

ITEM: 6.1	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A050/24
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Report Date: October 25, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Forestry	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
By-law & Compliance	Yes <input checked="" type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
<p>All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.</p>				
Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
None				

BACKGROUND (SCHEDULE D, IF REQUIRED)	
<p>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</p>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

ADJOURNMENT HISTORY	
<p>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</p>	
Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A050/24

CITY WARD #:	2
APPLICANT:	Giuseppe Roti, Rosaria Roti & Daniela Roti
AGENT:	Marco Vieira & Patricia Santos
PROPERTY:	53 Hayhoe Avenue, Woodbridge
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a proposed dwelling (including canopy and architectural feature) and increased maximum driveway width.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R1A(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.230 under Zoning By-law 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	A canopy (attached and permanent) shall not encroach more than 0.6 m into the minimum required front yard of 16 m. [Zoning Bylaw 001-2021, Subsection 4.13] A minimum setback of 15.4 m is required from the front lot line to the canopy (attached and permanent).	To permit a canopy (attached and permanent) to encroach a maximum of 2.33 m into the minimum required front yard of 16 m. A setback of 13.67 m from the front lot line is proposed to the canopy.
2	A canopy (attached and permanent) shall not encroach more than 0.6 m into the minimum required southerly interior side yard of 3.5m. [Zoning Bylaw 001-2021, Subsection 4.13] A minimum setback of 2.9 m is required from the southerly interior side to the canopy (attached and permanent).	To permit a canopy (attached and permanent) to encroach a maximum of 2.31 m into the minimum required southerly interior side yard of 3.5 m. A setback of 1.19 m from the southerly interior side lot line is proposed to the canopy.
3	A minimum front yard setback of 16 m is required for a dwelling. [Exception 14.230.1.2]	To permit a minimum front yard setback of 15.04 m for a dwelling.
4	A minimum northerly interior side yard setback of 4.5 m is required for a dwelling. [Exception 14.230.1.2]	To permit a minimum northerly interior side yard setback of 1.84 m for a dwelling.
5	A minimum southerly interior side yard setback of 3.5 m is required for a dwelling. Exception 14.230.1.2]	To permit a minimum southerly interior side yard setback of 1.79 m for a dwelling.
6	A maximum encroachment of 0.6 m is permitted into the minimum required northerly interior side yard setback of 4.5 m for an architectural feature. [Zoning Bylaw 001-2021 & Subsection 4.13 & Exception 14.230.1.2] A minimum northerly interior side yard setback of 3.9 m is required for the architectural feature.	To permit a maximum encroachment of 2.66 m into the minimum required northerly interior side yard setback of 4.5 m for an architectural feature (architectural slat/ornamental building feature). A setback of 1.84 m is proposed for the architectural feature.
7	A maximum encroachment of 0.6 m is permitted into the minimum required southerly interior side yard setback of 3.5 m for an	To permit a maximum encroachment of 1.69 m into the minimum required southerly interior side yard

	architectural feature. [Zoning Bylaw 001-2021 & Subsection 4.13 & Exception 14.230.1.2] A minimum southerly interior side yard setback of 2.9 m is required for the architectural feature.	setback of 3.5 m for an architectural feature (architectural slat/ornamental building feature). A setback of 1.81 m is proposed for the architectural feature.
8	A maximum height of 8.5 m is permitted for a dwelling. [Subsection 4.5]	To permit a maximum height of 11.44 m for a dwelling.
9	The maximum cumulative width of both accesses to a circular driveway, as measured at the street line, shall be 9.0 m. [Subsection 6.7.4.4]	To permit the maximum cumulative width of both accesses to a circular driveway, as measured at the street line, to be 9.91 m.

HEARING INFORMATION

DATE OF MEETING: Wednesday, October 30, 2024
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	October 17, 2024
Date Applicant Confirmed Posting of Sign:	October 15, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	Cannot comply due to proposed 3rd floor
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
None	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	None
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DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

Development Engineering does not object to the proposed residence. The Owner/Applicant is required to obtain a Lot Grading Permit from the Development Inspection and Lot Grading Division within the City's Development Engineering Department. Please note that any in-ground structure exceeding 10 m² will require a Grading Permit. After securing the Grading Permit, the Owner/Applicant should contact the Development Engineering Reviewer to satisfy the associated condition. (See attached conditions for details.) The Owner / Applicant shall apply for a Pool Grading Permit with the Development Engineering (DE) Department. Please visit the grading permits page at City of Vaughan website to learn how to apply for the Pool Permit. If you have any question about Pool Grading Permit, please contact the Development Engineering Department through email at DEPermits@vaughan.ca. The proposed work by the Owner / Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer. The Development Engineering Department does not object to the Minor Variance application A050/24, subject to the following condition(s):

Development Engineering Recommended Conditions of Approval:

1. The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: <https://www.vaughan.ca/about-city-vaughan/departments/development-engineering/permits> to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca.
2. The Owner/Applicant shall arrange to prepare and register a reference plan at their expense of the subject lands showing the part of the 0.3m reserve to be lifted to permit access for the existing driveway access for the subject lands along Hayhoe Avenue to the satisfaction of Development Engineering. The Owner/Applicant shall submit a draft reference plan to the Development Engineering Department for review prior to deposit.
3. The Owner/Applicant shall initiate the relocation or upgrade of service connections by reaching out to the Development Inspection and Grading Department at serviceconnections@vaughan.ca or by requesting a cost estimate through the Service Request Form. The Service Request Form can be accessed in the Vaughan website at <https://www.vaughan.ca/about-city-vaughan/departments/development-engineering/service-connections>. The completed form should be accompanied by the final Lot Grading and Servicing Plan and sent via email at serviceconnections@vaughan.ca. The Owner/Applicant is responsible with covering all associated fees, including administration charges upon confirmation of the service connection estimates for the installation of necessary services. The service connection application process typically takes 4-6 weeks, so the Owner/Applicant is

DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

encouraged to allow sufficient time for the entire procedure to be completed.

PARKS, FORESTRY & HORTICULTURE (PFH)

Recommended condition of approval:

PFH Recommended Conditions of Approval:

Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to any construction works on the subject property.

DEVELOPMENT FINANCE

No comment no concerns

Development Finance Recommended Conditions of Approval:

None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comment.

BCLPS Recommended Conditions of Approval:

None

BUILDING INSPECTION (SEPTIC)

No comments received to date.

Building Inspection Recommended Conditions of Approval:

None

FIRE DEPARTMENT

No comments received to date.

Fire Department Recommended Conditions of Approval:

None

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Engineering Rex.bondad@vaughan.ca	<ol style="list-style-type: none"> 1. The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: https://www.vaughan.ca/about-city-vaughan/departments/development-engineering/permits to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca. 2. The Owner/Applicant shall arrange to prepare and register a reference plan at their expense of the subject lands showing the part of the 0.3m reserve to be lifted to permit access for the existing driveway access for the subject lands along Hayhoe Avenue to the satisfaction of Development Engineering. The Owner/Applicant shall submit a draft reference plan to the Development Engineering Department for review prior to deposit.

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

		<p>3. The Owner/Applicant shall initiate the relocation or upgrade of service connections by reaching out to the Development Inspection and Grading Department at serviceconnections@vaughan.ca or by requesting a cost estimate through the Service Request Form. The Service Request Form can be accessed in the Vaughan website at https://www.vaughan.ca/about-city-vaughan/departments/development-engineering/service-connections. The completed form should be accompanied by the final Lot Grading and Servicing Plan and sent via email at serviceconnections@vaughan.ca. The Owner/Applicant is responsible with covering all associated fees, including administration charges upon confirmation of the service connection estimates for the installation of necessary services. The service connection application process typically takes 4-6 weeks, so the Owner/Applicant is encouraged to allow sufficient time for the entire procedure to be completed.</p>
2	<p>Parks, Forestry and Horticulture Operations zachary.quizzetti@vaughan.ca</p>	<p>Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to any construction works on the subject property.</p>

