

<b>ITEM: 6.8</b>	<b>REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A143/24</b>
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Report Date: October 25, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Forestry	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions

<b>PUBLIC &amp; APPLICANT CORRESPONDENCE (SEE SCHEDULE C)</b>				
<p>All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.</p>				
Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
None				

<b>BACKGROUND (SCHEDULE D, IF REQUIRED)</b>	
<p><small>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</small></p>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

<b>ADJOURNMENT HISTORY</b>	
<small>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</small>	
Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
N/A	N/A

<b>SCHEDULES</b>	
<b>Schedule A</b>	Drawings & Plans Submitted with the Application
<b>Schedule B</b>	Comments from Agencies, Building Standards & Development Planning
<b>Schedule C</b> (if required)	Public & Applicant Correspondence
<b>Schedule D</b> (if required)	Background



## MINOR VARIANCE APPLICATION FILE NUMBER A143/24

<b>CITY WARD #:</b>	3
<b>APPLICANT:</b>	Patrick Spanjers & Cynthia Diner-Spanjers
<b>AGENT:</b>	Nekisha Narine - Leeswood Construction
<b>PROPERTY:</b>	11 Johnswood Crescent, Woodbridge
<b>ZONING DESIGNATION:</b>	See below.
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	None
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to permit a proposed cabana.

The following variances have been requested from the City's Zoning By-law:

**The subject lands are zoned R3A(EN) – Third Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.690 under Zoning By-law 001-2021, as amended.**

#	Zoning By-law 001-2021	Variance requested
1	A residential accessory structure with a height greater than 2.8m shall not be located closer than 2.4m to any lot line. [Section 4.1.2.1b]	To permit a residential accessory structure with a height greater than 2.8m to be located a minimum of 1.06m from the rear lot line.
2	A residential accessory structure with a height greater than 2.8m shall not be located closer than 2.4m to any lot line. [Section 4.1.2.1b]	To permit a residential accessory structure with a height greater than 2.8m to be located a minimum of 0.65m from the interior side lot line.
3	A maximum building height of 3.0m is permitted for the proposed residential accessory structure. [4.1.4.1]	To permit a maximum building height of 3.36m for the proposed residential accessory structure.
4	In a Residential Zone, where lot frontage is 12.0 m or greater, the minimum landscape requirement of the front yard containing the driveway shall be 50%, of which 60% shall be soft landscaping. [Section 4.19.1.2.b]	To permit a minimum front yard landscape requirement of 54.96% (32.74m <sup>2</sup> ) of which a minimum of 55.37% (16.49m <sup>2</sup> ) to be soft landscaping in the yard which the driveway is located.

### HEARING INFORMATION

**DATE OF MEETING:** Wednesday, October 30, 2024

**TIME:** 6:00 p.m.

**MEETING LOCATION:** Vaughan City Hall, Woodbridge Room (2<sup>nd</sup> Floor), 2141 Major Mackenzie Drive

**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

#### PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

If you would like to submit written comments, please quote file number above and submit by mail or email to:

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

## HEARING INFORMATION

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to [cofa@vaughan.ca](mailto:cofa@vaughan.ca) no later than NOON on the last business day before the meeting.

**THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

## INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

That the general intent and purpose of the by-law will be maintained.

That the general intent and purpose of the official plan will be maintained.

That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.

That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

## COMMITTEE OF ADJUSTMENT

<b>Date Public Notice Mailed:</b>	October 17, 2024
<b>Date Applicant Confirmed Posting of Sign:</b>	September 27, 2024
<b>Applicant Justification for Variances:</b> <small>*As provided in Application Form</small>	Zoning By-Law does not allow the Owner to achieve satisfactory design and location of proposed cabana.
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b> <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
<b>COMMENTS:</b>	
None	
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None

## BUILDING STANDARDS (ZONING)

<b>**See Schedule B for Building Standards (Zoning) Comments</b>	
<b>Building Standards Recommended Conditions of Approval:</b>	None

## DEVELOPMENT PLANNING

<b>**See Schedule B for Development Planning Comments.</b>	
<b>Development Planning Recommended Conditions of Approval:</b>	None

## DEVELOPMENT ENGINEERING

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

As the proposed cabana/accessory building in the subject property is 28.6 m<sup>2</sup>, the Owner/ Applicant needs to obtain a 'Lot Grading Permit' from the Development Inspection and Lot Grading Division of the City's Development Engineering Department. Please note any in-ground structure over 10 m<sup>2</sup> requires a 'Grading Permit'. Please contact the Development Engineering Reviewer after receiving the Grading Permit to clear the condition. (Condition attached) The Owner/Applicant shall apply for a 'Pool Grading Permit' with the Development Engineering (DE) Department. Please visit the grading permits page at City of Vaughan website to learn how to apply for the Pool Permit. If you have any question about Pool Grading Permit, please contact the Development Engineering Department through email at [DEPermits@vaughan.ca](mailto:DEPermits@vaughan.ca). The proposed work by the Owner/Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer.

## DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)  
 [Link to Pool Permit](#)  
 [Link to Curb Curt Permit](#)  
 [Link Culvert Installation](#)

<b>Development Engineering Recommended Conditions of Approval:</b>	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: <a href="#">Permits   City of Vaughan</a> to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a>
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## PARKS, FORESTRY & HORTICULTURE (PFH)

Forestry has no comment at this time, a private tree permit has been issued for this project.	
<b>PFH Recommended Conditions of Approval:</b>	None

## DEVELOPMENT FINANCE

No comment no concerns.	
<b>Development Finance Recommended Conditions of Approval:</b>	None

## BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date.	
<b>BCLPS Recommended Conditions of Approval:</b>	None

## BUILDING INSPECTION (SEPTIC)

No comments received to date.	
<b>Building Inspection Recommended Conditions of Approval:</b>	None

## FIRE DEPARTMENT

No comments received to date.	
<b>Fire Department Recommended Conditions of Approval:</b>	None

## RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Engineering <a href="mailto:jonal.hall@vaughan.ca">jonal.hall@vaughan.ca</a>	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: <a href="#">Permits   City of Vaughan</a> to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a>
2	TRCA <a href="mailto:yorkplan@trca.ca">yorkplan@trca.ca</a>	That the applicant provides the required fee amount of \$660.00 payable to the Toronto and Region Conservation Authority.

*All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.*

## IMPORTANT INFORMATION

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

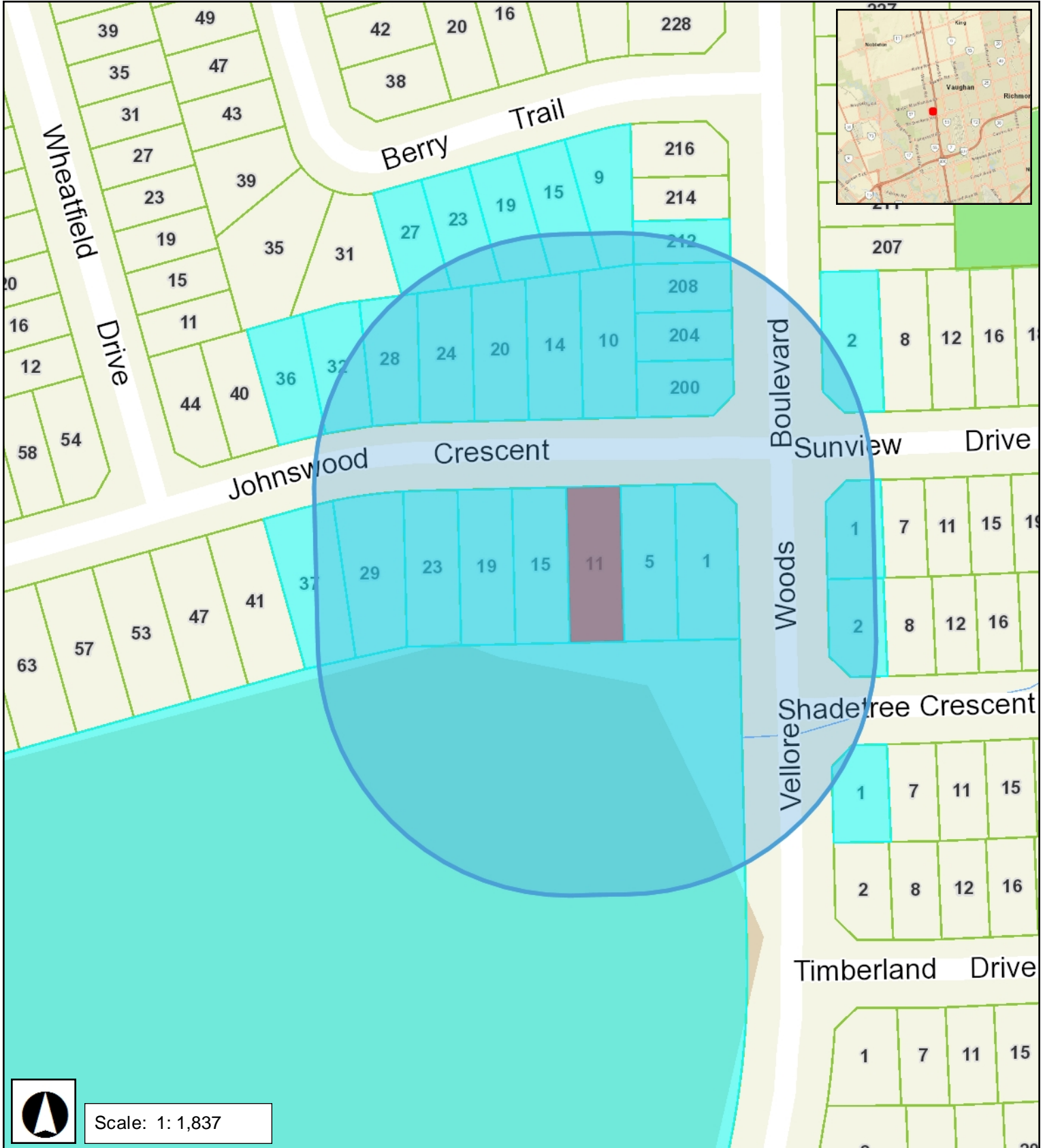
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**SCHEDULE A: DRAWINGS & PLANS**



Scale: 1: 1,837







EXISTING FRONT YARD TO REMAIN UNCHANGED

# JOHNSWOOD CRESCENT

Variance No. 4:  
Minimum front yard  
landscape requirement of  
54.96% (32.74 m<sup>2</sup>) of  
which a minimum of  
55.37% (16.49 m<sup>2</sup>) to be  
soft landscaping in the  
yard where the driveway  
is located.

