

ITEM: 6.11	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A235/22
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Report Date: September 27, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	No Comments Received to Date

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
<p>All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.</p>				
Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
None				

BACKGROUND (SCHEDULE D, IF REQUIRED)	
<p><small>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</small></p>	
Application No. (City File)	Application Description
A146/18	(i.e. Minor Variance Application; Approved by COA / OLT) Approved by COA; 09/13/18

ADJOURNMENT HISTORY	
<small>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</small>	
Hearing Date	Reason for Adjournment (to be obtained from NOD_ADJ)
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A235/22

CITY WARD #:	1
APPLICANT:	Harwinder & Jessica Kalsi
AGENT:	PMP Design Group Inc
PROPERTY:	15 Cardish Street, Kleinburg
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 (VOP 2010): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a pergola (on Part 1) and cabana (on Part 2), a swimming pool (hot tub), the location of pool equipment in the easterly side yard and reduced landscaping requirements in the rear yard.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R1B(EN), First Density Residential Zone, Established Neighbourhood and subject to the provisions of Exception 14.336 under Zoning By-law 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	A minimum setback of 1.5 m is required from the westerly interior side lot line to the residential accessory structure (pergola, identified as Part 1 on the Site Plan). [4.1.2]	To permit a setback of 0.77 m from the westerly interior side lot line to the residential accessory structure (pergola, identified as Part 1 on the Site Plan).
2	A minimum setback of 1.5 m is required from the easterly interior side lot line to the residential accessory structure (cabana, identified as Part 2 on the Site Plan). [4.1.2]	To permit a setback of 0.65 m from the easterly interior side lot line to the residential accessory structure (cabana, identified as Part 2 on the Site Plan).
3	A maximum height of 3.0 m is permitted for each residential accessory structure (1 pergola and 1 cabana). [Section 4.1.4.1]	To permit two residential accessory structures (1 pergola and 1 cabana) identified as Part 1 and Part 2 on the Site Plan), each with a height of 3.18 m.
4	A minimum setback of 12 m is required from the rear lot line to the residential accessory building (pergola, identified as Part 1 on the Site Plan). [4.1.2]	To permit a setback of 2.03 m from the rear lot line to the accessory structure (pergola, identified as Part 1 on the Site Plan).
5	A minimum setback of 12 m is required from the rear lot line to the residential accessory structure (cabana, identified as Part 2 on the Site Plan). [4.1.2]	To permit a setback of 2.03 m from the rear lot line to the accessory structure (cabana, identified as Part 2 on the Site Plan).
6	A maximum overall lot coverage of 40% is permitted. [Table 7-3]	To permit a maximum overall lot coverage of 40.95%.
7	In the R1 Zone, any portion of a yard in excess of 135.0 m ² shall be comprised of a minimum 60% soft landscape. A minimum of 103.12 m ² rear yard soft landscape is required. [4.19.1]	To permit a minimum of 72.44 m ² (42.24 %) of the area of the rear yard in excess of 135 m ² to be composed of soft landscape.
8	A minimum setback of 1.5 m is required from the easterly interior side lot line to the residential accessory structure (pool equipment). [4.1.2.1 a]	To permit a setback of 1.4 m from the interior side lot line to a residential accessory structure (pool equipment).
9	An outdoor swimming pool shall only be permitted in the rear yard of a lot. [4.21.2]	To permit an outdoor swimming pool (hot tub) not to be located in the rear yard of a lot.