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

IMPORTANT INFORMATION

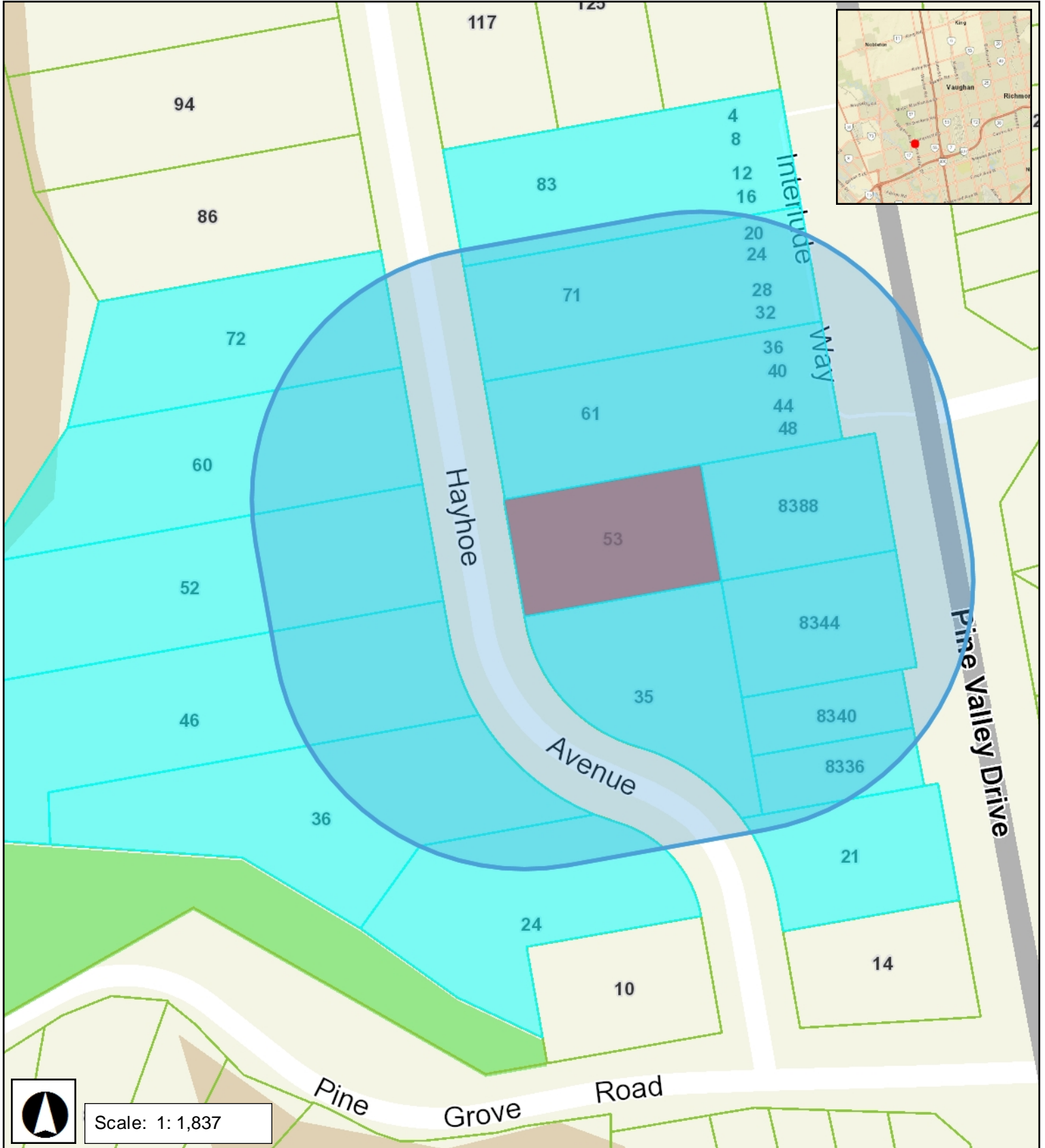
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



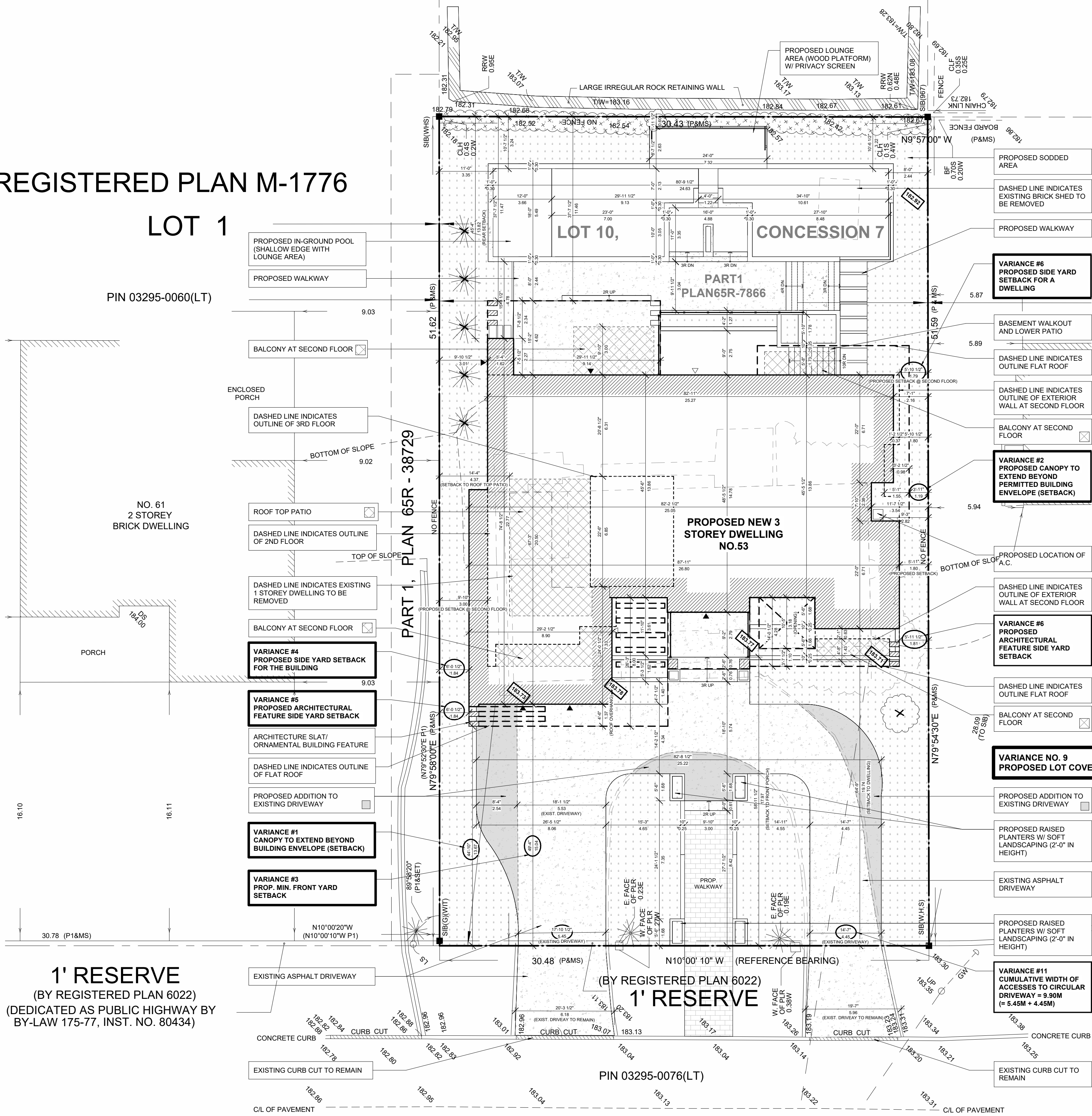
INFORMATION TAKEN FROM:
 SURVEYORS REAL PROPERTY REPORT
 PART OF LOT 10
 CONCESSION 7 AND
 1 FOOT RESERVE ON THE EAST SIDE OF HAYHOE AVENUE
 REGISTERED PLAN 6022
 CITY OF VAUGHAN
 (REGIONAL MUNICIPALITY OF YORK)
 CREATED BY: GUIDO PAPA SURVEYING

REGISTERED PLAN M-1776

LOT 1

PIN 03295-0060(LT)