SITE STATISTICS:		
ZONING:		
VAUGHAN ZONING BY-LAW		RV3 9(1019)
1-88 - 2012		
ZONE		R3A(EN) 690
LOT AREA		560.0 m <sup>2</sup>
LOT DEPTH		40.0 m
LOT FRONTAGE		14.0 m
	EXISTING	PROPOSED
SETBACKS:		
FRONT	3.76 m	3.76 m
SIDE	0.65m & 1.26m	0.65m & 1.26m
REAR	19.3m	15.4m
NEW ACCESSORY BUILDING:		
SIDE		0.65m
REAR		1.06m
NEW POOL:		
SIDE		1.50m
REAR		1.50m
LOT & BUILDING AREAS:		
LOT AREA	560 m <sup>2</sup>	220.76 m <sup>2</sup>
1st FLOOR AREA	178.64 m <sup>2</sup>	220.76 m <sup>2</sup>
NEW PORCH AREA		42.12 m <sup>2</sup>
NEW ACC. BLDG AREA		28.60 m <sup>2</sup>
NEW POOL AREA		47.41 m <sup>2</sup>
LOT COVERAGE	31.9%	44.53%
BUILDING HEIGHT	7.87m	8.17m < 9.5m (REFER TO A4)

### GENERAL NOTES:

- ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL BY-LAWS AND REQUIREMENTS BY ALL AUTHORITIES HAVING JURISDICTION OVER THIS SITE LOCATION. NOTHING CONTAINED IN THESE DRAWINGS SHALL BE CONSTRUCTED IF IN CONFLICT WITH ANY SUCH LAWS.
- ALL REFERENCES TO THE O.B.C. ARE TAKEN FROM THE 2012 EDITION OF THE ONTARIO BUILDING CODE.
- ALL CONCRETE WORK TO CONFORM TO COLD WEATHER REQUIREMENTS AS PER O.B.C. 9.3.1.9.
- STRUCTURAL WOOD ELEMENTS SHALL BE PRESURE TREATED WITH PRESERVATIVE TO RESIST DECAY WHEN IN CONTACT WITH THE GROUND OR LESS THAN 6" FROM THE GRADE AS PER O.B.C.9.3.2.9.
- EXISTING MASONRY TO BE PATCHED AND MADE GOOD WHERE DAMAGED DURING CONSTRUCTION.
- EXISTING THERMAL INSULATION AND VAPOR BARRIER TO BE REPAIRED IF CONTINUITY IS INTERRUPTED AT PENETRATIONS OF NEW STRUCTURAL WOOD BEAMS.
- ROOF FLASHING SHALL CONFORM WITH THE O.B.C. 9.26.4.
- EXTERIOR INSULATION FINISH SYSTEM SHALL CONFORM TO THE O.B.C. 9.27.13.
- STUCCO SHALL CONFORM TO THE O.B.C. 9.28.
- GUARDS SHALL CONFORM TO THE O.B.C. 9.8.8.
- GLASS IN GUARDS SHALL CONFORM TO THE O.B.C. 9.8.8.7.
- ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF THE WORK.
- ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE ARCHITECT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS IN PART OR WHOLE IS FORBIDDEN WITHOUT THE ARCHITECT'S PERMISSION.
- ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL ETC. INFORMATION SHOWN ON THE DRAWING.
- CONTRACTOR SHALL CHECK ALL DIMENSIONS AND REPORT ANY DISCREPANCY TO THE ARCHITECT BEFORE PROCEEDING. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
- THE DRAWINGS ARE NOT TO BE SCALED.

### TRCA NOTES:

MATERIAL STAGING AND STORAGE WILL BE ON DRIVEWAY.  
ALL ASSOCIATED WORKS, FUTURE REPAIRS AND/OR REPLACEMENTS, AND ACCESS WILL OCCUR ON THE SUBJECT PROPERTY.  
ALL POOL WATER IS DISCHARGED TOWARDS THE ROAD AND AWAY FROM THE REAR YARD TO PREVENT IMPACTS TO THE UNEVALUATED WETLAND.

### NOTES:

THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH DRAWING C/1 SITE EROSION & SEDIMENT CONTROL AND GRADING PLAN BY MGM CONSULTING INC.  
THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH THE REPORT BY THOMSON WATSON CONSULTING ARBORISTS INC.

### NOTES:

NEW DOMESTIC WATER AND SANITARY PLUMBING PIPING FOR CABANA SHALL BE CONNECTED TO THE EXISTING SUITABLE MAINS WITHIN THE BASEMENT OF THE BUILDING.  
ALL NEW DOMESTIC AND SANITARY PIPING SHALL BE COMPLETE WITH HEAT TRACING FOR FROST PROTECTION IN ACCORDANCE WITH THE OBC DW. B 7.3.5.4.

NOTE:  
EXTENT OF THIS PERMIT APPLICATION IS LIMITED TO ALTERATIONS WITHIN THE EXISTING BACKYARD:

- ADDITION OF NEW PORCH/TERRACE
- ADDITION OF AN ACCESSORY BUILDING
- ADDITION OF A SWIMMING POOL
- RENEW THE LANDSCAPING

Variance No. 2:  
Interior Side Yard  
of 0.656m.

Variance No. 1:  
Rear Yard of  
1.06m.

ISSUED FOR  
COORDINATION  
October 30, 2024

ALUMINUM GUARDRAIL SHALL COMPLY WITH OBC 2012 DIV. B, ARTICLES 9.8.8.2., 9.8.8.3., 9.8.8.5 AND 4.1.5.15 LOADS ON GUARDS  
PROVIDE SHOP DRAWINGS WITH P.ENG. STAMP FOR GUARDRAIL SYSTEM FOR APPROVAL

LOT 166  
P.I.N.  
03320-1297

1  
A2 FOR BACKYARD ENLARGED PLAN REFER TO DRAWING A2

NOTES FOR FRONTYARD SOFTSCAPE AREA (UNCHANGED):  
AREA OF THE EXISTING FRONT YARD (SHADED) = 59.569 S.M.  
AREA OF THE EXISTING INTERLOCKING DRIVEWAY = 26.828 S.M.  
AREA OF THE EXISTING INTERLOCKING WALKWAY = 16.248 S.M.  
AREA OF THE EXISTING SOFTSCAPE = 16.493 S.M.

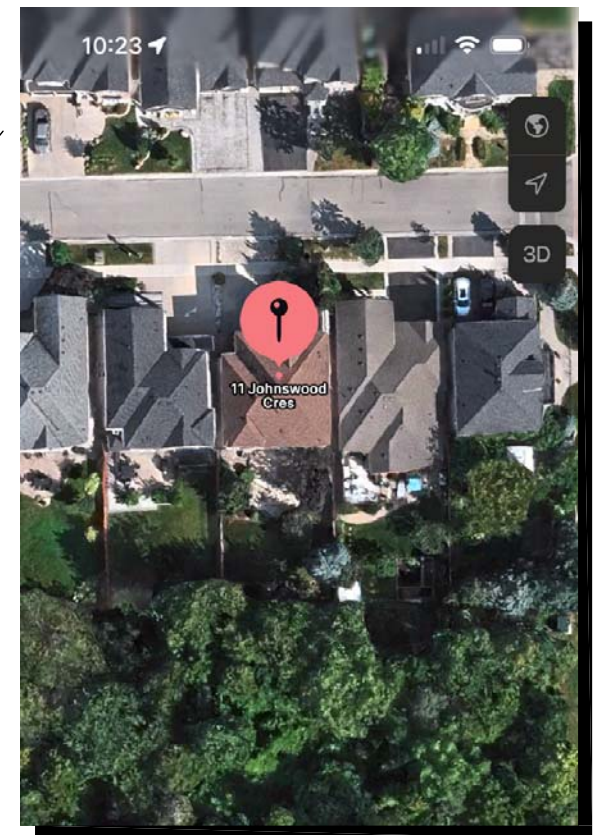
NOTES FOR BACKYARD SOFTSCAPE AREA:  
AREA OF THE BACKYARD (EXCLUDING PORCH) = 234.075 S.M.  
234.075 S.M. - 135 S.M. = 99.075 S.M.  
60% OF 99.075 S.M. = 59.44 S.M. (NEEDED SOFTSCAPE AREA)  
PROVIDED SOFTSCAPE AREA = 67.099 S.M.

PART OF LOTS 165, 166 AND 167  
PLAN 65M-3417  
CITY OF VAUGHAN  
REGIONAL MUNICIPALITY OF YORK

LOT No.:	166
LOT AREA:	560.00 m <sup>2</sup>
EXISTING BUILDING AREA:	178.64 m <sup>2</sup>
EXISTING LOT COVERAGE:	31.9%
NEW PORCH AREA:	42.12 m <sup>2</sup>
NEW ACCESSORY BLDG. AREA:	28.60 m <sup>2</sup>
TOTAL NEW COVERAGE:	249.36 m <sup>2</sup>
NEW LOT COV. (%):	44.53 %
BUILDING HEIGHT:	8.17m

### LEGEND:

- HATCH DENOTES EXTENT OF SWIMMING POOL WATER
- HATCH DENOTES EXTENT OF SOFTSCAPE
- HATCH DENOTES EXTENT OF LARGE WHITE INTERLOCKING STONE C/W ARTIFICIAL GRASS IN BETWEEN
- STONE COPING AROUND POOL



EXISTING AERIAL PHOTO



SIENNA STONE RETAINING WALL & GUARDRAIL (BROCHURE PHOTO)

