit a maximum height of 10.5 metres.
2	The maximum permitted lot coverage is 20%. [7.2.2, Table 7-3]	To permit a maximum lot coverage of 25.78%.
3	For any proposed or new replacement dwelling that exceeds the existing height, and is greater than 9.5 m in height, the minimum interior side yard shall be the existing interior side of 2.23 metres on the west side. [4.5 2.b.]	To permit a minimum interior side yard of 2.11 metres on the west side.
4	For any proposed or new replacement dwelling that exceeds the existing height, and is greater than 9.5 m in height, the minimum interior side yard shall be the existing interior side yard of 4.37 metres on the east side. [4.5 2.b.]	To permit a minimum interior side yard of 2.68 metres on the east side.
5	The maximum driveway width of a driveway shall be 9.0 metres. [6.7.3, Table 6-11]	To permit a maximum driveway width of 10.67 metres.
6	The maximum permitted encroachment of access stairs is 0.3 metres into the required interior side yard. [Table 4-1]	To permit access stairs to encroach a maximum of 1.37 metres into the required interior side yard.
7	A retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall. [4.13, Table 4-1]	To permit a retaining wall of 2.67 metres in height to be setback 2.41 metres from the west interior side lot line.

HEARING INFORMATION

DATE OF MEETING: Thursday, November 14, 2024

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive

LIVE STREAM LINK: [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

HEARING INFORMATION

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	October 31, 2024
Date Applicant Confirmed Posting of Sign:	October 31, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	N/A
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
None	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)

<small>**See Schedule B for Building Standards (Zoning) Comments</small>	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING

<small>**See Schedule B for Development Planning Comments.</small>	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING

Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
TBD	
Development Engineering Recommended Conditions of Approval:	TBD

PARKS, FORESTRY & HORTICULTURE (PFH)

Recommended condition of approval below:

PFH Recommended Conditions of Approval:

1. Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to any construction works on the subject property.
2. Tree protection & preservation methods must be followed according to City of Vaughan By-law 052-2018.

DEVELOPMENT FINANCE

That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.

That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.

That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment.

That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.

Demolition development charge credit will expire on Jan 5, 2026.

Demolition development charge credits valid for a period of 48 months from date of demolition permit issuance. After 48 months, full development charges apply as per by-laws.

Development Finance Recommended Conditions of Approval:

None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date.

BCLPS Recommended Conditions of Approval:

None

BUILDING INSPECTION (SEPTIC)

No comments received to date.

Building Inspection Recommended Conditions of Approval:

None

FIRE DEPARTMENT

No comments received to date.

Fire Department Recommended Conditions of Approval:

None

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Engineering jonal.hall@vaughan.ca	TBD
2	Parks, Forestry and Horticulture Operations kari.sthyrhansen@vaughan.ca	1. Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to any construction works on the subject property. 2. Tree protection & preservation methods must be followed according to City of Vaughan By-law 052-2018.

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS

RECEIVED
By russog at 9:37 am, Oct 15, 2024

Address 39 Hillside Ave, Concord, ON L4K 1W9		
Lot Number PART 1 OF LOT 30		
Plan Number 2468		
Zoning Type R1V		
DESCRIPTION	ALLOWED	PROPOSED
Lot Area	Min. 845 m ²	2603.97 m²
Lot Coverage	MAX. 20% (520.79 m ²)	SEE SITEPLAN
FLOOR AREAS		
Basement		538.11 m ²
Ground Floor		460.63 m ²
Second Floor		436.01 m ²
GROSS FLOOR	N/A	896.64 m²
Lot Frontage	Min. 30 m	32.90 m
Lot Depth		79.18 m
Building Height	Max 9.50 m	10.50 m
BUILDING SETBACKS		
NORTH (FRONT)	Min. 9.0 m	20.89 m
SOUTH (REAR)	Min. 7.50 m	35.37 m
WEST (SIDE)	Min. 1.50 m	2.11 m
EAST (SIDE)	Min. 1.50 m	2.68 m

SITE PLAN BASED ON SURVEY BY "MANDARIN SURVEYORS LIMITED, ONTARIO LAND SURVEYOR, 2400 MIDLAND AVE., SCARBOROUGH, ONTARIO, M1S 1X7." DATED JULY 23, 2020. HSK DESIGN INC. TAKES NO RESPONSIBILITY FOR ACCURACY OF ORIGINAL SURVEY OR R-PLAN. ALL EXISTING PARAMETERS MUST BE VERIFIED ON SITE PRIOR TO ANY WORK.

PROPOSED YARD LANDSCAPING CALCULATIONS:
FRONT YARD AREA: 743.21 m²
PROPOSED LANDSCAPING AREA: 557.29 m² [74.98%]
PROPOSED SOFT LANDSCAPING AREA: 452.45 m² [81.18%]

SITE STATISTICS

2.41 m #7

10.5 m #1

25.78% #2

2.11 m #3

LOT COVERAGE
671.66 m² - 25.78%
(BY-LAW 01-2021)

- LOT COVERAGE BREAKDOWN:
- PROPOSED MAIN DWELLING - 539.13 m² - 20.71%
 - PROPOSED REAR DECK - 7.57 m² - 0.3%
 - PROPOSED FRONT PORCH - 7.57 m² - 0.3%
 - EXISTING SHEDS - 8.11 m² - 0.3%

**NO. 39
NEW 2 STOREY
DWELLING**

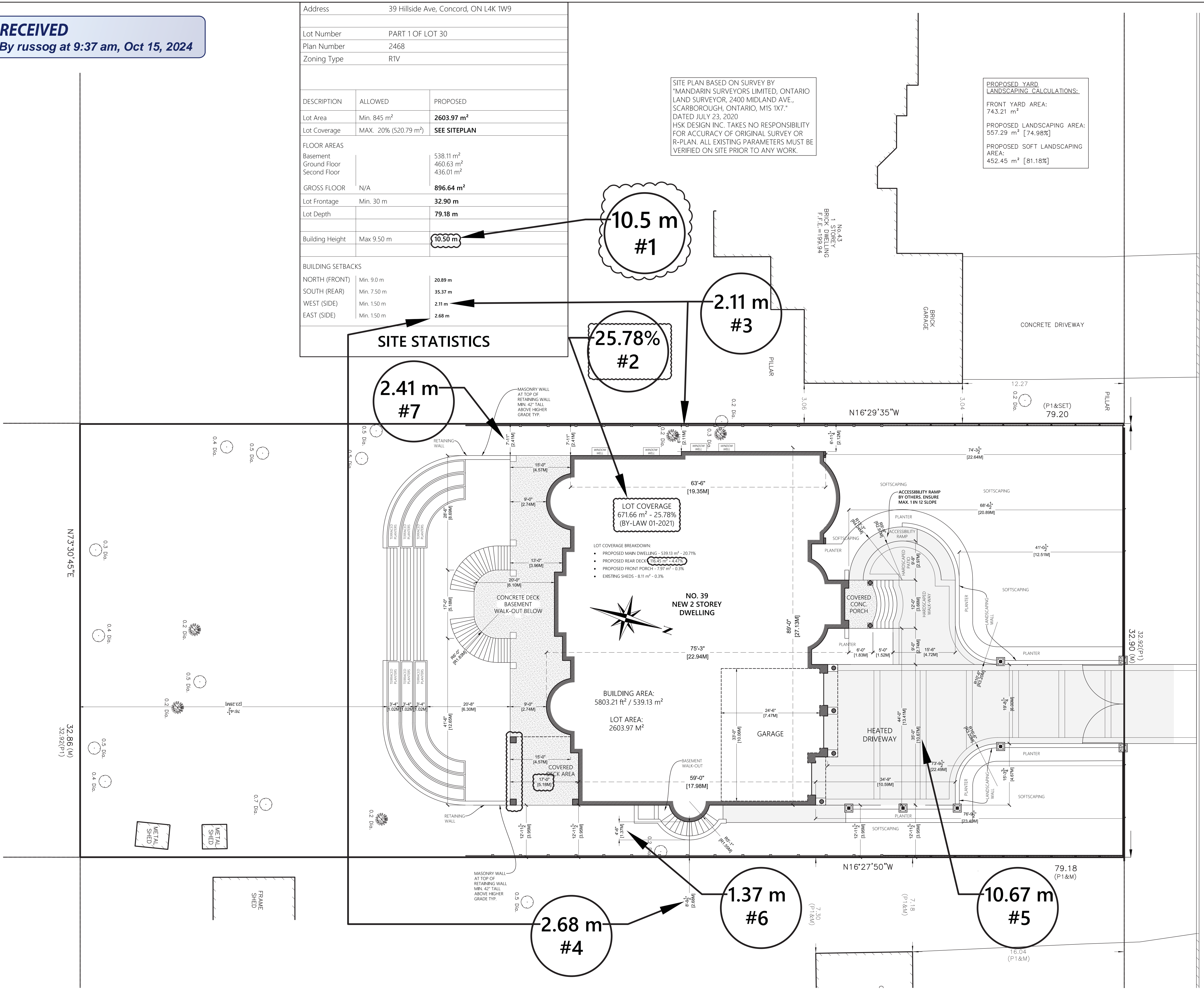
BUILDING AREA:
5803.21 ft² / 539.13 m²
LOT AREA:
2603.97 m²

COVERED DECK AREA

2.68 m #4

1.37 m #6

10.67 m #5



1800A Avenue Road, Toronto, ON M5M-3Z1
tel: 416-781-3136 web: www.hskdesign.ca

THIS DRAWING SHALL REMAIN THE PROPERTY OF THE DESIGNER. THE COPYRIGHT OF THIS DRAWING AND WORK EXECUTED FROM THE SAME BEING RESERVED. THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND NOTIFY THE DESIGNER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC., ENGINEERING INFORMATION SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF ALL APPLICABLE REGULATING JURISDICTIONS. ALL SUBCONTRACTORS TO EXECUTE THEIR WORK ACCORDING TO SHOP DRAWINGS WHICH MUST BE APPROVED BY THE DESIGNER, AND BE KEPT ON SITE AT ALL TIMES. THIS DRAWING IS NOT TO BE RE-USED.

