

ITEM: 6.9	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A145/24
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Report Date: October 25, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Forestry	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
By-law & Compliance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
<p>All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.</p>				
Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
None				

BACKGROUND (SCHEDULE D, IF REQUIRED)	
<p>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</p>	
Application No. (City File)	Application Description
A315/17	(i.e. Minor Variance Application; Approved by COA / OLT) Minor Variance Application; Approved by COA

ADJOURNMENT HISTORY	
<p>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</p>	
Hearing Date	Reason for Adjournment (to be obtained from NOD_ADJ)
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A145/24

CITY WARD #:	5
APPLICANT:	Neera & Ashok Gupta
AGENT:	Wajid Mansuri, Gama Engineering Inc.
PROPERTY:	10 Thornhill Avenue, Thornhill
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a proposed cabana/pool house.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R1E (EN), First Density Residential Zone (Established Neighbourhood), and subject to Exception 14.403 under Zoning Bylaw 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	A maximum lot coverage of 20% is permitted [Section 3.0 and Section 7.2.2, Table 7-3]	To permit a maximum lot coverage of 25%.

HEARING INFORMATION

DATE OF MEETING: Wednesday, October 30, 2024
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.

INTRODUCTION

That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	October 17, 2024
Date Applicant Confirmed Posting of Sign:	October 11, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	The existing building is exceeding the required coverage
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
None	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

Due to the size of the proposed pool house on the subject property, which measures 31.4 m², the Owner/Applicant must acquire a Lot Grading Permit from the Development Inspection and Lot Grading Division of the City's Development Engineering Department. It's important to note that any in-ground structure exceeding 10 m² necessitates a Grading Permit. Once the Grading Permit is obtained, please reach out to the Development Engineering Reviewer to clear the Condition imposed on this application. The Owner / Applicant shall ensure that the installation of the proposed pool house does not negatively impact neighbours due to surface water runoff. The backyard should be properly graded, ensuring that surface water from the pool area and poll house do not flow onto adjacent lots. The Owner/Applicant's proposed work involves increasing the Lot Coverage on the subject property by 20%. This addition of hardscape could potentially affect the City's Storm Water management system. Development Engineering highly recommends that the Owner/Applicant incorporate Low-Impact Development (LID) measures, such as bioswales, permeable pavers, rain gardens, rain barrels, etc., to minimize the impact on the stormwater system. If additional information is needed, please reach out to the Development Engineering COA reviewer. The Development Engineering Department does not object to the Minor Variance application A145/24, subject to the following condition(s):

Development Engineering Recommended Conditions of Approval:	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: https://www.vaughan.ca/about-city-vaughan/departments/development-engineering/permits to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca .
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PARKS, FORESTRY & HORTICULTURE (PFH)

Recommended condition of approval below:

PFH Recommended Conditions of Approval:	1. A Private Property Tree Removal & Protection Permit (Construction/Infill) is required for the
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PARKS, FORESTRY & HORTICULTURE (PFH)

	<p>removal/injury to trees (over 20cm DBH) on the subject property or municipally owned trees of any size and trees located within 6 meters of the subject property, as per By-Law 052-2018.</p> <ol style="list-style-type: none"> 2. MLA 107A or ULA 110A Heavy Duty Tree protection fencing (plywood) is to be installed prior to construction and is to remain until construction is completed, as per By-Law 052-2018. 3. MLA 107B or ULA 110B Light Duty Tree protection fencing (Snow Fence) may be used where traffic sight lines will be affected within the road allowance, as per By-Law 052-2018. <p>Note: No construction activity, grade changes, surface treatment, excavations of any kind or material storage is permitted within the Tree Protection Zone.</p>
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DEVELOPMENT FINANCE

No comment no concerns.	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments.	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC)

No comments received to date.	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT

No comments received to date.	
Fire Department Recommended Conditions of Approval:	None

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Engineering Rex.bondad@vaughan.ca	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: https://www.vaughan.ca/about-city-vaughan/departments/development-engineering/permits to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca .
2	Parks, Forestry and Horticulture Operations Kari.sthyrhansen@vaughan.ca	<ol style="list-style-type: none"> 1. A Private Property Tree Removal & Protection Permit (Construction/Infill) is required for the removal/injury to trees (over 20cm DBH) on the subject property or municipally owned trees of any size and trees located within 6 meters of the subject property, as per By-Law 052-2018. 2. MLA 107A or ULA 110A Heavy Duty Tree protection fencing (plywood) is to be installed prior to construction and is to

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

		<p>remain until construction is completed, as per By-Law 052-2018.</p> <p>3. MLA 107B or ULA 110B Light Duty Tree protection fencing (Snow Fence) may be used where traffic sight lines will be affected within the road allowance, as per By-Law 052-2018.</p> <p>Note: No construction activity, grade changes, surface treatment, excavations of any kind or material storage is permitted within the Tree Protection Zone.</p>
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All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

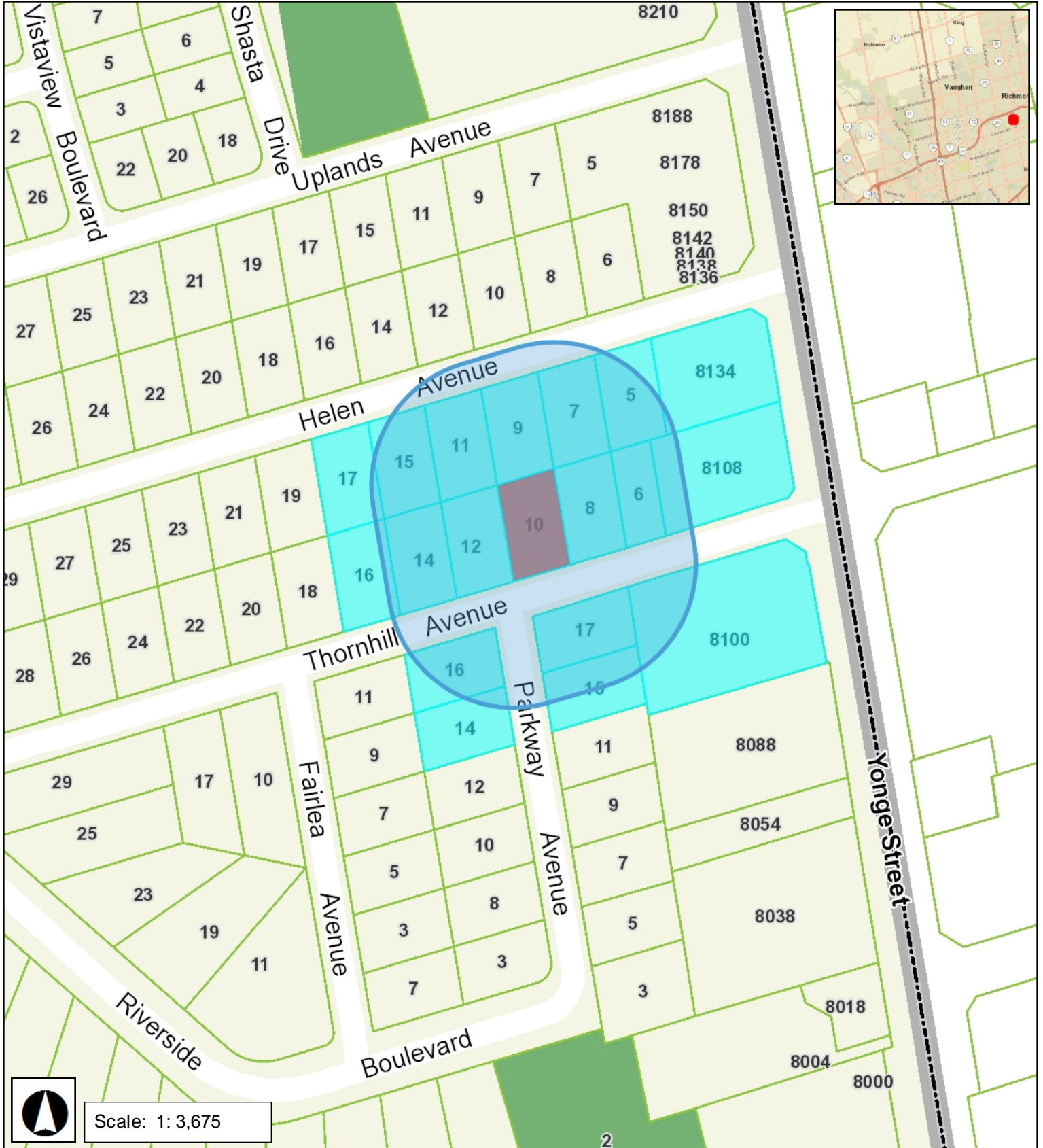
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

