

LANDSCAPE LEGEND	
	GREEN LANDSCAPE
	WALK WAY
	DRIVE WAY PAVING

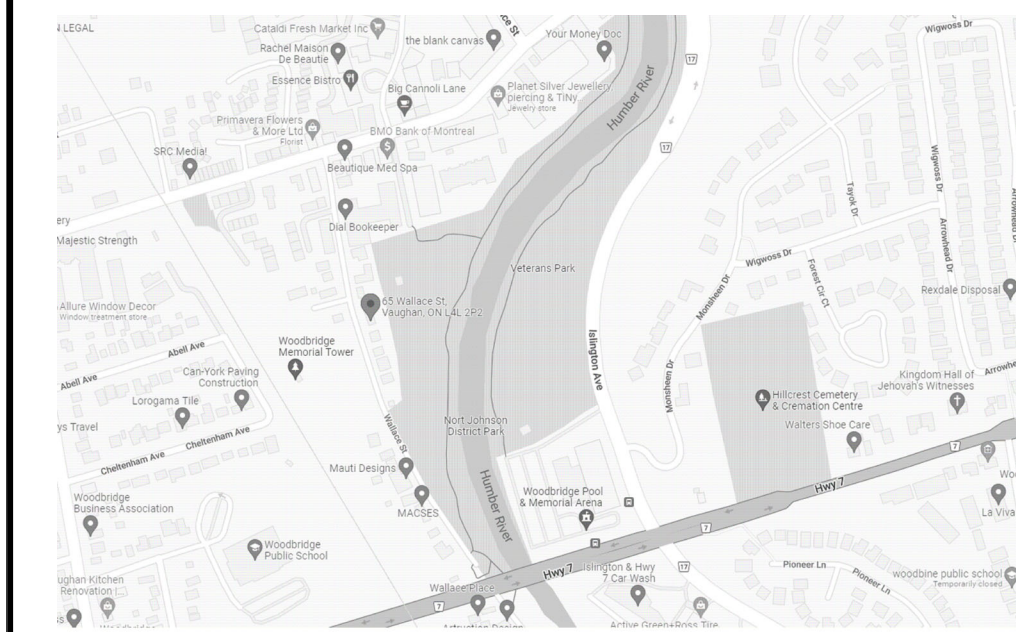
65 WALLACE ST. - VAUGHAN			
LANDSCAPE CALCULATION FOR FRONT YARD			
A	TOTAL FRONT YARD =	98.39 SQ.M.	1059.06 SQ. FT
B	DRIVEWAY AREA =	59.19 SQ.M.	637.1152 SQ. FT
C	LANDSCAPE AREA =	39.2 SQ.M.	421.9449 SQ. FT
D	% OF TOTAL FRONT YARD =	39.84%	
E	HARD LANDSCAPE AREA =	7.69 SQ.M.	82.77439 SQ. FT
F	SOFT LANDSCAPE AREA =	31.51 SQ.M.	339.1705 SQ. FT
G	% OF TOTAL SOFT LANDSCAPE =	80.38%	

SITE DATA: 65 WALLACE ST, VAUGHAN, ONTARIO			
NEW ZONING CITY OF TORONTO :		RESIDENTIAL 3	
	PERMITTED	PROPOSED	REMARKS
MIN. LOT AREA:	360.00 sq. m.	1187.83 sq. m.	
MIN. LOT FRONTAGE:	12.00 m	21.29 m	
GROSS FLOOR AREA:			
FIRST FLOOR AREA:		127.52 sq. m.	
SECOND FLOOR AREA EXCLUDING OPEN BELOW:		212.62 sq. m.	
THIRD FLOOR AREA EXCLUDING OPEN BELOW:		212.62 sq. m.	
TOTAL GROSS FLOOR AREA =		552.76 sq. m.	
BUILDING FOOTPRINT AREA INCLUDING FRONT PORCH FOUNDATION:		283.80 sq. m.	
BUILDING FOOTPRINT AREA %:	40.00 %	23.89 %	
MAX. DWELLING UNIT LENGTH			
MIN. FRONT YARD SETBACK	4.50 m	4.51 m	
MIN. SIDE YARD RIGHT SIDE	1.20 m	1.22 m	
MIN. SIDE YARD LEFT SIDE	1.20 m	1.84 m	
MIN. REAR YARD SETBACK	7.50 m	31.26 m	
MAX. DRIVE WAY WIDTH	-	6.00 m	
MAXIMUM HEIGHT - FROM ESTABLISHED GRADE TO MIDPOINT OF SLOPED ROOF:	9.50 m	8.47 m	

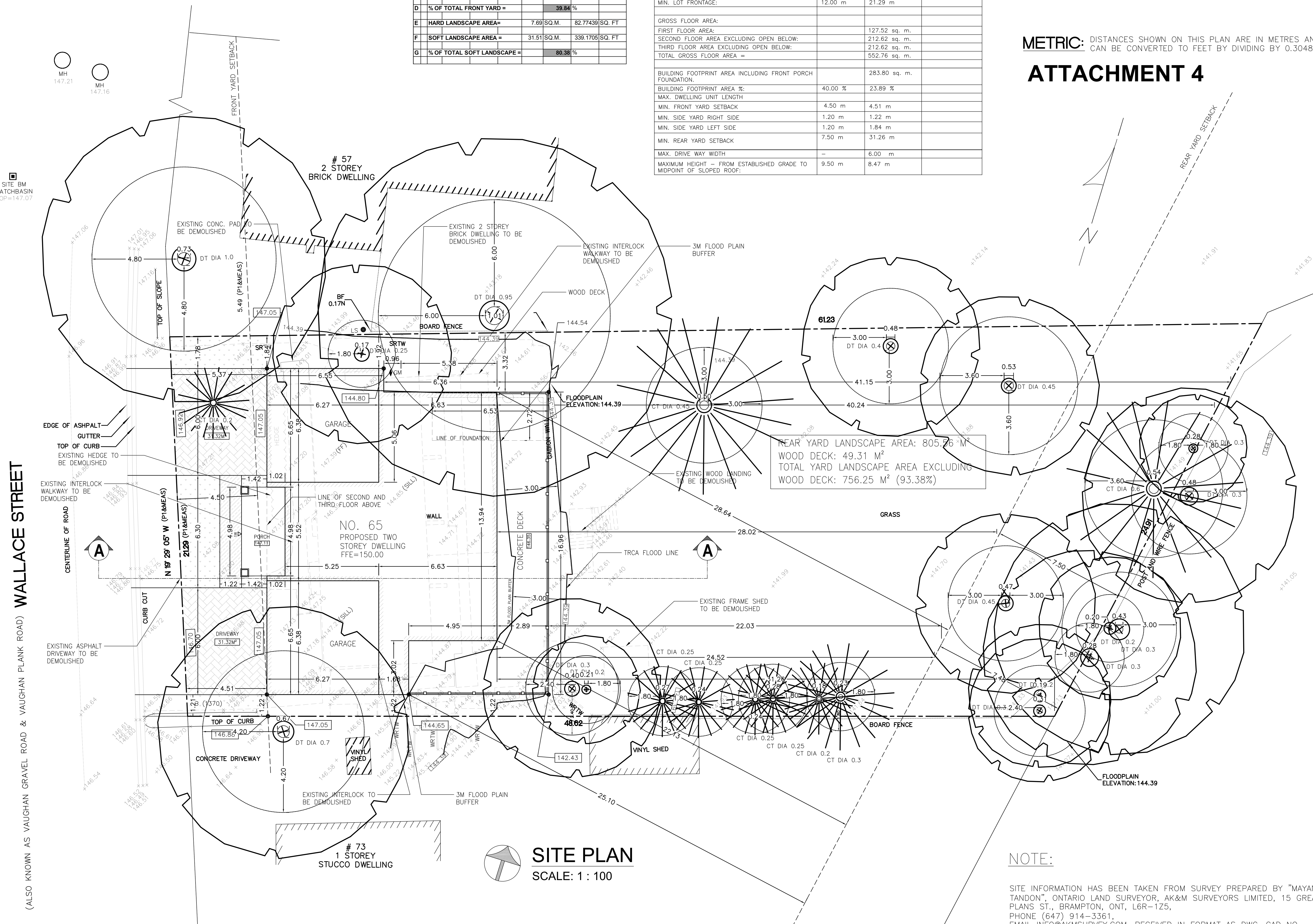
SKETCH SHOWING TOPOGRAPHY OF  
65 WALLACE STREET  
CITY OF VAUGHAN  
REGIONAL MUNICIPALITY OF YORK

METRIC: DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

## ATTACHMENT 4



KEY PLAN  
N.T.S.