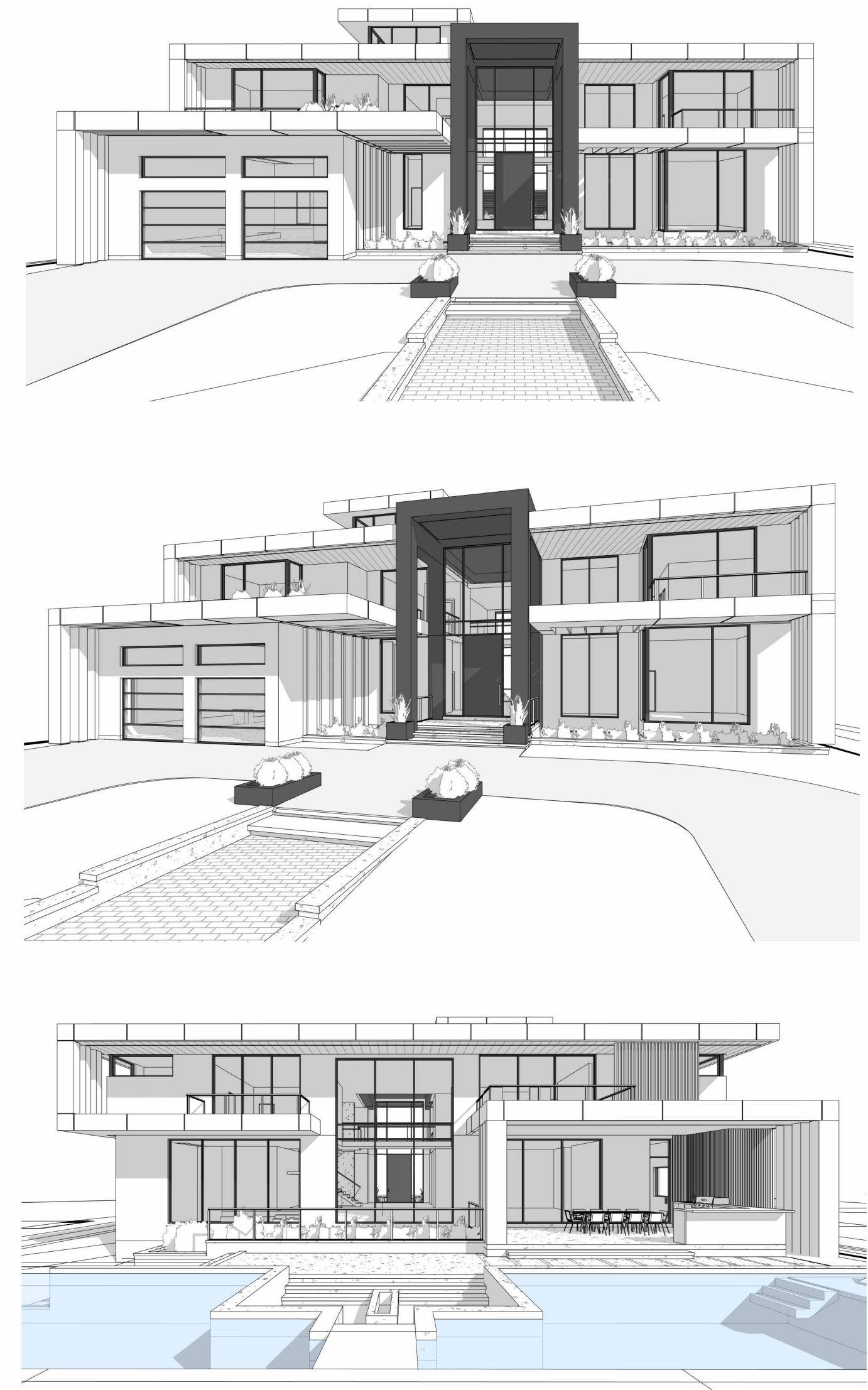
PART 2 PLAN 65R-7866 PIN 03295-0084(LT)



1' RESERVE
 (BY REGISTERED PLAN 6022)
 (DEDICATED AS PUBLIC HIGHWAY BY
 BY-LAW 175-77, INST. NO. 80434)

HAYHOE AVENUE (DEDICATED BY REGISTERED PLAN 6022)

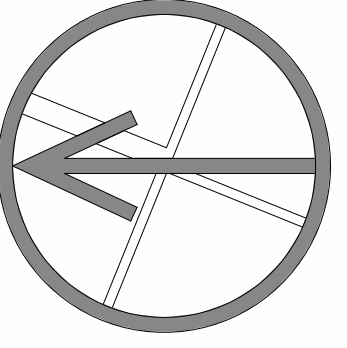
PIN 03295-0076(LT)



#	Zoning By-law 001-2021	Variance requested
1	A building shall only be constructed within the areas shown as Building Envelopes on Figure E-435. [Exception 14.230.1] A minimum front yard setback of 16 m is required for a dwelling.	To permit a canopy (attached and permanent) to extend beyond the permitted Building Envelope with a setback of 13.67 m from the front lot line.
2	A building shall only be constructed within the areas shown as Building Envelopes on Figure E-435. [Exception 14.230.1] A minimum southern side yard setback of 3.5 m is required for a dwelling.	To permit a canopy for a dwelling (attached and permanent) to extend beyond the permitted Building Envelope with a setback of 1.19 m from the southerly interior side lot line.
3	A building shall only be constructed within the areas shown as Building Envelopes on Figure E-435. [Exception 14.230.1] A minimum front yard setback of 16 m is required for a dwelling.	To permit a minimum front yard setback of 15.04 m for a dwelling.
4	A building shall only be constructed within the areas shown as Building Envelopes on Figure E-435. [Exception 14.230.1] A minimum northerly interior side yard setback of 4.5 m is required for a dwelling.	To permit a minimum northerly interior side yard setback of 1.84 m for a dwelling.
5	A maximum encroachment of 0.6 m is permitted into the minimum required northerly interior side yard setback of 4.5 m for an architectural feature. A northerly interior side yard setback of 3.9 m is required for the architectural feature. A building shall only be constructed within the areas shown as Building Envelopes on Figure E-435. [Exception 14.230.1]	To permit a maximum encroachment of 2.66 m into the minimum required northerly interior side yard setback of 4.5 m for an architectural feature. A northerly interior side yard setback of 2.9 m is required for the architectural feature. A building shall only be constructed within the areas shown as Building Envelopes on Figure E-435. [Exception 14.230.1]
6	A maximum encroachment of 0.6 m is permitted into the minimum required southerly interior side yard setback of 3.5 m for an architectural feature. A southerly interior side yard setback of 2.9 m is required for the architectural feature. A building shall only be constructed within the areas shown as Building Envelopes on Figure E-435. [Exception 14.230.1]	To permit a maximum encroachment of 1.69 m into the minimum required southerly interior side yard setback of 3.5 m for an architectural feature. A setback of 1.84 m is proposed for the architectural feature.
7	A building shall only be constructed within the areas shown as Building Envelopes on Figure E-435. [Exception 14.230.1] A minimum southerly interior side yard setback of 3.5 m is required for a dwelling.	To permit a minimum southerly interior side yard setback of 1.79 m for a dwelling.
8	A building shall only be constructed within the areas shown as Building Envelopes on Figure E-435. [Exception 14.230.1]	To permit a dwelling to be constructed outside of a permitted building envelope.
9	A building shall only be constructed within the areas shown as Building Envelopes on Figure E-435. [Exception 14.230.1]	To permit lot coverage of 31.73% for a dwelling.
10	A maximum height of 8.5 m is permitted. [Subsection 4.5]	To permit a maximum height of 11.44 m for a dwelling.
11	The maximum cumulative width of both accesses to a circular driveway, as measured at the street line, shall be 9.0 m. [Subsection 6.7.4.4]	To permit the maximum cumulative width of both accesses to a circular driveway, as measured at the street line, to be 9.91 m.