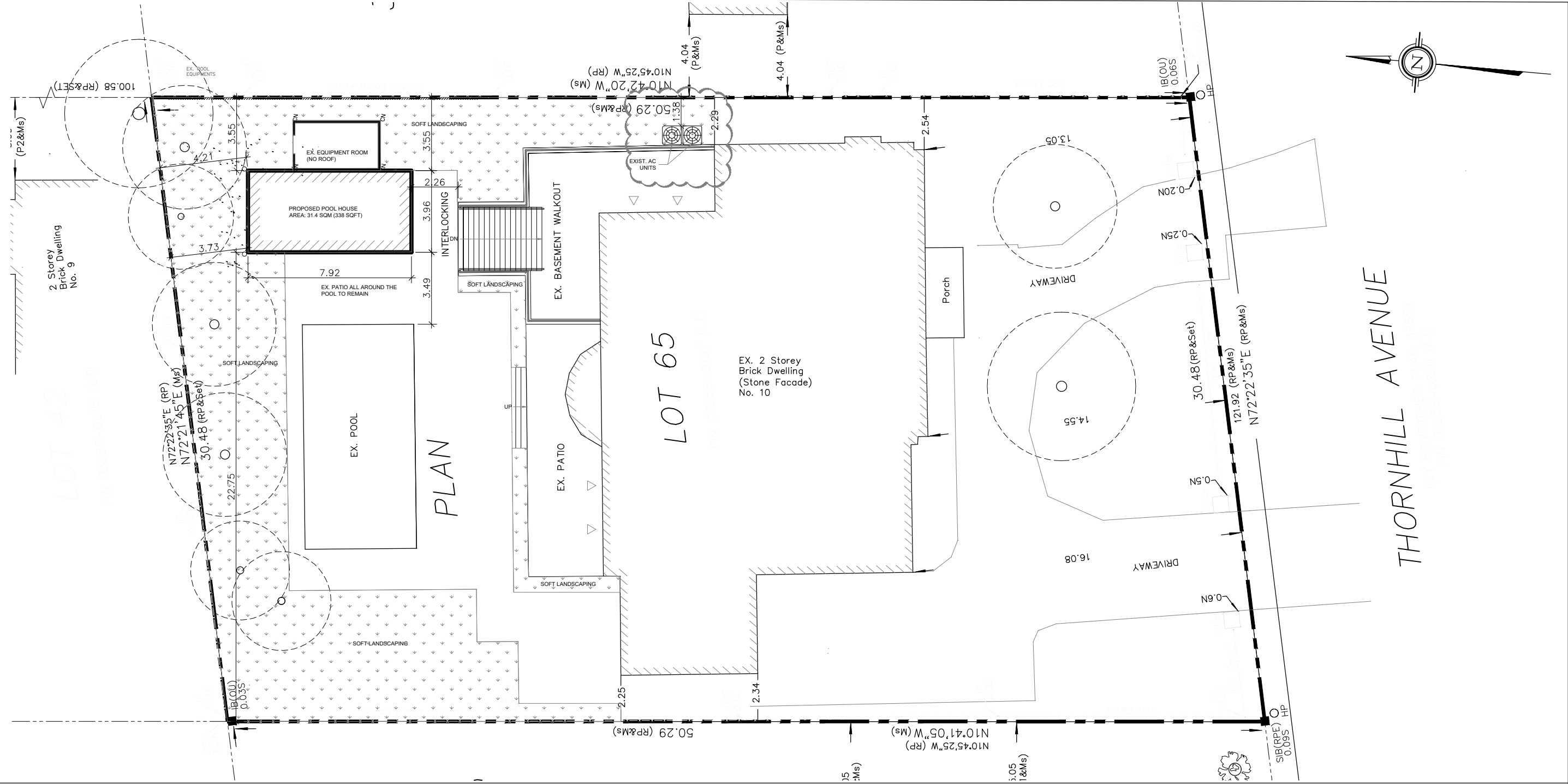
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS





SITE PLAN
SCALE: 1 = 200

REV.5 : ISSUED FOR C OF A

PART 2
DESCRIPTION OF LAND
LOT 65, REGISTERED PLAN 3765
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK

LEGEND

- DENOTES FOUND BAR
- DENOTES PLANTED BAR
- SIB DENOTES STANDARD IRON BAR
- IB DENOTES IRON BAR
- Ms DENOTES MEASURED
- WT DENOTES WITNESS
- OU DENOTES ORIGIN UNKNOWN
- (RPE) DENOTES RADY-PENTEK & EDWARD SURVEYING LTD., OLS
- RP DENOTES REGISTERED PLAN 3765
- P DENOTES SURVEYOR'S REAL PROPERTY REPORT BY SALNA SYRVEYING, DATED AUGUST 8, 2011
- P1 DENOTES REGISTERED PLAN 65R-33446
- P2 DENOTES SURVEYOR'S REAL PROPERTY REPORT BY T.A. SENCUS, DATED NOVEMBER 20, 2009
- IF DATED IRON FENCE
- DBF DATED DOUBLE BOARD FENCE
- HP DATED HYDRO POLE

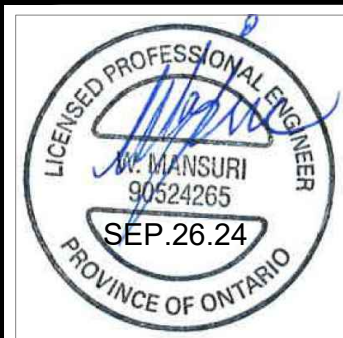
zoning	Lot No:	Plan No:	Lot Area			
R1E	-	-	16397.53sq.ft. (1523.33m ²)			
desc.	Existing	Addition	Total	%	Required	%
lot coverage(m ²)	348.21	31.40	379.61	25	350.37	23
height(m)	-	3.00	3.00		3.00	
rear yard area (m ²)		533.75				
rear yard soft landscaping (533.75m ² -135m ² =398.75m ²)	284.11	-6.93	277.18	69.5%	239.25	60%

25%, #1

RECEIVED
By russog at 10:23 am, Sep 26, 2024

GAMA Engineering Inc.
8611 Weston Road, Suite 35B - Vaughan, Ontario - L4L 9P1
Tel: 905-264-9295 www.gamaeng-inc.com

SP
SHEET NO.



SHEET TITLE:
SITE PLAN

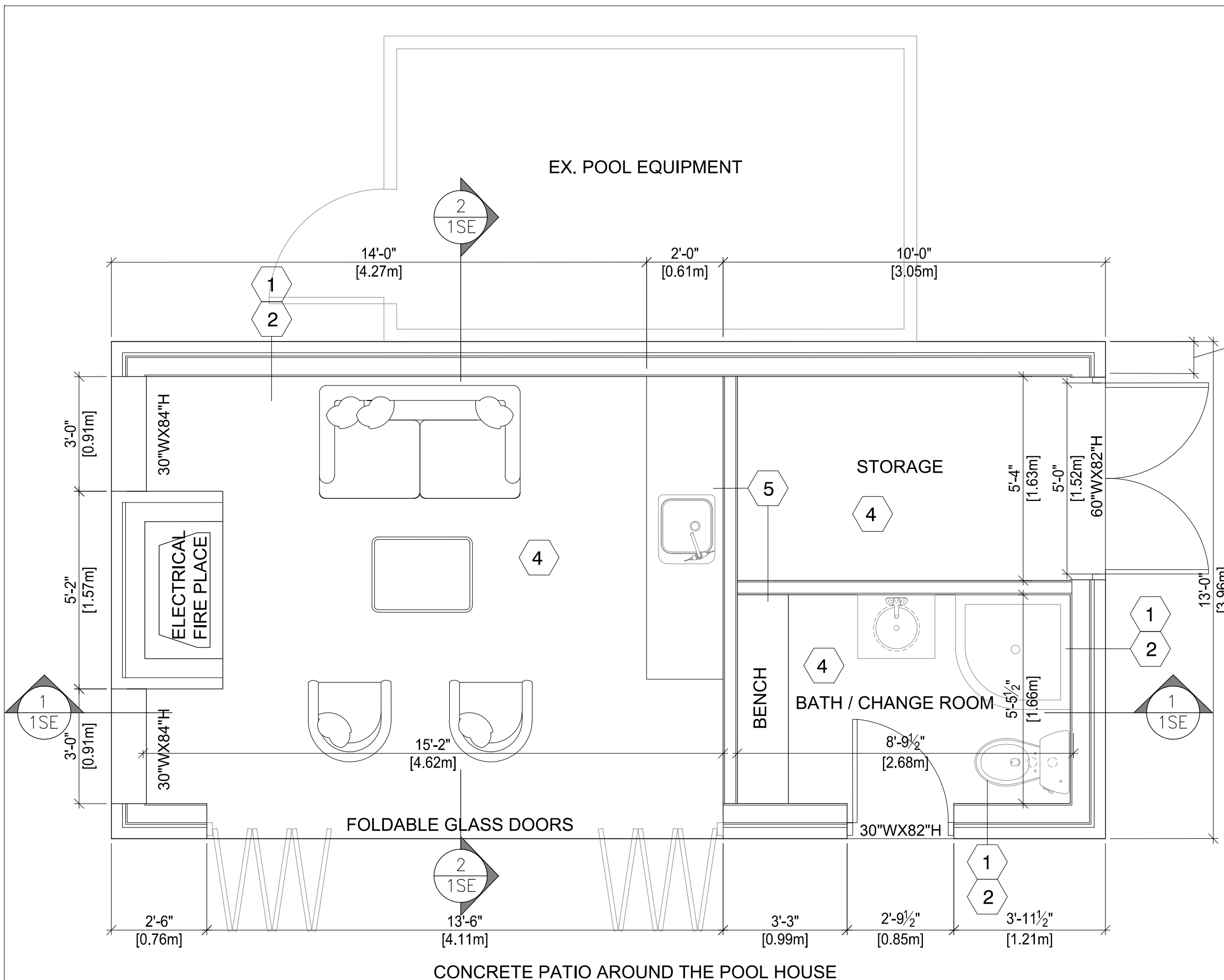
PROJECT:
 NEW CONSTRUCTION
 RENOVATION
 ADDITION

