

ITEM: 6.7	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A139/24
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Report Date: October 25, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Forestry	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
Public	Petition	10, 11, 19, 33, 37, 56, 65, 78 Mahmood Crescent	09/04/2024	Letter of Support

BACKGROUND (SCHEDULE D, IF REQUIRED)	
<small>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</small>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

ADJOURNMENT HISTORY	
<small>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</small>	
Hearing Date	Reason for Adjournment (to be obtained from NOD_ADJ)
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



**MINOR VARIANCE APPLICATION
FILE NUMBER A139/24**

CITY WARD #:	1
APPLICANT:	Adeel Aziz & Hagia Kunwal Ahmad
AGENT:	Abhay Vaid, V.A. Architect Inc.
PROPERTY:	52 Mahmood Crescent Maple
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a secondary unit in the basement and on the first floor of the existing dwelling.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R4A(EN) Fourth Density Residential Zone, Established Neighbourhood and subject 14.705 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The maximum gross floor area of a secondary suite shall not exceed 45% of the total gross floor area of the principal dwelling. [5.21]	To permit a maximum gross floor area of a secondary suite (basement) not to exceed 80.54% of the total gross floor area of the principal dwelling.
2	The maximum gross floor area of a secondary suite shall not exceed 45% of the total gross floor area of the principal dwelling. [5.21]	To permit a maximum gross floor area of a secondary suite (first floor) not to exceed 83.87% of the total gross floor area of the principal dwelling.

HEARING INFORMATION

DATE OF MEETING: Wednesday, October 30, 2024

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive

LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

INTRODUCTION

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

That the general intent and purpose of the by-law will be maintained.

That the general intent and purpose of the official plan will be maintained.

That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.

That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	October 17, 2024
Date Applicant Confirmed Posting of Sign:	October 14, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	Because of the existing/ as built conditions
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
None	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

The Owner/Applicant shall apply and obtain the necessary 'Curb Cut/Reinstating Permit' through the Transportation and Fleet Management Services. Please visit the Curb Cut Permits page at the City of Vaughan website to learn how to apply for the Curb Cut/ Reinstating Permit.

The proposed work by the Owner/Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer.

Development Engineering Recommended Conditions of Approval:	None
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PARKS, FORESTRY & HORTICULTURE (PFH)

Forestry has no comment at this time.

PFH Recommended Conditions of Approval:	None
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DEVELOPMENT FINANCE

No comment no concerns.

DEVELOPMENT FINANCE

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date.

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC)

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT

No comments received to date.

Fire Department Recommended Conditions of Approval:	None
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RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	York Region developmentservices@york.ca	<p>Prior to final approval of the application, the Owner shall provide to the Region the following documentation to confirm that water and wastewater services are available to the proposed secondary dwelling and have been allocated by the City of Vaughan:</p> <ol style="list-style-type: none"> 1. a copy of the Council resolution confirming that the City of Vaughan has allocated servicing capacity, specifying the specific source of the capacity, for the proposed secondary dwelling. 2. copy of an email confirmation by a City of Vaughan staff member stating that the allocation to the subject development remains valid at the time of the request for regional clearance of this condition

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

IMPORTANT INFORMATION

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

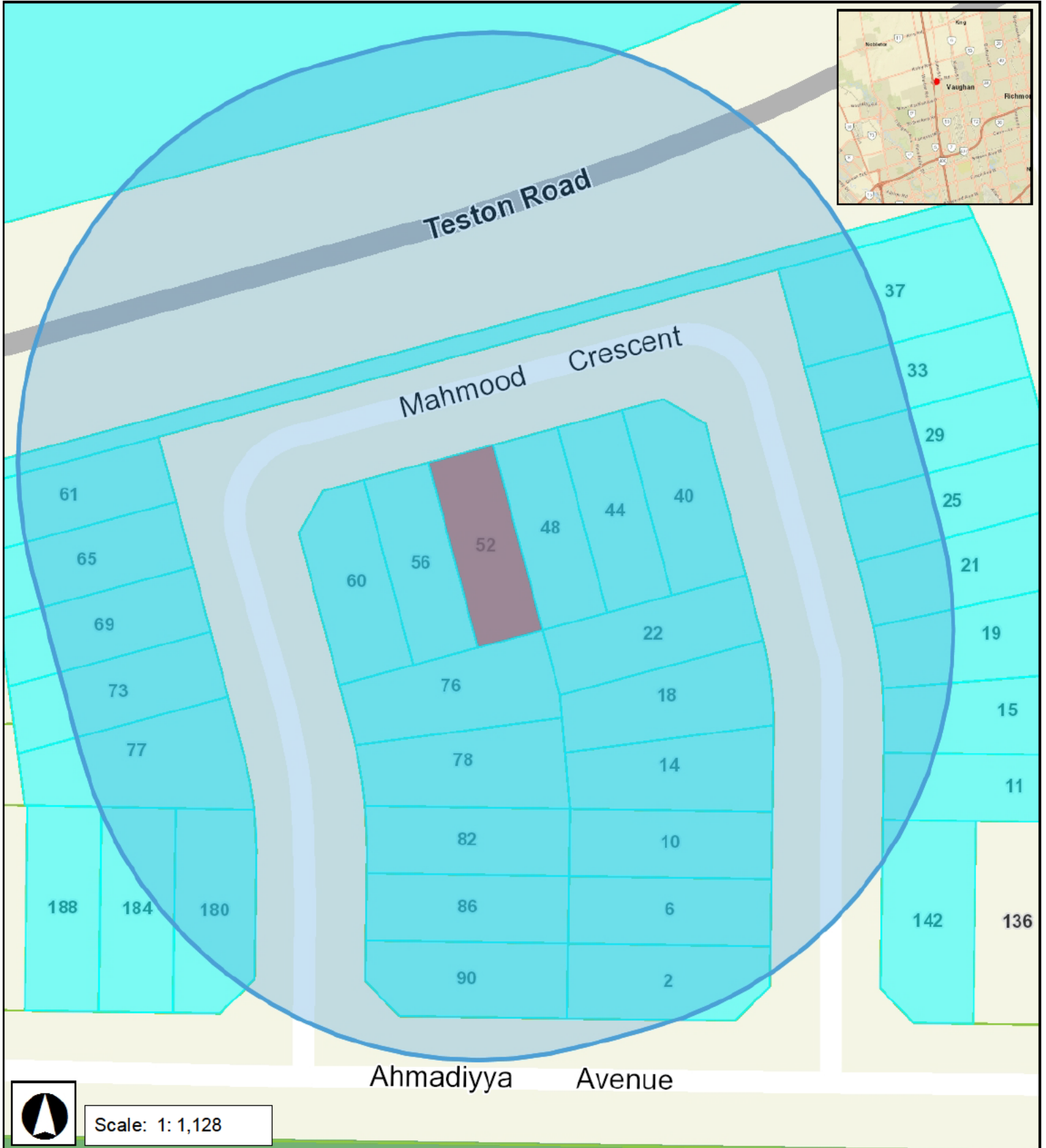
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS





V.A. ARCHITECT INC.
 UNIT 103,
 120 TRADERS BLVD. E.,
 MISSISSAUGA, ON.