## 1 SITE PLAN

A1 SCALE 1:100

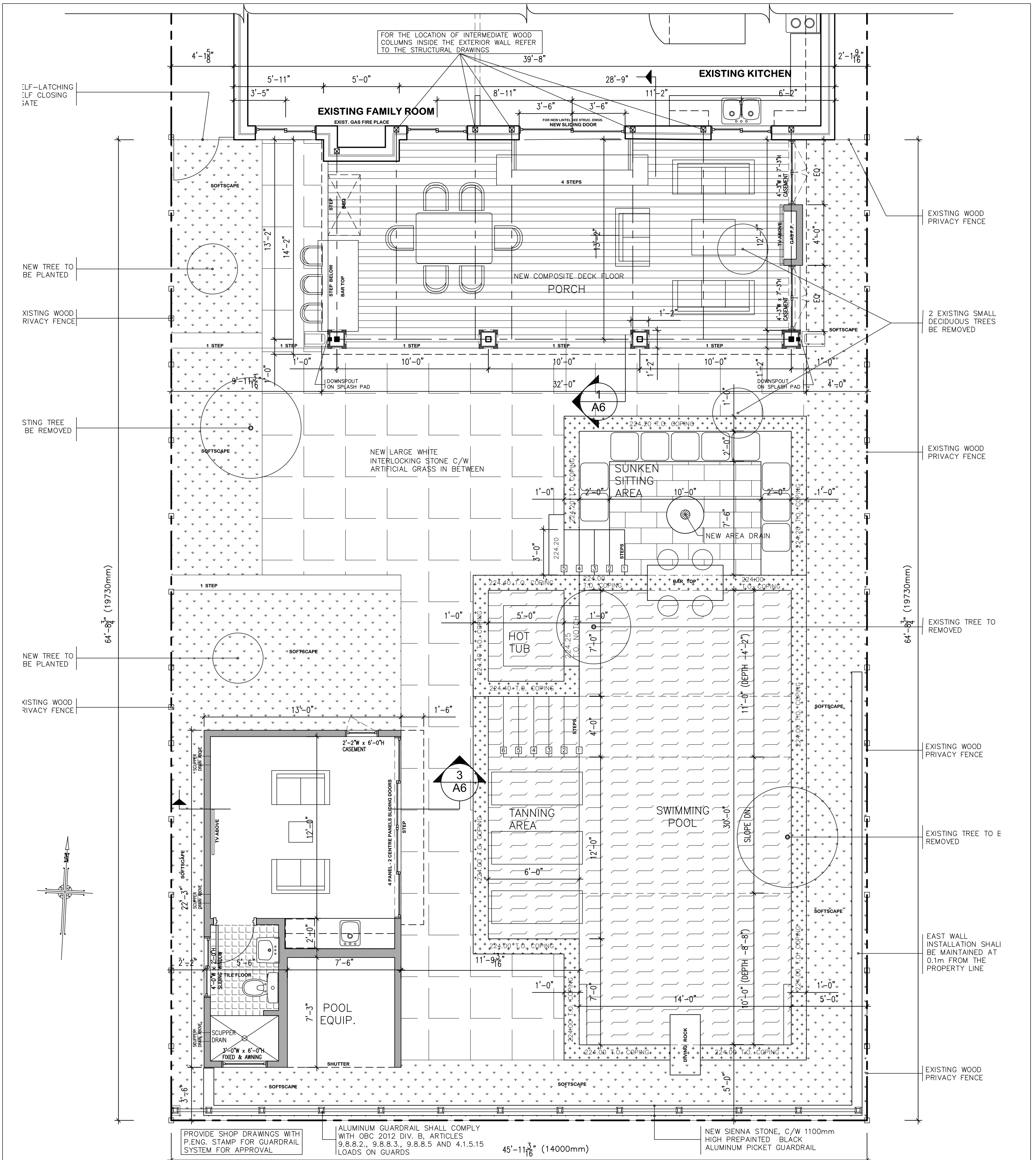
REV.	DATE	BY	DESCRIPTION
	SEPTEMBER 16 2024	F.M.	ESTABLISHED GRADE AT CABANA CORRECTED
	SEPTEMBER 13 2024	F.M.	ISSUED FOR COORDINATION
	SEPTEMBER 04 2024	F.M.	ADDRESSED CITY COMMENTS OF SEPT. 03, 2024
	AUGUST 26 2024	F.M.	EXISTING FRONT YARD SET BACK INFORMATION ADDED
	AUGUST 22 2024	F.M.	RE-ISSUED FOR BUILDING PERMIT
	AUGUST 21 2024	F.M.	REVISED AND ISSUED FOR COORDINATION
	JULY 31 2024	F.M.	ISSUED FOR BUILDING PERMIT
	MAY 14 2024	F.M.	ISSUED FOR COORDINATION

REAR YARD ALTERATION TO EXISTING 2 STOREY RESIDENCE  
**11 JOHNSWOOD CRESCENT**  
WOODBIDGE, ONTARIO

## SITE PLAN & PROJECT STATISTICS

DATE	MAY 2024	DRAWING No.
DRAWN BY	B.M.	<b>A1</b>
CHECKED BY	F.M.	
SCALE	AS SHOWN	
ARCHITECTS JOB No.	FMA-24-119	

**FARID MOTAMEDI ARCHITECT INC.**  
ONTARIO ASSOCIATION OF ARCHITECTS  
FARID MOTAMEDI LICENCE 4468  
Certificate of Practice No. : 3502  
3 CHASE ROAD TORONTO, ONTARIO M2J 2S1 CANADA  
TEL: (416) 221-9447 FAX: (416) 221-6533  
E-mail: info@fmarchitect.ca Website: www.fmarchitect.ca



**1 REAR YARD - GROUND LEVEL**  
 A2 SCALE 1/4" = 1'-0"

**NOTES:**  
 THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH DRAWING CV1 SITE EROSION & SEDIMENT CONTROL AND GRADING PLAN BY MGM CONSULTING INC.  
 THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH STRUCTURAL DRAWINGS BY DORLAN ENGINEERING.  
 THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH THE REPORT BY THOMSON WATSON CONSULTING ARBORISTS INC.

**ISSUED FOR COORDINATION**  
 October 01, 2024

**FARID MOTAMEDI ARCHITECT INC.**  
 3 CHASE ROAD  
 TORONTO, ONTARIO  
 M2J 2S1 CANADA  
 TEL: (416) 221-9447  
 FAX: (416) 221-6533  
 E-mail: info@fmarchitect.ca  
 Website: www.fmarchitect.ca

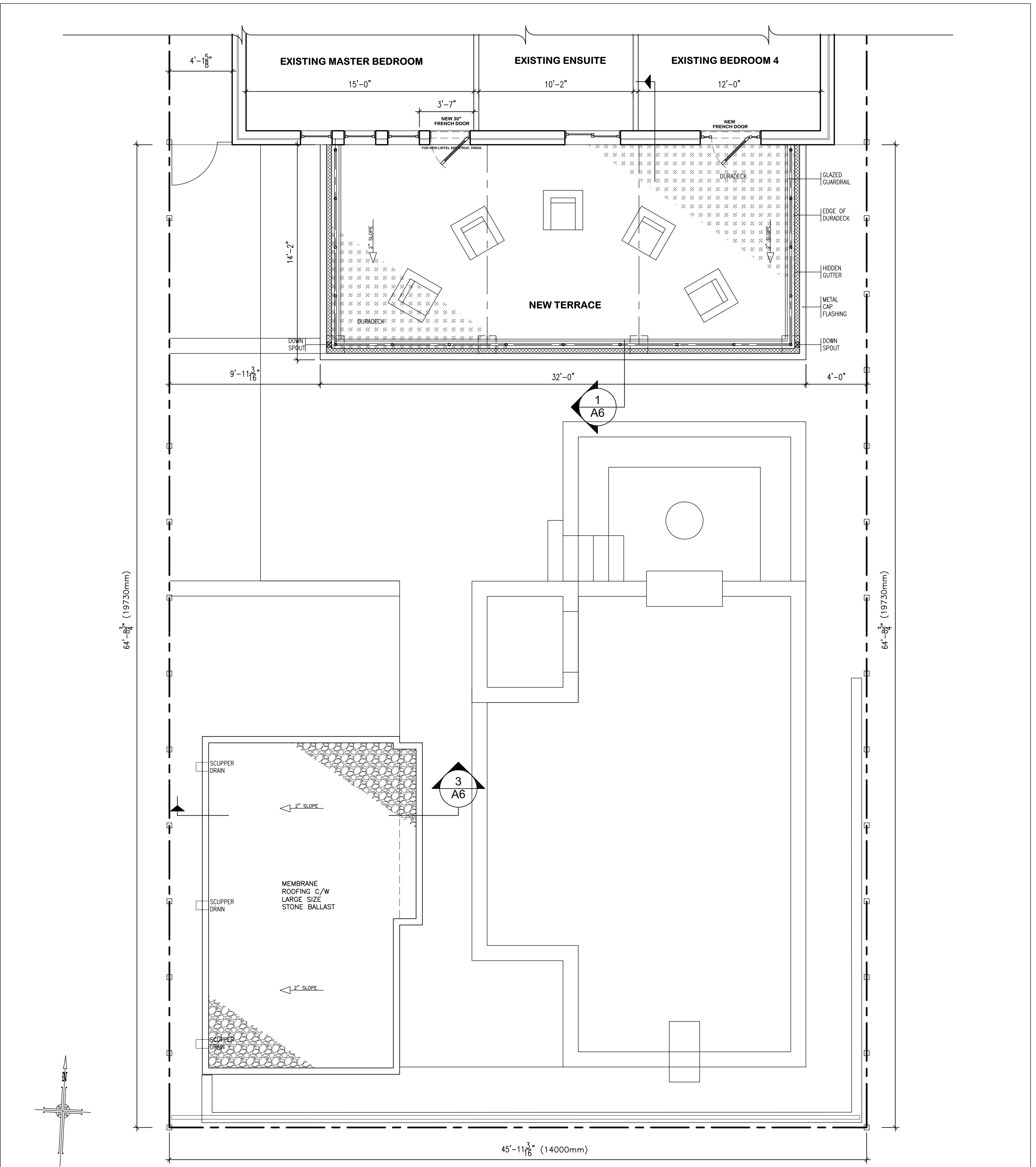
**ONTARIO ASSOCIATION OF ARCHITECTS**  
 FARID MOTAMEDI  
 LICENCE 4468  
 Certificate of Practice No.: 3502

REV.	DATE	BY	DESCRIPTION
	SEPTEMBER 10 2024	F.M.	ISSUED FOR COORDINATION
	AUGUST 22 2024	F.M.	RE-ISSUED FOR BUILDING PERMIT
	AUGUST 21 2024	F.M.	REVISED AND ISSUED FOR COORDINATION
	JULY 31 2024	F.M.	ISSUED FOR BUILDING PERMIT
	MAY 14 2024	F.M.	ISSUED FOR COORDINATION

REAR YARD ALTERATION TO EXISTING 2 STOREY RESIDENCE  
**11 JOHNWOOD CRESCENT**  
 WOODBRIDGE, ONTARIO

**REAR YARD LAYOUT**

DATE	MAY 2024	DRAWING No.	
DRAWN BY	B.M.	<b>A2</b>	
CHECKED BY	F.M.		
SCALE	AS SHOWN		
ARCHITECTS JOB No.	FMA-24-119		



1 REAR YARD - UPPER LEVEL  
 A3 SCALE 1/4" = 1'-0"

NOTE:  
 THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH STRUCTURAL DRAWINGS BY DORLAN ENGINEERING.

ISSUED FOR COORDINATION  
 October 01, 2024

**FARID MOTAMED I  
 ARCHITECT INC.**

ONTARIO ASSOCIATION OF ARCHITECTS  
**FARID MOTAMED I**  
 LICENCE 4468

Certificate of Practice No. : 3502  
 E-mail: info@fmarchitect.ca  
 Website: www.fmarchitect.ca

3 CHASE ROAD  
 TORONTO, ONTARIO  
 M2J 2S1 CANADA  
 TEL: (416) 221-9447  
 FAX: (416) 221-6533

REV.	DATE	BY	DESCRIPTION
AUGUST 22 2024	F.M.	RE-ISSUED FOR BUILDING PERMIT	
AUGUST 21 2024	F.M.	REVISED AND ISSUED FOR COORDINATION	
JULY 31 2024	F.M.	ISSUED FOR BUILDING PERMIT	
MAY 14 2024	F.M.	ISSUED FOR COORDINATION	

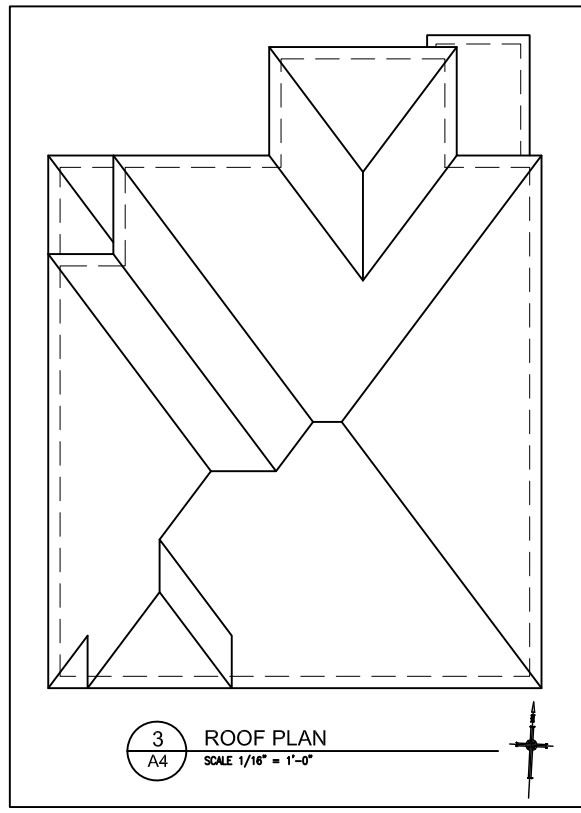
REAR YARD ALTERATION TO EXISTING 2 STOREY RESIDENCE  
**11 JOHNSWOOD CRESCENT**  
 WOODBRIDGE, ONTARIO

**REAR YARD LAYOUT**

DATE	MAY 2024
DRAWN BY	B.M.
CHECKED BY	F.M.
SCALE	AS SHOWN
ARCHITECTS JOB No.	FMA-24-119

DRAWING No.