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8	AUG 3, 2022	Issued for City Review / C OF A
7	MAY 20, 2022	Issued for City Review / C OF A
6	SEP 9, 2021	Issued for City Review / DEMOLITION PERMIT
5	AUG 3, 2021	Issued for City Review / ZCC
4	MAR 22, 2021	Issued for Owner Review / Schematic Design
3	FEB 16, 2021	Issued for Owner Review / Schematic Design
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NO.	DATE:	REVISION / ISSUED

STRUCTURAL PLANS	A3 ELEVATIONS
S1- BASEMENT PLAN	1 FRONT (NORTH)
S2- GROUND FLOOR PLAN	2 REAR (SOUTH)
S3- 2ND FLOOR PLAN	3 SIDE (WEST)
A0 COVER SHEET	4 SIDE (EAST)
A1 SITEPLAN & SITE STATISTICS	A3 BUILDING PERSPECTIVES
A2 FLOOR PLANS	A5 BUILDING SECTIONS
1. BASEMENT	A6 CONSTRUCTION SPECIFICATIONS (A6.1-A6.4)
2. GROUND	
3. 2ND FLOOR	
4. ROOF	

PROJECT: **Saadtjian Residence**
Committee of Adjustment Drawings

ADDRESS: 39 Hillside Ave, Concord, ON L4K 1W9

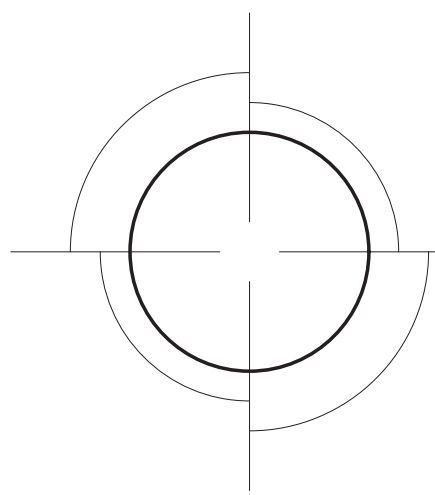
PLAT DATE: OCT 4, 2024

DRAWING NAME: **SITEPLAN & SITE STATISTICS**

DRAWING SCALE: $\frac{3}{32}'' = 1' - 0''$

DRAWING NO: **A1**

THIS DRAWING SHALL REMAIN THE PROPERTY OF THE DESIGNER. THE COPYRIGHT OF THIS DRAWING AND WORK EXECUTED FROM THE SAME BEING RESERVED. THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND NOTIFY THE DESIGNER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC., ENGINEERING INFORMATION SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF ALL APPLICABLE JURISDICTIONS. ALL SUBCONTRACTORS TO EXECUTE THEIR WORK ACCORDING TO SHOP DRAWINGS WHICH MUST BE APPROVED BY THE DESIGNER, AND BE KEPT ON SITE AT ALL TIMES.
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Saatdjian Residence

COMMITTEE OF ADJUSTMENT DRAWINGS

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- STRUCTURAL PLANS**
- S1- BASEMENT PLAN
- S2- GROUND FLOOR PLAN
- S3- 2ND FLOOR PLAN
- A0. COVERSHEET**
- A1. SITEPLAN & SITE STATISTICS**
- A2. FLOOR PLANS**
- 1. BASEMENT
- 2. GROUND
- 3. 2ND FLOOR
- 4. ROOF
- A3. ELEVATIONS**
- 1. FRONT (NORTH)
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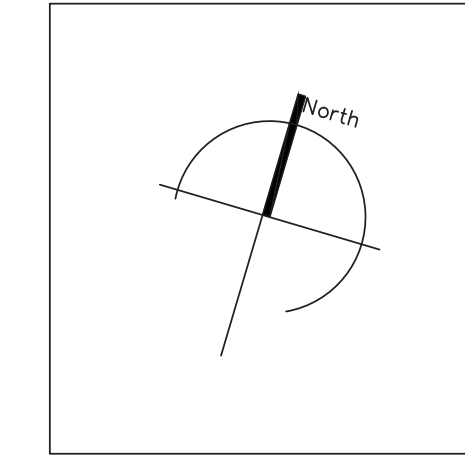
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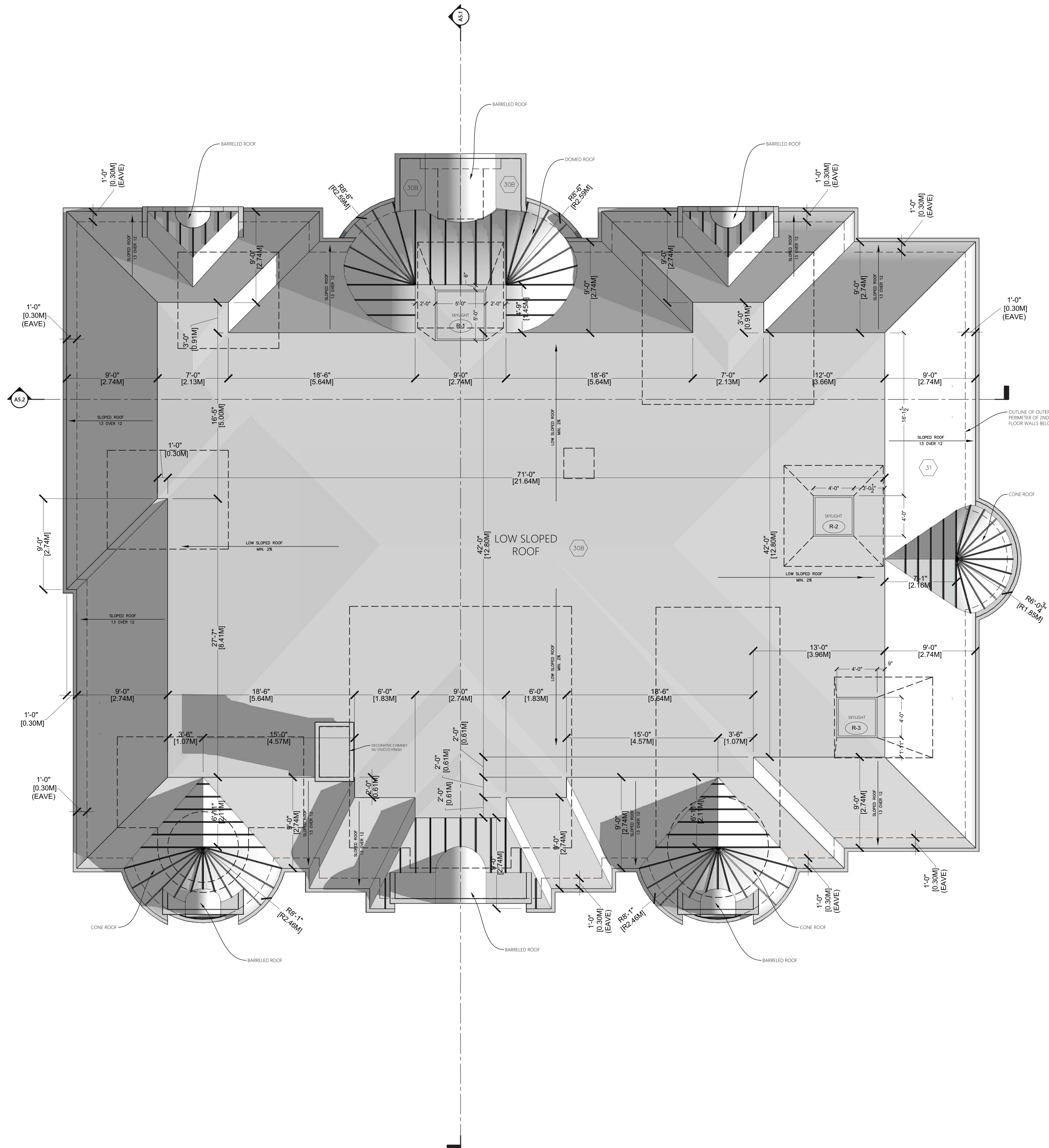
DRAWING NAME:

COVER PAGE

DRAWING NO.
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Saadtjian Residence
 Committee of Adjustment Drawings

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PLOT DATE:
 OCT 4, 2024

DRAWING NAME:

ROOF PLAN

DRAWING SCALE: DRAWING NO.