SITE STATISTICS:	PROPOSED			BY-LAW 001-2021			BY-LAW 001-2021		
	(SQ. M.)	(SQ. FT.)	(%)	(SQ. M.)	(SQ. FT.)	(%)	(SQ. M.)	(SQ. FT.)	(%)
ZONING:				R1A (EN)			R1A		
EXCEPTION 14.230									
LOT FRONTAGE:	30.48	M					18.00	M	
LOT AREA:	1,571.39	SQ.M.					540.00	SQ.M.	
LOT COVERAGE:									
PROPOSED DWELLING =	434.27	4,674.44	27.54%						
LOUNGE AREA =	19.26	207.31	1.23%						
PROP. COVERED CONC. PORCH AND STAIRS (FRONT) =	22.15	238.42	1.41%						
PROP. COVERED CONC. PATIO (REAR) =	42.20	454.24	2.69%						
LOT COVERAGE =	498.62	5,367.10	31.73%	628.56	6,765.71	40.00%	628.56	6,765.71	40.00%
G.F.A.:				REQUIRED			REQUIRED		
PROPOSED FIRST FLOOR W/OUT GARAGE =	337.46	3,632.39	21.48%						
PROPOSED SECOND FLOOR (W/OUT O.T.B.) =	297.35	3,200.65	18.92%						
PROPOSED SECOND FLOOR (W/OUT O.T.B.) =	35.48	381.90	2.26%						
PROPOSED G.F.A. =	670.29	7,214.93	42.66%						
FRONT YARD LANDSCAPE:				REQUIRED			REQUIRED		
FRONT YARD AREA =	570.57	6,141.56							
EXISTING DRIVEWAY =	181.11	1,949.45	31.74%						
PROP. ADDITION TO EXISTING DRIVEWAY =	56.33	606.33	9.87%						
PROPOSED DRIVEWAY =	237.44	2,555.78	41.61%						
PROPOSED FRONT YARD LANDSCAPE =	333.13	3,585.78	58.39%	285.29	3070.78	50%	285.29	3070.78	50%
PROP. COVERED CONC. PORCH AND STAIRS (FRONT) =	22.15	238.42	3.88%						
PROP. WALKWAY =	25.26	271.90	4.43%						
LOWER PATIO @ BASEMENT LEVEL =	12.53	134.87	2.20%						
PROPOSED FRONT YARD LANDSCAPE (SOFT) =	273.19	2,940.59	82.01%	199.88	2151.47	60%	199.88	2151.47	60%
REAR YARD LANDSCAPE:				REQUIRED			REQUIRED		
REAR YARD AREA =	478.69	5,152.57							
PROPOSED WALKOUT AND LOWER PATIO =	26.76	288.04	5.59%						
PROP. COVERED CONC. PATIO (REAR) =	44.35	477.38	9.26%						
SUNKEN FIREPIT AND BRIDGE OVER POOL =	23.23	250.05	4.85%						
LOUNGE AREA =	19.26	207.31	4.02%						
PROPOSED WALKWAY AND STAIRS =	64.45	693.73	13.46%						
PROPOSED IN-GROUND POOL =	137.49	1,479.93	28.72%						
PROPOSED REAR YARD LANDSCAPE (SOFT) =	300.64	3,236.06	62.80%	287.21	3091.54	60%	0.00	0.00	60%
SETBACKS:				REQUIRED			REQUIRED		
FRONT YARD (WEST) SETBACK =	15.04 M (TO GARAGE)			16.00 M			5.70 M (PRIVATE GARAGE FACING FRONT LOT LINE)		
	13.67 M (TO FLAT ROOF @ GARAGE)								
REAR YARD (EAST) SETBACK =	13.82 M (TO HOUSE)						7.50 M		
	11.46 M (TO FLAT ROOF)								
NORTH YARD (SIDE) SETBACK =	1.84 M (TO GARAGE)			4.50 M			1.50 M		
	1.84 M (TO BUILDING FEATURE)			4.00 M					
SOUTH YARD (SIDE) SETBACK =	1.79 M (TO HOUSE @ 2ND FLOOR)			3.50 M			1.50 M		
	1.81 M (TO BUILDING FEATURE)			3.00 M					
	1.19 M (TO CANOPY/ FLAT ROOF)			3.00 M					

PROJECT NORTH TRUE NORTH



EPIC DESIGNS INC.
 DO NOT SCALE DRAWINGS
 CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY OMISSIONS OR DISCREPANCIES TO EPIC DESIGNS INC. BEFORE PROCEEDING WITH WORK
 ALL PRINTS AND SPECIFICATIONS ARE THE PROPERTY OF EPIC DESIGNS INC. AND SHALL NOT BE COPIED IN PART OR WHOLE WITHOUT PRIOR WRITTEN PERMISSION.

GENERAL NOTES:
 1. DRAWING NOTES
 LEGEND:
 S.A. SMOKE ALARM
 C.M.D. CARBON MONOXIDE DETECTOR
 M.V. MECHANICAL VENTILATION
 S.B. SOLID WOOD BEARING
 P.L. POINT LOAD
 F.D. FLOOR DRAIN
 A.D. AREA DRAIN
 N.P.W. NEW PARTITION WALL
 L.O.BRG. LOAD BRG.

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the drawing.
 REGISTRATION INFORMATION
 MARGO VIERA
 NAME: MARGO VIERA
 REG. NO.: 25862
 ECIN: ECIN
 REGISTRATION INFORMATION
 Required unless design is exempt under S.2.4.1.1. Division C of the building code.
 EPIC DESIGNS INC.
 FIRM NAME: EPIC DESIGNS INC.
 REG. NO.: 3018
 ECIN: ECIN

epic designs inc.
 257 DUNRAVEN DRIVE
 TORONTO, ONTARIO, M6M - 1H8
 TEL: (416) 564 - 2435
 WWW.EPICDESIGNSINC.CA