HEARING INFORMATION

DATE OF MEETING: Thursday, October 3, 2024

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive

LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	September 19, 2024
Date Applicant Confirmed Posting of Sign:	September 16, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	Rear yard setback of 12 m from the fence would leave me no room to build anything.
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
None	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

The proposed two accessory structures in the backyard can increase to the existing storm drainage flows having adverse effects on the neighbour's property. The Owner / Applicant shall ensure that positive drainage is achieved and that no surface drainage problems are created on adjacent private or public lands because of the construction in accordance with the City's Engineering standards. It's important note that any in-ground structure exceeding 10 m² necessitates a Grading Permit. Once the Grading Permit is obtained, please reach out to the Development Engineering Reviewer to clear the Condition imposed on this application. There is also a concern regarding the presence of a utility pole within one of the proposed cabanas. This issue was raised during a meeting with the Owner/Applicant on August 1, 2024. However, the Owner/Applicant has stated that the matter has been addressed, citing no concerns after an inspector from Alectra visited the site and issued a Clearance Letter on May 4, 2024. The proposed work by the Owner / Applicant is increasing the lot coverage on the subject property by 29.6%. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer. The Development Engineering Department does not object to the Minor Variance application A235/22, subject to the following condition(s).

Development Engineering Recommended Conditions of Approval:	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
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PARKS, FORESTRY & HORTICULTURE (PFH)

No comments received to date.

PFH Recommended Conditions of Approval:	None
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DEVELOPMENT FINANCE

No comment no concerns.

Development Finance Recommended Conditions of Approval:	None.
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date.

BCLPS Recommended Conditions of Approval:	None.
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BUILDING INSPECTION (SEPTIC)

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None.
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FIRE DEPARTMENT

No comments received to date.

Fire Department Recommended Conditions of Approval:	None.
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RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Engineering Rex.bondad@vaughan.ca	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

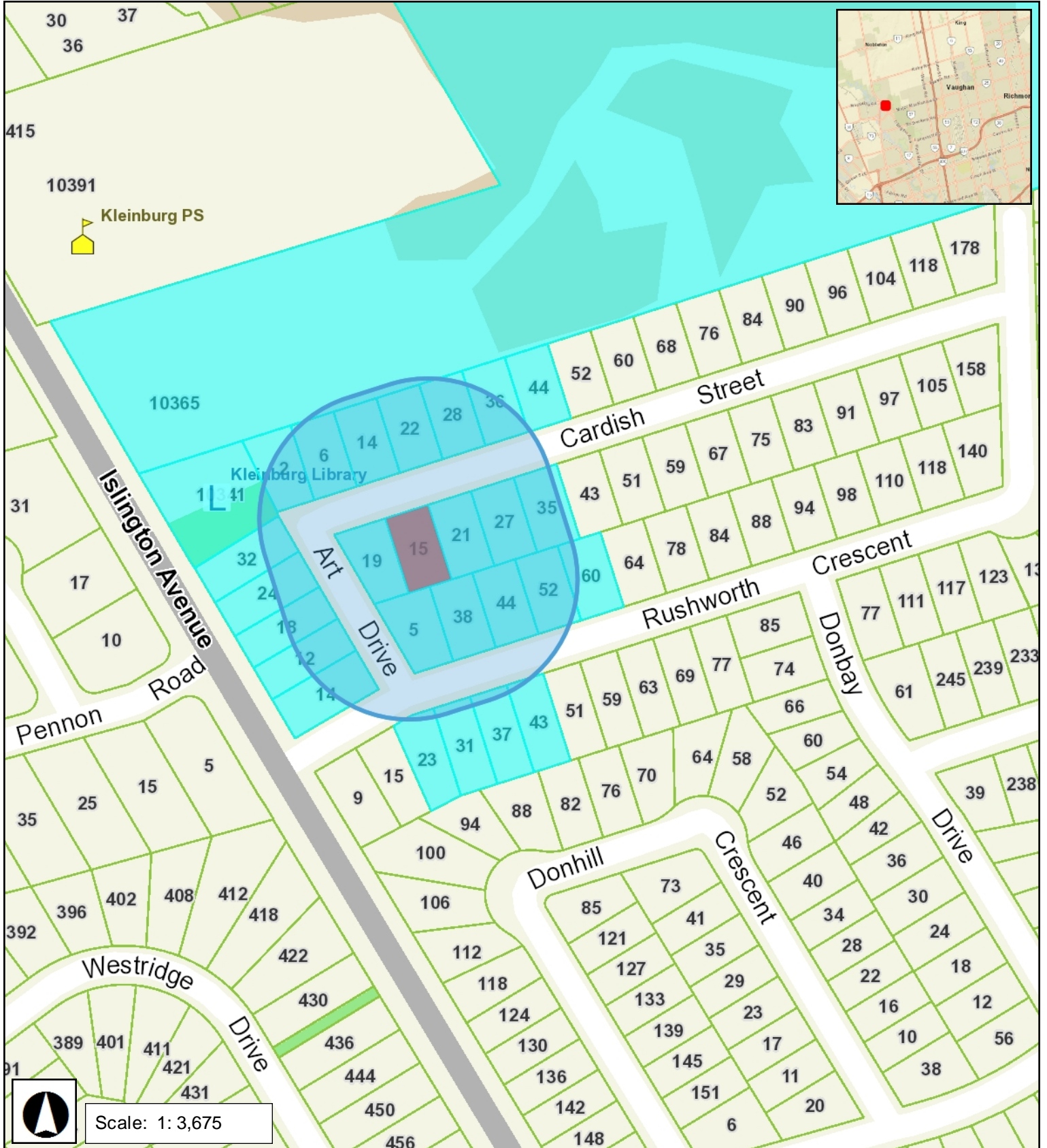
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