$\frac{1}{4}'' = 1' - 0''$ **A 2.4**

GLAZING/GLASS DOOR TO WALL RATIO
 TOTAL OF ALL WALL AREAS
 793.7 m²
 TOTAL GLAZING/GLASS DOOR AREA
 175.6 m²
 RATIO (ALL GLAZING / WALL AREA)
 22.1%

WINDOWS NOTE 1:
 ALL WINDOWS MUST COMPLY WITH OBC DIV. B SECTION 9.7. & 9.8.8. [GUARDS]

WINDOWS NOTE 2:
 WINDOW TYPE, STYLE AND OPERABILITY TO BE COORDINATED WITH OWNER PRIOR TO ORDERING & INSTALLING

FOOTINGS NOTE:
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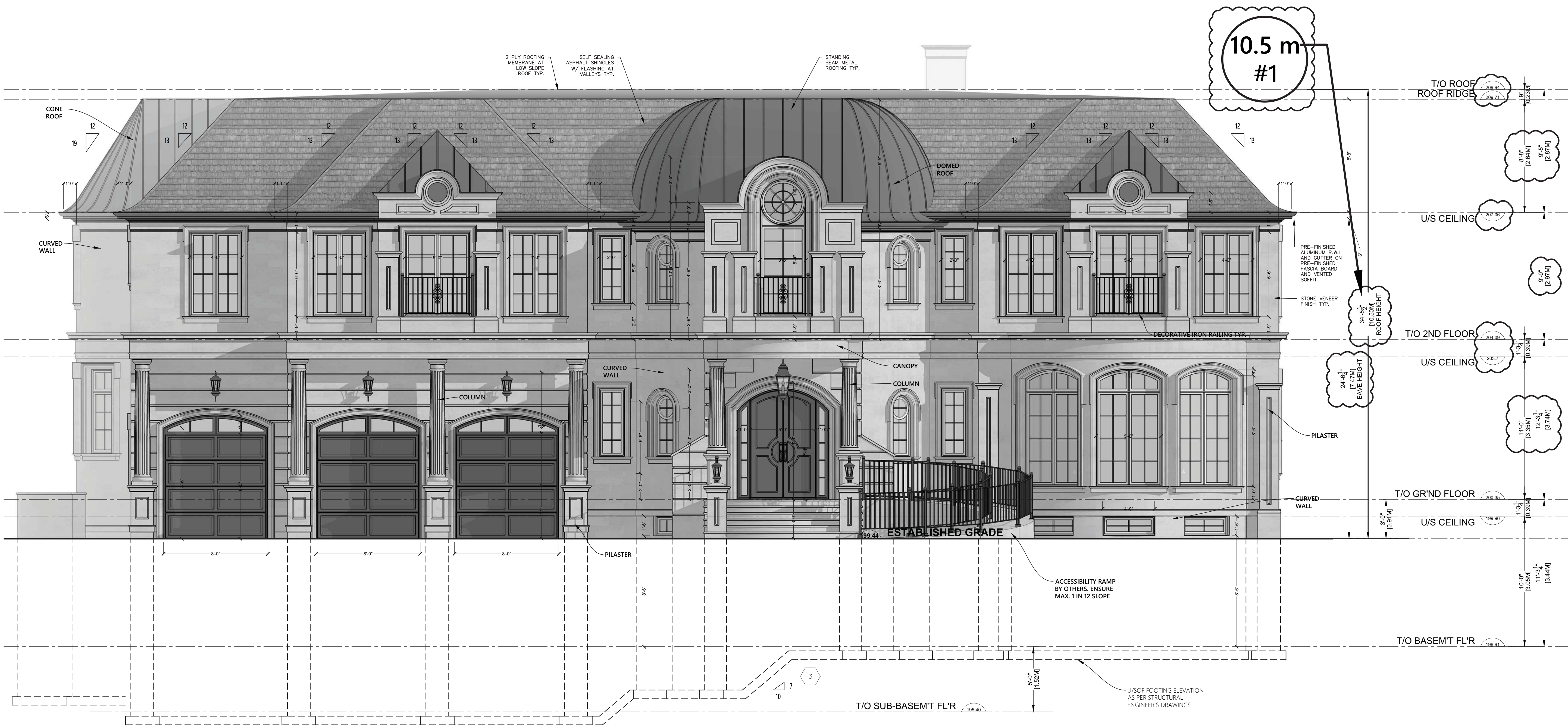
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DOWNSPOUT NOTE:
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ROOF NOTE:
 ROOF AREAS THAT ARE CONSTRICTED IN SPACE FOR PROPER VENTILATION AND "R" VALUES, USE FOAM OR RIGID INSULATION WITH A MIN. OF R31

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EXTERIOR TRIMS & MOULDINGS TO BE COORDINATED WITH OWNER PRIOR TO WORK



1800A Avenue Road, Toronto, ON M5M-3Z1
 tel: 416-781-3136 web: www.hskdesign.ca

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STRUCTURAL PLANS	A3. ELEVATIONS
S1- BASEMENT PLAN	1 FRONT (NORTH)
S2- GROUND FLOOR PLAN	2 REAR (SOUTH)
S3- 2ND FLOOR PLAN	3 SIDE (WEST)
A0. COVERSHEET	4 SIDE (EAST)
A1. SITEPLAN & SITE STATISTICS	A3. BUILDING PERSPECTIVES
A2. FLOOR PLANS	A5. BUILDING SECTIONS
BASEMENT	1
2 GROUND	2
3 2ND FLOOR	3
4 ROOF	4
	A6. CONSTRUCTION SPECIFICATIONS (A6.1-A6.4)

PROJECT:
Saadjian Residence
 Committee of Adjustment Drawings

ADDRESS:
 39 Hillside Ave, Concord, ON L4K 1W9

PLOT DATE:
 OCT 4, 2024

DRAWING NAME:

FRONT ELEVATION (NORTH)

DRAWING SCALE: DRAWING NO:

1/4" = 1' - 0" **A 3.1**

GLAZING/GLASS DOOR TO WALL RATIO
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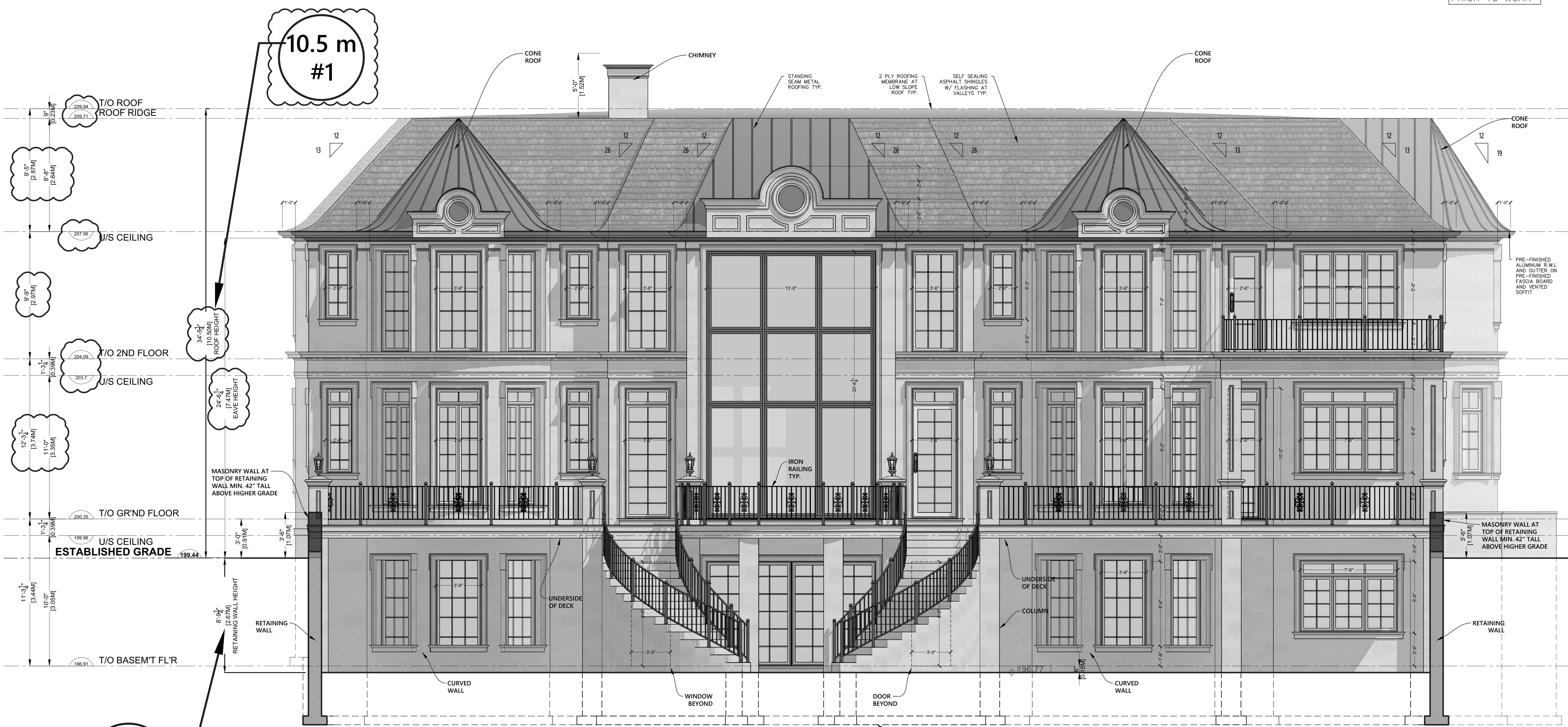
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EXTERIOR TRIMS & MOULDINGS TO BE COORDINATED WITH OWNER PRIOR TO WORK