REAR YARD LANDSCAPE AREA: 805.76 M<sup>2</sup>  
WOOD DECK: 49.31 M<sup>2</sup>  
TOTAL YARD LANDSCAPE AREA EXCLUDING WOOD DECK: 756.25 M<sup>2</sup> (93.38%)

**SITE PLAN**  
SCALE: 1 : 100

NOTE:  
SITE INFORMATION HAS BEEN TAKEN FROM SURVEY PREPARED BY "MAYANK TANDON", ONTARIO LAND SURVEYOR, AK&M SURVEYORS LIMITED, 15 GREAT PLANS ST., BRAMPTON, ONT, L6R-125, PHONE (647) 914-3361, EMAIL INFO@AKMSURVEY.COM, RECEIVED IN FORMAT AS DWG. CAD NO. 2021-162

NO.	REVISIONS	DATE
4	ISSUED FOR HERITAGE	09 / 06 / 2024
3	ISSUED FOR ARBORIST	06 / 24 / 2024
2	REVISION AS PER TRCA	11 / 16 / 2023
1	ISSUED FOR REVIEW	05 / 01 / 2023

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.  
THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSE UNTIL SEALED AND SIGNED BY THE ARCHITECT.  
DO NOT SCALE DRAWINGS.

PROJECT COORDINATOR:  
**CANTAM**  
Group Ltd.  
PLANNING & BUILDING CONSULTANTS  
880 ELLESMERE RD, SUITE # 234, TORONTO ON M1P 2W6  
TEL: 416-335-3353 \* FAX: 416-335-7967 \* CELL: 416-854-2485