**A3**



**1** EXISTING SOUTH ELEVATION  
A4 SCALE 1/4" = 1'-0"

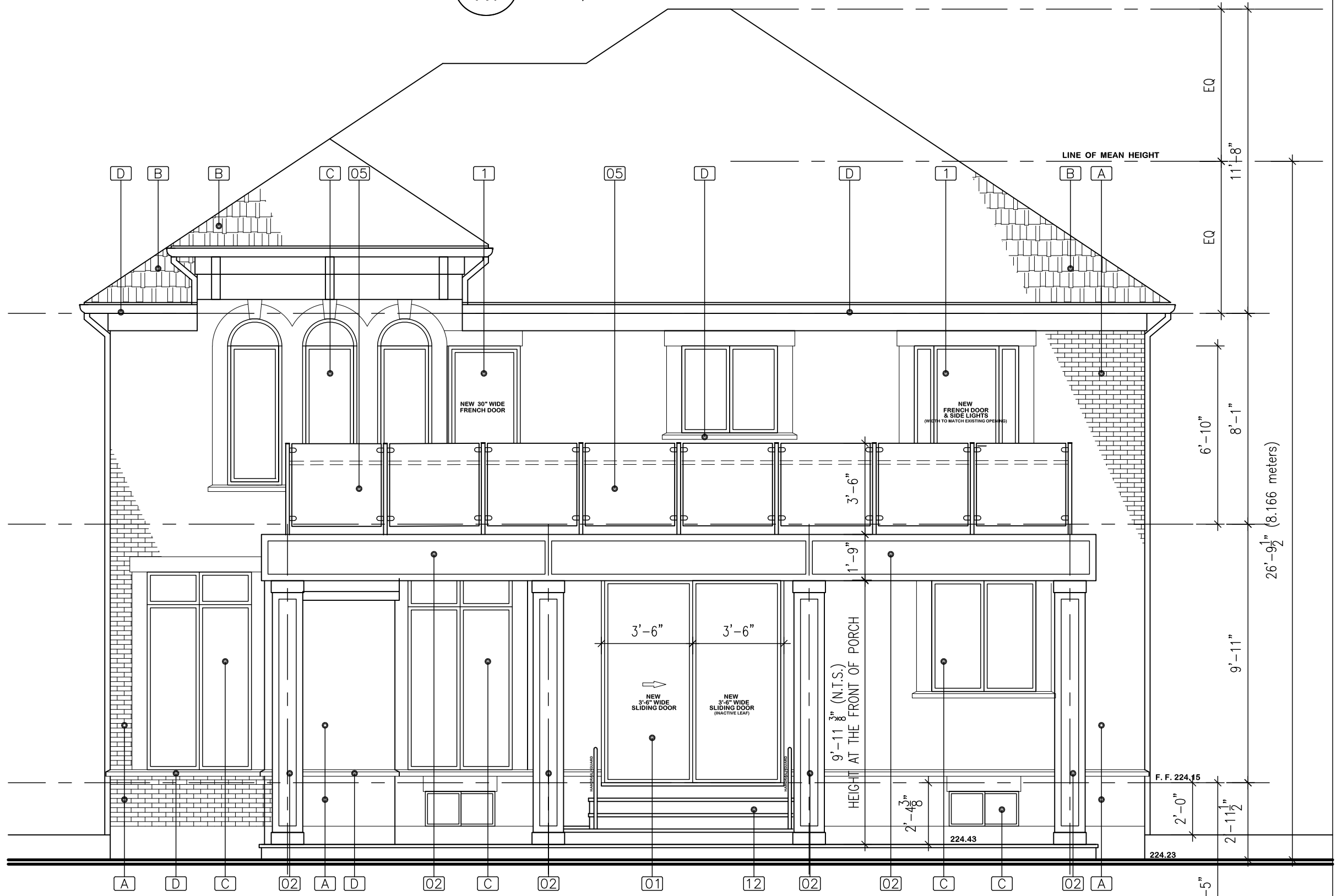
**NOTE:**  
ALL DIMENSIONS RELATED TO THE EXISTING BUILDING MUST BE SITE MEASURED AND VERIFIED. ANY DISCREPANCY MUST BE REPORTED TO THE ARCHITECT BEFORE COMMENCEMENT OF WORK.

**EXTERIOR FINISHES LEGEND (EXISTING):**

- [A] EXISTING BRICK VENEER
- [B] EXISTING ROOF SHINGLES
- [C] EXISTING EXTERIOR DOORS & WINDOWS
- [D] EXISTING FASCIA, SOFFIT AND EAVES TROUGH
- [E] EXISTING STONE SILL
- [F] EXISTING STEPS

**EXTERIOR FINISHES LEGEND (NEW):**

- [01] NEW EXTERIOR WINDOW OR DOOR
- [02] NEW EXTERIOR GRADE WOOD WORK PAINTED (COLOUR BLACK)
- [03] NEW PREFINISHED METAL CAP FLASHING (COLOUR BLACK)
- [04] NEW EXTERIOR INSULATION FINISH SYSTEM (COLOUR BLACK)
- [05] NEW GLAZED BALCONY GUARDRAIL C/W CLEAR SAFETY GLAZING & STAINLESS STEEL
- [06] NEW EXTERIOR INSULATION FINISH SYSTEM (COLOUR BLACK)
- [07] NEW BALCONY FLOORING (DURADECK OR APPROVED ALTERNATIVE)
- [08] NEW GALV. STEEL ROLL-UP SHUTTER
- [10] NEW PRE-PAINTED METAL ORNAMENTAL MEMBERS WITH WOOD FINISH INSTALLED HORIZONTALLY OR VERTICALLY AS SHOWN
- [11] NEW PREFINISHED METAL SCUPPER DRAIN (COLOUR BLACK)
- [12] NEW CONC. STEP



**2** NEW SOUTH ELEVATION  
A4 SCALE 1/4" = 1'-0"

**NOTE:**  
THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH STRUCTURAL DRAWINGS BY DORLAN ENGINEERING.

**ISSUED FOR COORDINATION**  
October 01, 2024

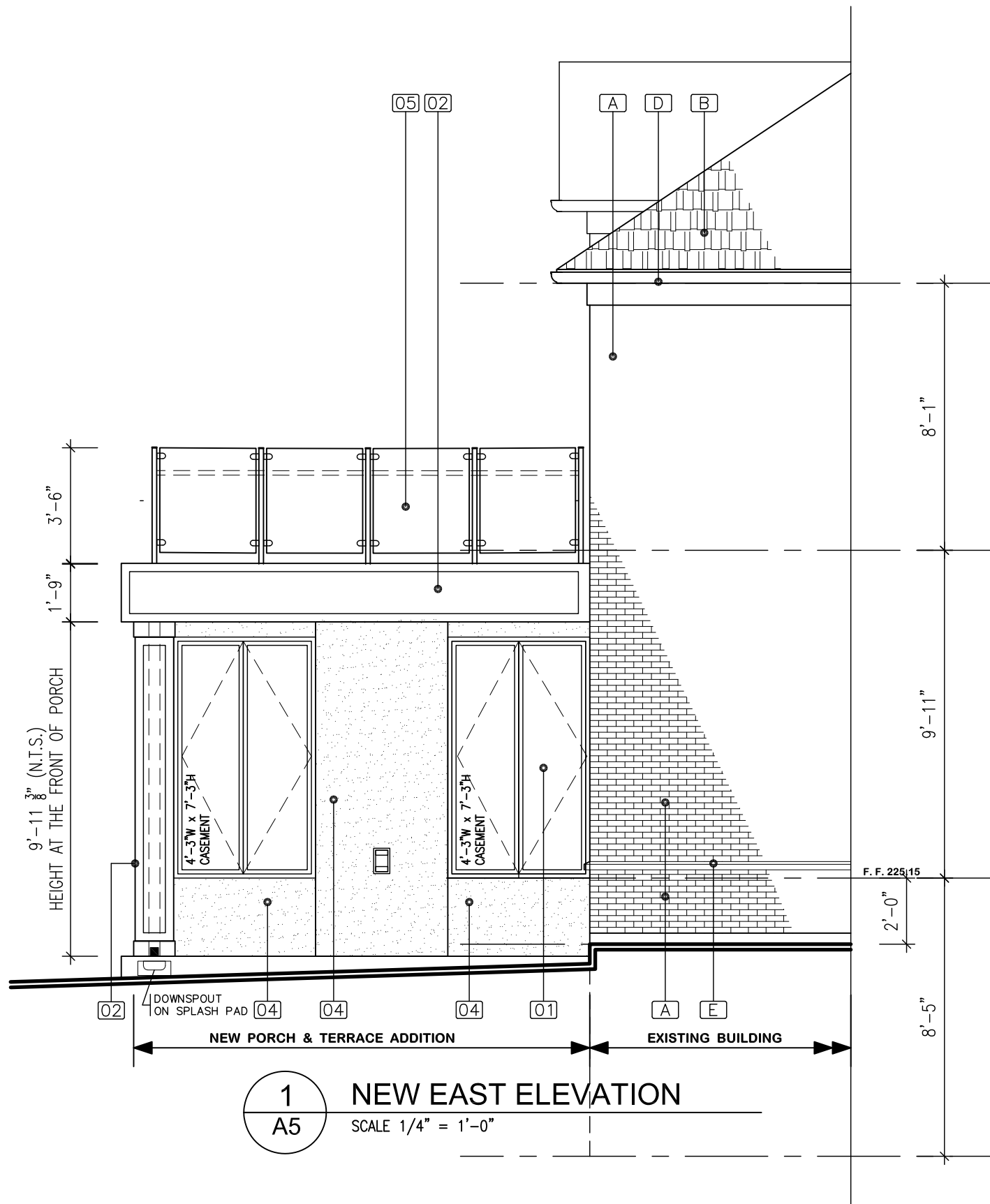
**FARID MOTAMEDI ARCHITECT INC.**  
Certificate of Practice No. : 3502  
E-mail: info@fmarchitect.ca  
Website: www.fmarchitect.ca