10.5 m #1

2.67 m #7



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A2. FLOOR PLANS	A5. BUILDING SECTIONS
BASEMENT	A6. CONSTRUCTION SPECIFICATIONS (A6.1-A6.4)
2- 2ND FLOOR	
4- ROOF	

PROJECT:
 Saadtjian Residence
 Committee of Adjustment Drawings

ADDRESS:
 39 Hillside Ave, Concord, ON L4K 1W9

LOT DATE:
 OCT 4, 2024

DRAWING NAME:

REAR ELEVATION (SOUTH)

DRAWING SCALE:

1/4" = 1' - 0"

DRAWING NO:
A 3.2

GLAZING/GLASS DOOR TO WALL RATIO
TOTAL OF ALL WALL AREAS
793.7 m²
TOTAL GLAZING/GLASS DOOR AREA
175.6 m²
RATIO (ALL GLAZING / WALL AREA)
22.1%

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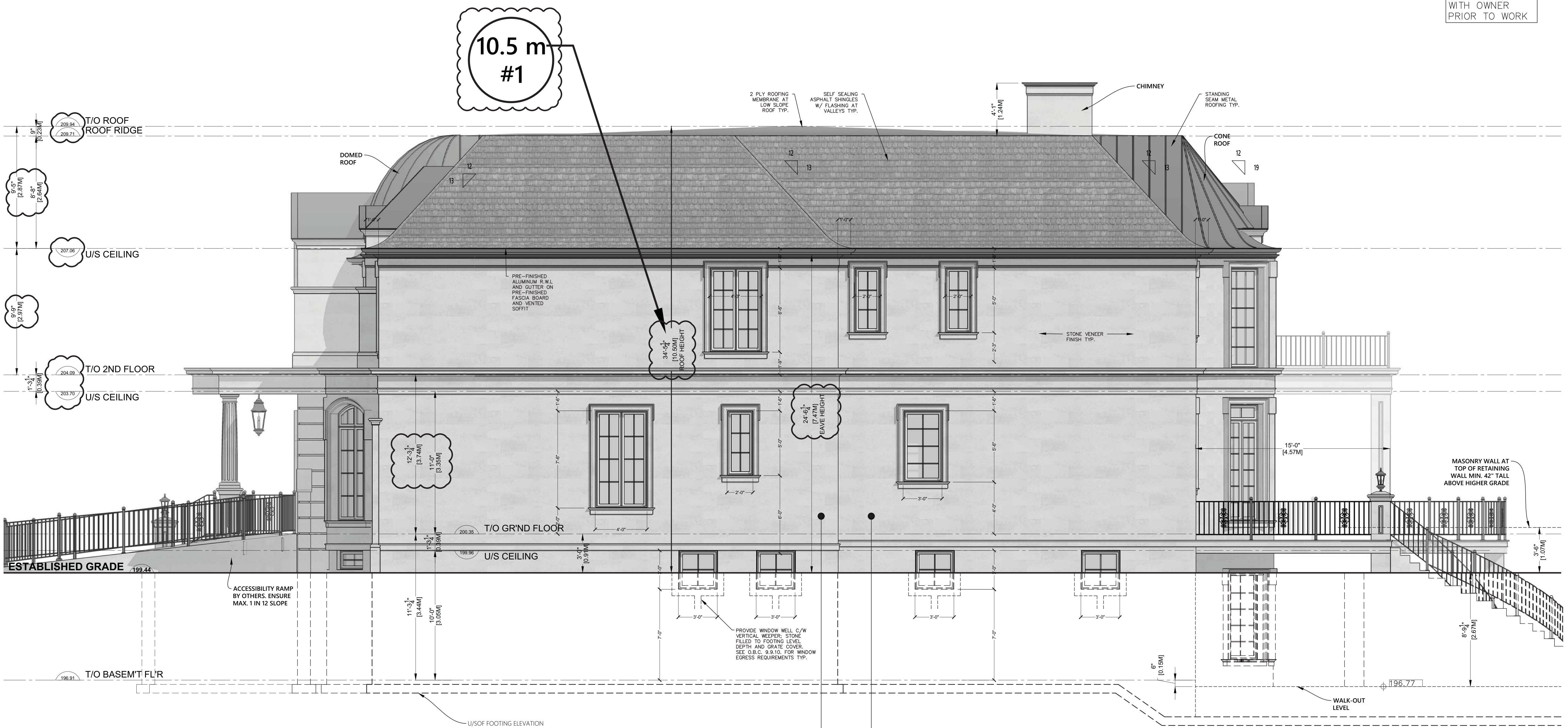
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UNPROTECTED OPENING CALCULATIONS – WALL A:

LIMITING DISTANCE	2.11 m
WALL AREA	815.5 ft ² [75.76 m ²]
ALLOWABLE % OPENINGS	9% OF WALL AREA
ALLOWABLE OPENINGS	73.4 ft ² [6.81 m ²]
PROPOSED OPENINGS	70.0 ft ² [6.50 m ²]

UNPROTECTED OPENING CALCULATIONS – WALL B:

LIMITING DISTANCE	2.41 m
WALL AREA	634.7 ft ² [58.96 m ²]
ALLOWABLE % OPENINGS	9% OF WALL AREA
ALLOWABLE OPENINGS	57.12 ft ² [5.30 m ²]
PROPOSED OPENINGS	50.50 ft ² [4.69 m ²]

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S3- 2ND FLOOR PLAN	3 SIDE (WEST)
A0. COVERSHEET	4 SIDE (EAST)
A1. SITEPLAN & SITE STATISTICS	A3. BUILDING EXTERIORS
A2. FLOOR PLANS	A5. BUILDING SECTIONS
BASEMENT	A6. CONSTRUCTION SPECIFICATIONS (A6.1-A6.4)
2 GROUND	
3 2ND FLOOR	
4 ROOF	

PROJECT: **Saadjian Residence**
Committee of Adjustment Drawings

ADDRESS: 39 Hillside Ave, Concord, ON L4K 1W9

PLAT DATE: OCT 4, 2024

DRAWING NAME:

SIDE ELEVATION (WEST)

DRAWING SCALE: 1/4" = 1' - 0"
DRAWING NO: **A 3.3**

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	4 SIDE (EAST)
A0. COVER SHEET	A3. BUILDING PERMITS
A1. SITE PLAN & SITE STATISTICS	A5. BUILDING SECTIONS
A2. FLOOR PLANS	A6. CONSTRUCTION SPECIFICATIONS (A6.1-A6.4)
BASEMENT	
2 GROUND	
3 2ND FLOOR	
4 ROOF	

PROJECT: **Saadtdjian Residence**
Committee of Adjustment Drawings

ADDRESS: 39 Hillside Ave, Concord, ON L4K 1W9

PLAT DATE: OCT 4, 2024

DRAWING NAME: SIDE ELEVATION (EAST)

DRAWING SCALE: $\frac{1}{4}'' = 1' - 0''$

DRAWING NO: **A 3.4**

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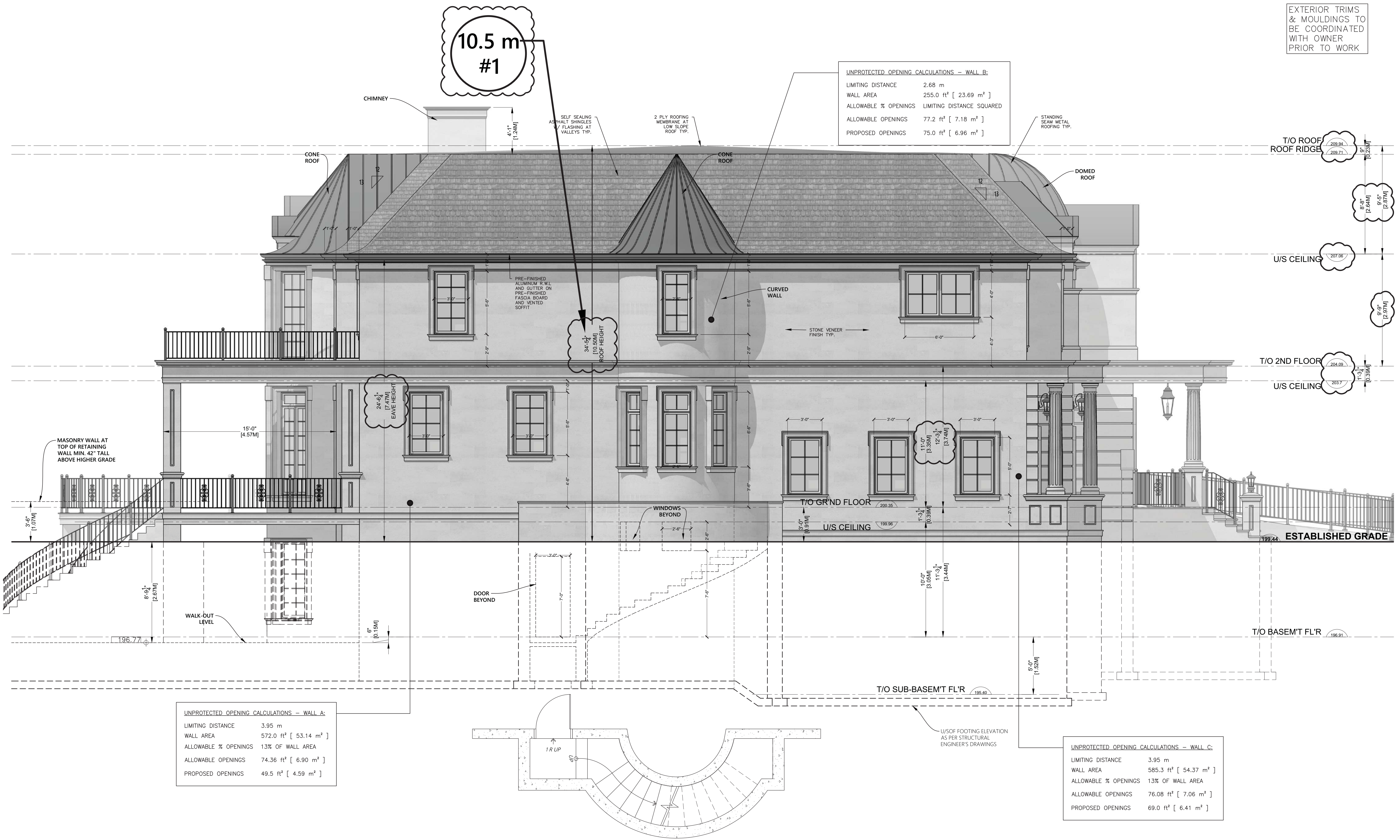
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UNPROTECTED OPENING CALCULATIONS - WALL B:
LIMITING DISTANCE 2.68 m
WALL AREA 255.0 ft² [23.69 m²]
ALLOWABLE % OPENINGS LIMITING DISTANCE SQUARED
ALLOWABLE OPENINGS 77.2 ft² [7.18 m²]
PROPOSED OPENINGS 75.0 ft² [6.96 m²]