ZONING DATA MATRIX PROPOSED RESIDENCE FOR 15 CARDISH STREET

RECEIVED
By Christine Vigneault at 4:09 pm, Aug 16, 2024

	PROPOSED	
Lot Area	10032.00 S.F.	931.73 S.M.
Front Yard Setback	25'-8 1/2"	7.83 M
Side Yard Setbacks	5'-0" & 5'-0"	1.52 & 1.52 M
Rear Yard Setback	43'-5 1/2"	13.25 M
Height	31'-2"	9.50 M
Length	62'-10"	19.15 M
Front Yard Area	1997.42 S.F.	185.56 S.M.
Driveway Area	511.51 S.F.	47.52 S.M.
Porch & Walkway Area	710.47 S.F.	66.00 S.M.
Front Landscaping Area	775.44 S.F.	72.04 S.M.
% Soft Landscaping Area of %50 of front yard area (77.65%)		
Basement Floor Area	2567.44	238.52 S.M.
Main Floor Area (Excluding Garage)	2556.38 S.F.	237.50 S.M.
Main Floor Area (Including Garage)	3309.94 S.F.	307.50 S.M.
Second Floor Area	2875.45 S.F.	267.14 S.M.
Footprint Area	3309.94 S.F.	307.50 S.M.
Gross Floor Area	5431.83S.F.	504.63 S.M.
Cabana Area(PART 2+STORAGE PART 1)	431S.F.	40.04S.M.
PERGOLA Area(PART 1)	264.5 S.F.	24.57 S.M.
Covered Porch	94.18S.F.	8.75 S.M.
Covered Deck (Excluded pergola style roof above)	231.5 S.F.	21.5 S.M.
Deck with open roof(pergola style)	226.5 S.F.	21 S.M.
Pool utility room	37 S.F.	3.4 S.M.
Total Area (main building+Covered Porch+Covered Deck+Cabana Area)	4096.89S.F.	380.53 S.M.
Coverage for main building	33.00 %	
Coverage for Cabana(Excluded Pergola)	4.29 %	
Coverage for covered porch	1 %	
Coverage for covered deck (Excluded Pergola-open roof above)	2.30 %	
Coverage for pool utility room	0.36 %	
Total Coverage	40.95 %	