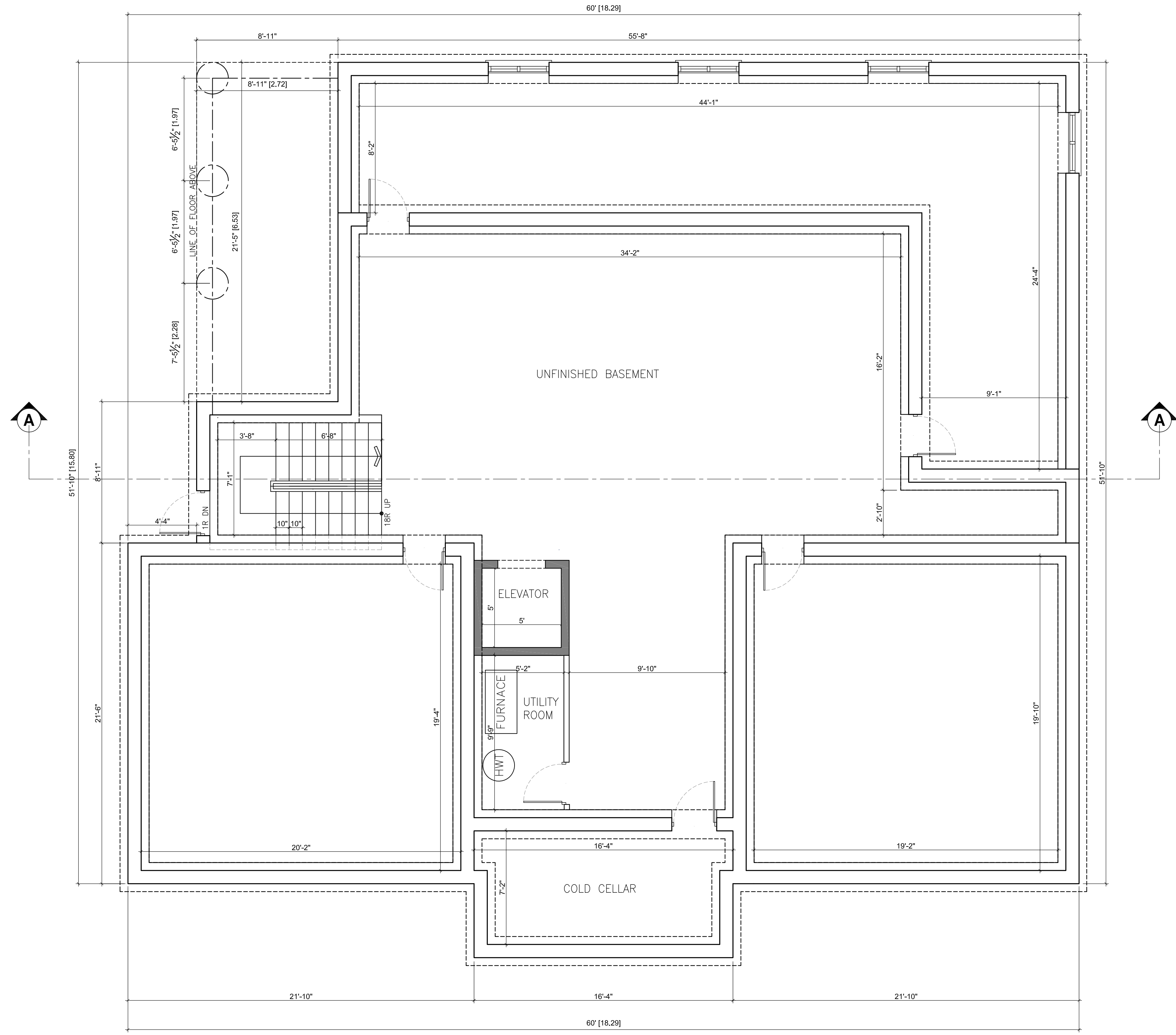
PROJECT:  
PROPOSED THREE STOREY RESIDENCE  
AT 65 WALLACE ST.  
VAUGHAN, ON

DRAWING:  
SITE PLAN

DATE: 08/03/2022	DRAWING NO. <b>A1</b>
SCALE: AS NOTED	
DRN: SPENCER CKD: YASO	

(ALSO KNOWN AS VAUGHAN GRAVEL ROAD & VAUGHAN PLANK ROAD) WALLACE STREET





**BASEMENT FLOOR PLAN**  
SCALE : 1/4"=1'

NO.	REVISIONS	DATE
1.	ISSUED FOR HERITAGE	09 / 06 / 2024

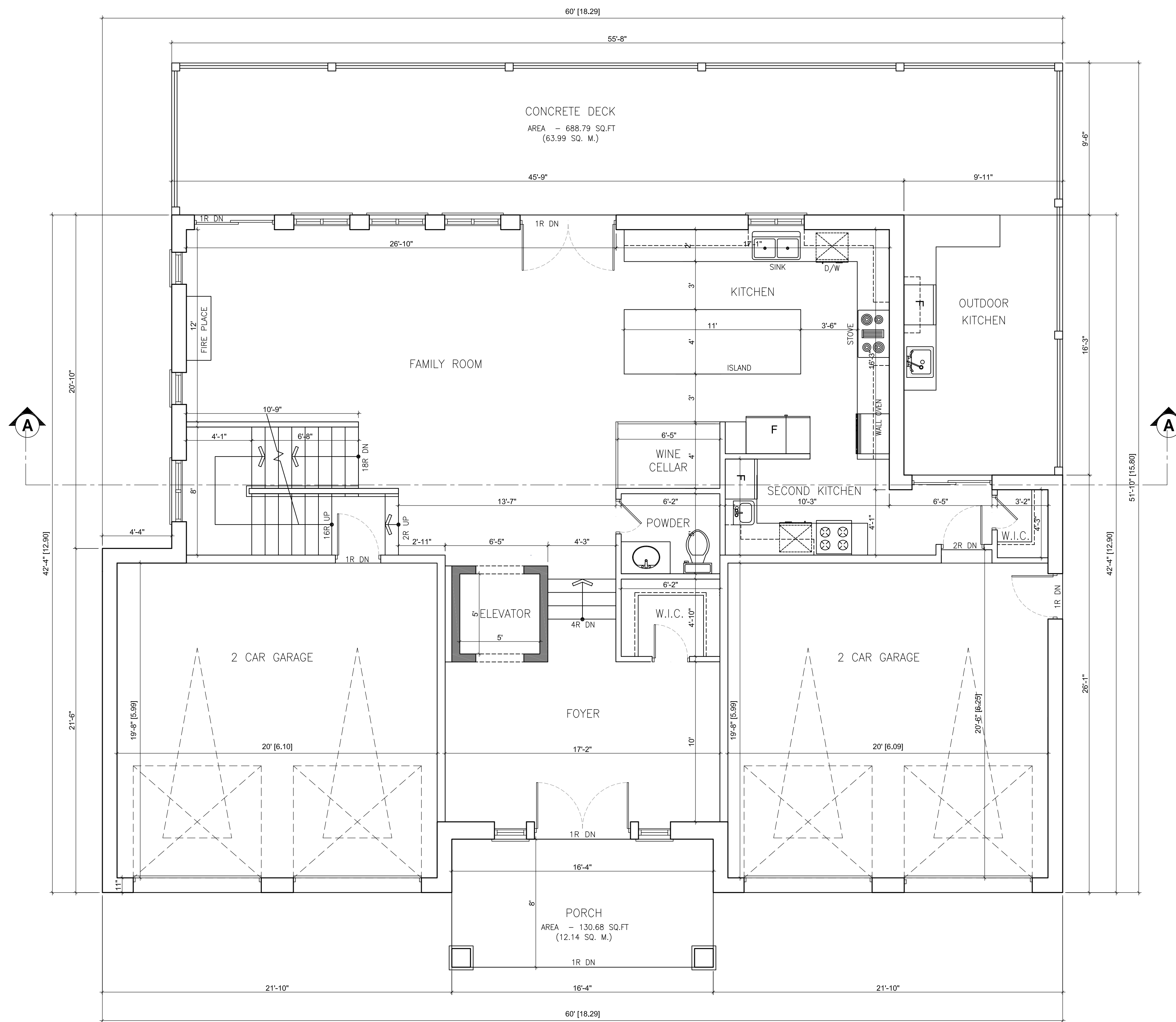
CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.  
THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSE UNTIL SEALED AND SIGNED BY THE ARCHITECT.  
DO NOT SCALE DRAWINGS.

**CANTAM**  
*Group Ltd.*  
PLANNING & BUILDING CONSULTANTS  
880 ELLESMERE RD, SUITE # 234, TORONTO ON M1P 2W6  
TEL: 416-335-3353 \* FAX: 416-335-7967 \* CELL: 416-854-2485

PROJECT :  
**PROPOSED THREE STOREY RESIDENCE  
AT 65 WALLACE ST.  
VAUGHAN , ON**

DRAWING:  
**BASEMENT FLOOR PLAN**

DATE: 04 / 04 / 2023	DRAWING NO. <b>A2</b>
SCALE: AS NOTED	
DRN: SPENCER CKD: YASO	



**GROUND FLOOR PLAN**  
SCALE : 1/4"=1'

1.	ISSUED FOR HERITAGE	09 / 06 / 2024
NO.	REVISIONS	DATE

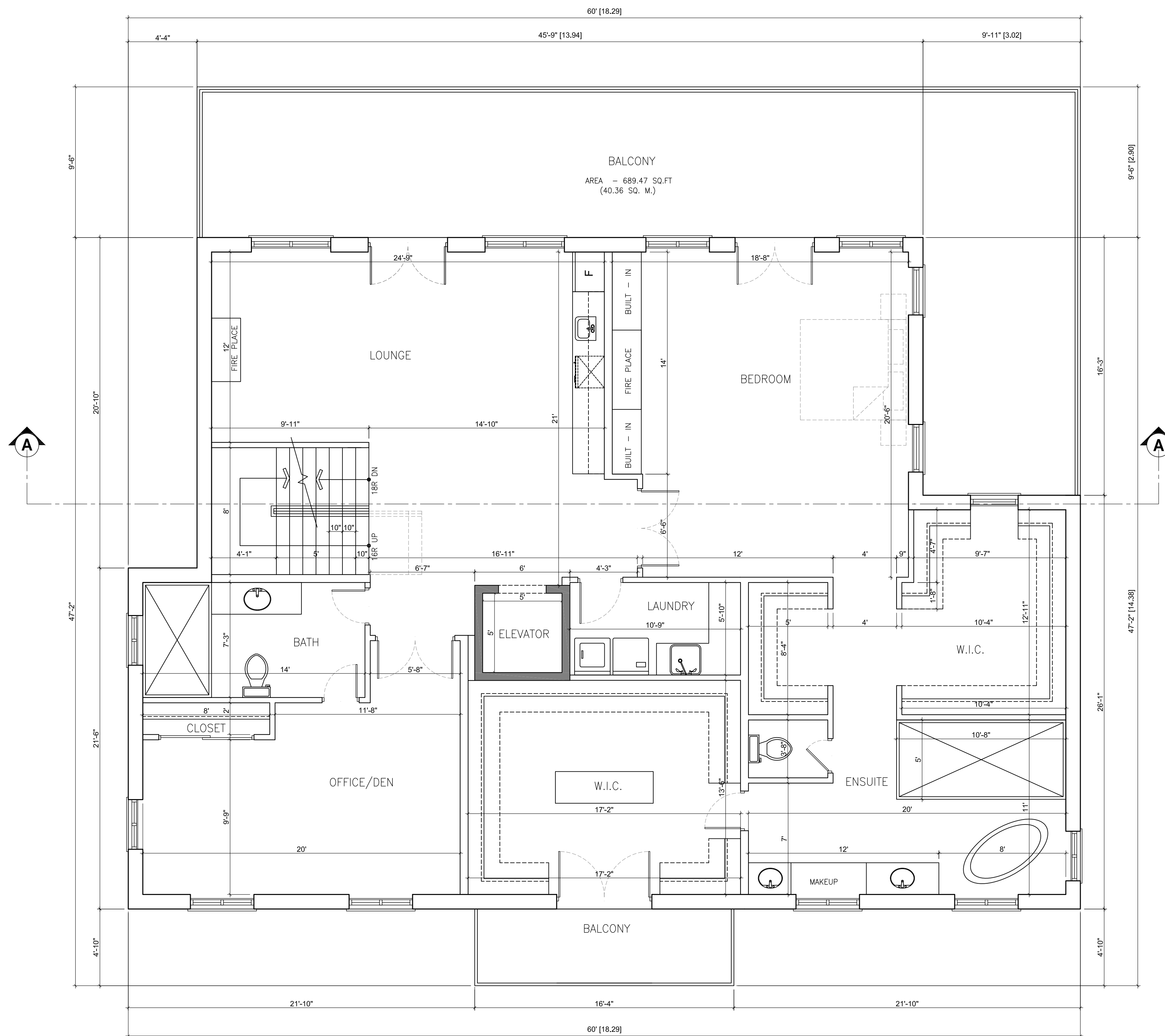
CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.  
THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSE UNTIL SEALED AND SIGNED BY THE ARCHITECT.  
DO NOT SCALE DRAWINGS.