No.	DESCRIPTION	DATE
	REVISIONS	

PROJECT TITLE: **PROPOSED NEW DWELLING**
 AT
 53 HAYHOE AVENUE
 CITY OF VAUGHAN

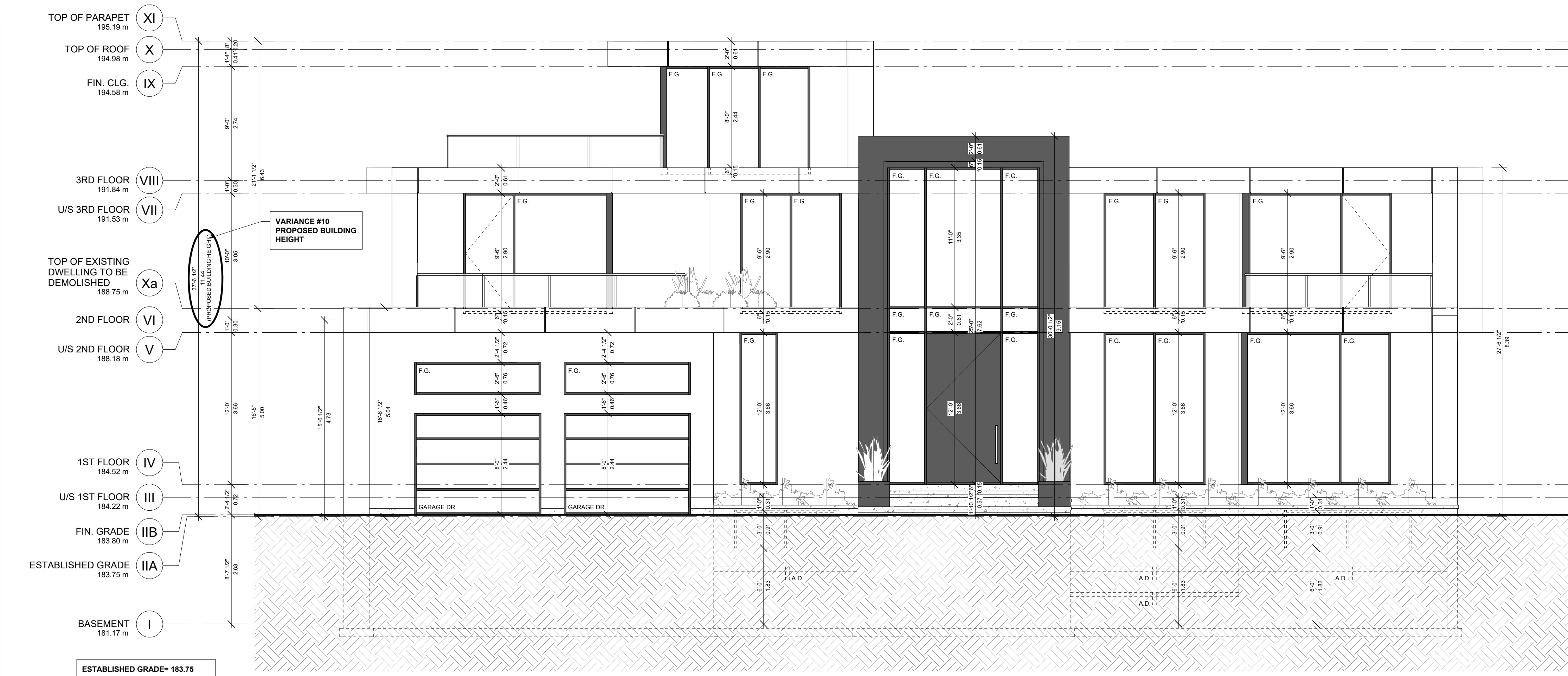
DRAWING TITLE: **SITE PLAN**

DESIGNED BY: P. SANTOS
 DRAWN BY: P. SANTOS
 CHECKED BY: M.V.
 SCALE: 1:150
 DATE: JUNE 2024

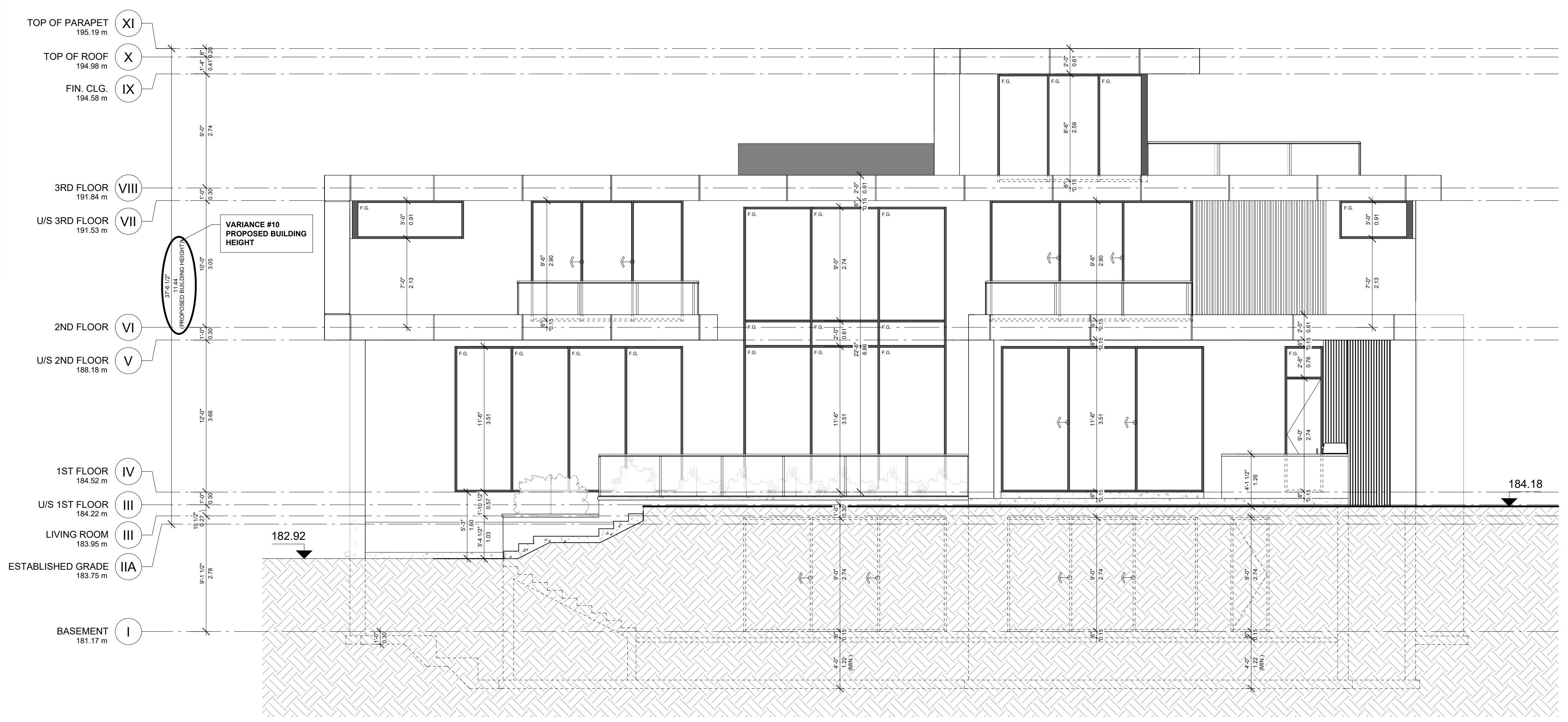
DRAWING: **A1** REV. No: 1

PROJECT No.: **2024-07**

#	Zoning By-law 001-2021	Variance requested
1	A building shall only be constructed within the areas shown as Building Envelopes on Figure E-435. [Exception 14.230.1] A minimum front yard setback of 16 m is required for a dwelling.	To permit a canopy (attached and permanent) to extend beyond the permitted Building Envelope with a setback of 13.67 m from the front lot line.
2	A building shall only be constructed within the areas shown as Building Envelopes on Figure E-435. [Exception 14.230.1] A minimum southerly interior side yard setback of 3.5 m is required for a dwelling.	To permit a canopy for a dwelling (attached and permanent) to extend beyond the permitted Building Envelope with a setback of 1.19 m from the southerly interior side lot line.
3	A building shall only be constructed within the areas shown as Building Envelopes on Figure E-435. [Exception 14.230.1] A minimum front yard setback of 16 m is required for a dwelling.	To permit a minimum front yard setback of 15.04 m for a dwelling.
4	A building shall only be constructed within the areas shown as Building Envelopes on Figure E-435. [Exception 14.230.1] A minimum northerly interior side yard setback of 4.5 m is required for a dwelling.	To permit a minimum northerly interior side yard setback of 1.84 m for a dwelling.
5	A maximum encroachment of 0.6 m is permitted into the minimum required northerly interior side yard setback of 4.5 m for an architectural feature. A northerly interior side yard setback of 3.9 m is required for the architectural feature. A building shall only be constructed within the areas shown as Building Envelopes on Figure E-435. [Exception 14.230.1]	To permit a maximum encroachment of 2.66 m into the minimum required northerly interior side yard setback of 4.5 m for an architectural feature for a dwelling (architectural slat/ornamental building feature). A setback of 1.84 m is proposed for the architectural feature.
6	A maximum encroachment of 0.6 m is permitted into the minimum required southerly interior side yard setback of 3.5 m for an architectural feature. A southerly interior side yard setback of 2.9 m is required for the architectural feature. A building shall only be constructed within the areas shown as Building Envelopes on Figure E-435. [Exception 14.230.1]	To permit a maximum encroachment of 1.69 m into the minimum required southerly interior side yard setback of 3.5 m for an architectural feature for a dwelling (architectural slat/ornamental building feature). A setback of 1.81 m is proposed for the architectural feature.
7	A building shall only be constructed within the areas shown as Building Envelopes on Figure E-435. [Exception 14.230.1] A minimum southerly interior side yard setback of 3.5 m is required for a dwelling.	To permit a minimum southerly interior side yard setback of 1.79 m for a dwelling.
8	A building shall only be constructed within the areas shown as Building Envelopes on Figure E-435. [Exception 14.230.1]	To permit a dwelling to be constructed outside of a permitted building envelope.
9	A building shall only be constructed within the areas shown as Building Envelopes on Figure E-435. [Exception 14.230.1]	To permit lot coverage of 31.73 % for a dwelling.
10	A maximum height of 8.5 m is permitted. [Subsection 4.5]	To permit a maximum height of 11.44 m for a dwelling.
11	The maximum cumulative width of both accesses to a circular driveway, as measured at the street line, shall be 9.0 m. [Subsection 6.7.4.4]	To permit the maximum cumulative width of both accesses to a circular driveway, as measured at the street line, to be 9.91 m.



1 A6 FRONT (WEST) ELEVATION
SCALE: 3/16" = 1' - 0"



2 A6 REAR (EAST) ELEVATION
SCALE: 3/16" = 1' - 0"

EPIC DESIGNS INC.
DO NOT SCALE DRAWINGS
CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY OMISSIONS OR DISCREPANCIES TO EPIC DESIGNS INC. BEFORE PROCEEDING WITH WORK
ALL PRINTS AND SPECIFICATIONS ARE THE PROPERTY OF EPIC DESIGNS INC. AND SHALL NOT BE COPIED IN PART OR WHOLE WITHOUT PRIOR WRITTEN PERMISSION.
GENERAL NOTES:
1. DRAWING NOTES
LEGEND:
S.A. SMOKE ALARM
C.M.D. CARBON MONOXIDE DETECTOR
M.V. MECHANICAL VENTILATION
S.B. SOLID WOOD BEARING
P.L. POINT LOAD
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A.D. AREA DRAIN
NEW PARTITION WALL
LOAD BRG.
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the
QUALIFICATION INFORMATION:
Required unless design is exempt under 3.2.1.1 of the building code
MARCO VIERA 25562
NAME SIGNATURE BCIN
REGISTRATION INFORMATION:
Required unless design is exempt under 3.2.5.1 of the building code
EPIC DESIGNS INC. 3070
FIRM NAME BCIN

epic
designs inc.
257 DUNRAVEN DRIVE
TORONTO, ONTARIO, M6M - 1H8
TEL: (416) 564 - 2435
WWW.EPICDESIGNSINC.CA