UNPROTECTED OPENING CALCULATIONS - WALL A:
LIMITING DISTANCE 3.95 m
WALL AREA 572.0 ft² [53.14 m²]
ALLOWABLE % OPENINGS 13% OF WALL AREA
ALLOWABLE OPENINGS 74.36 ft² [6.90 m²]
PROPOSED OPENINGS 49.5 ft² [4.59 m²]

UNPROTECTED OPENING CALCULATIONS - WALL C:
LIMITING DISTANCE 3.95 m
WALL AREA 585.3 ft² [54.37 m²]
ALLOWABLE % OPENINGS 13% OF WALL AREA
ALLOWABLE OPENINGS 76.08 ft² [7.06 m²]
PROPOSED OPENINGS 69.0 ft² [6.41 m²]



FRONT PERSPECTIVE (NORTH)



REAR PERSPECTIVE (SOUTH)



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		4. SIDE (EAST)
A0. COVERSHEET		
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1. BASEMENT		
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DRAWING NAME:

BUILDING PERSPECTIVES

DRAWING NO.
A 4

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

To: Committee of Adjustment
From: Christian Tinney, Building Standards Department
Date: October 15, 2024
Applicant: HSK Design Inc.
Location: 39 Hillside Avenue
PLAN RP2468 Part of Lot 30
File No.(s): A124/24

Zoning Classification:

The subject lands are zoned R1E(EN) – First Density Residential Zone (Established Neighbourhood) under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The maximum permitted building height is 8.5 metres. [4.5 1.b.]	To permit a maximum height of 10.5 metres.
2	The maximum permitted lot coverage is 20%. [7.2.2, Table 7-3]	To permit a maximum lot coverage of 25.78%.
3	For any proposed or new replacement dwelling that exceeds the existing height, and is greater than 9.5 m in height, the minimum interior side yard shall be the existing interior side of 2.23 metres on the west side. [4.5 2.b.]	To permit a minimum interior side yard of 2.11 metres on the west side.
4	For any proposed or new replacement dwelling that exceeds the existing height, and is greater than 9.5 m in height, the minimum interior side yard shall be the existing interior side yard of 4.37 metres on the east side. [4.5 2.b.]	To permit a minimum interior side yard of 2.68 metres on the east side.
5	The maximum driveway width of a driveway shall be 9.0 metres. [6.7.3, Table 6-11]	To permit a maximum driveway width of 10.67 metres.
6	The maximum permitted encroachment of access stairs is 0.3 metres into the required interior side yard. [Table 4-1]	To permit access stairs to encroach a maximum of 1.37 metres into the required interior side yard.
7	A retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall. [4.13, Table 4-1]	To permit a retaining wall of 2.67 metres in height to be setback 2.41 metres from the west interior side lot line.

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file.

Building Permit(s) Issued:

Building Permit No. 22-102484 for Single Detached Dwelling - New, Issue Date: (Not Yet Issued).

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: November 7, 2024
Name of Owner: Wen Juan Wu
Location: 39 Hillside Avenue
File No.(s): A124/24

Proposed Variance(s) (By-law 001-2021):

1. To permit a maximum height of 10.5 m.
2. To permit a maximum lot coverage of 25.78%.
3. To permit a minimum interior side yard of 2.11 m on the west side.
4. To permit a minimum interior side yard of 2.68 m on the east side.
5. To permit a maximum driveway width of 10.67 m.
6. To permit access stairs to encroach a maximum of 1.37 m into the required interior side yard.
7. To permit a retaining wall of 2.67 m in height to be set back 2.41 m from the west interior side lot line.

By-Law Requirement(s) (By-law 001-2021):

1. The maximum permitted building height is 8.5 m.
2. The maximum permitted lot coverage is 20%
3. For any proposed or new replacement dwelling that exceeds the existing height, and is greater than 9.5 m in height, the minimum interior side yard shall be the existing interior side of 2.23 m on the west side.
4. For any proposed or new replacement dwelling that exceeds the existing height, and is greater than 9.5 m in height, the minimum interior side yard shall be the existing interior side yard of 4.37 m on the east side.
5. The maximum driveway width of a driveway shall be 9.0 m.
6. The maximum permitted encroachment of access stairs is 0.3 m into the required interior side yard.
7. A retaining wall shall be set back an equal distance to the height of the highest portion of the retaining wall.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:Application History

On November 17, 2022, the Committee of Adjustment approved Minor Variance File A121/22 to permit the construction of a single detached dwelling on the Subject Lands, with variances for setbacks, coverage, and height. The Owner is proposing to shift the location of the dwelling 3 m further away from the front lot line, resulting in additional variances. The variances included an increase of 0.89 m to the dwelling height, and a 0.10% increase to the proposed lot coverage due to a minor reconfiguration of the rear deck.

Analysis

The Owner is seeking relief to permit the construction of a two-storey single-detached dwelling, with the above noted variances.

The Development Planning Department has no objections to Variances 1 and 2. The proposed dwelling height of 10.5 m is measured at grade to the top of the mansard roof. The requested height increase is for the dwelling's mansard roof. The roof, however, adds minimal gross floor area to the proposed dwelling and minimal mass as an angled, shingled surface is presented to the street and neighbouring lots. An increase of 2 m to the permissible height for the proposed dwelling is minor in nature and is not anticipated to have adverse massing effects to the surrounding properties. The applicant is requesting an additional 5.78% of lot coverage. The total lot coverage breaks down to: 20.78% for the proposed dwelling, 4.47% for the proposed rear deck, 0.3% for the

proposed front porch and 0.3% for the existing sheds to be retained. In 2004, Vaughan City Council directed Development Planning staff to undertake a comprehensive study and review of the redevelopment occurring in particular established neighbourhoods, including the one the Subject Lands are within (Concord). The objective of the study and review were to establish development criteria to guide the future growth of neighbourhoods with existing built form and character. The study concluded that a maximum lot coverage of 23% for all enclosed spaces pertaining to the dwelling was appropriate for 2-storey detached dwellings in established neighbourhoods. The lot coverage of the proposed two-storey dwelling on the Subject Lands meets the 23% lot coverage threshold per the comprehensive study. Additional overages for accessory buildings and unenclosed features such as porches and decks are assessed on their own merits. The proposed lot coverage meets the character and scale of the surrounding neighbourhood.

The Development Planning Department has no objections to Variances 3, 4, 5, 6, and 7. Variance 3 proposes a reduction to the western interior side yard from 2.23 m to 2.11 m. The proposed width of the western interior side yard is narrowest where the side yard meets the front yard to approximately midway down the side yard. The remaining width of the side yard is 2.41 m due to a recessed wall. Variance 4, requests a setback of 2.68 m from the eastern interior side yard due to a turret design midway along the dwelling's east wall. The remaining portion of the eastern interior side yard is set back 3.94 m from the east side lot line. There is sufficient distance maintained in both interior side yards to permit exterior access between the front and rear yards. Variance 6 requests an increased encroachment into the eastern interior side yard for access stairs to a below-grade basement entrance. The request is reasonable as sufficient space remains to allow exterior passage between the front and rear yards, and the projection adds no mass as it is below grade. Variance 7 requests a variance to the retaining wall setback. The retaining wall runs parallel to the western wall of the dwelling and facilitates the walkout basement design. Development Engineering staff are of the opinion the reduced west interior side yard setback to the retaining wall off the rear of the dwelling is adequate and necessary to ensure the structural integrity of the proposed walkout/walkup basement design. The retaining wall will present no mass to the abutting neighbour to the west, 43 Hillside Drive. Variance 5, is requested with respect to an increase of the maximum driveway width of 10.67 m from 9.0m. The variance is requested for the widest point of the driveway located in front of the proposed 3-car garage. The remainder of the driveway is proposed to be 6 m in width which exceeds compliance.