**CANTAM**  
*Group Ltd.*  
PLANNING & BUILDING CONSULTANTS  
880 ELLESMERE RD, SUITE # 234, TORONTO ON M1P 2W6  
TEL: 416-335-3353 \* FAX: 416-335-7967 \* CELL: 416-854-2485

PROJECT :  
**PROPOSED THREE STOREY RESIDENCE  
AT 65 WALLACE ST.  
VAUGHAN , ON**

DRAWING:  
**GROUND FLOOR PLAN**

DATE: 04 / 04 / 2023	<b>A3</b>
SCALE: AS NOTED	
DRN: SPENCER CKD: YASO	



**SECOND FLOOR PLAN**  
SCALE : 1/4"=1'

NO.	REVISIONS	DATE
1.	ISSUED FOR HERITAGE	09 / 06 / 2024

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.  
THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSE UNTIL SEALED AND SIGNED BY THE ARCHITECT.  
DO NOT SCALE DRAWINGS.

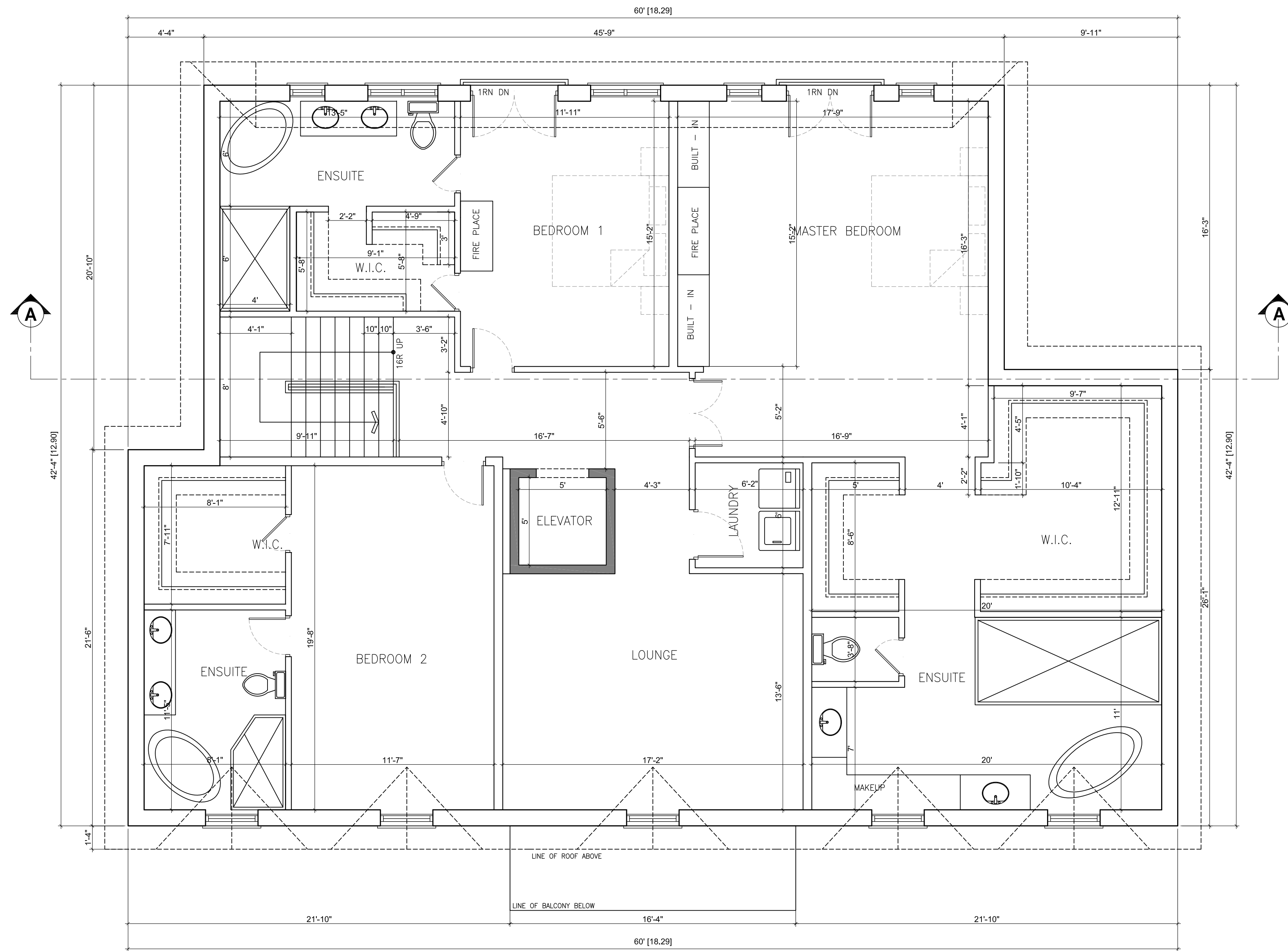
**CANTAM**  
*Group Ltd.*  
PLANNING & BUILDING CONSULTANTS  
880 ELLESMERE RD, SUITE # 234, TORONTO ON M1P 2W6  
TEL: 416-335-3353 \* FAX: 416-335-7967 \* CELL: 416-854-2485

PROJECT :  
**PROPOSED THREE STOREY RESIDENCE  
AT 65 WALLACE ST.  
VAUGHAN , ON**

DRAWING:  
**SECOND FLOOR PLAN**

DATE: 04 / 04 / 2023  
SCALE: AS NOTED  
DRN: SPENCER CKD: YASO

DRAWING NO.  
**A4**



 **THIRD FLOOR PLAN**  
SCALE : 1/4"=1'

1.	ISSUED FOR HERITAGE	09 / 06 / 2024
NO.	REVISIONS	DATE

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSE UNTIL SEALED AND SIGNED BY THE ARCHITECT.

DO NOT SCALE DRAWINGS.

**CANTAM**  
*Group Ltd.*

© COPY RIGHT  
PLANNING & BUILDING CONSULTANTS  
880 ELLESMERE RD, SUITE # 234, TORONTO ON M1P 2W6  
TEL: 416-335-3353 \* FAX: 416-335-7967 \* CELL: 416-854-2485