REV.	DATE	BY	DESCRIPTION
	SEPTEMBER 16 2024	F.M.	GRADES CORRECTED
	SEPTEMBER 09 2024	F.M.	ISSUED FOR COORDINATION
	SEPTEMBER 04 2024	F.M.	ADDRESSED CITY COMMENTS OF SEPT. 03, 2024
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	JULY 31 2024	F.M.	ISSUED FOR BUILDING PERMIT
	MAY 14 2024	F.M.	ISSUED FOR COORDINATION

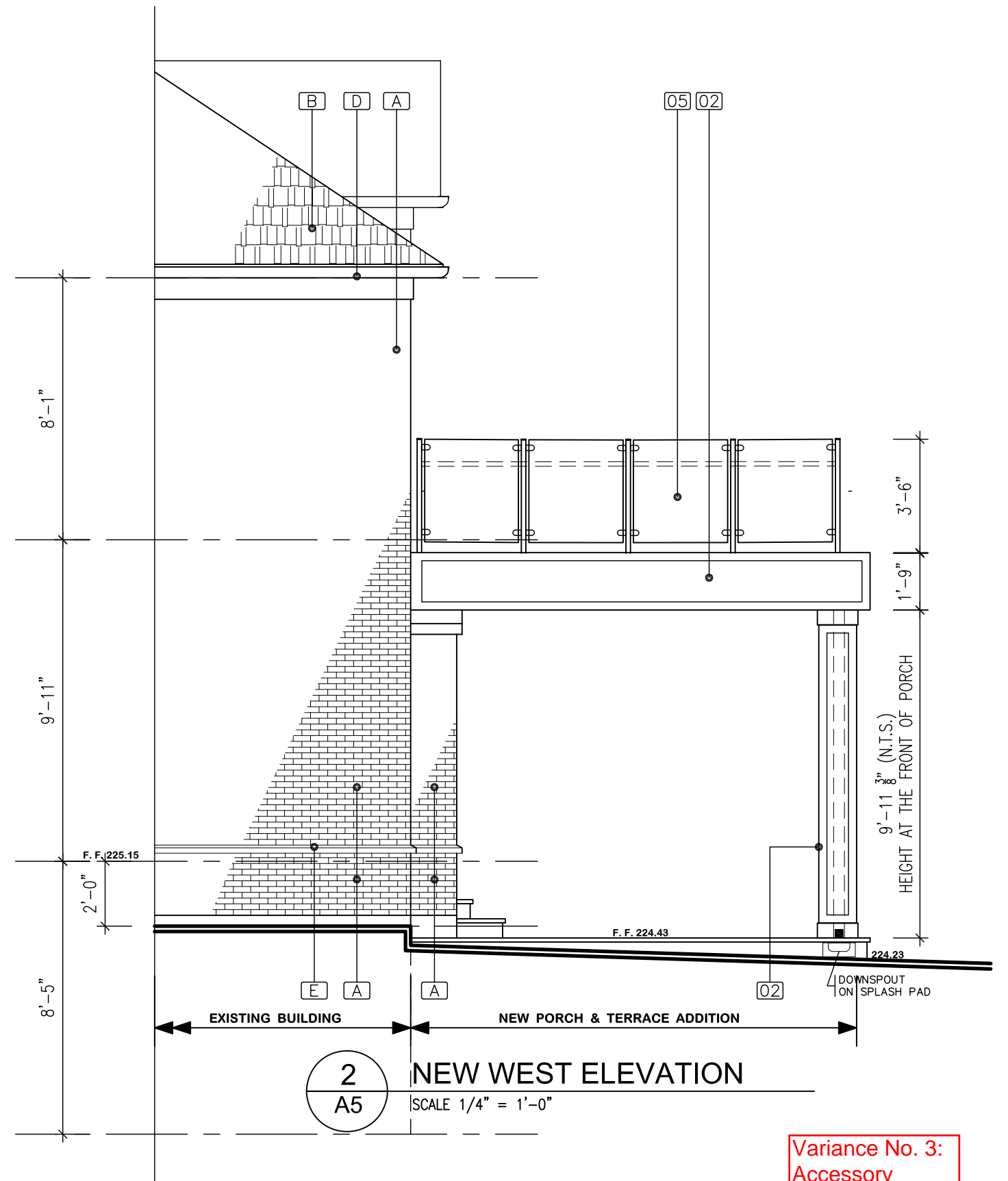
REAR YARD ALTERATION TO EXISTING 2 STOREY RESIDENCE  
**11 JOHNWOOD CRESCENT**  
WOODBRIDGE, ONTARIO

**SOUTH ELEVATION (REAR)**

DATE	MAY 2024	DRAWING No.
DRAWN BY	B.M.	<b>A4</b>
CHECKED BY	F.M.	
SCALE	AS SHOWN	
ARCHITECTS JOB No.	FMA-24-119	



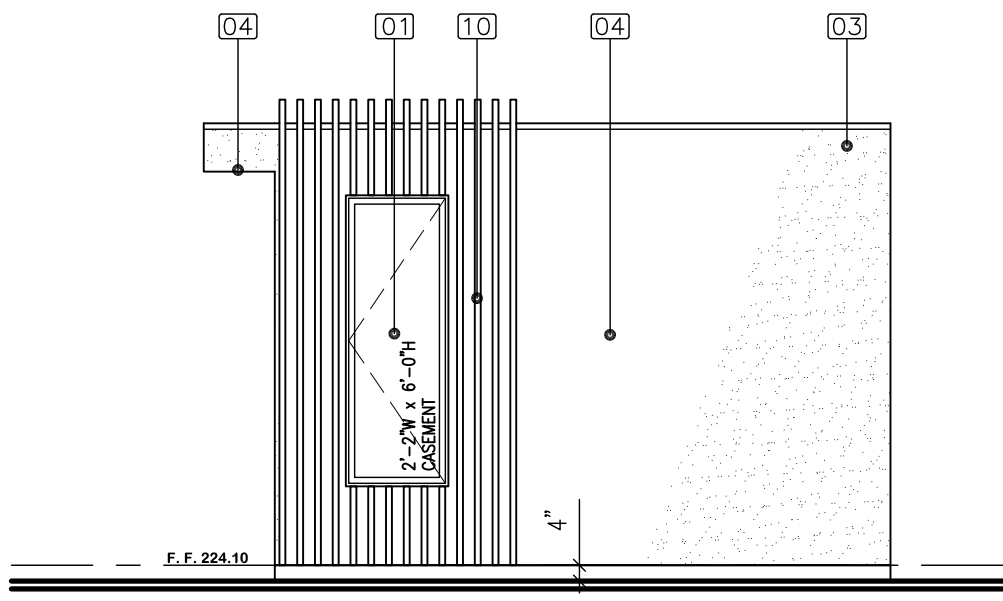
**1 NEW EAST ELEVATION**  
A5 SCALE 1/4" = 1'-0"



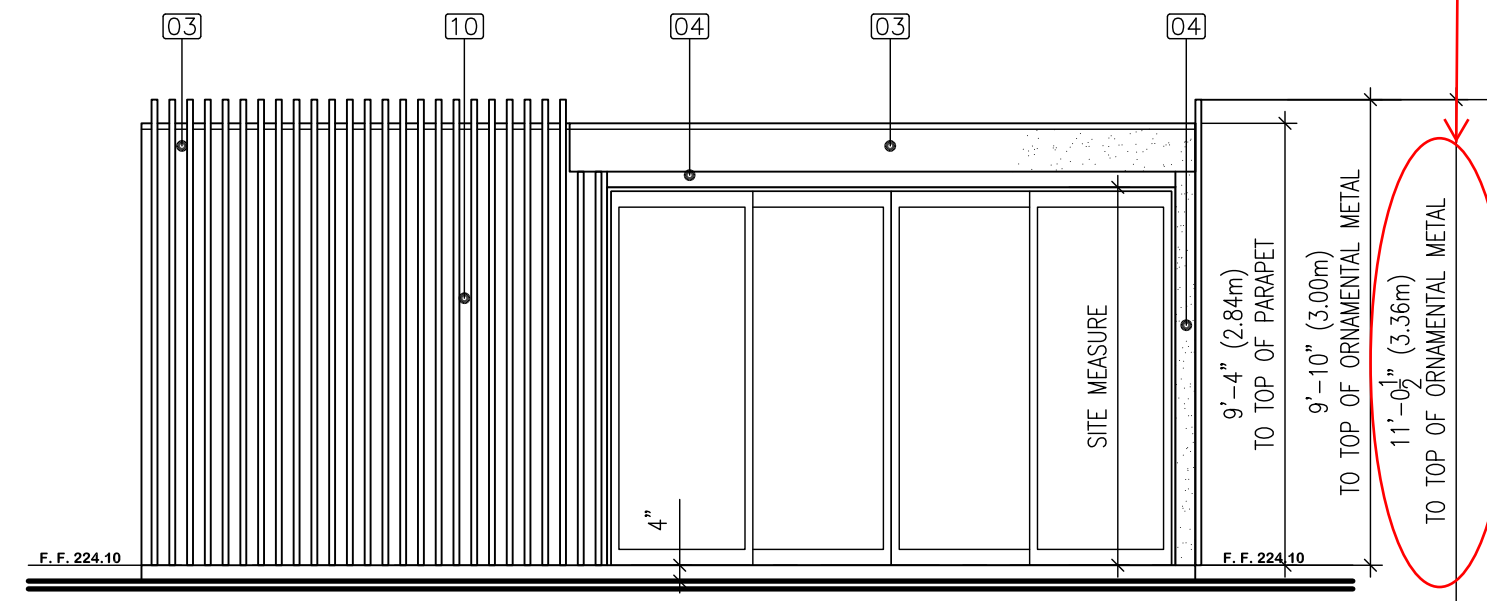
**2 NEW WEST ELEVATION**  
A5 SCALE 1/4" = 1'-0"

**NOTE:**  
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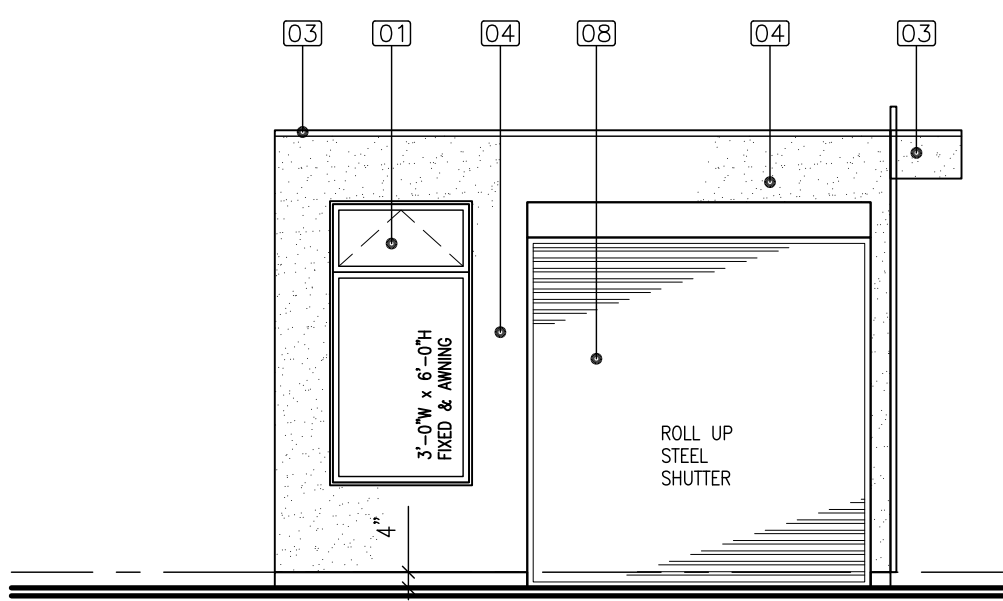
- EXTERIOR FINISHES LEGEND (EXISTING):**
- [A] EXISTING BRICK VENEER
  - [B] EXISTING ROOF SHINGLES
  - [C] EXISTING EXTERIOR DOORS & WINDOWS
  - [D] EXISTING FASCIA, SOFFIT AND EAVES TROUGH
  - [E] EXISTING STONE SILL
  - [F] EXISTING STEPS
- EXTERIOR FINISHES LEGEND (NEW):**
- [01] NEW EXTERIOR WINDOW OR DOOR
  - [02] NEW EXTERIOR GRADE WOOD WORK PAINTED (COLOUR BLACK)
  - [03] NEW PREFINISHED METAL CAP FLASHING (COLOUR BLACK)
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  - [12] NEW CONC. STEP