In support of the application, the Owner submitted a Tree Protection Plan and Arborist Report, prepared by Tree Doctors Professional Tree Care, last revised January 12, 2024. The Forestry Department has confirmed that a Private Tree Removal Construction Permit has already been issued to facilitate the proposed works.

Cultural Heritage Staff have noted that the Subject Lands may have some archaeological potential, as such the following Standard Archaeological advisory comment applies in case of accidental discovery of deeply buried archaeological sites:

- i. Should archaeological resources be found on the property during construction activities, all work must cease and both the Ontario Ministry of Heritage, Tourism, Sport and Culture Industries and the City of Vaughan's Planning Department shall be notified immediately.
- ii. In the event that human remains are encountered during construction activities, the proponent must immediately cease all construction activities. The proponent shall contact the York Regional Police Department, the Regional Coroner and the Registrar of the Cemeteries Regulation Unit of the Ministry of Consumer and Business Services.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None.

Comments Prepared by:

Alyssa Pangilinan, Planner 1
David Harding, Senior Planner

Date: July 25th 2024

Attention: **Christine Vigneault**

RE:

File No.: **A124-24**

Related Files:

Applicant HSK Design Inc.

Location 39 Hillside Avenue



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

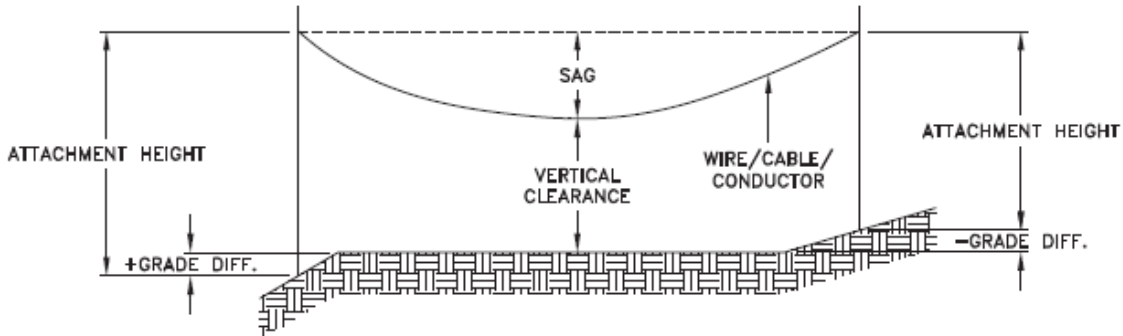
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

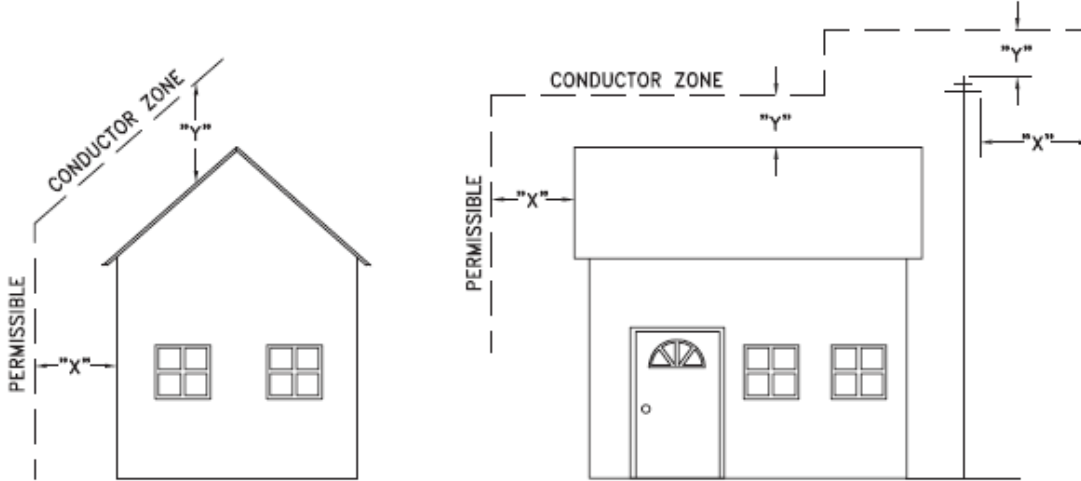
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

From: [Cameron McDonald](#)
To: [Committee of Adjustment](#)
Subject: [External] RE: A124/24 (39 Hillside Avenue) – REQUEST FOR COMMENTS (VAUGHAN)
Date: Tuesday, July 23, 2024 3:56:04 PM
Attachments: [image002.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good afternoon,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from TRCA.

Based on the above, we have no comments/requirements.

Regards,

Cameron McDonald

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:(437)880-1925)

E: cameron.mcdonald@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



From: [Development Services](#)
To: [Christine Vigneault](#)
Cc: [Committee of Adjustment](#)
Subject: [External] RE: A124/24 (39 Hillside Avenue) – REQUEST FOR COMMENTS (VAUGHAN)
Date: Tuesday, August 20, 2024 10:01:12 AM
Attachments: [image001.png](#)
[image003.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hi Christine,

The Regional Municipality of York has completed its review of the minor variance application – A124/24 (39 Hillside Avenue) and has no comment.

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Planning | Economic and Development Services Branch | Corporate Services Department

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

SCHEDULE D: BACKGROUND

Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
A121/22	Approved by COA

NOTICE OF DECISION
MINOR VARIANCE APPLICATION A121/22
 Section 45 of the Planning Act, R.S.O, 1990, c.P.13

DATE OF HEARING:	Thursday, November 17, 2022
APPLICANT:	Li Zhu
AGENT:	Serouj Kaloustian
PROPERTY:	39 Hillside Avenue, Concord
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a proposed single family dwelling, retaining wall and increased driveway width.

The following variances are being requested from the City's Zoning By-law:

The subject lands are zoned R1E(EN) – First Density Residential Zone (Established Neighbourhood) under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	For any proposed or new replacement dwelling that exceeds the existing height, and is greater than 9.5 m in height, the minimum interior side yard shall be existing interior side yard: in this case, 2.23 metres on the west side, and 4.37 metres on the east side. [4.5 2.b.]	To permit a minimum interior side yard of 2.11 metres on the west side, and 2.68 metres on the east side.
2	The maximum permitted building height is 8.5 metres. [4.5 1.b.]	To permit a maximum height of 9.61 metres.
3	A retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall. [4.13, Table 4-1]	To permit a retaining wall of 2.83 metres in height to be setback 2.41 metres from the west interior side lot line.
4	The maximum driveway width of a driveway shall be 9.0 metres. [6.7.3, Table 6-11]	To permit a maximum driveway width of 13.41 metres.
5	The maximum permitted lot coverage is 20%. [7.2.2, Table 7-3]	To permit a maximum lot coverage of 25.57%.
6	The maximum permitted encroachment of access stairs is 0.3 metres into the required interior side yard. [Table 4-1]	To permit access stairs to encroach a maximum of 1.37 metres into the required interior side yard.
7	The maximum permitted encroachment of a balcony is 3.0 metres to project from the main wall. [Table 4-1]	To permit a balcony to encroach a maximum of 3.35 metres from the main wall.

The subject lands are zoned R1V – Old Village Residential Zone under Zoning By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
8	The maximum permitted lot coverage is 20%. [4.1.9, Schedule A]	To permit a maximum lot coverage of 24.26%.
9	The maximum permitted building height is 9.5 metres. [4.1.9, Schedule A]	To permit a maximum building height of 9.61 metres.

Zoning By-law 1-88		Variance requested
10	A retaining wall which exceeds one (1) metre in height must be set back from the nearest property line a distance equal to its height. [4.1.1 j)]	To permit a retaining wall of 2.83 metres in height to be setback 2.41 metres from the west interior side lot line.
11	The maximum permitted width of the driveway located between a lot line abutting a street and a garage or dwelling wall in either front or exterior side yards is 9.0 metres. [4.1.4 f) v)]	To permit a maximum driveway width of 13.41 metres.

Having regard to the requirements of Section 45 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, including the written and oral submissions related to the application, it is the decision of the Committee:

THAT Application No. **A121/22** for 39 Hillside Ave Concord ON L4K 1W9 be **APPROVED**, in accordance with the drawings and plans submitted with the application and subject to the following conditions:

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
<p>All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.</p> <p>It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart below for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.</p>		
1	Development Engineering ian.reynolds@vaughan.ca	The Owner/applicant shall submit a revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.
2	Parks, Forestry and Horticulture Operations andrew.swedlo@vaughan.ca	Applicant shall apply for a tree removal permit through the forestry division

REASONS:

This application is approved, as it is the opinion of the Committee that, with the above noted conditions of approval, this application meets all four tests under Section 45(1) of the Planning Act:

1. The general intent and purpose of the by-law will be maintained.
2. The general intent and purpose of the official plan will be maintained.
3. The requested variance(s) is/are acceptable for the appropriate development of the subject lands.
4. The requested variance(s) is/are minor in nature.