ADDRESS
 STREET : 10 Thornhill Ave
 CITY : Thornhill, ON L4J 1J4
 PROVINCE : ONTARIO

OWNER: WALLY GUPTA
SCALE: AS SHOWN

DATE: JUL. 12, 2024

PLEASE SEE DRAWING 1CS FOR CONSTRUCTION SPECIFICATION



FLOOR PLAN
SCALE: 3/8" = 1' - 0"

REV.3 : ISSUED FOR COA

GAMA
Engineering Inc.
8611 Weston Road, Suite 35B - Vaughan, Ontario - L4L 9P1
Tel: 905-264-9295 www.gamaeng-inc.com

1P
SHEET NO.



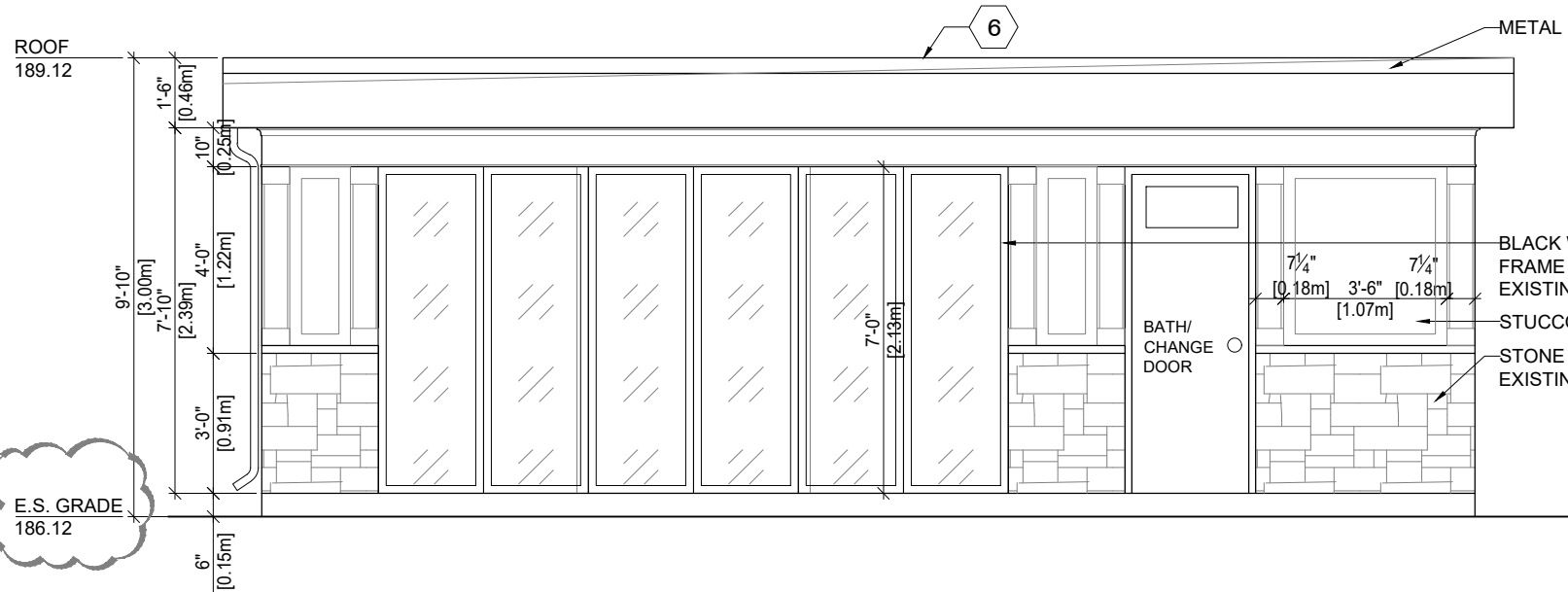
SHEET TITLE :
PROPOSED POOL HOUSE PLAN

PROJECT :
 NEW CONSTRUCTION RENOVATION ADDITION

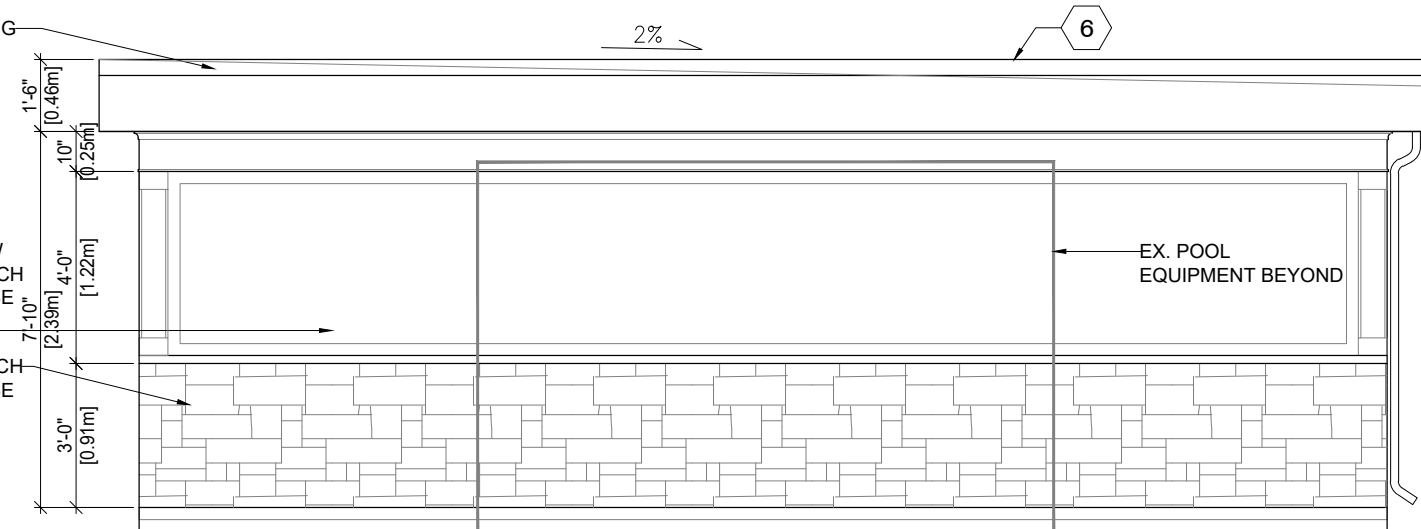
ADDRESS :
STREET : 10 Thornhill Ave
CITY : Thornhill, ON L4J 1J4
PROVINCE : ONTARIO