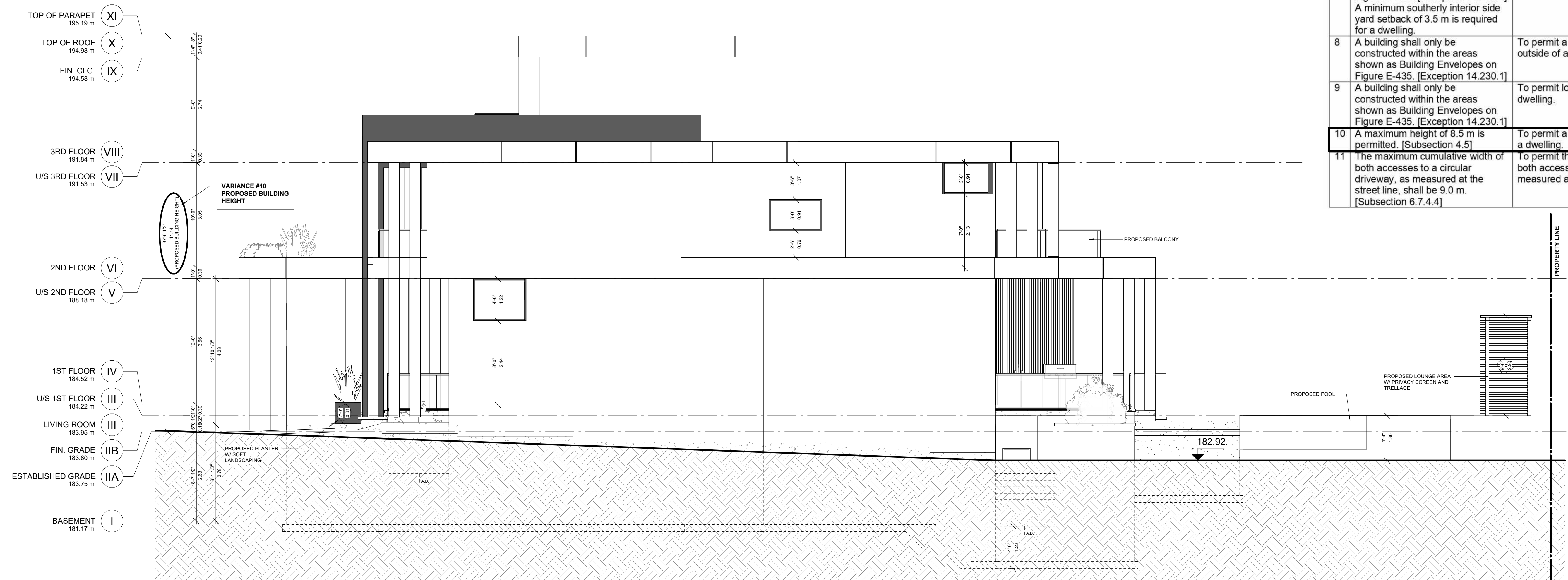
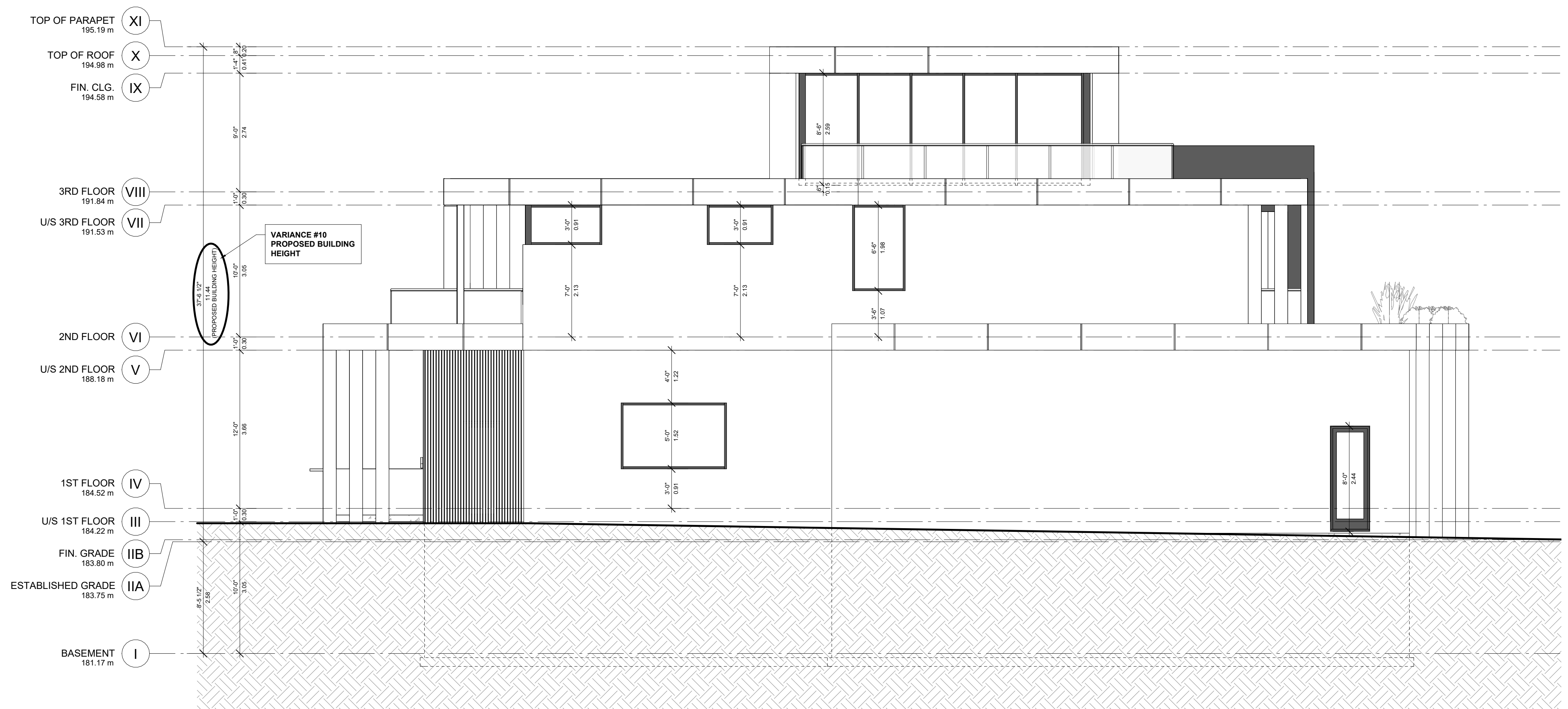
No.	DESCRIPTION	DATE
REVISIONS		

PROJECT TITLE
PROPOSED NEW DWELLING
AT
53 HAYHOLE AVENUE
CITY OF VAUGHAN

DRAWING TITLE
FRONT AND REAR ELEVATIONS

DESIGNED BY: P. SANTOS
DRAWN BY: P. SANTOS
CHECKED BY: M.V.
SCALE: 3/16" = 1'-0"
DATE: MARCH 2024
DRAWING: A6
REV. No:

PROJECT No.:
2024-07



#	Zoning By-law 001-2021	Variance requested
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GENERAL NOTES:
1. DRAWING NOTES
LEGEND:
S.A. SMOKE ALARM
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M.V. MECHANICAL VENTILATION
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The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the
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NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under 3.2.5.1 of the building code
EPIC DESIGNS INC. 30710
FIRM NAME BCIN

epic designs inc.
257 DUNRAVEN DRIVE
TORONTO, ONTARIO, M6M - 1H8
TEL: (416) 564 - 2435
WWW.EPICDESIGNSINC.CA

No.	DESCRIPTION	DATE
REVISIONS		

PROJECT TITLE
PROPOSED NEW DWELLING
AT
53 HAYHOLE AVENUE
CITY OF VAUGHAN

DRAWING TITLE
SIDE ELEVATIONS

DESIGNED BY: P. SANTOS
DRAWN BY: P. SANTOS
CHECKED BY: M.V.
SCALE: 3/16" = 1'-0"
DATE: MARCH 2024
DRAWING: A7
REV. No: 1

PROJECT No.: 2024-07

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: September 17th 2024

Attention: **Christine Vigneault**

RE:

File No.: **A050-24**

Related Files:

Applicant Giuseppe Roti

Location 53 Hayhoe Avenue



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

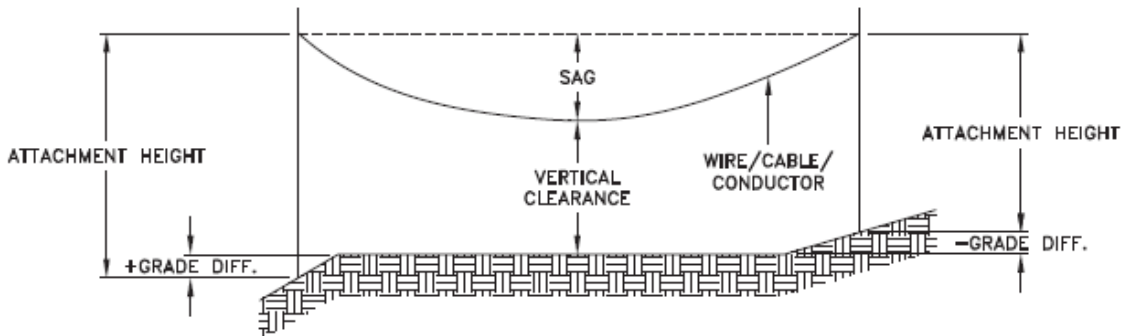
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