PUBLIC WRITTEN & ORAL SUBMISSIONS

Public correspondence considered by the Committee of Adjustment in the making of this decision.

WRITTEN SUBMISSIONS:

Name	Address	Date Received (mm/dd/yyyy)	Summary
Cathy Ferlisi	President Ratepayer Association	06/14/2022	Letter of objection
Alfredo & Josephine Mastrodicasa	43 Hillside Ave	06/21/2022	Letter of objection
Alfredo & Josephine Mastrodicasa	43 Hillside Ave	11/15/2022	Letter of objection
Sandra Agostino	Not provided	11/16/2022	Letter of objection
Cathy Ferlisi	President Ratepayer Association	11/15/2022	Letter of objection

ORAL SUBMISSIONS:

Name	Address	Submission (Hearing) Date (mm/dd/yyyy)	Summary
Josephine Mastrodicasa	43 Hillside Ave	11/17/2022	Spoke in Opposition

In accordance with Procedural By-law 069-2019, public written submissions on an Application shall only be received by the Secretary Treasurer until **noon** on the last business day prior to the day of the scheduled Meeting.

WRITTEN SUBMISSIONS RECEIVED PAST DEADLINE:

Name	Address	Date Received (mm/dd/yyyy)	Summary
None			

IMPORTANT INFORMATION

Making any changes to your proposal/development after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings attached to this decision.

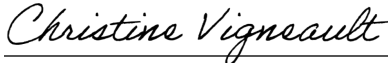
A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

MEMBERS PRESENT WHO CONCUR IN THIS DECISION:

<i>H. Zheng</i>	<i>A. Perrella</i>	<i>R. Buckler</i>
H. Zheng Member	A. Perrella Chair	R. Buckler Member
<i>S. Kerwin</i>		<i>A. Antinucci</i>
S. Kerwin Vice Chair		A. Antinucci Member

DATE OF HEARING:	Thursday, November 17, 2022
DATE OF NOTICE:	November 24, 2022
LAST DAY FOR *APPEAL: *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	December 7, 2022 4:30 p.m.
CERTIFICATION: I hereby certify that this is a true copy of the decision of the City of Vaughan’s Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application.  _____ Christine Vigneault Manager Development Services & Secretary Treasurer to the Committee of Adjustment	

Appealing to The Ontario Land Tribunal
 The *Planning Act*, R.S.O. 1990, as amended, Section 45

The applicant, the Minister or any other person or public body who has an interest in the matter may **within 20 days of the making of the decision** appeal to the Ontario Land Tribunal (OLT) against the decision of the Committee by filing with the Secretary-Treasurer of the Committee a notice of appeal setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the Secretary-Treasurer of the fee prescribed by the Tribunal under the *Ontario Land Tribunal Act*.

A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

When **no appeal is lodged** within twenty days after the giving of notice the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

PLEASE NOTE: Please notify the Secretary Treasurer by email at cofa@vaughan.ca that you will be filing an appeal and mail or courier appeals and prescribed fees to:

Office of the City Clerk - Committee of Adjustment
 2141 Major Mackenzie Drive
 Vaughan Ontario, L6A 1T1

If you have questions regarding the appeal process, please email cofa@vaughan.ca

Appeal Fees & Forms

ONTARIO LAND TRIBUNAL (OLT): The OLT appeal fee is \$400 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The OLT Appeal Fee must be paid by certified cheque or money order payable to the “Minister of Finance”. OLT appeals must be filed with the Secretary Treasurer, City of Vaughan.

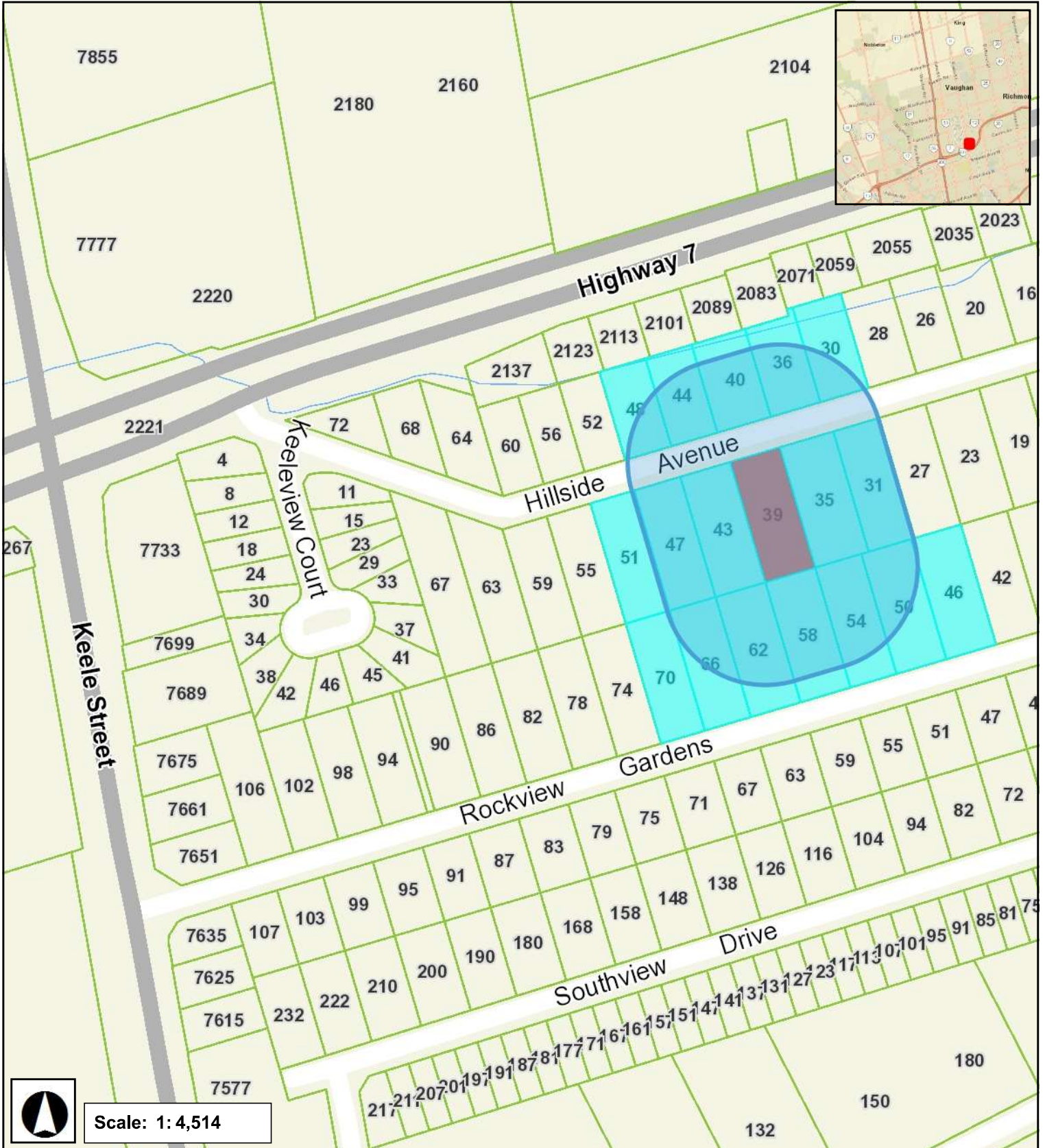
City of Vaughan OLT Processing Fee: \$892.00 per application

*Please note that all fees are subject to change.



LOCATION MAP - A121/22

39 HILLSIDE AVENUE, CONCORD



A121/22

PLANS PREPARED BY APPLICANT

RECEIVED

October 7, 2022

Committee of Adjustment

Address 39 Hillside Ave, Concord, ON L4K 1W9

Lot Number PART 1 OF LOT 30

Plan Number 2468

Zoning Type R1V

DESCRIPTION	ALLOWED	PROPOSED
Lot Area	Min. 845 m ²	2603.97 m ²
Lot Coverage	MAX. 20% (520.79 m ²)	SEE SITEPLAN