OWNER : -
DATE : JUL. 12 , 2024

SCALE :
as shown



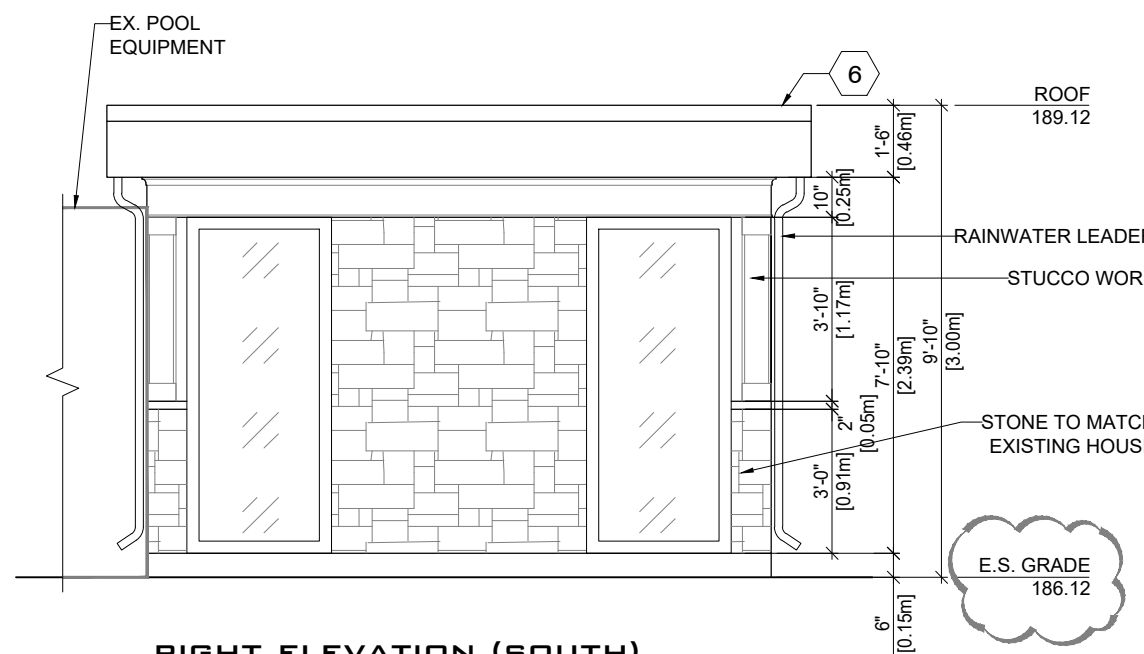
FRONT ELEVATION (POOL FACING-WEST)
SCALE: 1/4" = 1' - 0"



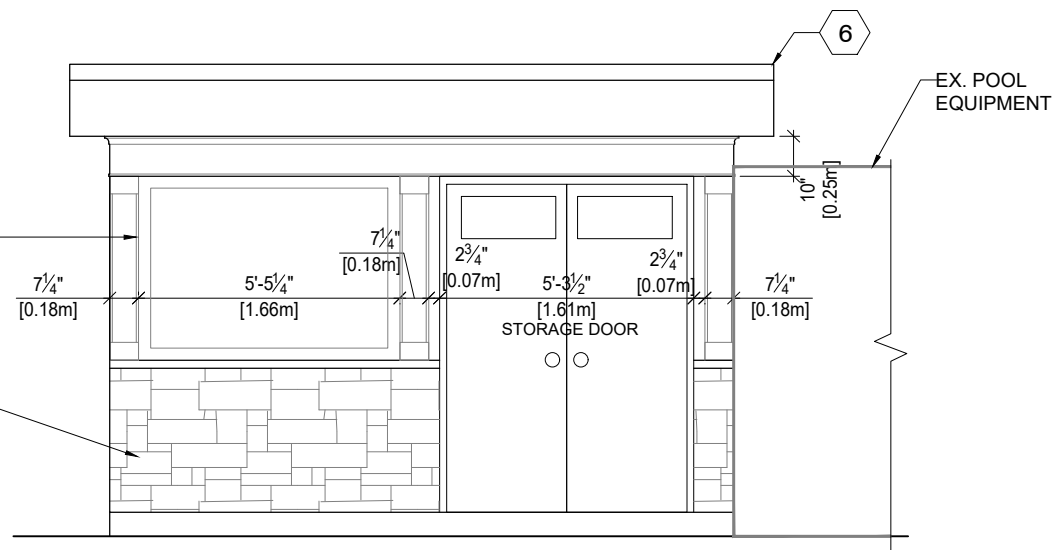
REAR ELEVATION (EAST)
SCALE: 1/4" = 1' - 0"

PLEASE SEE DRAWING 1CS FOR CONSTRUCTION SPECIFICATION

IMPORTANT NOTE:
ALL MATERIALS TO MATCH EX. HOUSE FINISHES & INSULATIONS.



RIGHT ELEVATION (SOUTH)
SCALE: 1/4" = 1' - 0"



LEFT ELEVATION (NOUTH)
SCALE: 1/4" = 1' - 0"

REV.3 : ISSUED FOR COA

GAMA Engineering Inc.
8611 Weston Road, Suite 35B - Vaughan, Ontario - L4L 9P1
Tel: 905-264-9295 www.gamaeng-inc.com

1E
SHEET NO.