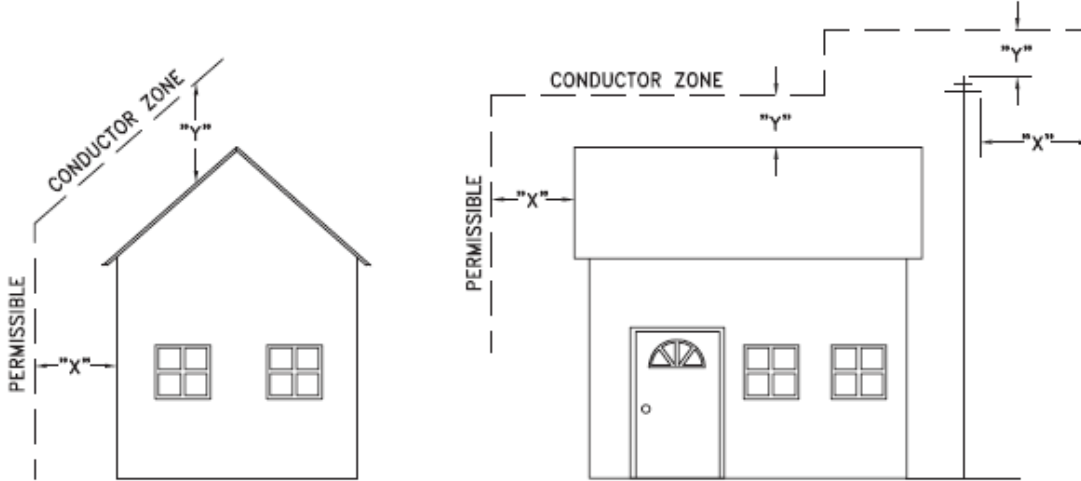
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:27:02 AM, Adobe PDF

To: Committee of Adjustment
From: Catherine Saluri, Building Standards Department
Date: October 2, 2024
Applicant: Giuseppe Roti
Location: 53 Hayhoe Avenue
CONC 7 Part of Lot 10
File No.(s): A050/24

Zoning Classification:

The subject lands are zoned R1A(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.230 under Zoning By-law 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	<p>A canopy (attached and permanent) shall not encroach more than 0.6 m into the minimum required front yard of 16 m. [Zoning Bylaw 001-2021, Subsection 4.13]</p> <p>A minimum setback of 15.4 m is required from the front lot line to the canopy (attached and permanent).</p>	<p>To permit a canopy (attached and permanent) to encroach a maximum of 2.33 m into the minimum required front yard of 16 m.</p> <p>A setback of 13.67 m from the front lot line is proposed to the canopy.</p>
2	<p>A canopy (attached and permanent) shall not encroach more than 0.6 m into the minimum required southerly interior side yard of 3.5m. [Zoning Bylaw 001-2021, Subsection 4.13]</p> <p>A minimum setback of 2.9 m is required from the southerly interior side to the canopy (attached and permanent).</p>	<p>To permit a canopy (attached and permanent) to encroach a maximum of 2.31 m into the minimum required southerly interior side yard of 3.5 m.</p> <p>A setback of 1.19 m from the southerly interior side lot line is proposed to the canopy.</p>
3	<p>A minimum front yard setback of 16 m is required for a dwelling. [Exception 14.230.1.2]</p>	<p>To permit a minimum front yard setback of 15.04 m for a dwelling.</p>
4	<p>A minimum northerly interior side yard setback of 4.5 m is required for a dwelling. [Exception 14.230.1.2]</p>	<p>To permit a minimum northerly interior side yard setback of 1.84 m for a dwelling.</p>
5	<p>A minimum southerly interior side yard setback of 3.5 m is required for a dwelling. Exception 14.230.1.2]</p>	<p>To permit a minimum southerly interior side yard setback of 1.79 m for a dwelling.</p>
6	<p>A maximum encroachment of 0.6 m is permitted into the minimum required northerly interior side yard setback of 4.5 m for an architectural feature. [Zoning Bylaw 001-2021 & Subsection 4.13 & Exception 14.230.1.2]</p>	<p>To permit a maximum encroachment of 2.66 m into the minimum required northerly interior side yard setback of 4.5 m for an architectural feature (architectural slat/ornamental building feature).</p> <p>A setback of 1.84 m is proposed for the architectural feature.</p>

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7	<p>A maximum encroachment of 0.6 m is permitted into the minimum required southerly interior side yard setback of 3.5 m for an architectural feature. [Zoning Bylaw 001-2021 & Subsection 4.13 & Exception 14.230.1.2]</p> <p>A minimum southerly interior side yard setback of 2.9 m is required for the architectural feature.</p>	To permit a maximum encroachment of 1.69 m into the minimum required southerly interior side yard setback of 3.5 m for an architectural feature (architectural slat/ornamental building feature). A setback of 1.81 m is proposed for the architectural feature.
8	A maximum height of 8.5 m is permitted for a dwelling. [Subsection 4.5]	To permit a maximum height of 11.44 m for a dwelling.
9	The maximum cumulative width of both accesses to a circular driveway, as measured at the street line, shall be 9.0 m. [Subsection 6.7.4.4]	To permit the maximum cumulative width of both accesses to a circular driveway, as measured at the street line, to be 9.91 m.

Staff Comments:

Other Comments:

Zoning By-law 001-2021	
1	The Applicant shall be advised that the 19.26 m ² wood platform with privacy screen shall remain an Uncovered Platform and not a Building, as defined in Section 3.0 of the bylaw, or additional variances may be required. Please consult with By-Law Enforcement with respect to regulations regarding the privacy screen which is not regulated by the Zoning Bylaw.
2	The Applicant confirms that height of the proposed dwelling measured in accordance with Height and Established Grade, as defined in Section 3.0 of the bylaw.

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit.
2	A one-foot reserve is shown abutting the front lot line on the Site Plan, which would impede access to the subject lands. The Applicant should contact the Engineering Department, City of Vaughan, for discussion.
3	Two kitchens are shown on the drawings the proposed dwelling. The Applicant shall be advised that Zoning review has been conducted for a single-family dwelling. A Secondary Suite has not been reviewed or authorized by this review.
4	Proposed walkway extends onto municipally owned lands. An Encroachment Agreement with the City of Vaughan may be required.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

None

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: October 24, 2024
Name of Owners: Giuseppe Roti, Daniela Roti, Rosaria Rosella Roti
Location: 53 Hayhoe Avenue
File No.(s): A050/24

Proposed Variance(s):

1. To permit a canopy (attached and permanent) to encroach a maximum of **2.33 m** into the minimum required front yard of 16 m. A setback of **13.67 m** from the front lot line is proposed to the canopy.
2. To permit a canopy (attached and permanent) to encroach a maximum of **2.31 m** into the minimum required southerly interior side yard of 3.5 m. A setback of **1.19 m** from the southerly interior side lot line is proposed to the canopy.
3. To permit a minimum front yard setback of **15.04 m** for a dwelling.
4. To permit a minimum northerly interior side yard setback of **1.84 m** for a dwelling.
5. To permit a minimum southerly interior side yard setback of **1.79 m** for a dwelling.
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8. To permit a maximum height of **11.44 m** for a dwelling.
9. To permit the maximum cumulative width of both accesses to a circular driveway, as measured at the street line, to be **9.91 m**.

By-Law 001-2021 Requirement(s):

1. A canopy (attached and permanent) shall not encroach more than **0.6 m** into the minimum required front yard of 16 m. A minimum setback of **15.4 m** is required from the front lot line to the canopy (attached and permanent).
2. A canopy (attached and permanent) shall not encroach more than **0.6 m** into the minimum required southerly interior side yard of 3.5m. A minimum setback of **2.9 m** is required from the southerly interior side to the canopy (attached and permanent).
3. A minimum front yard setback of **16 m** is required for a dwelling.
4. A minimum northerly interior side yard setback of **4.5 m** is required for a dwelling.
5. A minimum southerly interior side yard setback of **3.5 m** is required for a dwelling.
6. A maximum encroachment of **0.6 m** is permitted into the minimum required northerly interior side yard setback of 4.5 m for an architectural feature. A minimum northerly interior side yard setback of **3.9 m** is required for the architectural feature.
7. A maximum encroachment of **0.6 m** is permitted into the minimum required southerly interior side yard setback of 3.5 m for an architectural feature. A minimum southerly interior side yard setback of **2.9 m** is required for the architectural feature.
8. A maximum height of **8.5 m** is permitted for a dwelling.
9. The maximum cumulative width of both accesses to a circular driveway, as measured at the street line, shall be **9.0 m**.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Zoning Context:

53 Hayhoe Avenue is zoned "R1A – First Density Residential Zone" by Comprehensive Zoning By-law 001-2021, subject to site-specific exception 14.230 ('the exception').