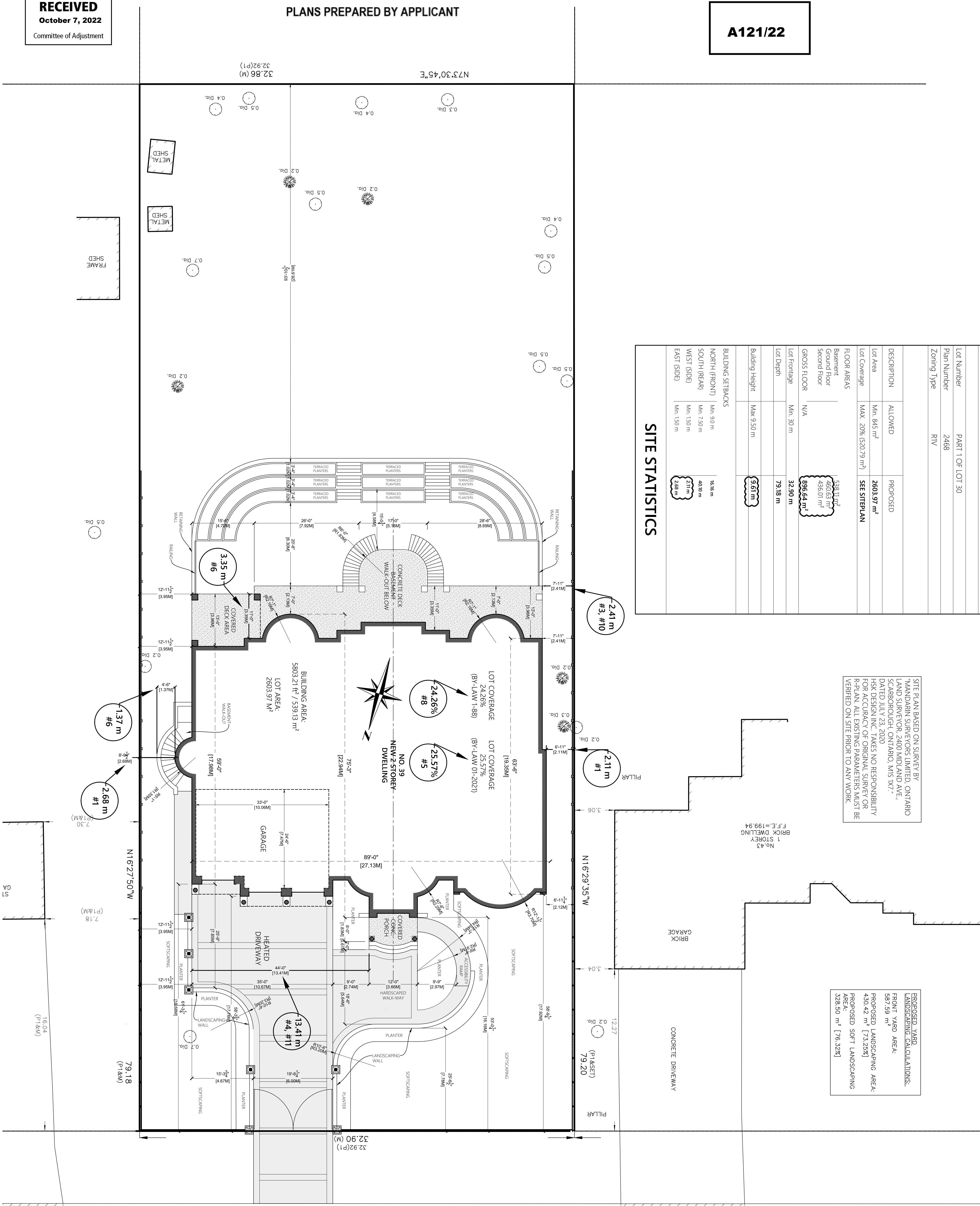
FLOOR AREAS	ALLOWED	PROPOSED
Basement		538.11 m ²
Ground Floor		436.01 m ²
Second Floor		896.64 m ²
GROSS FLOOR	N/A	1870.76 m ²
Lot Footage	Min. 30 m	32.90 m
Lot Depth		79.18 m
Building Height	Max. 9.50 m	9.01 m

BUILDING SETBACKS	ALLOWED	PROPOSED
NORTH (FRONT)	Min. 9.0 m	16.16 m
SOUTH (REAR)	Min. 7.50 m	40.10 m
WEST (SIDE)	Min. 1.50 m	2.71 m
EAST (SIDE)	Min. 1.50 m	2.88 m

SITE STATISTICS

SITE PLAN BASED ON SURVEY BY MANDARIN SURVEYORS LIMITED, ONTARIO LAND SURVEYOR 2400 MIDLAND AVE., SCARBOROUGH, ONTARIO, M1S 1X7. DATED JULY 23, 2020. HSK DESIGN INC. TAKES NO RESPONSIBILITY FOR ACCURACY OF ORIGINAL SURVEY OR R-PLAN. ALL EXISTING PARAMETERS MUST BE VERIFIED ON SITE PRIOR TO ANY WORK.

PROPOSED YARD LANDSCAPING CALCULATIONS:
FRONT YARD AREA: 587.59 m²
PROPOSED LANDSCAPING AREA: 430.42 m² [73.29%]
PROPOSED SOFT LANDSCAPING AREA: 328.50 m² [76.32%]



HILLSIDE AVENUE

1800A Avenue Road, Toronto, ON M5M-3Z1
tel: 416-781-3156 w.e.b.: w.w.hskdesign.ca



THIS DRAWING IS NOT TO BE SCALED.

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NO.	DATE	REVISION / ISSUED
1	DEC 26, 2020	Issued by Owner Review / Schematic Design
2	JAN 15, 2021	Issued by Owner Review / Schematic Design
3	FEB 16, 2021	Issued by Owner Review / Schematic Design
4	MAR 22, 2021	Issued by Owner Review / Schematic Design
5	AUG 3, 2021	Issued by City Review / ZCC
6	SEP 9, 2021	Issued by City Review / DEMOLITION PERMIT
7	MAY 20, 2022	Issued by City Review / C/O F.A
8	AUG 3, 2022	Issued by City Review / C/O F.A
9	OCT 7, 2022	Issued by City Review / C/O F.A

PROJECT: **Saatdijan Residence**
Committee of Adjustment

ADDRESS: 39 Hillside Ave, Concord, ON L4K 1W9

PILOT DATE: OCT 7, 2022

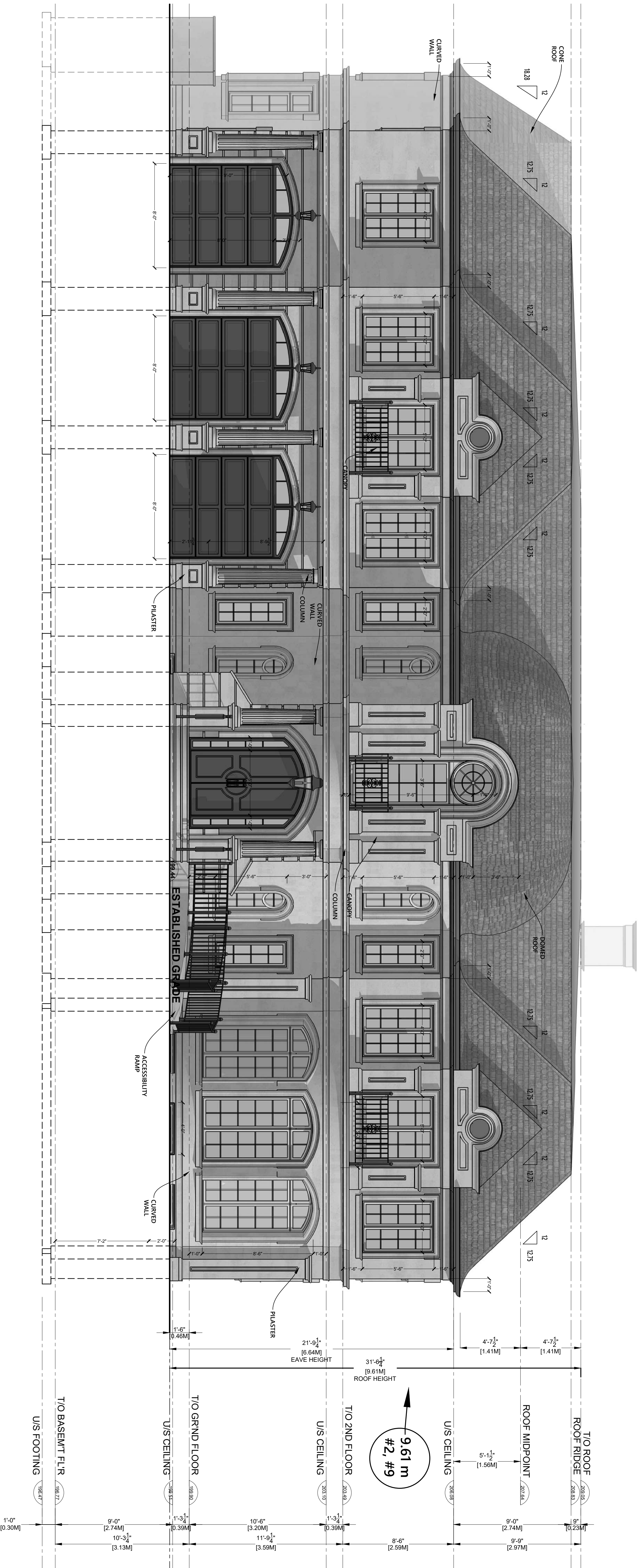
DRAWING NAME: **DEMOLITION**

DRAWING NO: **SITEPLAN**

DRAWING SCALE: $\frac{3}{32}$ " = 1' - 0"

DRAWING NO: **A 1**

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NO.	DATE	REVISION / ISSUED
3	OCT 7, 2022	Issued by City Review / C of A
3	AUG 3, 2022	Issued by City Review / C of A
7	MAY 20, 2022	Issued by City Review / C of A
6	SEP 9, 2021	Issued by City Review / DEMOLITION PERMIT
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1	DEC 26, 2020	Issued by Owner Review / Schematic Design
NO.	DATE	REVISION / ISSUED

PROJECT:
Saatjian Residence
Committee of Adjustment

ADDRESS:
371 Hillside Ave, Concord, ON L4K 1W9

PLOT DATE:
OCT 7, 2022

DRAWING NAME:
FRONT ELEVATION
(NORTH)

DRAWING SCALE: $\frac{1}{4}" = 1' - 0"$

DRAWING NO: **A 3.1**