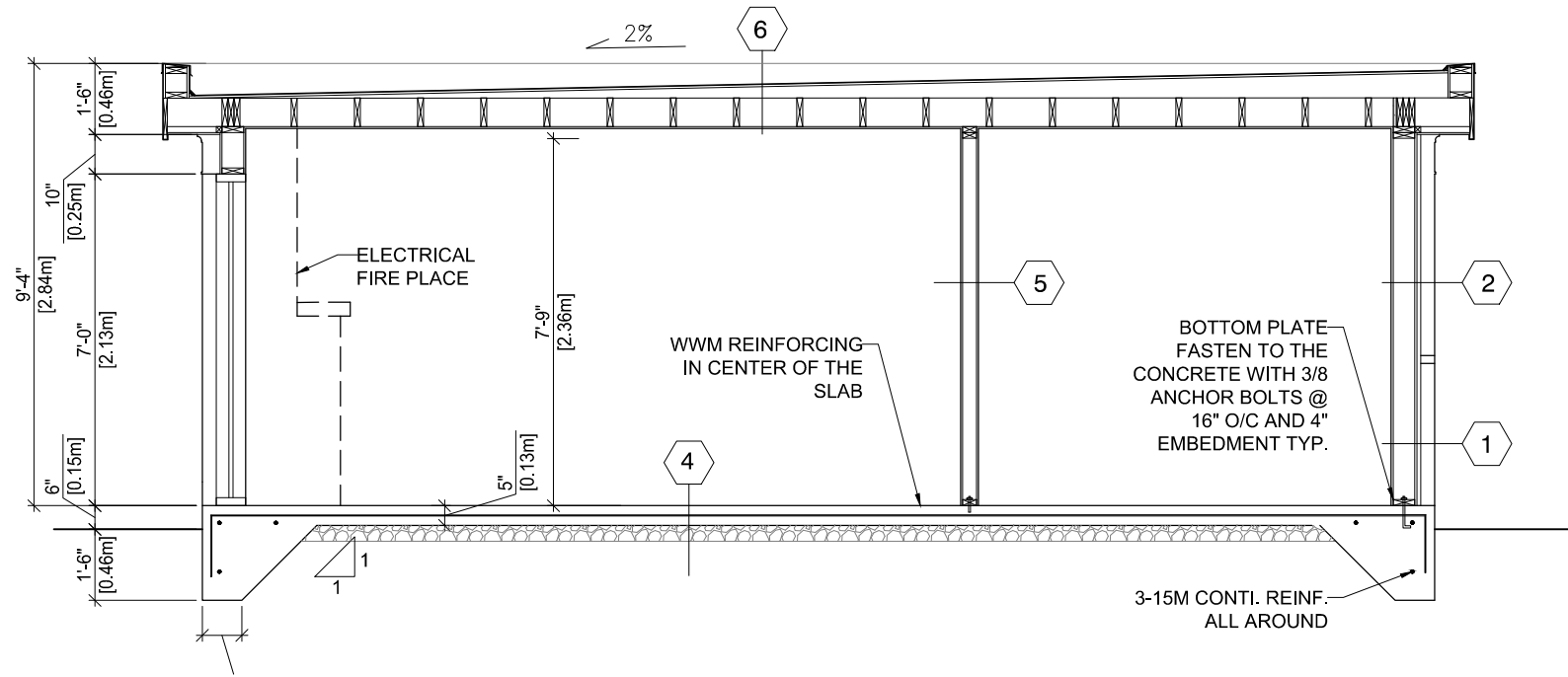
SHEET TITLE :
POOL HOUSE ELEVATION

PROJECT :
 NEW CONSTRUCTION RENOVATION ADDITION

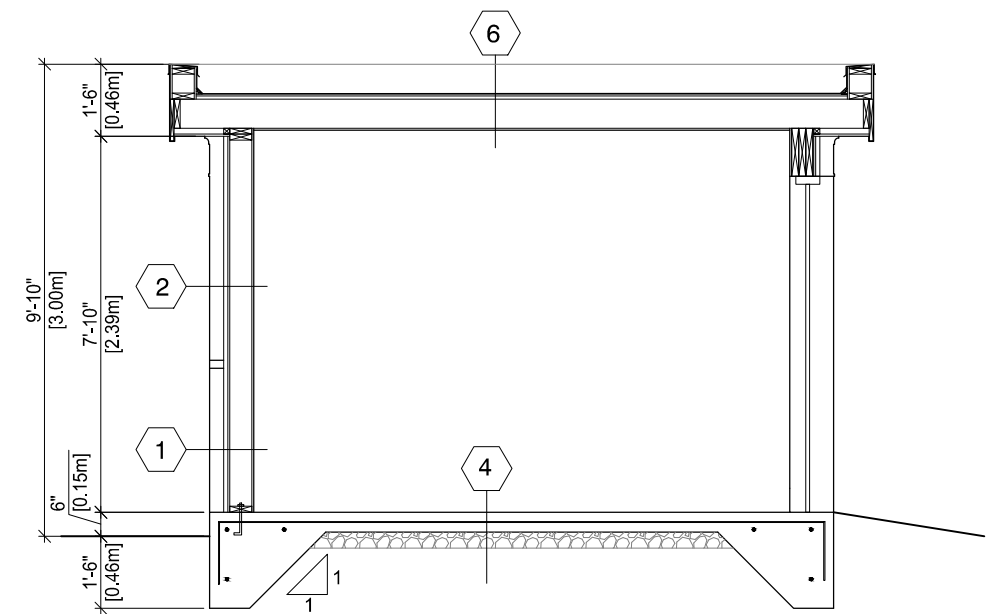
ADDRESS :
STREET : 10 Thornhill Ave
CITY : Thornhill, ON L4J 1J4
PROVINCE : ONTARIO

OWNER : - SCALE :
as shown

DATE : JUL. 12, 2024



SECTION 1
SCALE: 1/4" = 1' - 0"



SECTION 2
SCALE: 1/4" = 1' - 0"

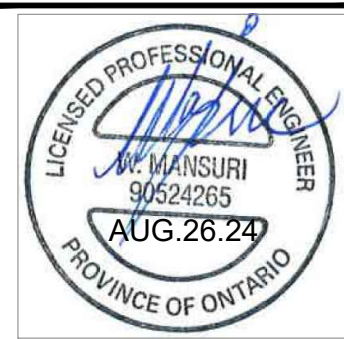


PLEASE SEE DRAWING 1CS FOR CONSTRUCTION SPECIFICATION

REV.3 : ISSUED FOR COA

GAMA
Engineering Inc.
8611 Weston Road, Suite 35B - Vaughan, Ontario - L4L 9P1
Tel: 905-264-9295 www.gamaeng-inc.com

1SE
SHEET NO.



SHEET TITLE :
PROPOSED POOL HOUSE SECTION

PROJECT :
 NEW CONSTRUCTION RENOVATION ADDITION

ADDRESS :
STREET : 10 Thornhill Ave
CITY : Thornhill, ON L4J 1J4
PROVINCE : ONTARIO

OWNER : -
DATE : JUL. 12, 2024

SCALE :
as shown

CONSTRUCTION SPECIFICATIONS

1 STONE VENEER WALL

3.5" STONE VENEER FINISH
 1" AIR SPACE
 GALVANIZED METAL TIES
 INSTALLED W/ GALVANIZED
 SPIRAL NAILS OR SCREWS
 32" O.C. HORIZ., 16" O.C. VERT.
 SHEETING PAPER, LAYERS
 TO OVERLAP EACH OTHER
 EXTERIOR TYPE SHEETING
 2" x 6" WOOD STUDS @ 16" (400mm) O.C. AS PER
 R 25 BATT INSUL. IN CONTINUOUS (OPTIONAL)
 CONTACT W/ EXTERIOR SHEETING
 CONTINUOUS AIR / VAPOUR BARRIER
 DOUBLE PLATE @ TOP
 SOLE PLATE @ BOTTOM (PRESSURE TREATED)
 INTERIOR WALL FINISH

2 STUCCO SYSTEM WALL

2"-3" EPS BASE, WITH
 MESH 2 LAYERS OF SCRATCH
 COAT 1 LAYER FINISH COAT
 GALVANIZED METAL TIES
 INSTALLED W/ GALVANIZED
 SPIRAL NAILS OR SCREWS
 32" O.C. HORIZ., 16" O.C. VERT.
 SHEETING PAPER, LAYERS
 TO OVERLAP EACH OTHER
 EXTERIOR TYPE SHEETING
 2" x 6" WOOD STUDS @ 16" (400mm) O.C. AS PER
 R 25 BATT INSUL. IN CONTINUOUS
 CONTACT W/ EXTERIOR SHEETING
 CONTINUOUS AIR / VAPOUR BARRIER
 DOUBLE PLATE @ TOP
 SOLE PLATE @ BOTTOM (PRESSURE TREATED)
 INTERIOR WALL FINISH

3 GRADE

SLOPE GRADE AWAY FROM
 BUILDING FACE

4 FLOOR SLAB

5" POURED CONCRETE SLAB
 32MPa @ 28 DAYS 5%-8% AIR
 ENTRAINMENT OPTIONAL WWM
 REINFORCING IN CENTER OF SLAB
 4" CRUSHED STONE BELOW

5 INTERIOR STUD PARTITION

1/2" DRYWALL FINISH BOTH SIDES OF
 2"x 4" WOOD STUDS @ 16" O/C
 2 TOP PLATES & 1 BOTTOM PLATE
 (PRESSURE TREATED)

6 ROOF CONSTRUCTION

PICHED ROOF: 25 YR. SELF SEALING ASPHALT SHINGLES
 TO MATCH EX. HOUSE
 ON 1/2" PLYWOOD SHEATHING ON APPROVED
 ENGINEERED ROOF TRUSSES W/ "H" CLOPS OR
 CONVENTIONAL FRAMING AS NOTED ON PLANS.
 R60-BATT INSUL. REQUIRED
 EAVES PROTECTION TO EXTEND FROM EDGE OF THE
 ROOF AND 6 mil AIR/VAPOUR BARRIER,
 MIN. 3'-0" UP ROOF SLOPE TO A LINE NOT LESS THAN 12"
 INSIDE THE INNER FACE OF THE EXTERIOR WALL.

FLAT ROOF: BITEC MODIFIED BITUMEN FIELD MEMBRANE
 WITH OPTIONAL SURFACING BASE SHEET OR MODIFIED
 BITUMEN BASE AS REQUIRED 1/2" EXT. GRADE PLYWD.
 SHEATHING FIRING PIECE. ROOF JOISTS AS NOTED ON
 PLANS.
 R31-INSUL. BATT
 6 MIL POLY VAPOUR BARRIER




ALUMINUM FASCIA, VENTED SOFFIT AND GUTTER C/W
 DOWN SPROUTS AS REQUIRED. ATTIC VENTILATION TO
 BE 1:300 OF INSULATED CEILING AREA WITH 50% AT
 VENTED SOFFITS/EAVES

IMPORTANT NOTE:
 PLEASE USE ONLY SPECIFICATION APPLICABLE TO THIS
 PROJECT. REPORT ANY DISCREPANCIES TO THE
 ARCHITECT/ENGINEER PRIOR TO CONSTRUCTION.