VARIANCE #6

REAR SOFT LANDSCAPING

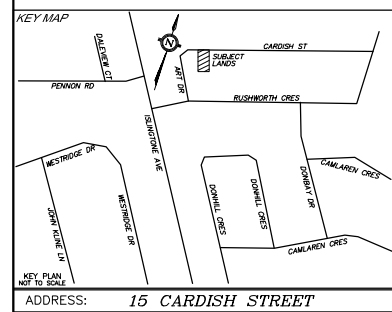
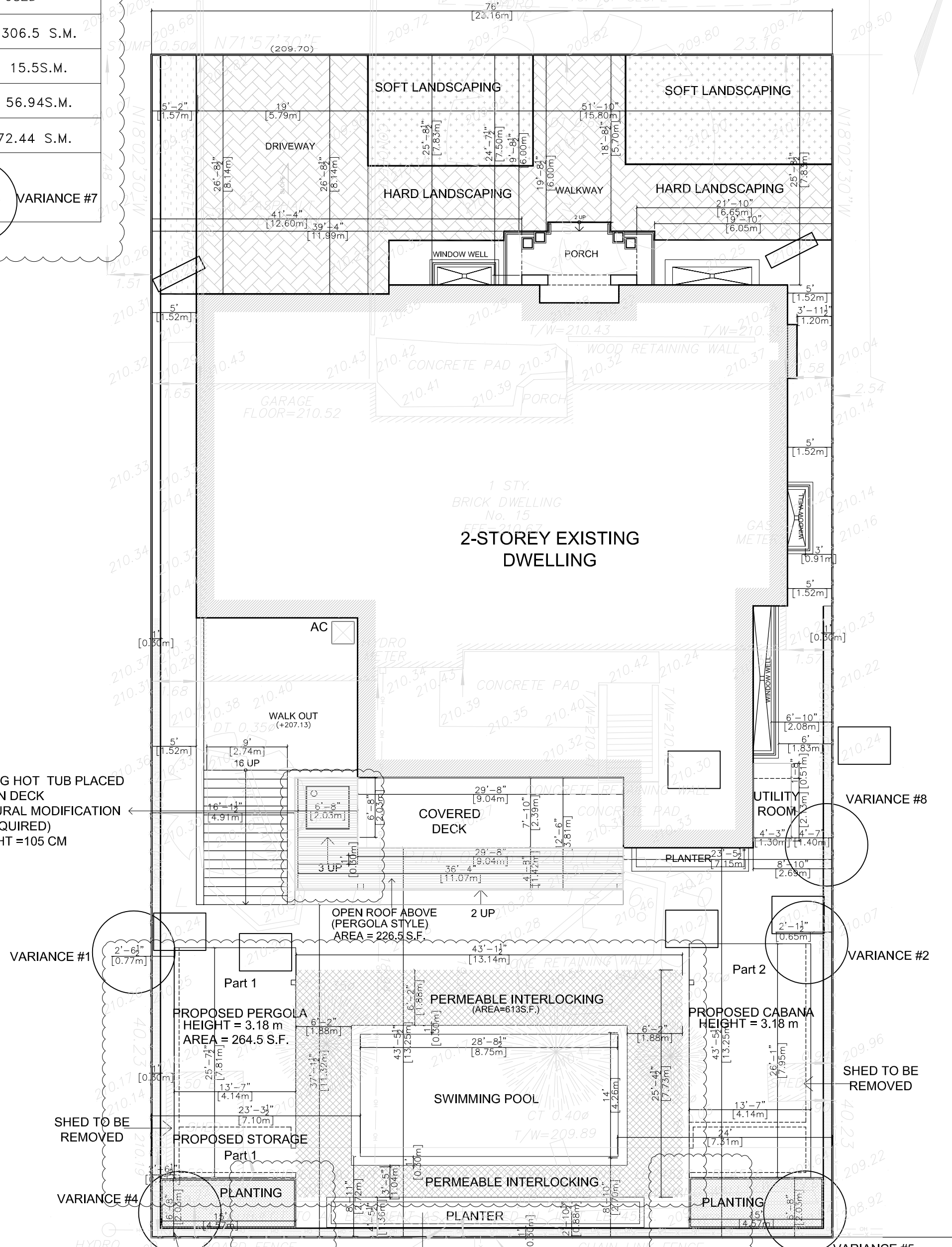
	PROPOSED	
Rear Yard Area (Excluded deck-walkout-stairs)	3300 S.F.	306.5 S.M.
PLANTING AREA (ON GROUND)	167 S.F.	15.5S.M.
PERMIABLE INTERLOCJING AROUND THE POOL	613 S.F.	56.94S.M.
Rear Soft Landscaping Area	780 S.F.	72.44 S.M.
%Rear Soft Landscaping over 135sqm	%42.24 VARIANCE #7	