Provision 2 of the exception identifies the footprint of the existing building on 53 Hayhoe Avenue, and permits the expansion of the existing building footprint, subject to the setbacks identified in Figure E-435, which are 16.0 m from the front lot line, 4.5 m from the north interior side lot line, and 3.5 m from the south interior side lot line. Provision 2 of the exception forms the sole basis for Variances 3, 4, and 5. The exception was created to facilitate the division of land in the mid-80s.

Comments:

The Owners are seeking relief to permit a three (3)-storey single detached dwelling and a front yard circular driveway with the above-noted variances.

The Development Planning Department has no objection to Variances 3, 4, and 5 for reduced minimum setbacks to the front and interior side lot lines. The dwelling's proposed setbacks are 15.04 m to the front lot line (Variance 3), 1.84 m to the north interior side lot line (Variance 4), and 1.79 m to the south interior side lot line (Variance 5). The north and south interior side yards are proposed to be entirely sodded. The front yard is proposed to accommodate a circular driveway, sodded and landscaped areas, a walkway connecting from the front porch to the front lot line, and a variety of coniferous and deciduous trees. A minimum front yard setback of 15.04 m is requested for a portion of the proposed garage that projects out from the rest of the dwelling's street-facing walls. The rest of the dwelling's street facing walls are setback at least 19.74 m from the front lot line, which is approximately 4.70 m further than the garage and would be compliant with the exception.

As stated in the Zoning Context section, Variances 3, 4, and 5 are triggered solely due to provision 2 of the exception. The proposed front and interior side yard setbacks exceed the minimum permitted setbacks prescribed by the R1A base zone standards, which are 7.5 m and 1.5 m respectively. The exception that restricts the building footprint permitted on the lot was adopted in 1985 through By-law 087-85. An intent of the exception was to recognize the existing dwelling's mass and reinforce the prevailing built form in the neighbourhood at the time. Where lot sizes allow, low-rise neighbourhoods have increasingly been characterized by larger dwellings over time. This trend is reflected in the minimum permitted setbacks and the 40% maximum lot coverage prescribed by the R1A Zone provisions. The proposed dwelling and covered porches have a total lot coverage of 31.73%, which is a compliant status. The north and south interior side yard setbacks provide sufficient space for access and maintenance, and enough spatial separation from its neighbours to the north (61 Hayhoe Avenue) and south (35 Hayhoe Avenue). The front yard setback maintains sufficient space for a functional driveway and a variety of hard and soft landscaping. As such, the Development Planning Department is of the opinion that Variances 3, 4, and 5 are minor in nature, and are considered desirable for the redevelopment of the lot.

The Development Planning Department has no objection to Variances 1 and 6 for the increased maximum permitted encroachment for various architectural features to the front lot line and north interior side lot line. A canopy is proposed to extend beyond the first-storey ceiling and wrap around the west and south sides of the garage, resulting in a 2.33 m encroachment into the front yard (Variance 1). The proposed canopy provides coverage over the garage entrance and an outdoor patio area south of the garage. The canopy also accommodates an outdoor green roof accessible from the second floor. A row of vertical ornamental slats connecting the canopy to the ground are proposed along the northern edge of the canopy in front of the garage. The slats are located 1.84 m from the north interior lot line (Variance 6) and in line with the dwelling's north wall. The canopy is located approximately 4.43 m above the established grade, and the vertical ornamental slats are approximately 4.38 m in height. The vertical slats form column shapes, which is an architectural feature used elsewhere on the dwelling as well.

The canopy subject to Variance 1 and the ornamental slats subject to Variance 6 do not impede access between the north interior side yard and the front yard, and due to their ornamental nature, they also have minimal mass. The ornamental slats are flush with the north wall of the dwelling, and do not further extrude into the north interior side yard. While massing impacts are not anticipated as a result of the canopy projection into the front yard, a cluster of pin oak trees and a cluster of white spruce trees are proposed in the front yard to provide visual screening between the public realm and the dwelling. The features subject to Variances 1 and 6 comply with the R1A Zone provisions. The Development Planning Department is of the opinion that that increased maximum permitted

encroachment as set out by Variances 1 and 6 are minor in nature and meet the general intent of the Zoning By-law.

The Development Planning Department has no objection to Variances 2 and 7 for increased maximum permitted encroachments from towards the south interior side lot line for two separate architectural features (canopies with vertical slats) towards the southwest (Variance 7) and the southeast (Variance 2) portions of the dwelling. The two features include canopies that are setback 1.19 m from the south interior side lot line (Variance 2) and a set of vertical ornamental architectural slats that are setback 1.81 m from the south interior side lot line (Variance 7). For Variance 7, the two canopies are located directly above each other, extending beyond the first and second-floor ceilings. The canopy extending beyond the first-floor ceiling is located approximately 4.43 m above the established grade. The canopy extending beyond the second-floor ceiling is approximately 7.78 m above the established grade. The overlapping canopies are related to a second-storey balcony on the eastern elevation. The vertical ornamental slats are located on the south side of the canopies. The ornamental slats are flush with the building's southern elevation, and do not encroach into the southern interior side yard more than the enclosed portions of the dwelling.

The canopies subject to Variance 2, which also extend out from the ceilings of the first and second floors, do not pose any obstacles to the access of the south interior side yard and are not anticipated to incur any negative stormwater drainage issues on the neighbour to the south (35 Hayhoe Avenue). The ornamental slats are located at the southeast corner of the canopies and link the canopies together. The slats do not extend below the first-floor ceiling. The features subject to Variances 2 and 7 comply with the R1A Zone provisions. The Development Planning Department is of the opinion that the increased maximum permitted encroachment as set out by Variances 2 and 7 are minor in nature and meet the general intent of the Zoning By-law.

The Development Planning Department has no objection to Variance 8 to permit a maximum dwelling height of 11.44 m. The increased height is requested to accommodate the proposed dwelling's third storey. The third storey consists of an elevator and a recreational room, which also provides access to the outdoor green roof located above the second storey. The third storey is minimal in floor area and is substantially stepped back from all four sides of the dwelling, mitigating the overall massing impacts that the third storey will have on the public realm and its neighbours. The west (front), east (rear), north, and south side walls of the third storey are setback from the walls of the first storey by approximately 6.5 m, 5.7 m, 6.9 m, and 13.9 m respectively. While the first storey of the dwelling has a gross floor area (GFA) of 337.46 m², the third storey of the dwelling only has a total floor space of 35.47 m². Furthermore, the overall size of the dwelling does not represent an over-development of the lot as the setbacks and lot coverage are all compliant with the standards of the R1A Zone. Urban Design staff have reviewed the proposal and do not have any concerns with the maximum dwelling height.

The Development Planning Department has no objection to Variance 9 to permit a 9.91 m maximum cumulative width for the circular driveway. The proposed driveway is located in the front yard, and consists of two accesses to Hayhoe Avenue. At the front lot line, the south access is 4.45 m wide and the north access is 5.45 m wide. The driveway provides access to the front entrance of the proposed dwelling as well as a two door garage facing the front lot line. The Owners have worked with Urban Design staff to taper the driveway width at the north access to provide additional space for a cluster of White Spruce trees while ensuring vehicular maneuverability. An intent of the maximum permitted driveway width provision is to ensure an adequate mix of paved surfaces and landscaped areas in the front yard and to ensure continuous and landscaped frontages along the public right-of-way. The proposed front yard contains a variety of soft and hard landscaping features, and the soft landscaping provision is exceeded. The proposed boxwood hedges and mix of deciduous and coniferous trees provide sufficient vegetation along the entire length of the driveway and minimizes the visual impact of the circular driveway from the public realm.

Accordingly, the Development Planning Department supports the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Harry Zhao, Planner 1
David Harding, Senior Planner

From: [Cameron McDonald](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A050/24 - 53 HAYHOE AVENUNE - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Friday, September 13, 2024 9:53:29 AM
Attachments: [image002.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good afternoon,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from the TRCA.

Based on the above, we have no comments/requirements.

Regards,

Cameron McDonald

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:(437)880-1925)

E: cameron.mcdonald@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



Josie Filippelli

From: Development Services <developmentservices@york.ca>
Sent: Wednesday, September 25, 2024 3:59 PM
To: Gianluca Russo
Cc: Committee of Adjustment Mailbox
Subject: [External] RE: A050/24 - 53 HAYHOE AVENUNE - REQUEST FOR COMMENTS, CITY OF VAUGHAN

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hi Gianluca,

The Regional Municipality of York has completed its review of the minor variance application – A050/24 (53 HAYHOE AVENUNE) and has no comment.

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Planning | Economic and Development Services Branch
| Corporate Services Department

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

SCHEDULE D: BACKGROUND

Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A