PROJECT :  
**PROPOSED THREE STOREY RESIDENCE  
AT 65 WALLACE ST.  
VAUGHAN , ON**

DRAWING:  
**THIRD FLOOR PLAN**

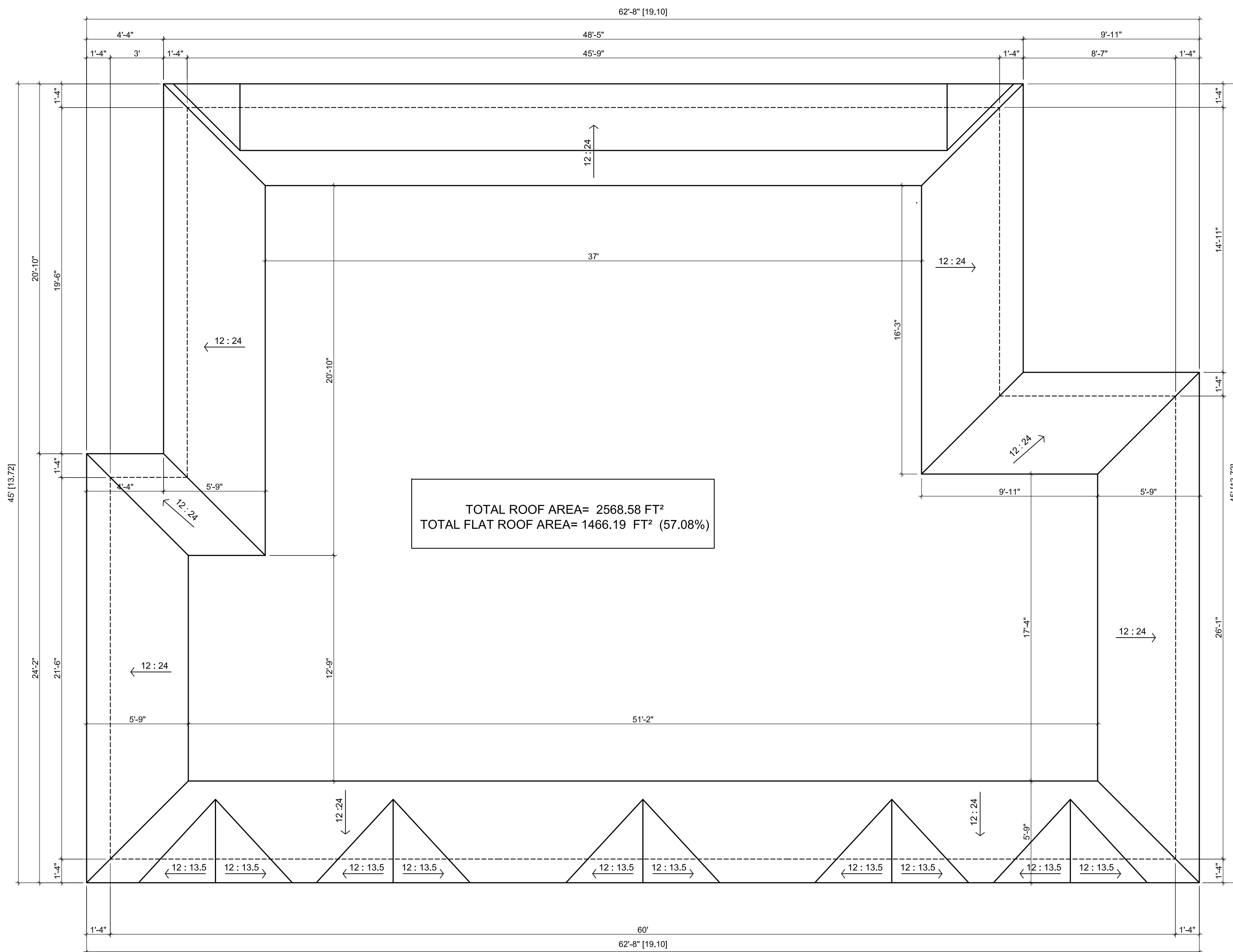
DATE: 04 / 04 / 2023

SCALE: AS NOTED

DRN: SPENCER CKD: YASO

DRAWING NO.

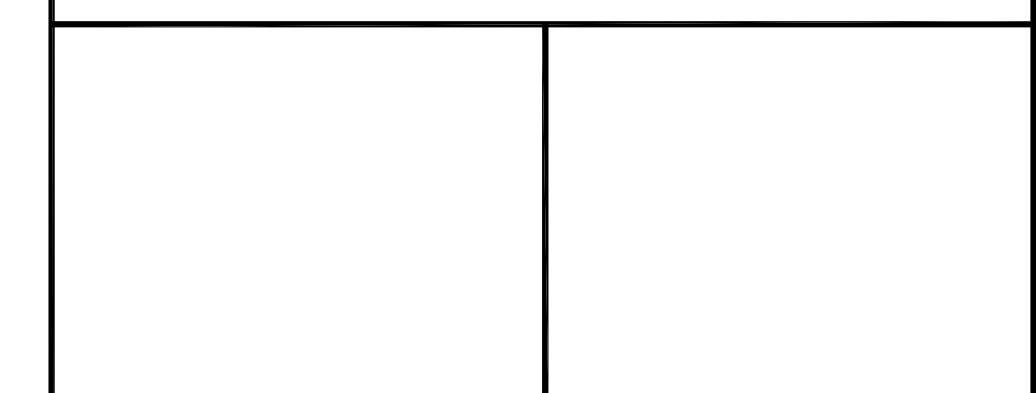
**A5**



 **ROOF PLAN**  
SCALE : 1/4"=1'

1.	ISSUED FOR HERITAGE	09 / 06 / 2024
NO.	REVISIONS	DATE

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.  
THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSE UNTIL SEALED AND SIGNED BY THE ARCHITECT.  
DO NOT SCALE DRAWINGS.



**CANTAM**  
*Group Ltd.*  
PLANNING & BUILDING CONSULTANTS  
880 ELLESMERE RD, SUITE # 234, TORONTO ON M1P 2W6  
TEL: 416-335-3353 \* FAX: 416-335-7967 \* CELL: 416-854-2485

PROJECT :  
**PROPOSED THREE STOREY RESIDENCE  
AT 65 WALLACE ST.  
VAUGHAN , ON**

DRAWING:  
**ROOF PLAN**

DATE: 04 / 04 / 2023  
SCALE: AS NOTED  
DRN: SPENCER CKD: YASO

DRAWING NO.  
**A6**



PROPOSED FRONT ELEVATION (OPTION 1)  
SCALE : 1/4"=1'

VOID TO SOLID RATIO CALCULATIONS				
LOCATION OF WALL	SOLID AREA		VOID AREA	
FRONT ELEV	961.63 SQ.FT (89.34 SQ.M)	64.50 %	529.21 SQ.FT (49.16 SQ.M)	35.50 %

1.	ISSUED FOR HERITAGE	09 / 06 / 2024
NO.	REVISIONS	DATE

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.  
THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSE UNTIL SEALED AND SIGNED BY THE ARCHITECT.  
DO NOT SCALE DRAWINGS.



**CANTAM**  
Group Ltd.  
PLANNING & BUILDING CONSULTANTS  
880 ELLESMERE RD, SUITE # 234, TORONTO ON M1P 2W6  
TEL: 416-335-3353 \* FAX: 416-335-7967 \* CELL: 416-854-2485

PROJECT :  
**PROPOSED THREE STOREY RESIDENCE  
AT 65 WALLACE ST.  
VAUGHAN , ON**

DRAWING:  
**FRONT ELEVATION**

DATE: 04 / 04 / 2023  
SCALE: AS NOTED  
DRN: SPENCER CKD: YASO

DRAWING NO.  
**A7**



**PROPOSED REAR ELEVATION**  
SCALE : 1/4"=1'

VOID TO SOLID RATIO CALCULATIONS				
LOCATION OF WALL	SOLID AREA		VOID AREA	
REAR ELEV	1487.10 SQ.FT (138.16 SQ.M)	71.68 %	587.50 SQ.FT (54.58 SQ.M)	28.32 %

1.	ISSUED FOR HERITAGE	09 / 06 / 2024
NO.	REVISIONS	DATE

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.  
THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSE UNTIL SEALED AND SIGNED BY THE ARCHITECT.  
DO NOT SCALE DRAWINGS.