FREE STANDING HOT TUB PLACED ON DECK (NO STRUCTURAL MODIFICATION REQUIRED) HEIGHT =105 CM

EASEMENT LB 74524:BELL TELEPHONE COMPANY
EASEMENT LB 74525:HYDRO ELECTRIC POWER OF ONTARIO
EASEMENT LB 74526:BELL TELEPHONE COMPANY

PROPOSED PLANTING AREA=78 S.F.
EXISTING PLANTING AREA=89 S.F.

PLANTER (RETAINING WALL IS NOT REQUIRED)



GENERAL NOTES:
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2. THESE DRAWINGS ARE FOR PERMIT APPLICATION PURPOSE. CONTRACTOR MUST CHECK ALL APPLICABLE BY-LAWS AND O.B.C. ANY DISCREPANCY MUST BE REPORTED TO THE DESIGNER.
3. GEODETIC ELEVATION OF THE BASEMENT SHOULD BE CONFIRMED BY THE BUILDER(S) PRIOR TO CONSTRUCTION BASED ON THE LOCATION OF UNDERGROUND SERVICES.
4. DO NOT SCALE DRAWINGS.
5. ALL WORK SHALL BE CARRIED OUT IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE ONTARIO BUILDING CODE.
6. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
7. USE ONLY LATEST REVISED DRAWINGS.
8. ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO P.M.P. DESIGN GROUP BY PHONE AND SUBSEQUENT WRITTEN CONFIRMATION PRIOR TO COMMENCEMENT OF THE WORK.
9. ALL STRUCTURAL DESIGN MUST BE REVIEWED AND APPROVED BY CERTIFIED STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE O.B.C. TO BE A DESIGNER. QUALIFICATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C-3.2.5.1. OF THE 2012 O.B.C. (OR C-3.2.5.1. OF THE 2006 O.B.C. 2.17.5.1. OF THE 1997 O.B.C.)