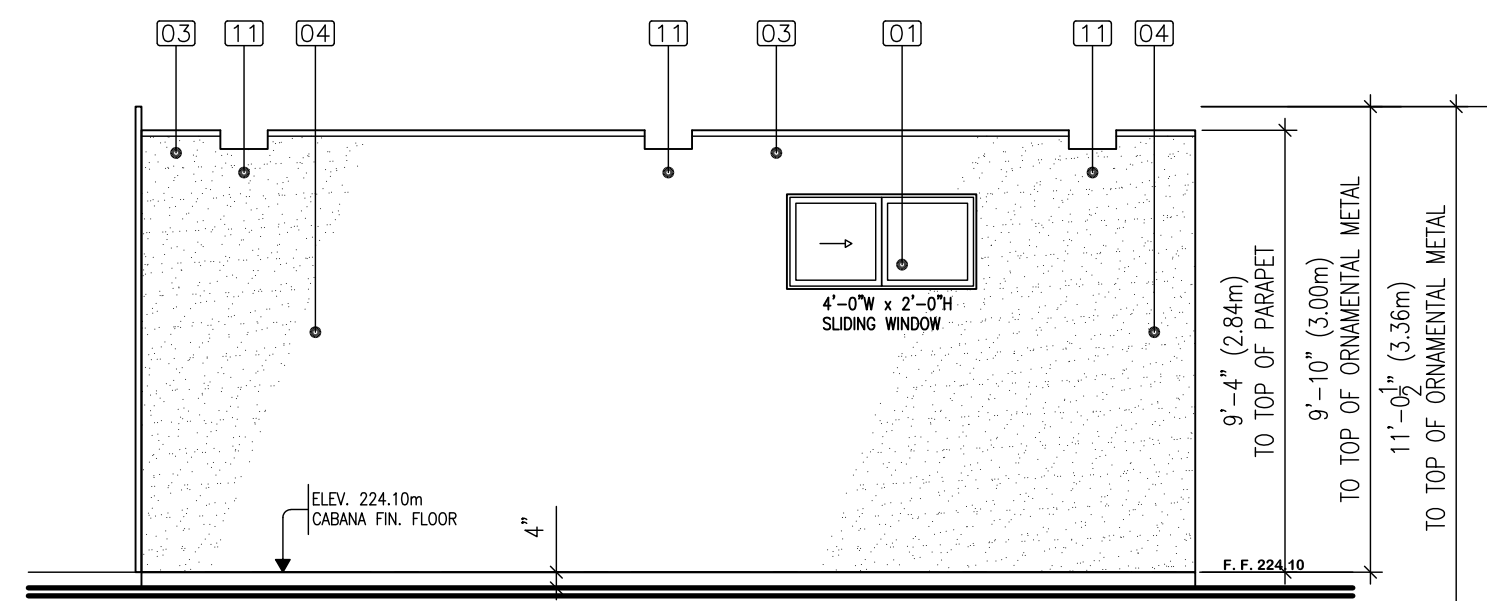
**3 NEW ACCESSORY BUILDING NORTH ELEVATION**  
A5 SCALE 1/4" = 1'-0"



**4 NEW ACCESSORY BUILDING EAST ELEVATION**  
A5 SCALE 1/4" = 1'-0"



**5 NEW ACCESSORY BUILDING SOUTH ELEVATION**  
A5 SCALE 1/4" = 1'-0"



**6 NEW ACCESSORY BUILDING WEST ELEVATION**  
A5 SCALE 1/4" = 1'-0"

Variance No. 3:  
Accessory Building Height of 3.10m.

**NOTE:**  
THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH STRUCTURAL DRAWINGS BY DORLAN ENGINEERING.

**ISSUED FOR COORDINATION**  
October 01, 2024

**FARID MOTAMEDI ARCHITECT INC.**  
Certificate of Practice No. : 3502  
E-mail: info@fmarchitect.ca  
Website: www.fmarchitect.ca

REV.	DATE	BY	DESCRIPTION
	SEPTEMBER 16 2024	F.M.	ESTABLISHED GRADES AT CABANA CORRECTED
	SEPTEMBER 09 2024	F.M.	ISSUED FOR COORDINATION
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	MAY 14 2024	F.M.	ISSUED FOR COORDINATION

REAR YARD ALTERATION TO EXISTING 2 STOREY RESIDENCE  
**11 JOHNWOOD CRESCENT**  
WOODBIDGE, ONTARIO

**MAIN BUILDING PART SIDE ELEVATIONS**  
**ACCESSORY BUILDING ELEVATIONS**

DATE	MAY 2024	DRAWING No.
DRAWN BY	B.M.	<b>A5</b>
CHECKED BY	F.M.	
SCALE	AS SHOWN	
ARCHITECTS JOB No.	FMA-24-119	

GLAZED STAINLESS STEEL GUARDRAIL SHALL COMPLY WITH OBC 2012 DIV. B, ARTICLES 9.8.8.7., AND 4.1.5.15 LOADS ON GUARDS.

"GLASS IN GUARD" SHALL BE COMPLIANT WITH ALL REQUIREMENTS OF MMAH SUPPLEMENTARY STANDARD SB-13.

PROVIDE SHOP DRAWINGS WITH P.ENG. STAMP FOR GUARDRAIL SYSTEM FOR APPROVAL

NEW GLAZED TERRACE GUARDRAIL C/W CLEAR SAFETY GLAZING & STAINLESS STEEL

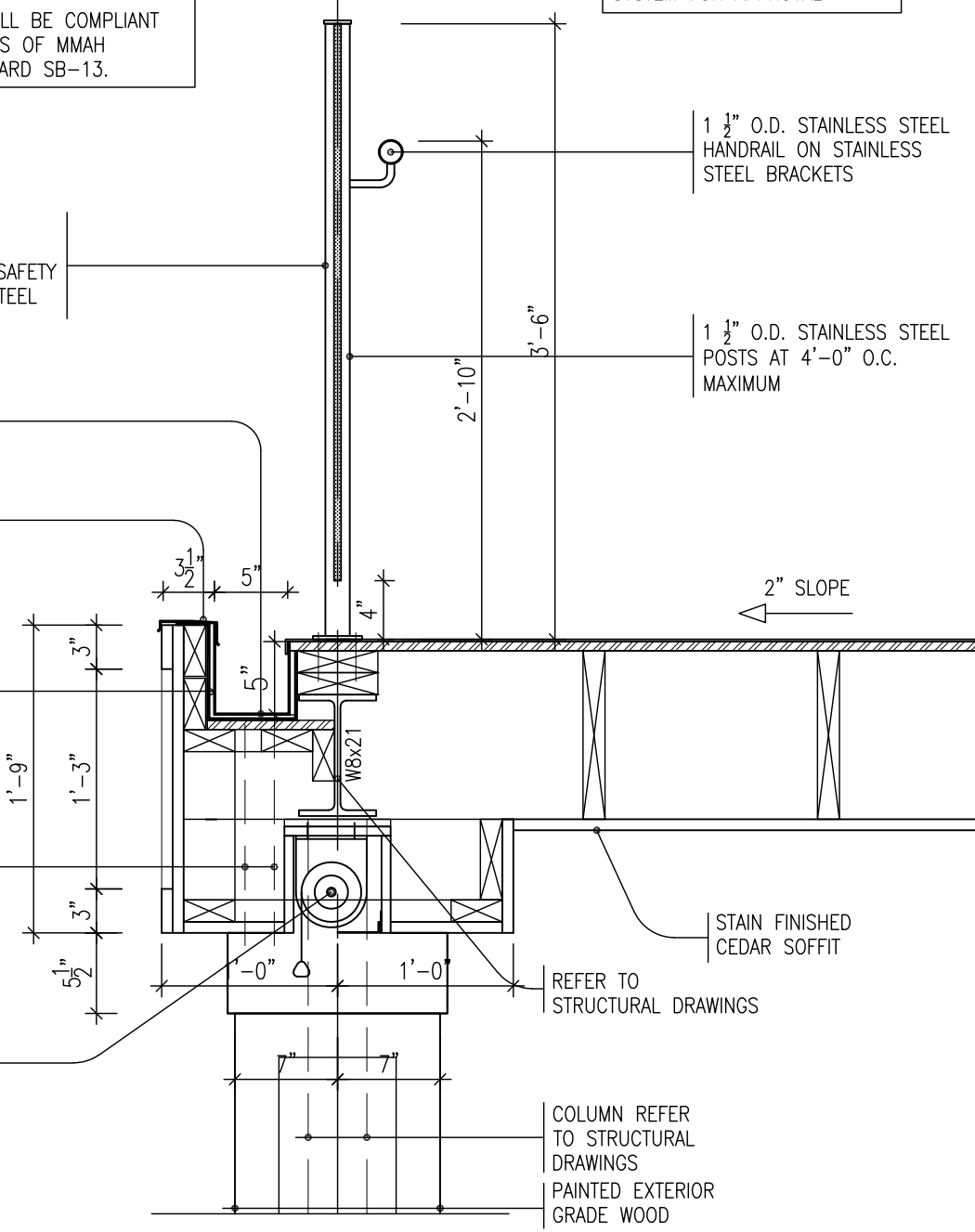
CALVANIZED HIDDEN GUTTER

26 GA. PRE-FIN. CAP FLASHING

BLUESKIN MEMBRANE ON 5/8" EXTERIOR GRADE PLYWOOD

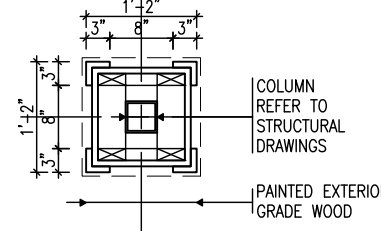
2" DIA. PVC VENT PIPES @ 4' O.C. C/W INSECT SCREEN