Tel : (905) 501-1000
 Email : vaainc@gmail.com
 Web : www.vaainc.ca

REVISIONS			
NO.	DATE	PARTICULAR	BY

DRAWINGS ISSUE			
NO.	DATE	PARTICULAR	BY
1	11.07.2024	ISSUED FOR PERMIT	
2	07.08.2024	ISSUED FOR C of A MV	
3	29.08.2024	RE ISSUED FOR C of A MV	
4	08.09.2024	RE ISSUED FOR C of A MV	
5	13.09.2024	RE ISSUED FOR C of A MV	
6	18.09.2024	RE ISSUED FOR C of A MV	

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CLIENT:

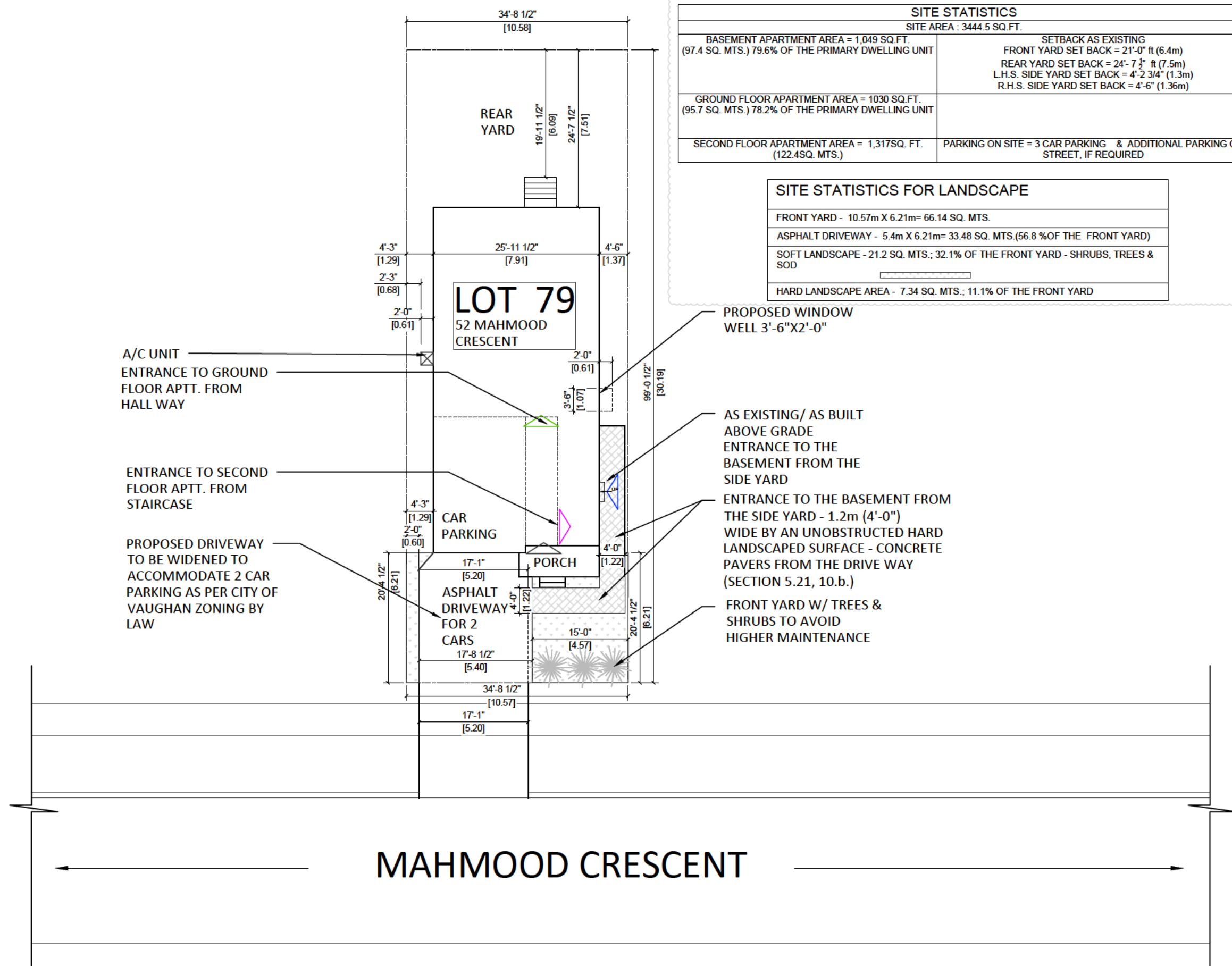
PROJECT:
 TRIPLEX DWELLING UNIT
 52 MAHMOOD CRESCENT,
 MAPLE, ON

SHEET TITLE:
 SITE PLAN

DRAWN: NP Sheet No:
 CHECKED: AV
 APPROVED: A100
 DATE: JUNE 01, 2024
 SCALE: 1/16"=1'-0" Project No: 2023-103

SITE STATISTICS	
SITE AREA : 3444.5 SQ.FT.	
BASEMENT APARTMENT AREA = 1,049 SQ.FT. (97.4 SQ. MTS.) 79.6% OF THE PRIMARY DWELLING UNIT	SETBACK AS EXISTING FRONT YARD SET BACK = 21'-0" ft (6.4m) REAR YARD SET BACK = 24'- 7 1/2" ft (7.5m) L.H.S. SIDE YARD SET BACK = 4'-2 3/4" (1.3m) R.H.S. SIDE YARD SET BACK = 4'-6" (1.36m)
GROUND FLOOR APARTMENT AREA = 1030 SQ.FT. (95.7 SQ. MTS.) 78.2% OF THE PRIMARY DWELLING UNIT	
SECOND FLOOR APARTMENT AREA = 1,317SQ. FT. (122.4SQ. MTS.)	PARKING ON SITE = 3 CAR PARKING & ADDITIONAL PARKING ON STREET, IF REQUIRED