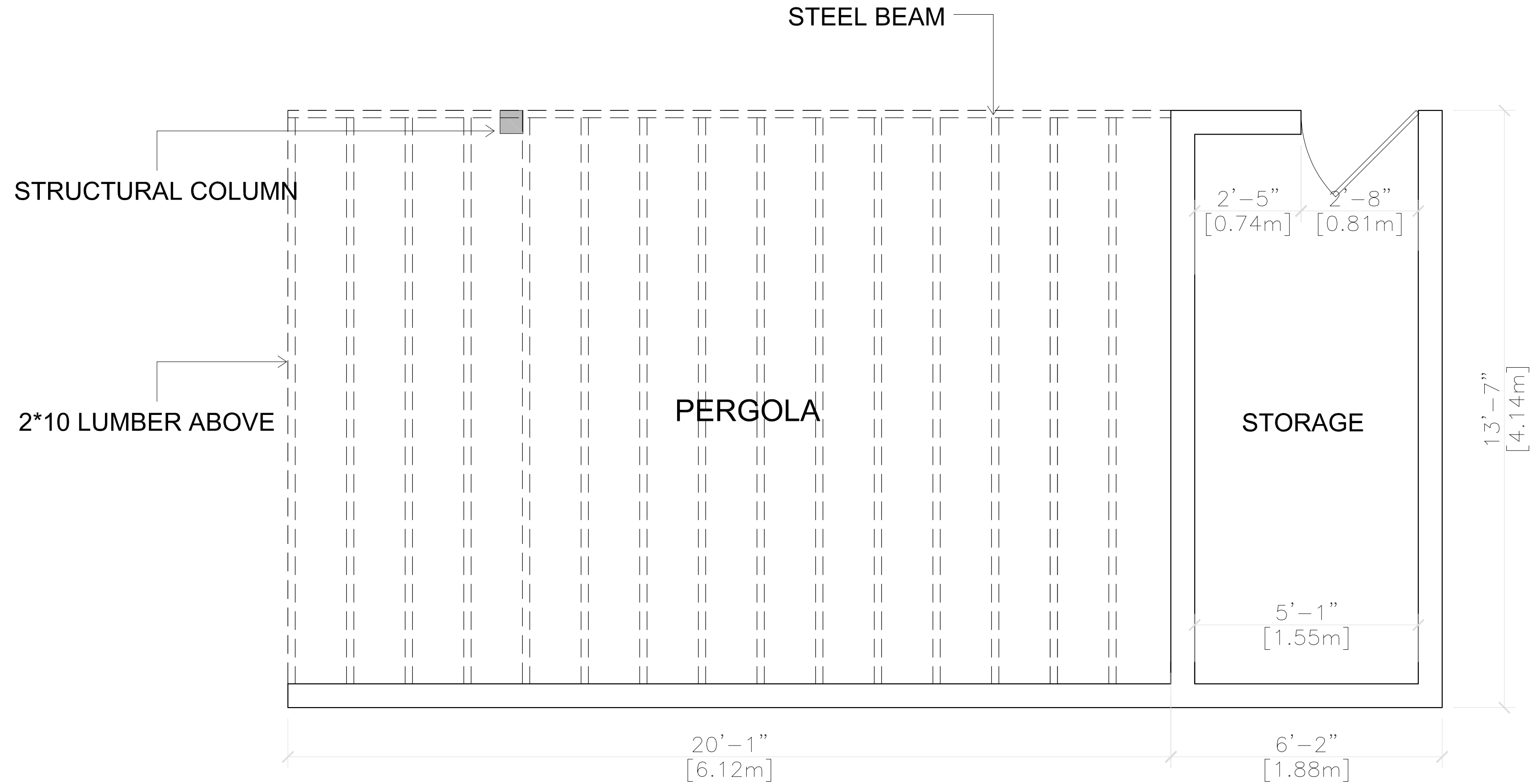
NO.	DATE	REVISIONS
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PAPER SIZE: 18X24
DATE: 2024, August ,02
DESIGN: M.H. CHECKED
DRAWN: A.A. CHECKED
SCALE: 3/32"=1'-0"
NAME: MEHRAN HEYDARI
BCIN: 39628

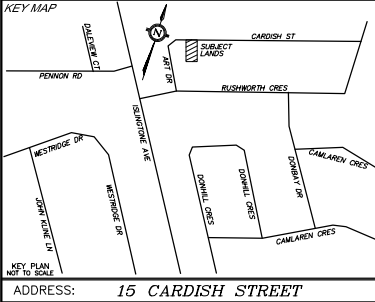
PMP Design Group
Exclusive Residential Design
1090 Don Mills rd., UNIT 506, NORTH YORK, ON M3C3R6
C: 416-809-1536 T: 416-623-9303

City of Vaughan Ontario, Canada

TITLE: 15 Cardish street
DWG: **SITE PLAN**
MUNICIPAL FILE No.: **A1**
PROJECT No.: 624



FLOOR PLAN



KEY PLAN: N.T.S.