**CANTAM**  
Group Ltd.  
PLANNING & BUILDING CONSULTANTS  
880 ELLESMERE RD, SUITE # 234, TORONTO ON M1P 2W6  
TEL: 416-335-3353 \* FAX: 416-335-7967 \* CELL: 416-854-2485

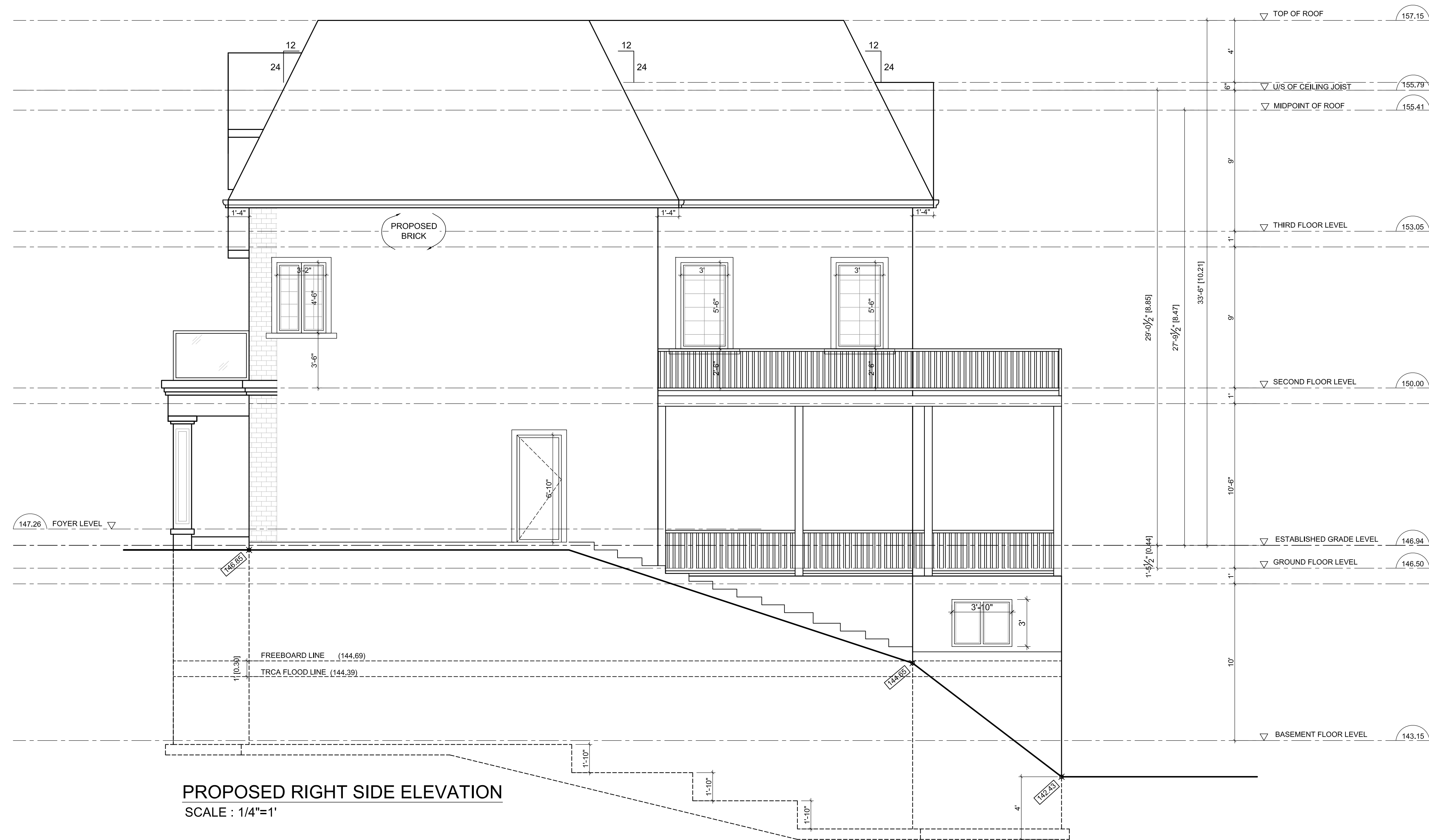
PROJECT :  
**PROPOSED THREE STOREY RESIDENCE  
AT 65 WALLACE ST.  
VAUGHAN , ON**

DRAWING:  
**REAR ELEVATION**

DATE: 04 / 04 / 2023  
SCALE: AS NOTED  
DRN: SPENCER CKD: YASO

DRAWING NO.  
**A8**





PROPOSED RIGHT SIDE ELEVATION  
SCALE : 1/4"=1'

VOID TO SOLID RATIO CALCULATIONS				
LOCATION OF WALL	SOLID AREA		VOID AREA	
RIGHT SIDE ELEV	1012.85 SQ.FT (94.10 SQ.M)	92.85 %	77.94 SQ.FT (7.24 SQ.M)	7.15 %

1.	ISSUED FOR HERITAGE	09 / 06 / 2024
NO.	REVISIONS	DATE

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.  
THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSE UNTIL SEALED AND SIGNED BY THE ARCHITECT.  
DO NOT SCALE DRAWINGS.

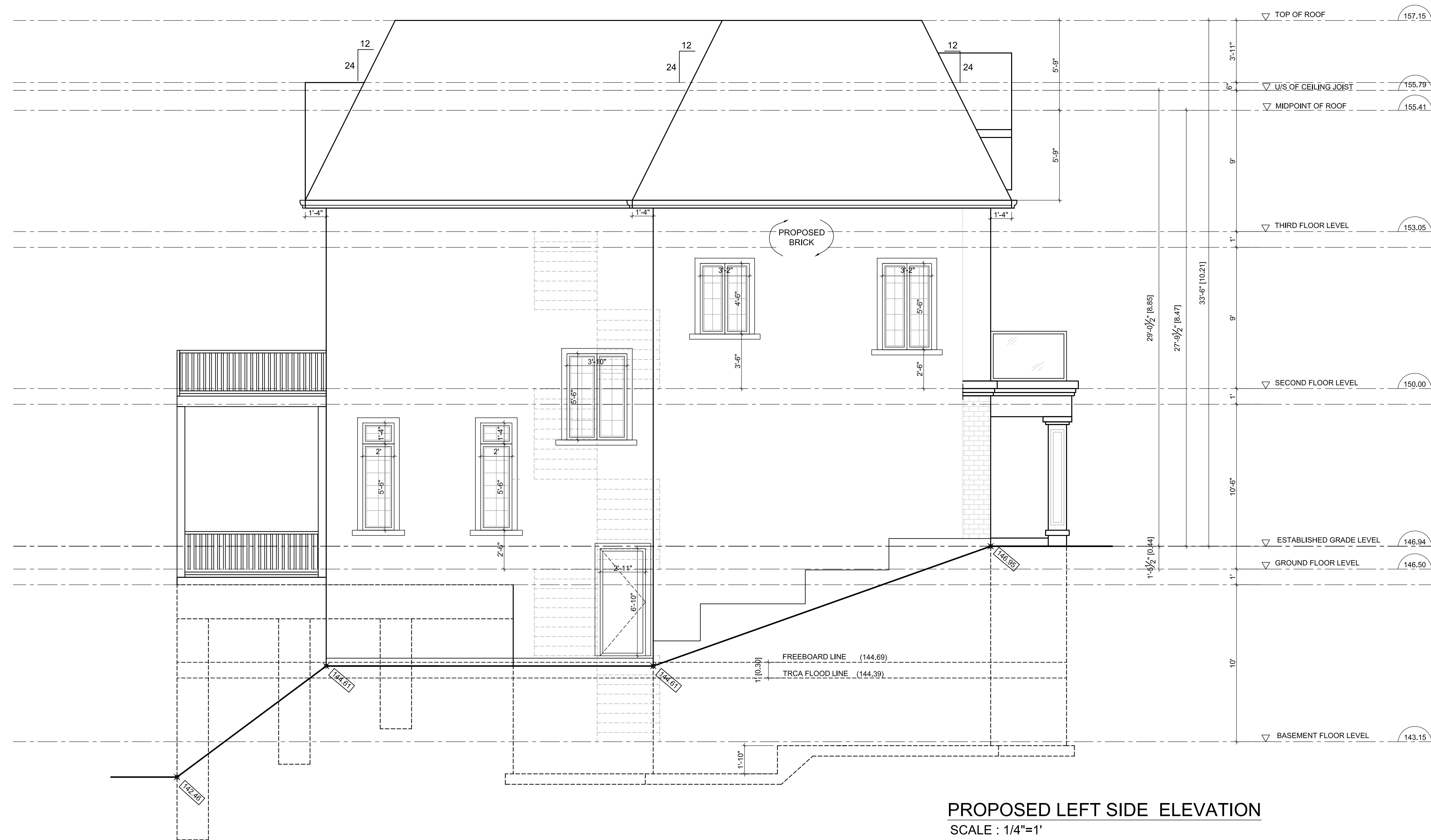
**CANTAM**  
Group Ltd.  
PLANNING & BUILDING CONSULTANTS  
880 ELLESMERE RD, SUITE # 234, TORONTO ON M1P 2W6  
TEL: 416-335-3353 \* FAX: 416-335-7967 \* CELL: 416-854-2485