GENERAL NOTES

1. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. DO NOT SCALE DRAWINGS.
2. REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO DESIGN ENGINEER AS APPLICABLE.
3. USE ONLY LATEST REVISED DRAWINGS OR THOSE THAT ARE MARKED "ISSUED FOR CONSTRUCTION"
4. DESIGN AND CONSTRUCTION OF THIS PROJECT SHALL COMPLY WITH THE PROVINCIAL AND LOCAL BUILDING CODES LATEST EDITION.
5. ALL WORKS AND MATERIALS USED SHALL COMPLY AS REQUIRED BY THE NATIONAL AND APPLICABLE PROVINCIAL BUILDING CODE. LATEST EDITION.
6. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT DRAWINGS & SPECIFICATIONS.
7. ALL WOOD SHALL BE SPF #1 OR 2 AND PRESSURE TREATED
8. ALL METAL CONNECTOR SHALL BE HOT DIP GALVANIZED.
9. MINIMUM CONCRETE STRENGTH OF CONCRETE SHALL BE 32MPa AND 28 DAYS W/5% TO 8% AIR ENTRAINMENT.
11. CONCRETE SHALL BE CURED MINIMUM 48 HOURS BEFORE GROUTING AND PROCEEDING TO THE NEXT STAGE
12. EVERYTHING TO BE CONSIDERED EXISTING UNLESS SPECIFIED AS "NEW".
13. ALL EXISTING DIMENSIONS TO BE VERIFIED AT SITE.
14. ALL WORK TO BE DONE BY CONTRACTOR UNLESS NOTED OTHERWISE (INCLUDING ALL MECHANICAL & ELECTRICAL SERVICES)
15. OWNER SHALL PROVIDE AND PAY FOR GENERAL BLDG. PERMIT. ALL OTHER PERMITS, LICENSES/ INSPECTIONS SHALL BE PAID FOR BY TRADE REQUIRING SAME.
16. ALL WASTE TO BE REMOVED PROMPTLY FROM SITE.
17. CLOSE OFF & PROTECT EXISTING HOUSE DURING CONSTRUCTION AND MAINTAIN IN PLACE
18. MAKE GOOD ALL EXISTING FLOORS, WALLS, CEILINGS, STAIRS
19. CONCRETE FOOTINGS TO REST ON UNDISTURBED SOIL MIN (4'-0") BELOW FIN. GRADE.
20. TOP OF MASONRY FOUNDATION WALLS 2" SOLID UNDER JOISTS AND 8" SOLID
21. ALL FOUNDATION WALLS TO EXTEND MIN 6" ABOVE FIN. GRADE.
22. DOUBLE JOISTS UNDER ALL NON BEARING PARTITIONS PARALLEL TO JOISTS & TRIPLE JOISTS UNDER ALL BEARING PARTITIONS PARALLEL TO JOISTS. FRAME WITH DOUBLE JOISTS AROUND STAIRS AND OTHER OPENINGS IN THE FLOOR
23. USE PRESSURE TREATED CONSTRUCTION LUMBER GRADE ONLY
24. PROVIDE WINDOWS WITH STORM UNITS OR SEALED GLASS IN THERMAL BROKEN FRAMES.
25. ALL EXTERIOR DOORS TO BE PROVIDED WITH STORM DOORS OR INSULATING DOORS.

REV.3 : ISSUED FOR COA

 <p>GAMA Engineering Inc. 8611 Weston Road, Suite 35B - Vaughan, Ontario - L4L 9P1 Tel: 905-264-9295 www.gamaeng-inc.com</p>		
		
<p>SHEET TITLE : CONSTRUCTION SPECIFICATION</p> <p>PROJECT : <input checked="" type="checkbox"/> NEW CONSTRUCTION <input type="checkbox"/> RENOVATION <input type="checkbox"/> ADDITION</p> <p>ADDRESS STREET : 10 Thornhill Ave CITY : Thornhill, ON L4J 1J4 PROVINCE : ONTARIO</p> <p>OWNER : - SCALE : as shown</p> <p>DATE : JUL. 12, 2024</p>		

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: September 17th 2024

Attention: Christine Vigneault

RE:

File No.: A145-24

Related Files:

Applicant Wally Gupta

Location 10 Thornhill Avenue



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

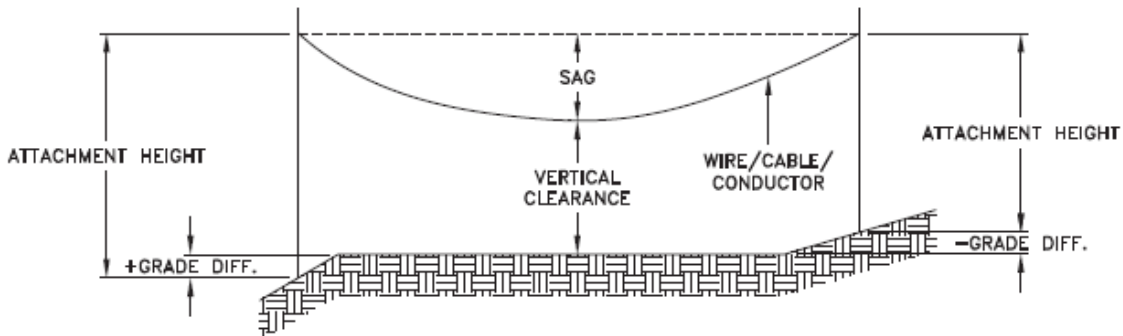
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

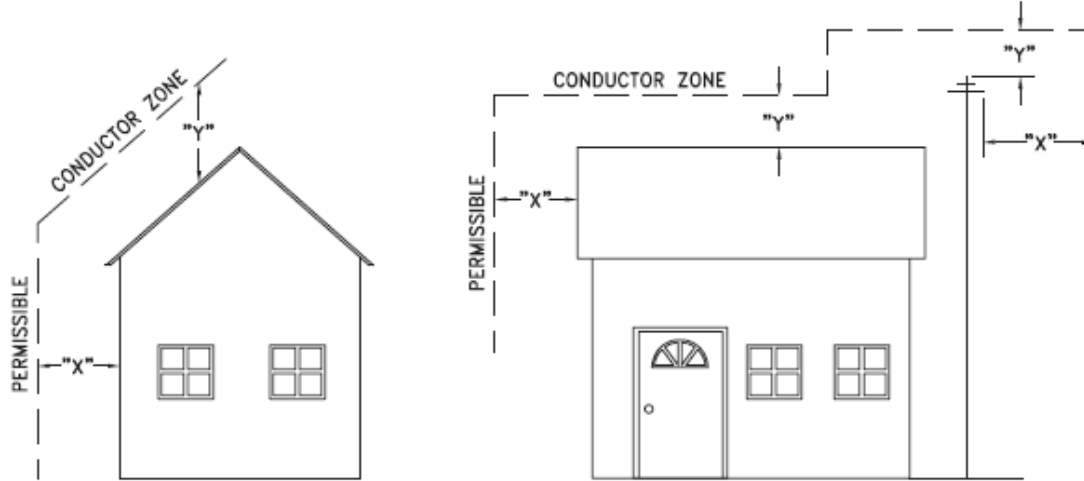
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Catherine Saluri, Building Standards Department
Date: September 26, 2024
Applicant: Wally Gupta
Location: 10 Thornhill Avenue
File No.(s): A145/24

Zoning Classification:

The subject lands are zoned R1E (EN), First Density Residential Zone (Established Neighbourhood), and subject to Exception 14.403 under Zoning Bylaw 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	A maximum lot coverage of 20% is permitted [Section 3.0 and Section 7.2.2, Table 7-3]	To permit a maximum lot coverage of 25%.

Staff Comments:

Other Comments:

General Comments	
1	The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).
2	For your information, A315/17 had approved a maximum lot coverage of 22.9% for the subject lands.
3	The existing equipment room, as shown in the location on the Site Plan, denotes that it does not have a roof. If a roof were to be proposed, it would be subject to a review of lot coverage and any other relevant sections of the zoning bylaw.
4	The applicant shall be advised that a maximum height of 3.0 metres is permitted from established grade to the top of a flat roof for a residential accessory structure (pool house). [Section 4.1.4.1, Section 3.0 Definitions, Height and Established Grade]
5	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

None

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: October 23, 2024
Name of Owners: Ashok and Neera Gupta
Location: 10 Thornhill Avenue
File No.(s): A145/24

Proposed Variance(s) (By-law 001-2021):

1. To permit a maximum lot coverage of 25%.

By-Law Requirement(s) (By-law 001-2021):

1. A maximum lot coverage of 20% is permitted.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owner is seeking relief to permit the construction of a cabana, labelled pool house on the submitted sketch plan, with the above noted variances.