AUTOMATED SHADE

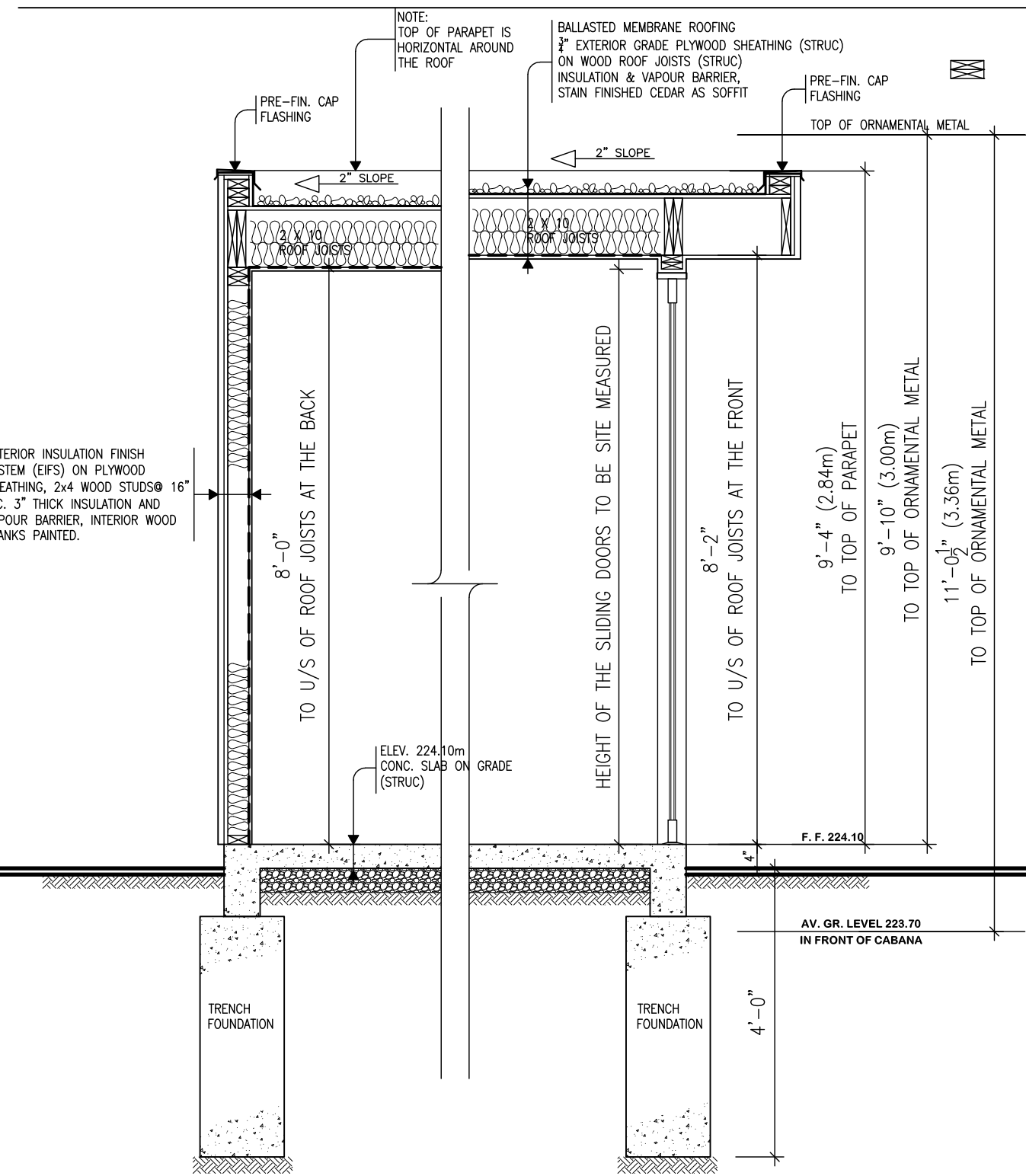


**4** DETAIL SECTION - GUTTER & GUARDRAIL  
A6 SCALE 1" = 1'-0"

NOTE:  
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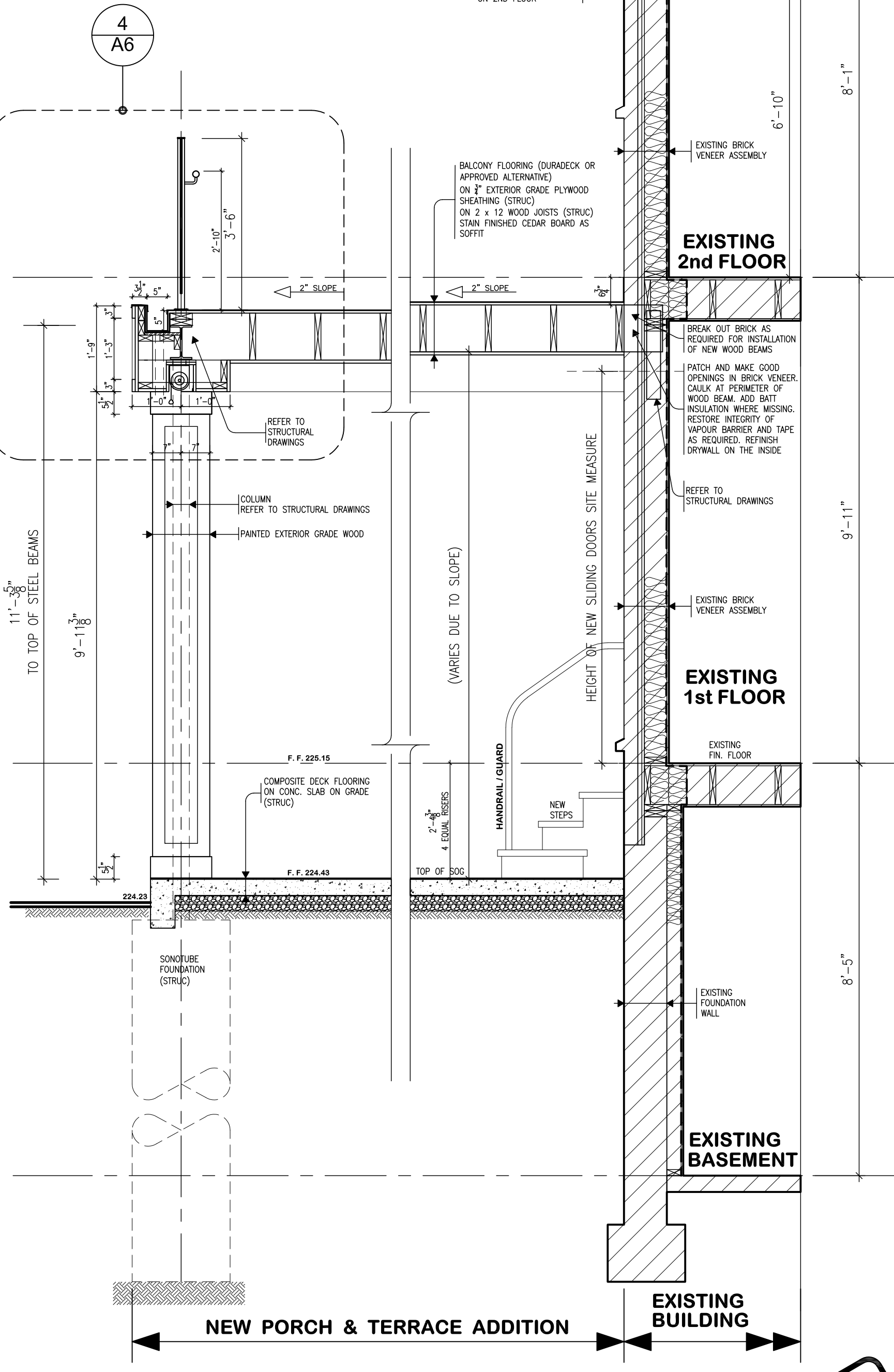
**2** COLUMN PLAN DETAIL  
A6 SCALE 1/2" = 1'-0"



**3** DETAIL SECTION - ACCESSORY BUILDING  
A6 SCALE 1/2" = 1'-0"

NOTE:  
THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH STRUCTURAL DRAWINGS BY DORLAN ENGINEERING.

NOTE:  
FOR FOUNDATIONS, CONC. SLAB ON GRADE, STEEL/WOOD FRAMING AS WELL AS NEW NEEDED LINTELS REFER TO STRUCTURAL DRAWINGS.



**1** DETAIL SECTION - NEW PORCH / TERRACE  
A6 SCALE 1/2" = 1'-0"

ISSUED FOR COORDINATION  
October 01, 2024

**FARID MOTAMEDI ARCHITECT INC.**  
ONTARIO ASSOCIATION OF ARCHITECTS  
FARID MOTAMEDI LICENCE 4468  
Certificate of Practice No. : 3502  
3 CHASE ROAD TORONTO, ONTARIO M2J 2S1 CANADA  
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REV.	DATE	BY	DESCRIPTION
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REAR YARD ALTERATION TO EXISTING 2 STOREY RESIDENCE  
**11 JOHNSWOOD CRESCENT**  
WOODBIDGE, ONTARIO

**DETAIL SECTIONS**

DATE	MAY 2024	DRAWING No.
DRAWN BY	B.M.	<b>A6</b>
CHECKED BY	F.M.	
SCALE	AS SHOWN	
ARCHITECTS JOB No.	FMA-24-119	

**SCHEDULE B:  
COMMENTS FROM AGENCIES, BUILDING STANDARDS &  
DEVELOPMENT PLANNING**

<b>Internal Departments</b> <small>*Comments Received</small>	<b>Conditions Required</b>		<b>Nature of Comments</b>
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions

<b>External Agencies</b> <small>*Comments Received</small>	<b>Conditions Required</b>		<b>Nature of Comments</b> <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions

**Date:** September 25<sup>th</sup> 2024

**Attention:** **Christine Vigneault**

**RE:**

**File No.:** **A143-24**

**Related Files:**

**Applicant** Leeswood Construction

**Location** 11 Johnswood Crescent





Discover the possibilities

### COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

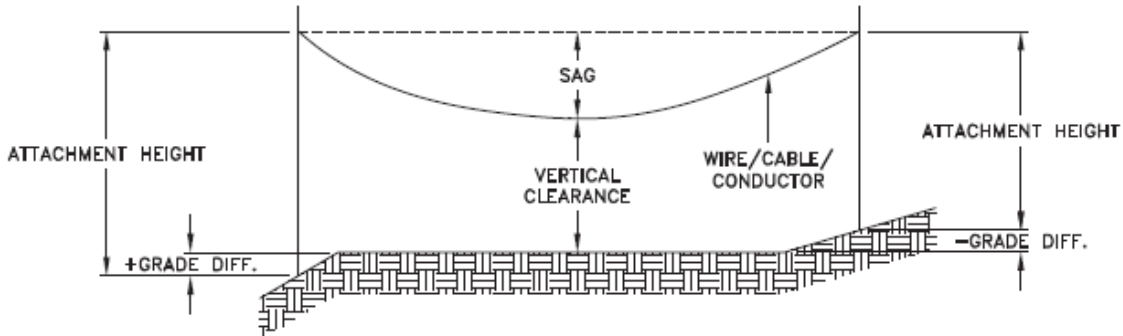
Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG  
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)  
 ± GRADE DIFFERENCE  
 + 0.3m (VEHICLE OR RAILWAY LOCATION)  
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