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NO.	DATE	REVISIONS
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2		
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PAPER SIZE 18X24

DATE 2024, August ,02

DESIGN **M.H.** CHECKED

DRAWN **A.A.** CHECKED

SCALE **1/2" = 1'-0"**

NAME: MEHRAN HEYDARI
BCIN: 39628

REGISTRATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C-3.2.5.1. OF THE 2006 O.B.C. (OR 2.17.5.1. OF THE 1997 O.B.C.)
FIRM NAME: P.M.P. DESIGN GROUP
BCIN: 41993

PMP Design Group
Exclusive Residential Design

1090 Don Mills rd., UNIT 506, NORTH YORK, ON M3C3R6
C: 416-809-1536 T: 416-623-9303

FLOOR PLAN

City of Vaughan
Ontario, Canada

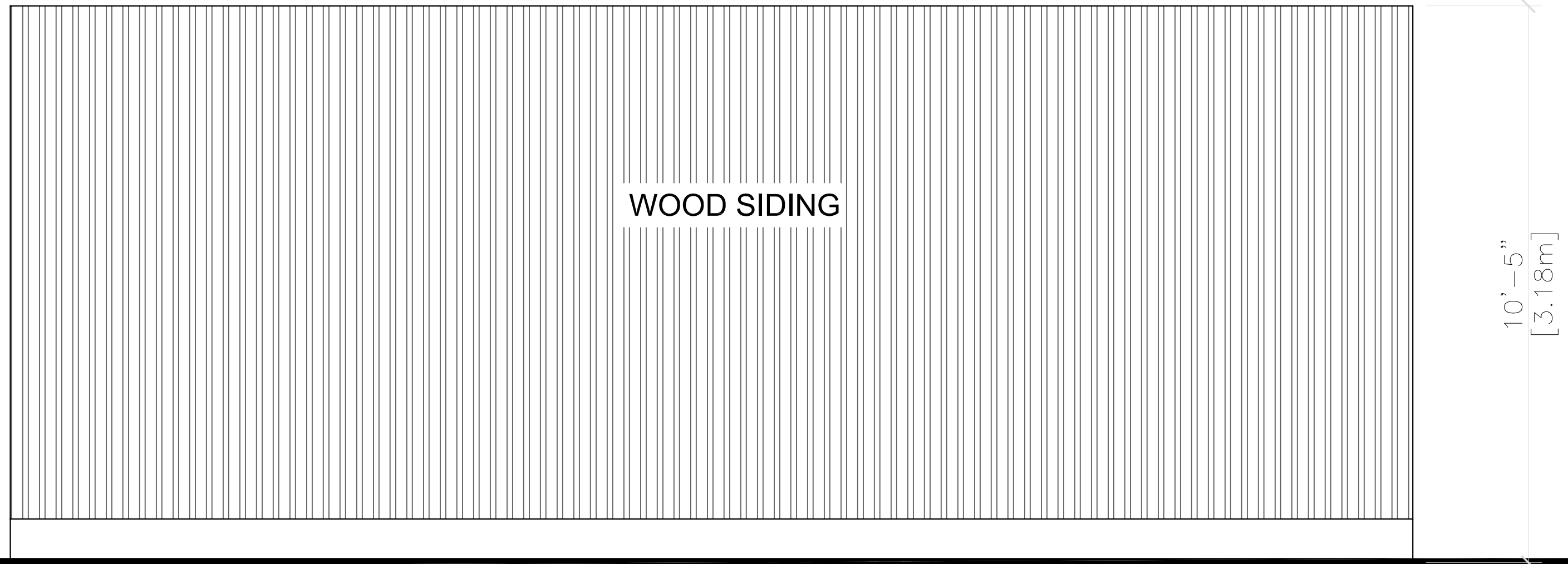
TITLE
15 Cardish street

DWG.
PROPOSED PERGOLA PART #1

MUNICIPAL
FILE No.