The Development Planning Department has no objection to variance for the proposed increase to the lot coverage. On January 11, 2018, the Committee of Adjustment approved Minor Variance application, File A145/24, under By-law 1-88, to permit a maximum lot coverage of 22.9% for the property. In 2004, Vaughan City Council directed Development Planning staff to undertake a comprehensive study and review of the redevelopment occurring in certain established neighbourhoods, including the one the Subject Lands are within. The objective was to establish development criteria that balanced the evolution of neighbourhoods with existing built form and character. As a result of the report, a maximum 23% lot coverage for 2-storey detached dwellings was determined to be appropriate. The coverage relates to the enclosed space of and attached to the dwelling. Some additional lot coverage above the maximum for accessory structures and covered but unenclosed porches and decks may be considered through site specific analysis. The lot coverage of the existing two-storey dwelling meets the 23% lot coverage allowance of the study, and the additional 2% coverage pertains to the proposed cabana near the pool. The proposed cabana will be located in the northeast corner of the property. The approximately 31.4 m² cabana will be enclosed. A majority of the west wall is proposed to contain foldable glass doors, which allows the structure to be partially open seasonally. The cabana, which would have a flat-roof design, proposes a modest height of 3 m. Due to the modest size and design of the cabana, along with the proposed spatial separation between it and the abutting lot lines, the cabana is not anticipated to have any adverse massing impacts on the surrounding properties. The City's Forestry Department has identified three (3) trees which require hoarding protection prior to the start of construction. The Forestry Department has included a condition to this effect.

Accordingly, the Development Planning Department can support the requested variance and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application, subject to the following conditions:

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None.

Comments Prepared by:

Alyssa Pangilinan, Planner 1
David Harding, Senior Planner

From: [Cameron McDonald](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A145/24 (10 Thornhill Avenue) – REQUEST FOR COMMENTS (City of Vaughan)
Date: Monday, September 16, 2024 11:37:16 AM
Attachments: [image002.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good morning,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from the TRCA.

Based on the above, we have no comments/requirements.

Regards,

Cameron McDonald

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:(437)880-1925)

E: cameron.mcdonald@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



From: [Development Services](#)
To: [Christine Vigneault](#)
Cc: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A145/24 (10 Thornhill Avenue) – REQUEST FOR COMMENTS (City of Vaughan)
Date: Tuesday, September 17, 2024 3:23:37 PM
Attachments: [image001.png](#)
[image003.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hi Christine,

The Regional Municipality of York has completed its review of the minor variance application – A145/24 (10 Thornhill Avenue) and has no comment.

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Planning | Economic and Development Services Branch | Corporate Services Department

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

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Please consider the environment before printing this email.

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

SCHEDULE D: BACKGROUND

Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
A315/17	Minor Variance Application; Approved by COA

NOTICE OF DECISION
Minor Variance Application A315/17
 Section 45 of the Planning Act, R.S.O, 1990, c.P.13

Date of Hearing: Thursday, January 11, 2018
Applicant: Jing Gao
Agent: Nikol Paar
Property: **10 Thornhill Ave. Thornhill**
Zoning: The subject lands are zoned R1V, Old Village Residential Zone and subject to the provisions of Exception 9(662) under By-law 1-88 as amended.
OP Designation: VOP 2010: "Low-Rise Residential"
Related Files: None
Purpose: Relief from the by-law is being requested to permit the construction of a proposed single family dwelling.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A maximum building height of 9.5 metres is permitted.	1. To permit a maximum building height of 11.0 metres (to top of roof) for a dwelling.
2. A minimum interior side yard setback of 2.5 metres is required.	2. To permit a minimum interior side yard setback (east) of 2.0 metres to a dwelling and walkout.
3. Total of the side yards shall be a minimum of 6.0 metres.	3. Total of interior side yards = 4.50 metres (2.0 metres + 2.50 metres).
4. A maximum lot coverage of 20% is permitted.	4. To permit a maximum lot coverage of 22.9%.

Sketch: A sketch illustrating the request has been attached to the decision.

Having regard to the requirements of Section 45 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, including the written and oral submissions related to the application, it is the decision of the Committee:

THAT Application No. A315/17 on behalf of Jing Gao be **APPROVED**, in accordance with the sketch submitted with the application (as required by Ontario Regulation 200/96) and subject to the following conditions:

Department/Agency	Condition
1 Development Engineering Steve Lysecki 905-832-8585 x 8731 steve.lysecki@vaughan.ca	The Owner is required to submit the final grading drawing to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading approval prior to any work being undertaken on the property.

2.	Development Planning Christopher Cosentino 905-832-8585 x8215 Christopher.cosentino@vaughan.ca	The Owner shall provide a Letter prepared by an ISA Certified Arborist indicating that the preconstruction, construction, and post-construction recommendations to minimize the damage to neighbouring trees are satisfactorily conducted by an ISA Certified Arborist and in accordance with industry standards, to the satisfaction of the Development Planning Department.
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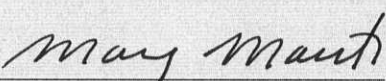
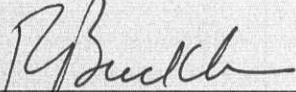
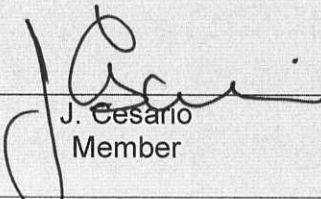
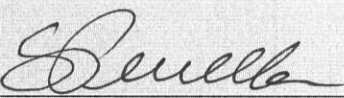
For the following reasons:


1. The general intent and purpose of the by-law will be maintained.
2. The general intent and purpose of the official plan will be maintained.
3. The requested variance(s) is/are acceptable for the appropriate development of the subject lands.
4. The requested variance(s) is/are minor in nature.

Written & oral submissions considered in the making of this decision were received from the following:

Written Submissions	Oral Submissions
* Public Correspondence received and considered by the Committee in making this decision	*Please refer to the approved Minutes of the Thursday , January 11, 2018 meeting for submission details.
Letter of objection dated November 10, 2017 from Raj & Manisha Saini	

SIGNED BY ALL MEMBERS PRESENT WHO CONCUR IN THIS DECISION:

		
H. Zheng Member	M. Mauti Chair	R. Buckler Member
		
J. Cesario Member		A. Perrella Member

DATE OF HEARING:	Thursday, January 11, 2018
DATE OF NOTICE:	January 19, 2018
LAST DAY FOR *APPEAL: *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	January 31, 2018 4:30 p.m.
CERTIFICATION: I hereby certify that this is a true copy of the decision of the City of Vaughan's Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application.	
 <hr/> Christine Vigneault, ACST Manager Development Services & Secretary Treasurer to the Committee of Adjustment	

Appealing to The Ontario Municipal Board
 The *Planning Act*, R.S.O. 1990, as amended, Section 45(12)

The applicant, the Minister or any other person or public body who has an interest in the matter may within 20 days of the making of the decision appeal to the Municipal Board against the decision of the Committee by filing with the Secretary-Treasurer of the Committee a notice of appeal setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the Secretary-Treasurer of the fee prescribed by the Municipal Board under the *Ontario Municipal Board Act* as payable on an appeal from a Committee of Adjustment to the Board.

Note: A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

When **no appeal is lodged** within twenty days of the date of the making of the decision, the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

Appeal Fees & Forms

Ontario Municipal Board: The OMB appeal fee is \$300 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The OMB Appeal Fee must be paid by certified cheque or money order payable to the "Minister of Finance". Notice of appeal forms (Appellant Form A1 – Minor Variance) can be obtained at www.omb.gov.on.ca or by visiting our office.

City of Vaughan OMB Processing Fee: \$722.00 per application

*Please note that all fees are subject to change.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from each respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All applicable conditions must be cleared prior to the issuance of a Building Permit.