**NOTES:**

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

**CONVERSION TABLE**

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

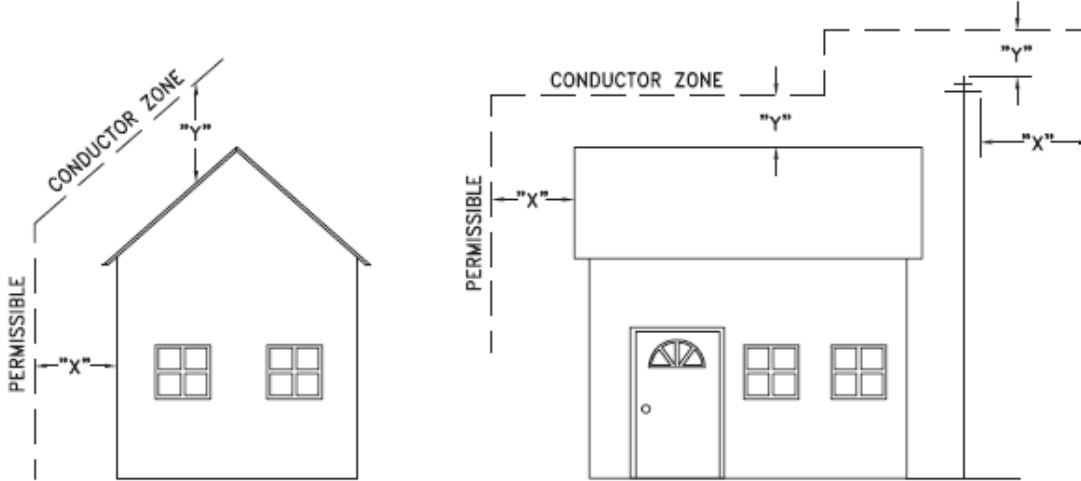
**REFERENCES**

SAGS AND TENSIONS | SECTION 02

**MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS**

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

**NOTES**

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

**MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)**

**Certificate of Approval**  
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04  
Debbie Dadwani, P.Eng. 2010-MAY-05  
Name Date  
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:  
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

**To:** Committee of Adjustment  
**From:** Faegheh Gholami, Building Standards Department  
**Date:** October 11, 2024  
**Applicant:** Leeswood Construction  
**Location:** 11 Johnswood Crescent  
 PLAN 65M3417 Lot 166  
**File No.(s):** A143/24

**Zoning Classification:**

The subject lands are zoned R3A(EN) – Third Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.690 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A residential accessory structure with a height greater than 2.8m shall not be located closer than 2.4m to any lot line. [Section 4.1.2.1b]	To permit a residential accessory structure with a height greater than 2.8m to be located a minimum of 1.06m from the rear lot line.
2	A residential accessory structure with a height greater than 2.8m shall not be located closer than 2.4m to any lot line. [Section 4.1.2.1b]	To permit a residential accessory structure with a height greater than 2.8m to be located a minimum of 0.65m from the interior side lot line.
3	A maximum building height of 3.0m is permitted for the proposed residential accessory structure. [4.1.4.1]	To permit a maximum building height of 3.36m for the proposed residential accessory structure.
4	In a Residential Zone, where lot frontage is 12.0 m or greater, the minimum landscape requirement of the front yard containing the driveway shall be 50%, of which 60% shall be soft landscaping. [Section 4.19.1.2.b]	To permit a minimum front yard landscape requirement of 54.96% (32.74m <sup>2</sup> ) of which a minimum of 55.37% (16.49m <sup>2</sup> ) to be soft landscaping in the yard which the driveway is located.

**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file

**Building Permit(s) Issued:**

Building Permit No. 24-125917 for Single Detached Dwelling - Deck, Issue Date: (Not Yet Issued)  
 Building Permit No. 24-125920 for Shed/Gazebo - New, Issue Date: (Not Yet Issued)

**Other Comments:**

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit.

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.

**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer  
**From:** Nancy Tuckett, Director of Development Planning  
**Date:** October 24, 2024  
**Name of Owners:** Patrick Spanjers and Cynthia Diner-Spanjers  
**Location:** 11 Johnswood Crescent  
**File No.(s):** A143/24

---

**Proposed Variance(s):**

1. To permit a residential accessory structure with a height greater than 2.8m to be located a minimum of **1.06 m** from the rear lot line.
2. To permit a residential accessory structure with a height greater than 2.8m to be located a minimum of **0.65 m** from the interior side lot line.
3. To permit a maximum building height of **3.36 m** for the proposed residential accessory structure.
4. To permit a minimum front yard landscape requirement of **54.96% (32.74m<sup>2</sup>)** of which a minimum of **55.37% (16.49m<sup>2</sup>)** to be soft landscaping in the yard which the driveway is located.

**By-Law 001-2021 Requirement(s):**

1. A residential accessory structure with a height greater than 2.8 m shall not be located closer than **2.4 m** to any lot line.
2. A residential accessory structure with a height greater than 2.8 m shall not be located closer than **2.4 m** to any lot line.
3. A maximum building height of **3.0 m** is permitted for the proposed residential accessory structure.
4. In a Residential Zone, where lot frontage is 12.0 m or greater, the minimum landscape requirement of the front yard containing the driveway shall be **50%**, of which **60%** shall be soft landscaping.

**Official Plan:**

Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

**Comments:**

The Owners are seeking relief to permit a rear yard cabana, as well as reduced front yard minimum soft landscaping requirements with the above-noted variances.

The Development Planning Department has no objection to Variances 1 and 2 for the proposed setback reductions from the cabana to the rear and west interior side lot lines. The cabana, proposed in the southwest corner of the rear yard, would be set back 0.65 m from the west interior side lot line and 1.06 m from the rear lot line. The proposed reduced setbacks provide sufficient spatial separation for access and maintenance. The Owners propose to remove an existing Norway Spruce tree and plant four (4) new replacement trees along the west interior side lot line. The four (4) replacement trees are located north of the proposed cabana, and will provide some additional screening between the cabana and neighbouring dwelling at 15 Johnswood Crescent in conjunction with the wood privacy fence. The proposed cabana is modest in building footprint, and complies with maximum lot coverage provisions. The City-owned Vellore Tract Woodlot is to the south. As such, the proposed cabana is not anticipated to incur adverse use (privacy) or massing impacts on the neighbouring property to the west (15 Johnswood Crescent) and or south (woodlot).

The Development Planning Department has no objection to Variance 3 to permit a cabana with a maximum height of 3.36 m. The proposed cabana has a flat roof, and the maximum height is measured from the average established grade to the top of the roof. The rear yard slopes downward towards the south, resulting in the cabana's slab becoming more exposed further south. This change in grade results in the average established grade calculation being taken approximately 0.36 m below the top of the concrete slab. If the height of the proposed cabana was taken from the top of the concrete slab, it would be 3.00 m, which complies with the Zoning By-law's height provision for accessory buildings.

Given that the added requested height will only be fully apparent on lands facing/near the south lot line, it is not anticipated that the added height will be perceptible.

The Development Planning Department has no objection to Variance 4 to permit reduced minimum front yard soft landscaping. The Zoning By-law provision requires a minimum front yard landscaping of 50%, of which 60% is to be soft landscaping. The intent of the provision is to ensure that the front yard provides an adequate combination of hard and soft landscaping to allow for features like snow storage, stormwater attenuation, and mitigation of urban heat island effects. The existing front yard accommodates a variety of soft and hard landscaping features including trees, flower planters, and interlocking stones. The 4.63% reduction in soft landscaping represents an area of approximately 3.15 m<sup>2</sup>, which does not pose a significantly perceptible adverse impact on the front yard's appearance from the public realm nor significantly impact its function.

Accordingly, the Development Planning Department supports the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

**Recommendation:**

The Development Planning Department recommends approval of the application.

**Conditions of Approval:**

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

**Comments Prepared by:**

Harry Zhao, Planner 1  
David Harding, Senior Planner

September 30, 2024

PAR-DPP-2024-00285

**SENT BY E-MAIL: Christine.Vigneault@vaughan.ca**

Christine Vigneault  
Secretary Treasurer  
Committee of Adjustment  
City of Vaughan  
2141 Major Mackenzie Drive  
Vaughan, Ontario L6A 1T1

Dear Christine:

**Re: Minor Variance Application A143/24  
Lot 166, Plan 65M3417  
11 Johnswood Crescent  
City of Vaughan, Regional Municipality of York  
Applicant: Partick Spanjers (Agent: Leeswood Construction)**

This letter acknowledges receipt of the above-noted application circulated by the City of Vaughan. The materials were received by Toronto and Region Conservation Authority (TRCA) on September 25, 2024. TRCA staff have reviewed the application and offer the following comments for the consideration of the Committee of Adjustment.

**Purpose of the Application**

It is our understanding that the purpose of the above noted application is to request the following variances under By-Law 001-2021:

By-Law 001-2021:

- To permit a residential accessory structure with a height greater than 2.8 metres to be located a minimum of 1.06 metres from the rear lot line;
- To permit a residential accessory structure with a height greater than 2.8 metres to be located a minimum of 0.65 metres from the interior side lot line, and;
- To permit a maximum building height of 3.36 metres for the proposed residential accessory structure.

The noted variances are being requested to facilitate the construction of an accessory structure in the rear yard.

**Ontario Regulation 41/24**

The subject property is located within TRCA's Regulated Area due to the area of interference of an unevaluated wetland to the south. This feature is associated with the Don River Watershed. In accordance with Ontario Regulation 41/24, development, interference or



alteration may be permitted in the Regulated Area where it can be demonstrated to TRCA's satisfaction that the control of flooding, erosion, dynamic beaches, unstable soils, or bedrock will not be affected.

### **Application-Specific Comments**

TRCA staff have reviewed and issued a permit for the proposed accessory structure (TRCA Permit No. PER-DPP-2024-00288, issued August 19, 2024), as well as the in-ground swimming pool, attached covered porch and terrace, and associated hard landscaping. The approved plans were revised and reviewed by the TRCA, where staff indicated no objection to the updated plans in an email dated August 28, 2024. As such, the provided plans are consistent with the plans that were approved as part of TRCA's permit.

Based on the above, TRCA staff have no concerns with the proposed variance.

### **Fees**

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$660.00 (Minor Variance – Residential - Minor) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

### **Recommendations**

Based on the comments noted above, TRCA has **no objection** to the approval of Minor Variance Application A143/24 subject to the following conditions:

1. That the applicant provides the required fee amount of \$660.00 payable to the Toronto and Region Conservation Authority.

We trust these comments are of assistance. Should you have any questions, please contact me at 437-880-1925 or at [cameron.mcdonald@trca.ca](mailto:cameron.mcdonald@trca.ca).

Sincerely,

Cameron McDonald  
Planner I  
Development Planning and Permits | Development and Engineering Services  
[cameron.mcdonald@trca.ca](mailto:cameron.mcdonald@trca.ca), 437-880-1925

## SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

## SCHEDULE D: BACKGROUND

Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A