SITE STATISTICS FOR LANDSCAPE	
FRONT YARD - 10.57m X 6.21m= 66.14 SQ. MTS.	
ASPHALT DRIVEWAY - 5.4m X 6.21m= 33.48 SQ. MTS.(56.8 %OF THE FRONT YARD)	
SOFT LANDSCAPE - 21.2 SQ. MTS.; 32.1% OF THE FRONT YARD - SHRUBS, TREES & SOD	
HARD LANDSCAPE AREA - 7.34 SQ. MTS.; 11.1% OF THE FRONT YARD	



A/C UNIT
 ENTRANCE TO GROUND FLOOR APTT. FROM HALL WAY

ENTRANCE TO SECOND FLOOR APTT. FROM STAIRCASE

PROPOSED DRIVEWAY TO BE WIDENED TO ACCOMMODATE 2 CAR PARKING AS PER CITY OF VAUGHAN ZONING BY LAW

PROPOSED WINDOW WELL 3'-6"X2'-0"

AS EXISTING/ AS BUILT ABOVE GRADE ENTRANCE TO THE BASEMENT FROM THE SIDE YARD

ENTRANCE TO THE BASEMENT FROM THE SIDE YARD - 1.2m (4'-0") WIDE BY AN UNOBSTRUCTED HARD LANDSCAPED SURFACE - CONCRETE PAVERS FROM THE DRIVE WAY (SECTION 5.21, 10.b.)

FRONT YARD W/ TREES & SHRUBS TO AVOID HIGHER MAINTENANCE



V.A.Architect Inc.

UNIT 103,
120 TRADERS BLVD. E.,
MISSISSAUGA, ON.

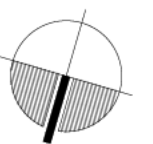
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Web : www.vaainc.ca

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DRAWINGS ISSUE			
NO.	DATE	PARTICULAR	BY
1	03.07.2024	ISSUED FOR CLIENT SIGN OFF	
2	11.07.2024	ISSUED FOR PERMIT	

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SEALS:



NORTH

CLIENT:

PROJECT:

TRIPLEX DWELLING UNIT
52 MAHMOOD CRESCENT,
MAPLE, ON L6A 3A4

SHEET TITLE:

AS BUILT FLOOR PLANS

DRAWN: HT Sheet No:

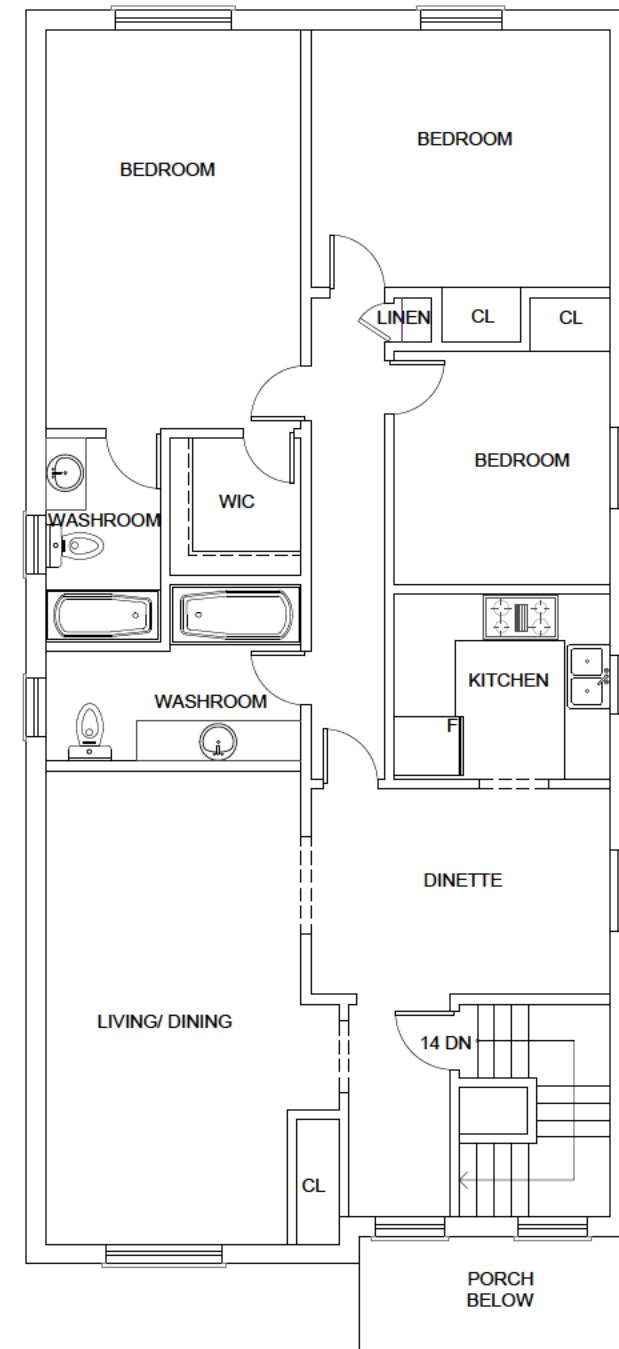
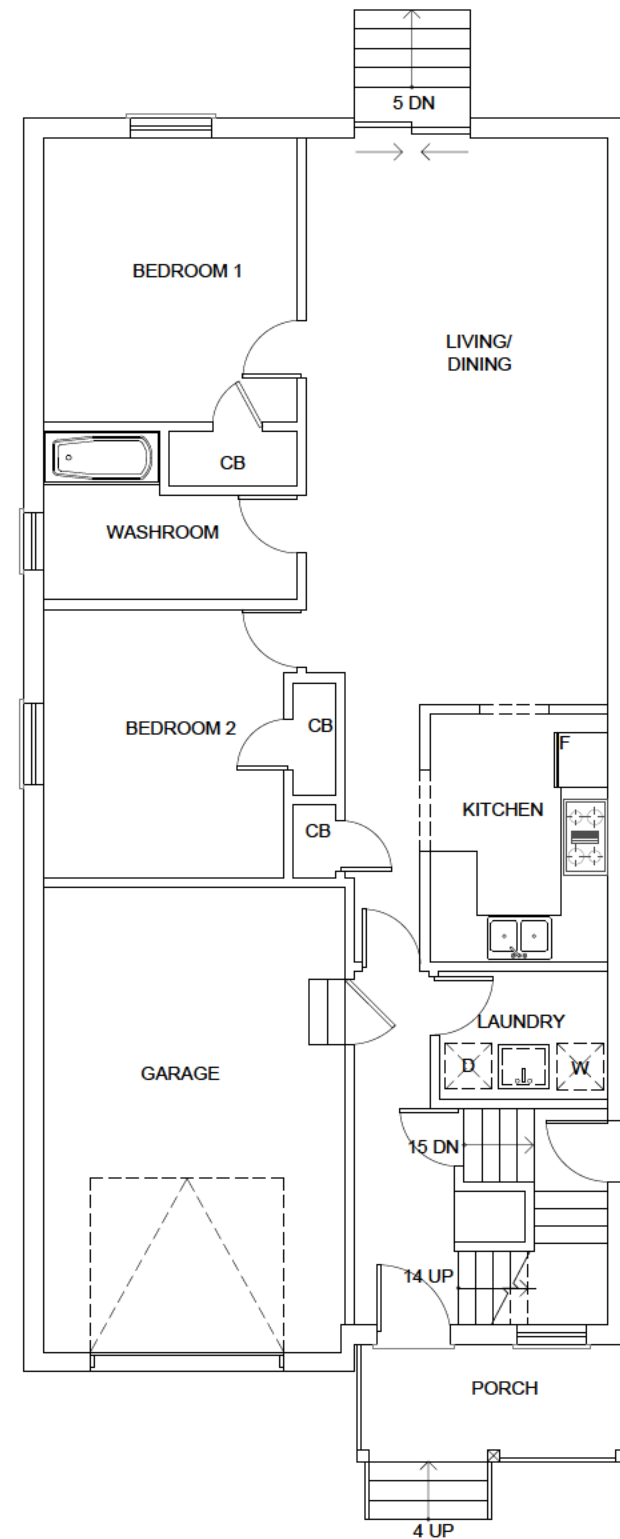
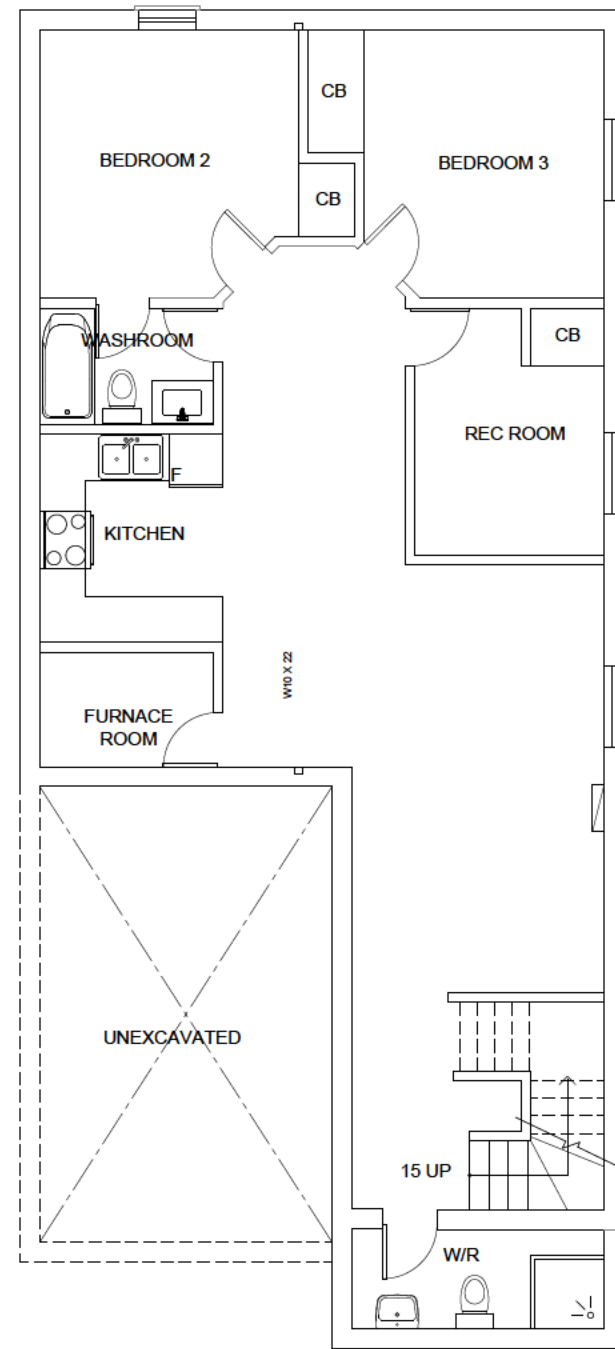
CHECKED: AV

APPROVED: -

DATE: JULY 03, 2024

SCALE: 1/8"=1'-0" Project No: 2024-034

A102





V.A. ARCHITECT INC.

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PROJECT:

TRIPLEX DWELLING UNIT

52 MAHMOOD CRESCENT,
MAPLE, ON L6A 3A4

SHEET TITLE:

PROPOSED FLOOR PLANS

DRAWN: HT Sheet No:

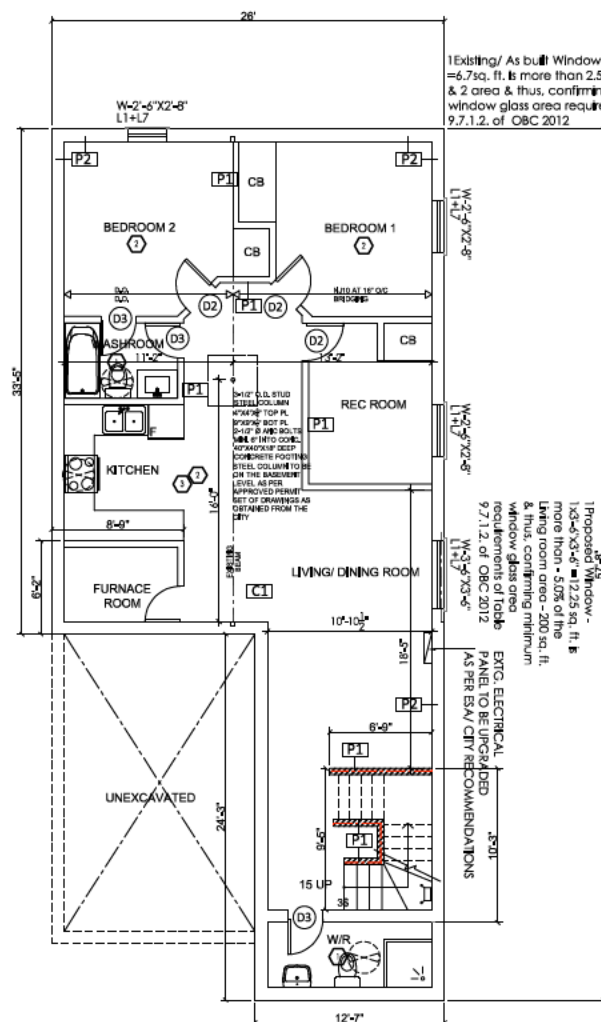
CHECKED: AV

APPROVED:

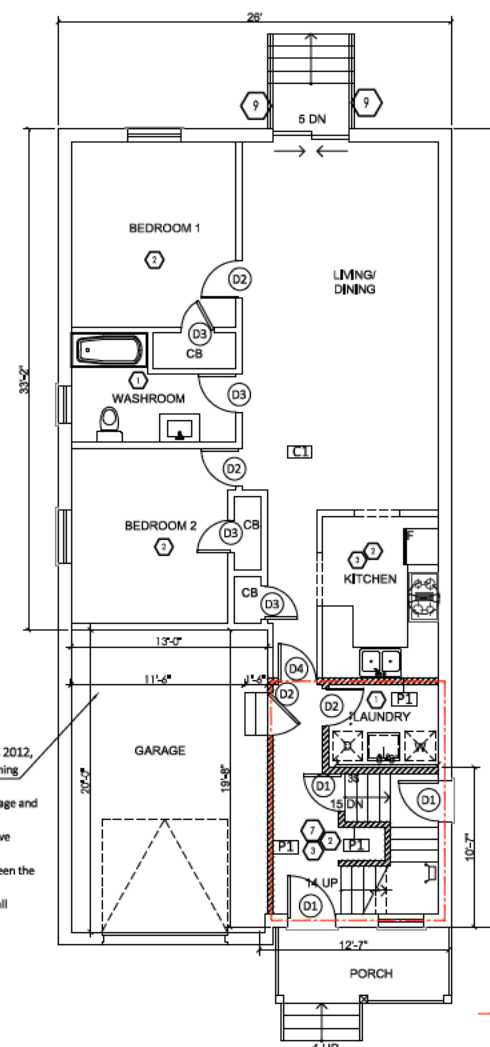
A104

DATE: JULY 03, 2024

SCALE: 1/8"=1'-0" Project No: 2024-034

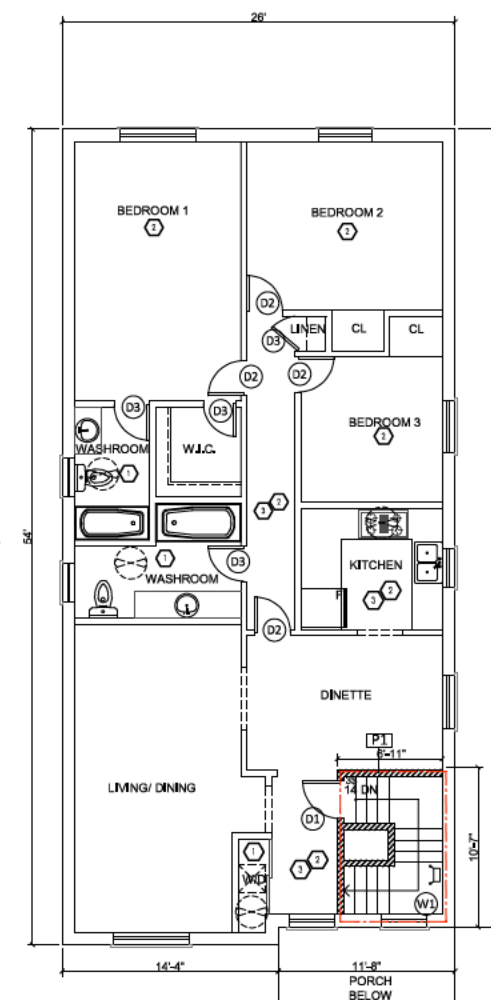


PROPOSED BASEMENT FLOOR PLAN



PROPOSED GROUND FLOOR PLAN

DAMAGES CAUSED BY FIRE ARE NOT PART OF THE SCOPE OF WORKS; FIRE DAMAGES REMEDIATION TO BE CONFIRMED BY THE RESPECTIVE CONSULTANTS, PARTIES ETC.; IF THERE ARE ANY STRUCTURAL DAMAGES TO THE PROPERTY, TO BE NOTIFIED TO THE ARCHITECT & THE MUNICIPALITY IN WRITING



PROPOSED SECOND FLOOR PLAN

1 PROPOSED FLOOR PLANS

Scale: 1/8" = 1'-0"



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MAPLE, ON L6A 3A4

SHEET TITLE:

PROPOSED ELEVATIONS

DRAWN: HT Sheet No:

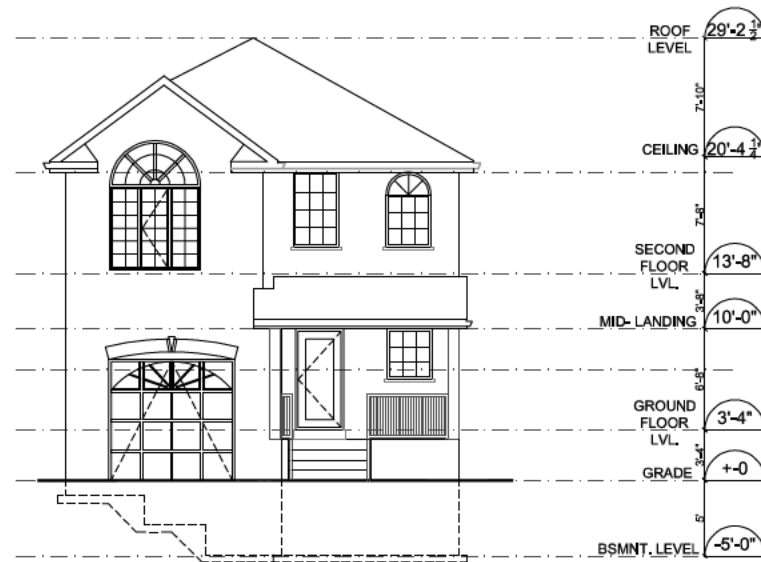
CHECKED: AV

APPROVED: -

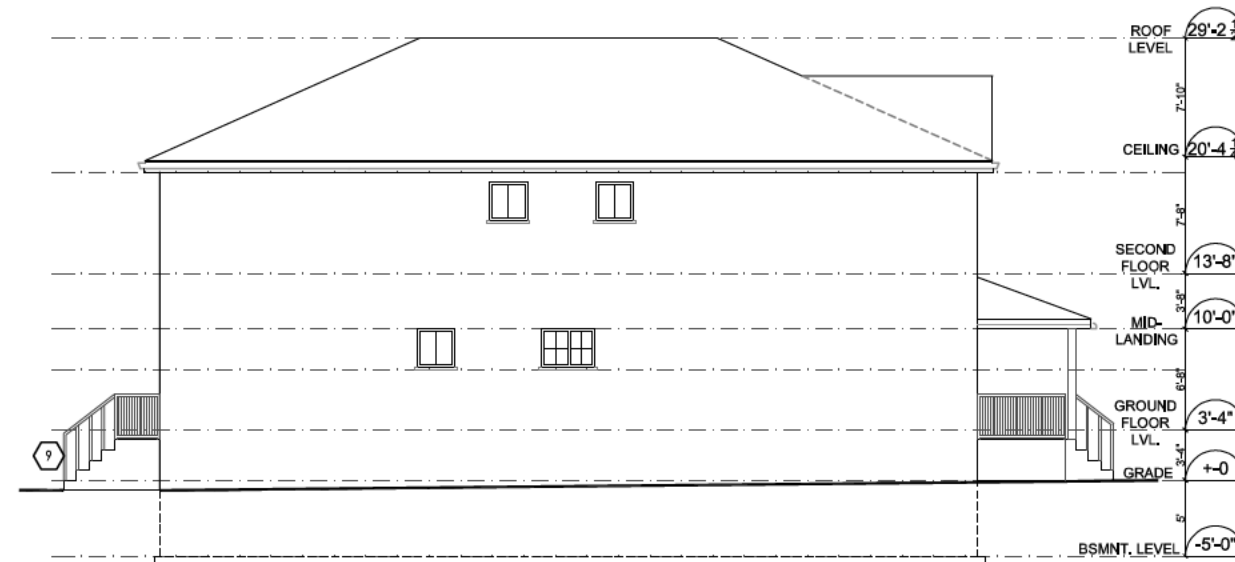
DATE: JULY 03, 2024

SCALE: 1/8"=1'-0" Project No: 2024-034

A105



PROPOSED FRONT ELEVATION



PROPOSED FLANK WALL
L.H.S. ELEVATION

PROPOSED SPATIAL CALCULATIONS FOR R.H.S. FLANK WALL EBF

AS PER TABLE 9.10.14.4.

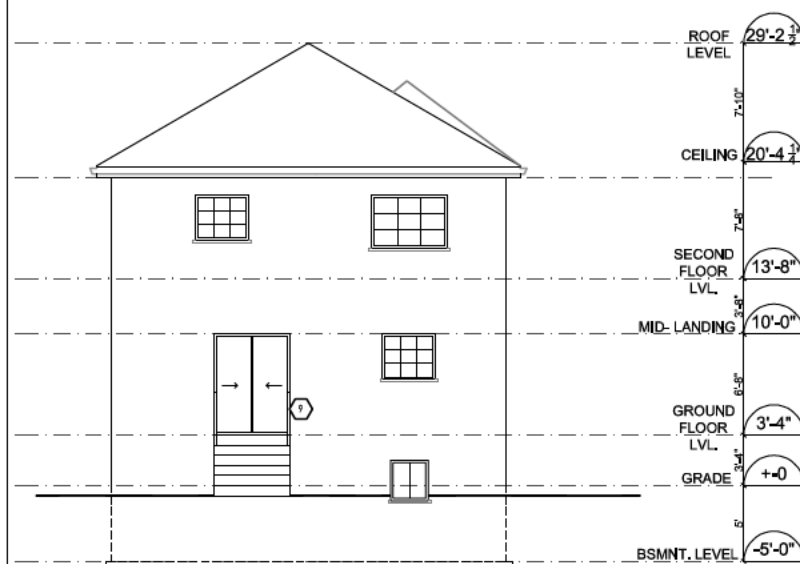
LIMITING DISTANCE - 1.36 m

R.H.S. FLANK WALL AREA - 103.0 sq.m.

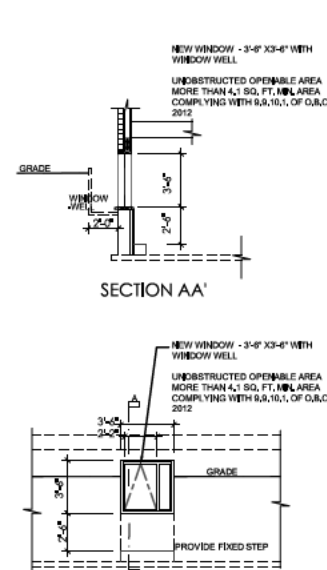
UPO AREA - 7.0 sq.m.

%AGE OF OPENINGS TO EBF - 6.79%

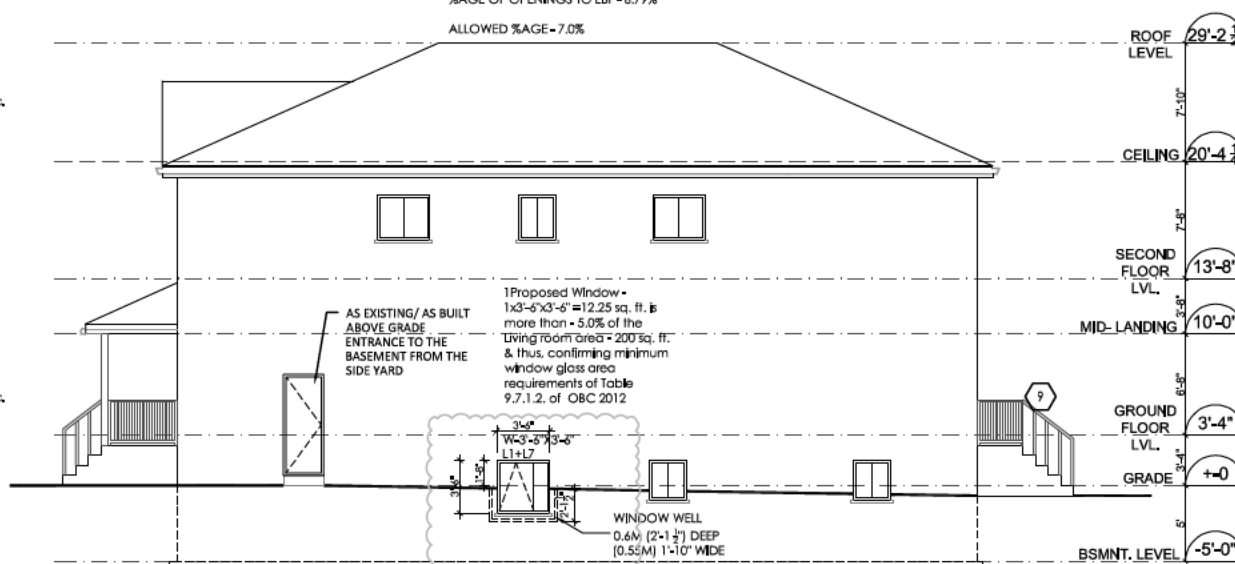
ALLOWED %AGE - 7.0%



PROPOSED REAR ELEVATION



PART - FLANK WALL ELEVATION



PROPOSED FLANK WALL
R.H.S. ELEVATION

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions

Date: September 18th 2024

Attention: Christine Vigneault

RE:

File No.: A139-24

Related Files:

Applicant Abhay Vaid

Location 52 Mahmood Crescent



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

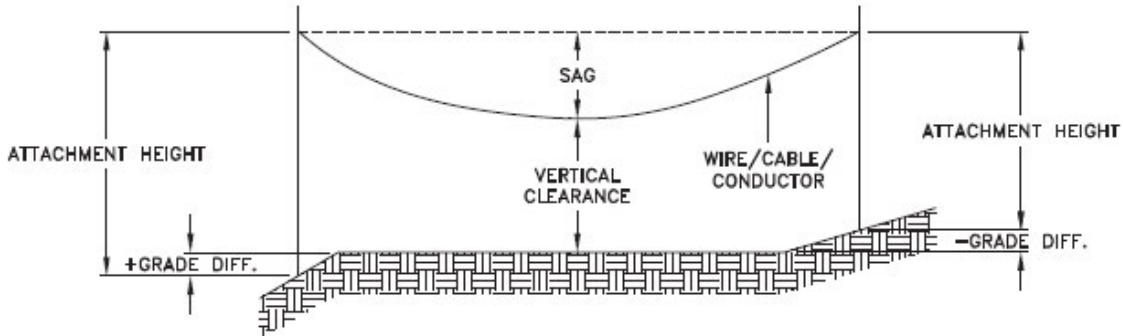
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 + GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

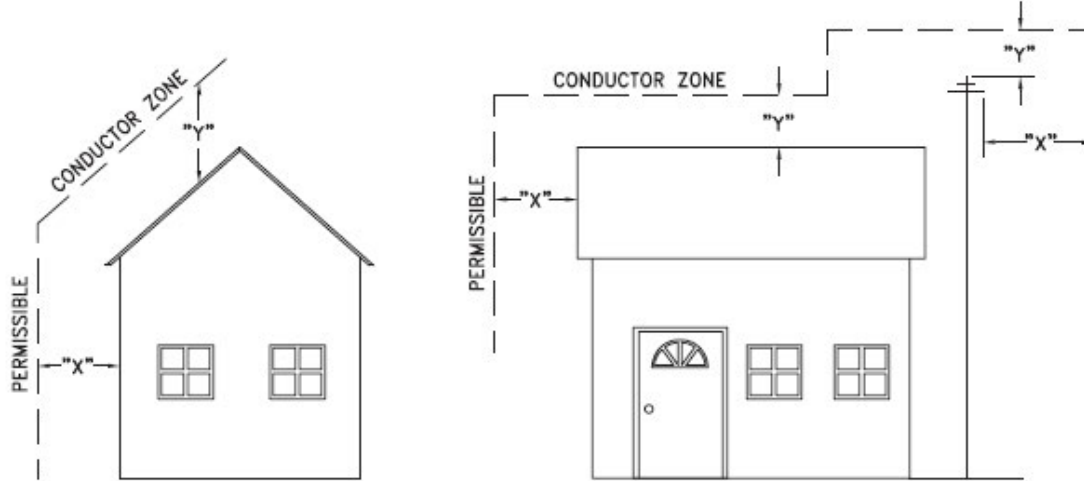
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS System Planning and Standards/Standard Design/PowerStream Standards/PowerStream Standards working folder/Section 3.3-6/DWG 03-4 R0 May 5, 2010.dwg, 3/3/2010 10:27:02 AM, Adobe PDF

To: Committee of Adjustment
From: Catherine Saluri, Building Standards Department
Date: September 18, 2024
Applicant: Abhay Vaid
Location: 52 Mahmood Crescent
 PLAN 65M3309 Lot 79
File No.(s): A139/24

Zoning Classification:

The subject lands are zoned R4A(EN) Fourth Density Residential Zone, Established Neighbourhood and subject 14.705 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The maximum gross floor area of a secondary suite shall not exceed 45% of the total gross floor area of the principal dwelling. [5.21]	To permit a maximum gross floor area of a secondary suite (basement) not to exceed 80.54% of the total gross floor area of the principal dwelling.
2	The maximum gross floor area of a secondary suite shall not exceed 45% of the total gross floor area of the principal dwelling. [5.21]	To permit a maximum gross floor area of a secondary suite (first floor) not to exceed 83.87% of the total gross floor area of the principal dwelling.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file.

Building Permit(s) Issued:

Building Permit No. 03-003940 for Single Detached Dwelling - Alteration (Not Yet Issued)

Building Permit Application No. 2024 123146 for a Secondary Suite (two in the existing dwelling).

Other Comments:

Zoning By-law 001-2021	
1	Front yard landscaping, as shown on the Site Plan provided by the Applicant, is not the existing condition, however, it is proposed in order to achieve compliance with the zoning bylaw.

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit.
2	A permit shall be obtained for the proposed driveway widening from the City of Vaughan Public Works Department.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: October 23, 2024
Name of Owners: Adeel Aziz and Nagia Kunwal Ahmad
Location: 52 Mahmood Crescent
File No.(s): A139/24

Proposed Variance(s) (By-law 001-2021):

1. To permit a maximum gross floor area of a secondary suite (basement) not to exceed 80.54% of the total gross floor area of the principal dwelling.
2. To permit a maximum gross floor area of a secondary suite (first floor) not to exceed 83.87% of the total gross floor area of the principal dwelling.

By-Law Requirement(s) (By-law 001-2021):

1. The maximum gross floor area of a secondary suite shall not exceed 45% of the total gross floor area of the principal dwelling.
2. The maximum gross floor area of a secondary suite shall not exceed 45% of the total gross floor area of the principal dwelling.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owners are seeking relief to permit the construction of two (2) additional dwelling units within a single detached dwelling, with the above noted variances.