Location Map - A315/17

10 Thornhill Avenue, Thornhill

Highway 7

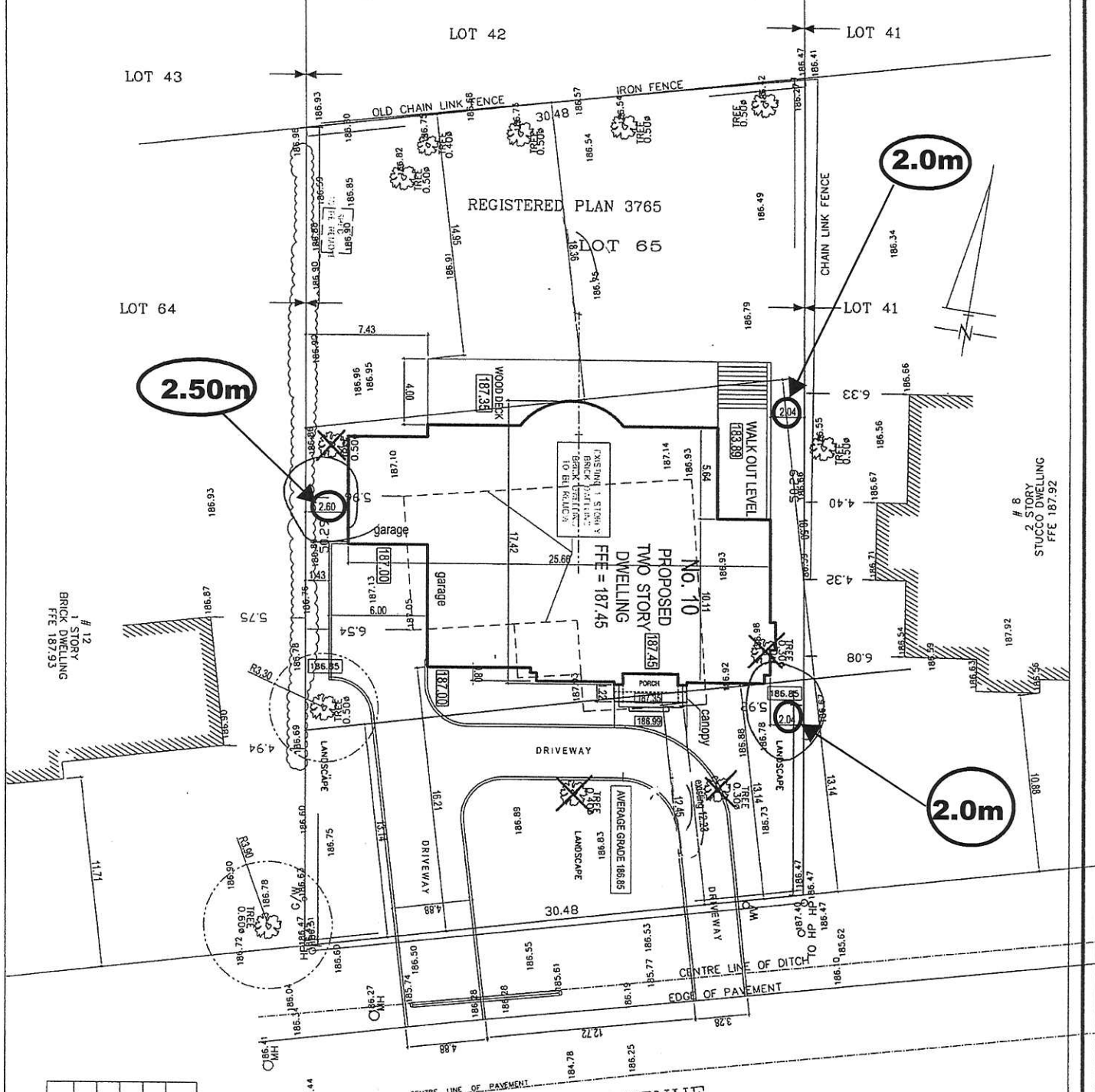


Centre Street City of Vaughan

The City of Vaughan makes every effort to ensure that this map is free of errors but does not warrant that the map or its features are spatially, tabularly, or temporally accurate or fit for a particular use. This map is provided by the City of Vaughan without warranties of any kind, either expressed or implied.

Revised Oct. 17/17

A315/17



Min. interior side yard setback (east) 2.0m to a dwelling & walkout.

Total of interior side yards = 4.50m (2.0m + 2.50m)

Max. Lot Coverage = 22.9%

LOT AREA	
STATISTICS	PROPOSED
LOT COVERAGE (sq. m)	(22.9 %)
GROUND F. (sq. m)	3754.35 sq.ft. / 348.78 sq.m
SECOND F. (sq. m)	3679.75 sq.ft. / 341.85 sq.m
TOTAL:	7434.10 sq.ft. / 690.63 sq.m.
HEIGHT	11.0 m. (to top of roof)

SETBACKS (M.)	PROPOSED
FRONT (M.)	12.45 M.
SIDE (INT.) EAST	2.00 M.
SIDE (INT.) WEST	2.50 M.
REAR	18.35 M.
BUILDING HEIGHT (M.)	11.00 M.

Project: No. 10 THORNHILL AVENUE 2 STOREY DWELLING

PROPOSED SITE PLAN Scale 1:250

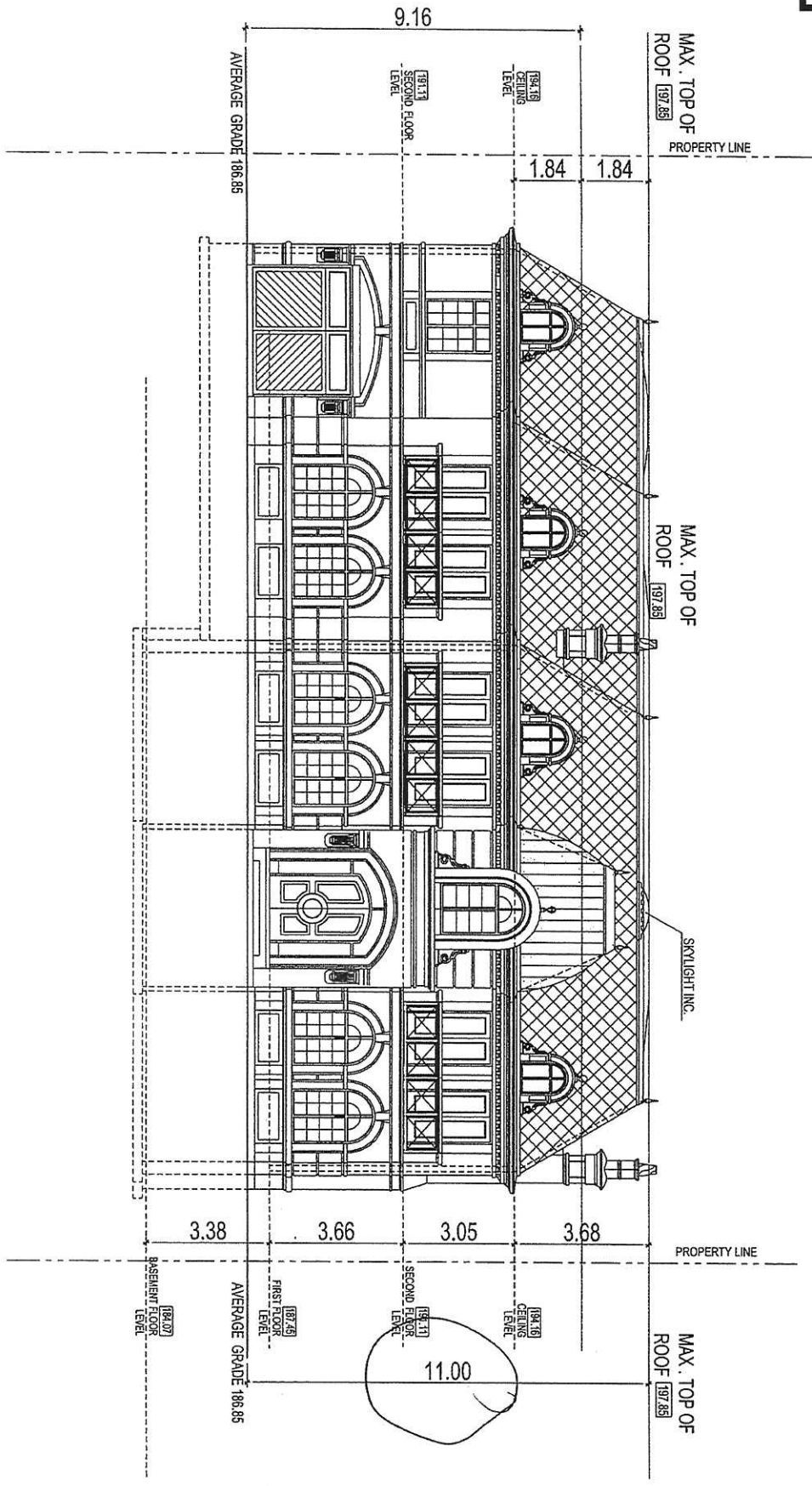
PAAR DESIGN INC. 12 TORBARRIE DRIVE, UNIT 10, MISSISSAUGA, ONT. L4X 1L3

PAAR DESIGN INC. 12 TORBARRIE DRIVE, UNIT 10, MISSISSAUGA, ONT. L4X 1L3

17/11/2016

A01

A315/17



PROJECT: No. 10
 THORNHILL AVENUE
 2 STOREY DWELLING

DATE: PROPOSED
 FRONT ELEVATION
 SCALE 1:125

PAAR DESIGN
 ARCHITECTS

PAAR DESIGN INC.
 3140 KENNEDY ROAD
 TORONTO ON M3J 1K7
 TEL: 416-291-1200
 WWW.PAARDDESIGN.COM

16.10.2017

A02