PROJECT :  
**PROPOSED THREE STOREY RESIDENCE  
AT 65 WALLACE ST.  
VAUGHAN , ON**

DRAWING:  
**RIGHT SIDE ELEVATION**

DATE: 04 / 04 / 2023  
SCALE: AS NOTED  
DRN: SPENCER CKD: YASO

DRAWING NO.  
**A9**



PROPOSED LEFT SIDE ELEVATION  
SCALE : 1/4"=1'

VOID TO SOLID RATIO CALCULATIONS				
LOCATION OF WALL	SOLID AREA		VOID AREA	
LEFT SIDE ELEV	1141.01 SQ.FT (106.00 SQ.M)	91.98 %	99.43 SQ.FT (9.24 SQ.M)	8.02 %

1.	ISSUED FOR HERITAGE	09 / 06 / 2024
NO.	REVISIONS	DATE

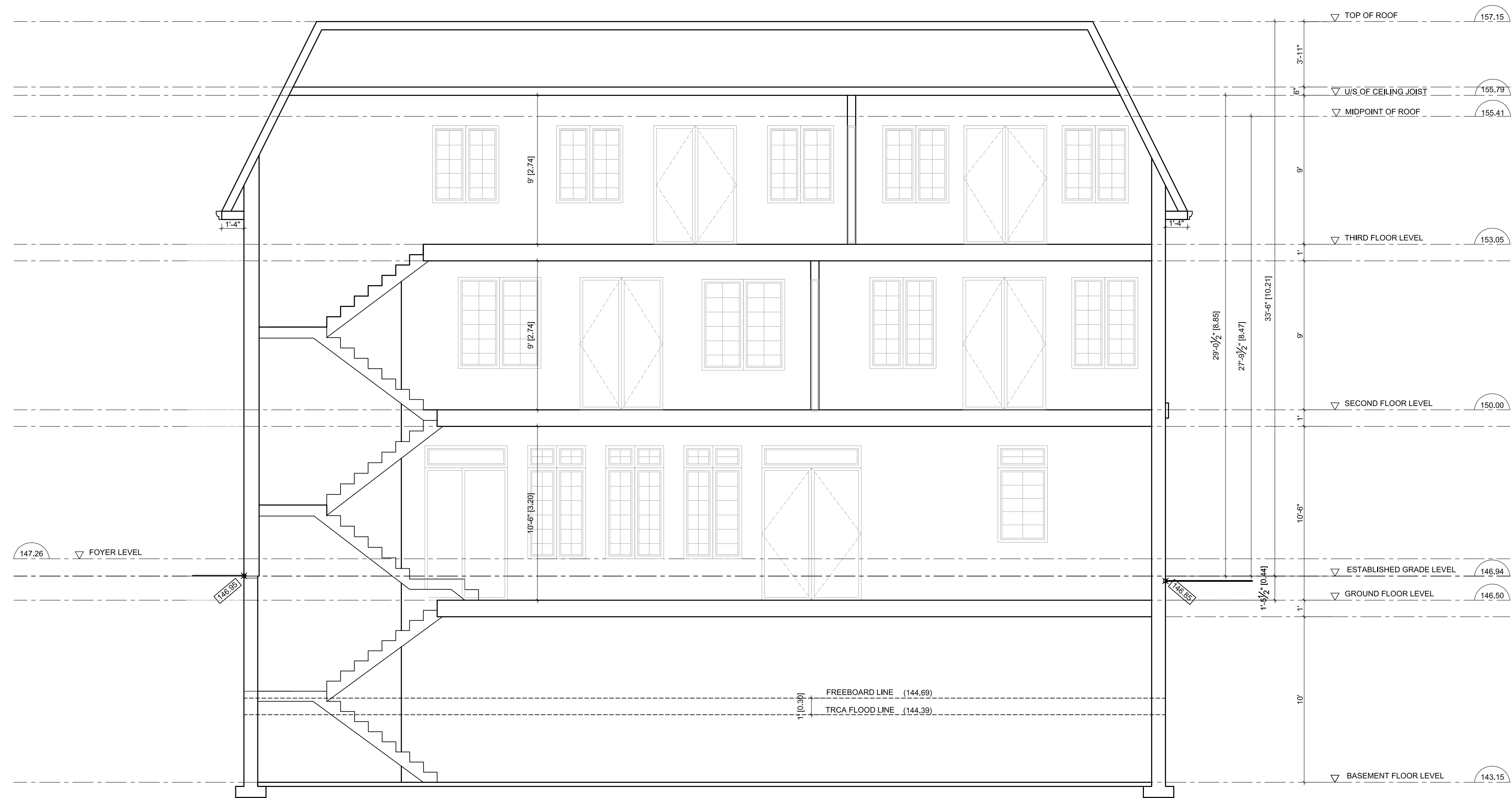
CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.  
THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSE UNTIL SEALED AND SIGNED BY THE ARCHITECT.  
DO NOT SCALE DRAWINGS.

**CANTAM**  
Group Ltd.  
PLANNING & BUILDING CONSULTANTS  
880 ELLESMERE RD, SUITE # 234, TORONTO ON M1P 2W6  
TEL: 416-335-3353 \* FAX: 416-335-7967 \* CELL: 416-854-2485

PROJECT :  
PROPOSED THREE STOREY RESIDENCE  
AT 65 WALLACE ST.  
VAUGHAN , ON

DRAWING:  
LEFT SIDE ELEVATION

DATE: 04 / 04 / 2023  
SCALE: AS NOTED  
DRN: SPENCER CKD: YASO  
DRAWING NO. **A10**



SECTION A-A  
SCALE : 1/4"=1'

1.	ISSUED FOR HERITAGE	09 / 06 / 2024
NO.	REVISIONS	DATE

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSE UNTIL SEALED AND SIGNED BY THE ARCHITECT.

DO NOT SCALE DRAWINGS.

**CANTAM**  
Group Ltd.  
PLANNING & BUILDING CONSULTANTS  
880 ELLESMERE RD, SUITE # 234, TORONTO ON M1P 2W6  
TEL: 416-335-3353 \* FAX: 416-335-7967 \* CELL: 416-854-2485

PROJECT :  
PROPOSED THREE STOREY RESIDENCE  
AT 65 WALLACE ST.  
VAUGHAN , ON

DRAWING:  
SECTION A-A

DATE: 04 / 04 / 2023	DRAWING NO. <b>A11</b>
SCALE: AS NOTED	
DRN: SPENCER CKD: YASO	



SURVEYOR'S REAL PROPERTY REPORT  
 PART 1  
 PLAN OF SURVEY SHOWING TOPOGRAPHY OF  
**PART OF LOT H**  
**REGISTERED PLAN No. 1200**  
**CITY OF VAUGHAN**  
 REGIONAL MUNICIPALITY OF YORK

SCALE 1:150

THE INTENDED PLOT SIZE OF THIS PLAN IS 712mm IN WIDTH BY 441mm IN HEIGHT WHEN PLOTTED AT A SCALE OF 1:150

**METRIC:** DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

**NOTES**

- 1) BEARINGS ARE GRID, AND ARE REFERRED TO THE SOUTHERLY LIMIT OF LOT H HAVING A BEARING OF N73°14'20"E AS SHOWN ON REGISTERED PLAN No.1200
- 2) TIES ARE TAKEN TO FOUNDATION UNLESS OTHERWISE NOTED.