Proposal

The proposal seeks to divide the existing two-storey single detached dwelling into three separate dwelling units: one per floor inclusive of the basement. In this case, the second floor is being considered the primary dwelling unit as it is the largest of the three units. The ground floor and second floor units will be accessed internally through a shared hallway leading from the dwelling's front entryway. The basement unit will utilize an existing door on the west wall of the building, accessed from the westerly interior side yard. The majority of the proposed alterations to create the additional dwelling units will occur internally. The dwelling will continue to appear as a single detached dwelling from the exterior streetscape. Other than the landscaping improvements to the front yard, and new window on the dwelling's west wall, no other changes are proposed to the exterior of the existing dwelling.

In the property's current condition, there is very little soft landscaping in the front yard. As a result of this application, the Owners are proposing to restore soft landscaping features in the front yard to comply with the Zoning Bylaw requirements. Compliance will be achieved by installing a landscape strip on the easterly side of the driveway and the reinstatement of sod and additional shrubbery in-front of the building's front porch area.

Bill 23, More Homes Built Faster Act, 2022

On November 28, 2022, Bill 23, *More Homes Built Faster Act, 2022*, received Royal Assent which permits "as-of-right" (without the need to apply for a rezoning or variance) up to 3 units per lot in many existing residential areas (i.e., up to 3 units allowed in the primary building). To support the implementation of additional residential units ('ARUs'), the *Cutting Red Tape to Build More Homes Act, 2024*, made further changes to the *Planning Act* to provide the Minister of Municipal Affairs and Housing with broader regulation-making authority to align municipal by-laws in support of building more ARUs. The Ministry of Municipal Affairs and Housing recently posted proposed additional amendments to Ontario Regulation 299/19, which would further remove barriers and encourage the creation of ARUs across the province. The consultation period for the proposed changes closes on October 23, 2024. The current and proposed provincial

direction does not specify the relationship (primary, accessory) between units and does not impose any maximum GFA restrictions.

Analysis

The Development Planning Department has no objections to Variances 1 and 2 for the proposed ARUs. The by-law provisions pertaining to secondary suites were enacted prior to Bill 23 coming into force, when legislation allowed for the distinction between primary and secondary (accessory) dwelling units. Bill 23 does not make this distinction. Development Planning Department staff are reviewing the legislative changes and intend on bringing forth an amendment to the By-law's secondary suite provisions to align with the province's direction on ARUs, for Council's consideration in the new year.

Bill 23 permits up to 3 residential units upon the Subject Lands, and sets the parking requirement at one parking space per unit. As such, this proposal meets the parking requirements as there are two (2) spaces being provided in the driveway and one (1) in the garage. The proposed configuration of the additional residential units would be desirable development of the Subject Lands. Without relief, the two additional residential units would be approximately half the size. The proposal allows for each unit to fully use each floor, and the added additional residential unit space facilitates use by individuals through a wider range of life stages. It would also create an opportunity for more affordable housing options, implements the province's target to create more housing, and to gently introduce intensification into an existing neighbourhood with minimal alteration to the building's exterior.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None.

Comments Prepared by:

Alyssa Pangilinan, Planner 1
David Harding, Senior Planner

From: [Cameron McDonald](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A139/24 - 52 MAHMOOD CRESCENT - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Thursday, September 19, 2024 9:51:22 AM
Attachments: [image002.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good morning,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from the TRCA.

Based on the above, we have no comments/requirements.

Regards,

Cameron McDonald

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:(437)880-1925)

E: cameron.mcdonald@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)

From: [Development Services](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A139/24 - 52 MAHMOOD CRESCENT - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Tuesday, October 1, 2024 2:15:12 PM
Attachments: [image001.png](#)
[image003.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hi,

The Regional Municipality of York has completed its review of the minor variance application – A139/24 (52 MAHMOOD CRESCENT) and has the following condition:

Prior to final approval of the application, the Owner shall provide to the Region the following documentation to confirm that water and wastewater services are available to the proposed secondary dwelling and have been allocated by the City of Vaughan:

a) a copy of the Council resolution confirming that the City of Vaughan has allocated servicing capacity, specifying the specific source of the capacity, for the proposed secondary dwelling.

b) a copy of an email confirmation by a City of Vaughan staff member stating that the allocation to the subject development remains valid at the time of the request for regional clearance of this condition

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Planning | Economic and Development Services Branch | Corporate Services Department

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Public	Petition	10, 11, 19, 33, 37, 56, 65, 78 Mahmood Crescent	09/04/2024	Letter of Support

August 30, 2024

Christine Vigneault, AMP, ACST
Manager, Development Services & Secretary Treasurer to the Committee of
Adjustment
City of Vaughan
Office of the City Clerk
2141 Major Mackenzie Dr.,
Vaughan ON
L6A 1T1

Re: Consent in favour of the Minor Variances requested by Adeel Aziz and Nagia
Ahmad, the owners of 52 Mahmood Crescent, Vaughan, ON.
Application number: File # A 139/24

Dear Madam:

We, the following neighbours of the aforesaid property, hereby convey our consent in
favour of the minor variances requested by, Adeel Aziz and Nagia Ahmad, the owners of
52 Mahmood Crescent, Vaughan, ON for following variances:

(File #: A139/24)

- To permit 2 car park space on the existing parking driveway 5.2m x 6.21m
whereas as per zoning by law 5.4m x 5.7m of car park space is required for 2 car
parking on the driveway for 2 Cars; variance for 0.2 m is required.
- To permit as built Ground floor apartment area to be 78.2% of the GFA of the
primary Unit on Second floor area whereas zoning bylaw permits 45% of the
GFA area for secondary units of the Primary Unit GFA
- To permit as built Basement apartment area to be 79.6% of the GFA of the
primary Unit on Second floor area whereas zoning bylaw permits 45% of the
GFA area for secondary units of the Primary Unit GFA

Sr #	Name of the adjoining property owner & Sign	Address of the property	Ph - No
1-	TAHIR RASOOL <i>Tahir</i>	11- MAHMOOD	
2-	TANVIR ISLAM <i>Tanvir</i>	65 MAHMOOD	
3-	SHAHID SYED <i>Shahid</i>	56 MAHMOOD	
4-	RANA SULEMAN <i>Rana</i>	78 MAHMOOD CR	
5-	SAJJAD MALIK <i>Sajjad</i>	37- MAHMOOD CR	
6-	MALIK HAMID <i>Malik</i>	10 MAHMOOD	
7-	ARIF AHMED <i>Arif</i>	33 MAHMOOD	
8-	MUBASHAR MAHMOOD <i>Mubashar</i>	19 MAHMOOD	

SCHEDULE D: BACKGROUND

Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A