**PART 2: SURVEY REPORT**

- 1) PART OF LOT H, REGISTERED PLAN No.1200
- 2) FENCES AND THEIR RELATIONSHIP TO THE PROPERTY LIMITS ARE SHOWN ON THE FACE OF THE PLAN

**BENCHMARK NOTE**

ELEVATIONS SHOWN ON THIS PLAN ARE RELATED TO GEODETIC DATUM AND ARE DERIVED FROM THE CITY OF VAUGHAN BENCHMARK No. 237-66 HAVING A PUBLISHED ELEVATION OF 142.714 (CGVD 2013) METRES.

**LEGEND**

■	DENOTES FOUND MONUMENT
□	DENOTES PLANTED MONUMENT
SIB	DENOTES STANDARD IRON BAR
CC	DENOTES CUT CROSS
IB	DENOTES IRON BAR
OU	DENOTES ORIGIN UNKNOWN
WIT	DENOTES WITNESS
MEAS	DENOTES MEASURED
1370	DENOTES KROMAR SURVEYORS LTD., O.L.S
1943	DENOTES KAD LANKA SURVEYING INC., O.L.S
D&T	DENOTES DUNNING & TAYLOR, O.L.S
RP	DENOTES REGISTERED PLAN 1200
P1	DENOTES SURVEYOR'S REAL PROPERTY REPORT BY KAD LANKA SURVEYING INC., O.L.S., DATED: JUNE 5 <sup>TH</sup> , 2020
AC	DENOTES AIR CONDITIONER
BM	DENOTES BENCHMARK
BR	DENOTES BRICK
BF	DENOTES BOARD FENCE
CB	DENOTES CATCH BASIN
CLF	DENOTES CHAIN LINK FENCE
CONC	DENOTES CONCRETE
CT	DENOTES CONIFEROUS TREE
DT	DENOTES DECIDUOUS TREE
FDN	DENOTES FOUNDATION
FF	DENOTES FINISHED FLOOR
GM	DENOTES GAS METER
LS	DENOTES LIGHT STANDARD
MH	DENOTES MANHOLE
RTW	DENOTES RETAINING WALL
SRTW	DENOTES STONE RETAINING WALL
WRTW	DENOTES WOOD RETAINING WALL

**SURVEYOR'S CERTIFICATE**

I CERTIFY THAT:

- 1) THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
- 2) THE SURVEY WAS COMPLETED ON 17<sup>TH</sup> DAY OF FEBRUARY, 2022

MARCH 6<sup>TH</sup>, 2022  
 DATE

MAYANK TANDON  
 ONTARIO LAND SURVEYOR

" This plan was signed with this scanned signature as a result of the emergency order related to the COVID-19 pandemic. "

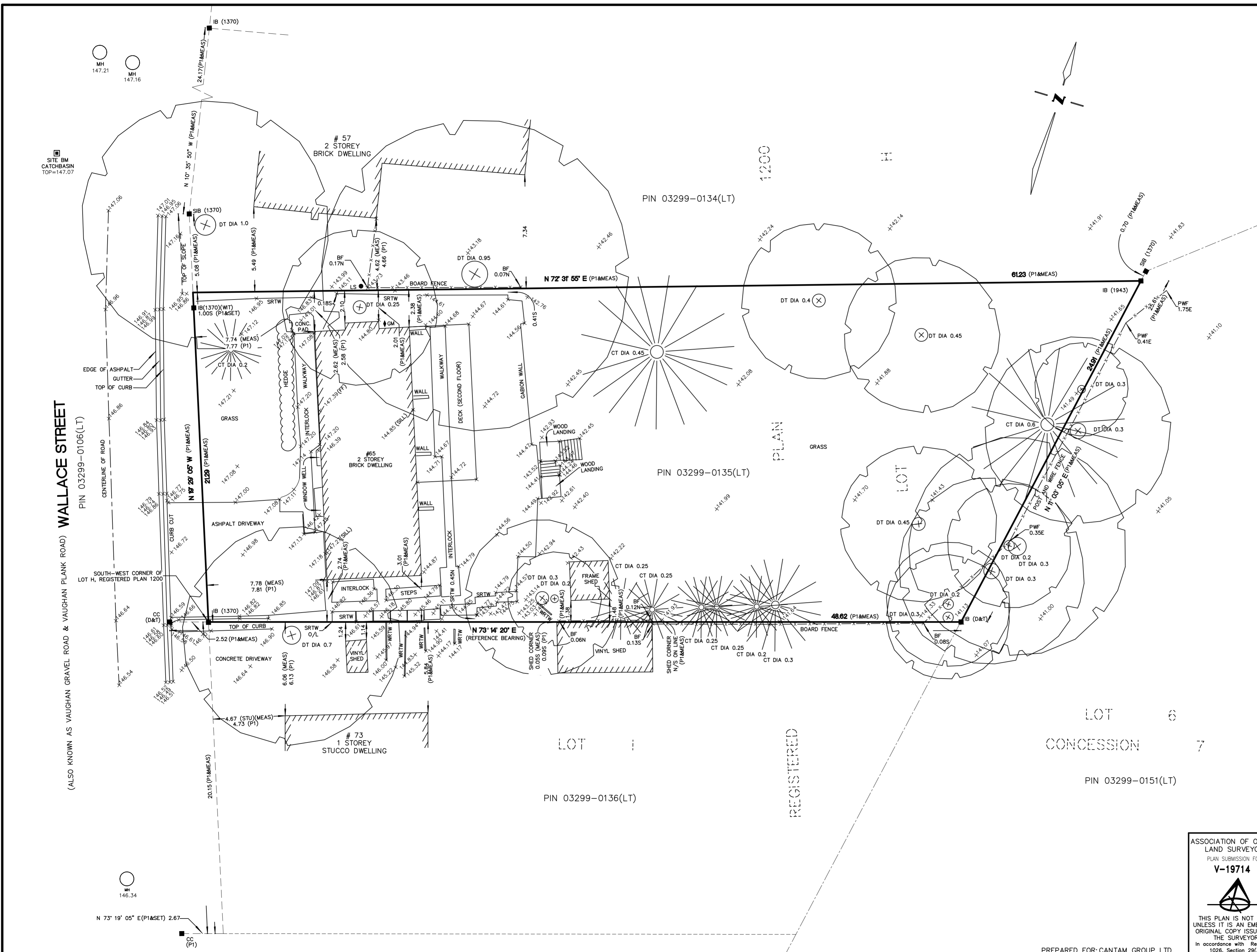
ASSOCIATION OF ONTARIO  
 LAND SURVEYORS  
 PLAN SUBMISSION FORM  
**V-19714**  
  
 THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR in accordance with Regulation 1026, Section 29(3)

15 Great Plains Street  
 Brampton, Ontario  
 L6R-1Z5  
 Phone: (647) 914-3361  
 www.akmsurvey.com  
 Email: info@akmsurvey.com

**AKM**  
 AK&M SURVEYING LTD.

DATE: March 6, 2022    CHECKED BY: MT    DRAWN BY: BFV    PROJECT No.: 2021-162  
 FILE LOCATION: G:\Shared drives\AK&M Survey Ltd. Job Folders\2021-162\Drawing\2021-162-SRPR1.dwg

PREPARED FOR: CANTAM GROUP LTD.



WALLACE STREET  
 (ALSO KNOWN AS VAUGHAN GRAVEL ROAD & VAUGHAN PLANK ROAD)  
 PIN 03299-0106(LT)

SITE BM  
 CATCHBASIN  
 TOP=147.07

MH  
 146.34

N 73° 19' 05" E (P1&SET) 2.67

PIN 03299-0134(LT)

PIN 03299-0135(LT)

PIN 03299-0136(LT)

LOT 6

CONCESSION 7

PIN 03299-0151(LT)

REGISTERED