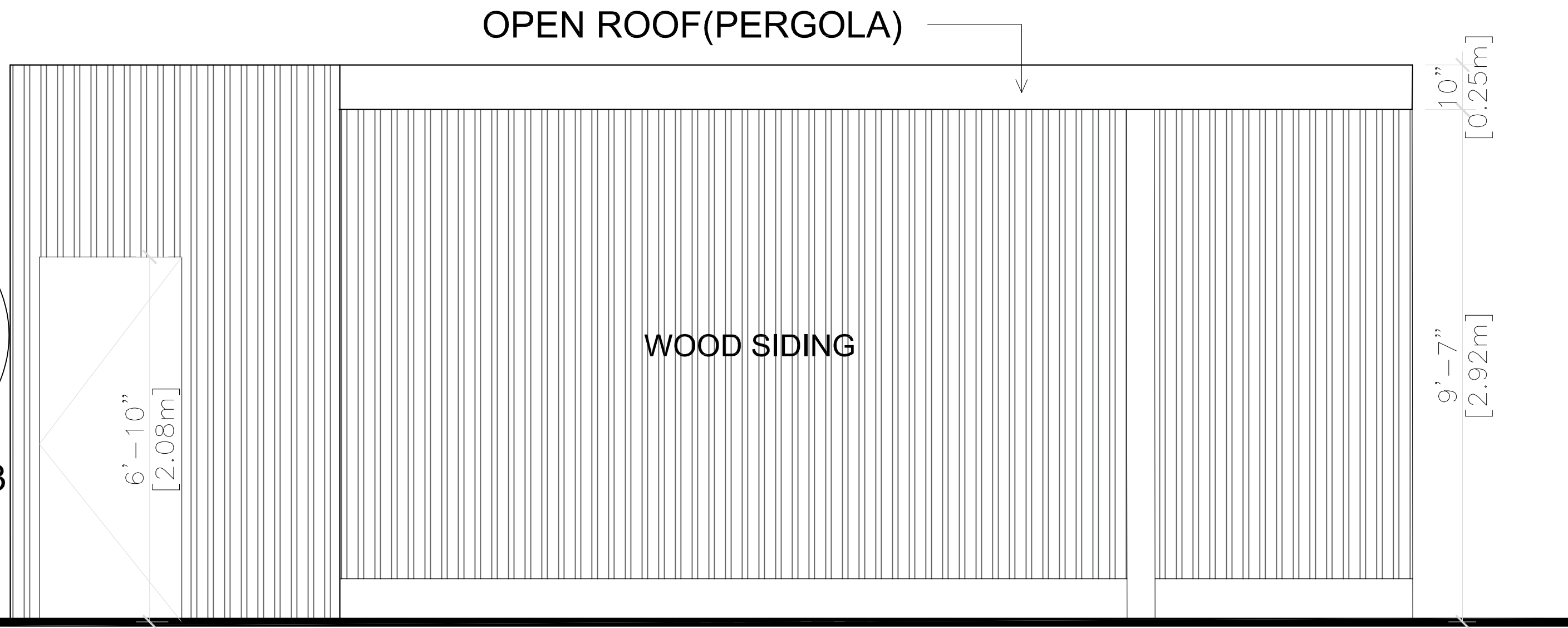
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624

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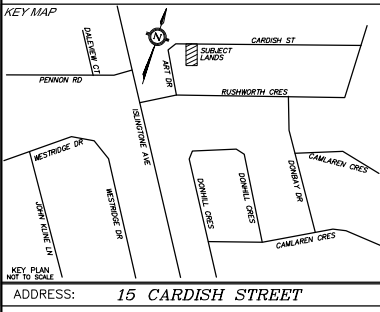
ESTABLISHED GRADE +210.25
PERGOLA PART #1

WEST ELEVATION



ESTABLISHED GRADE +210.25
PERGOLA PART #1

EAST ELEVATION



KEY PLAN: N.T.S.

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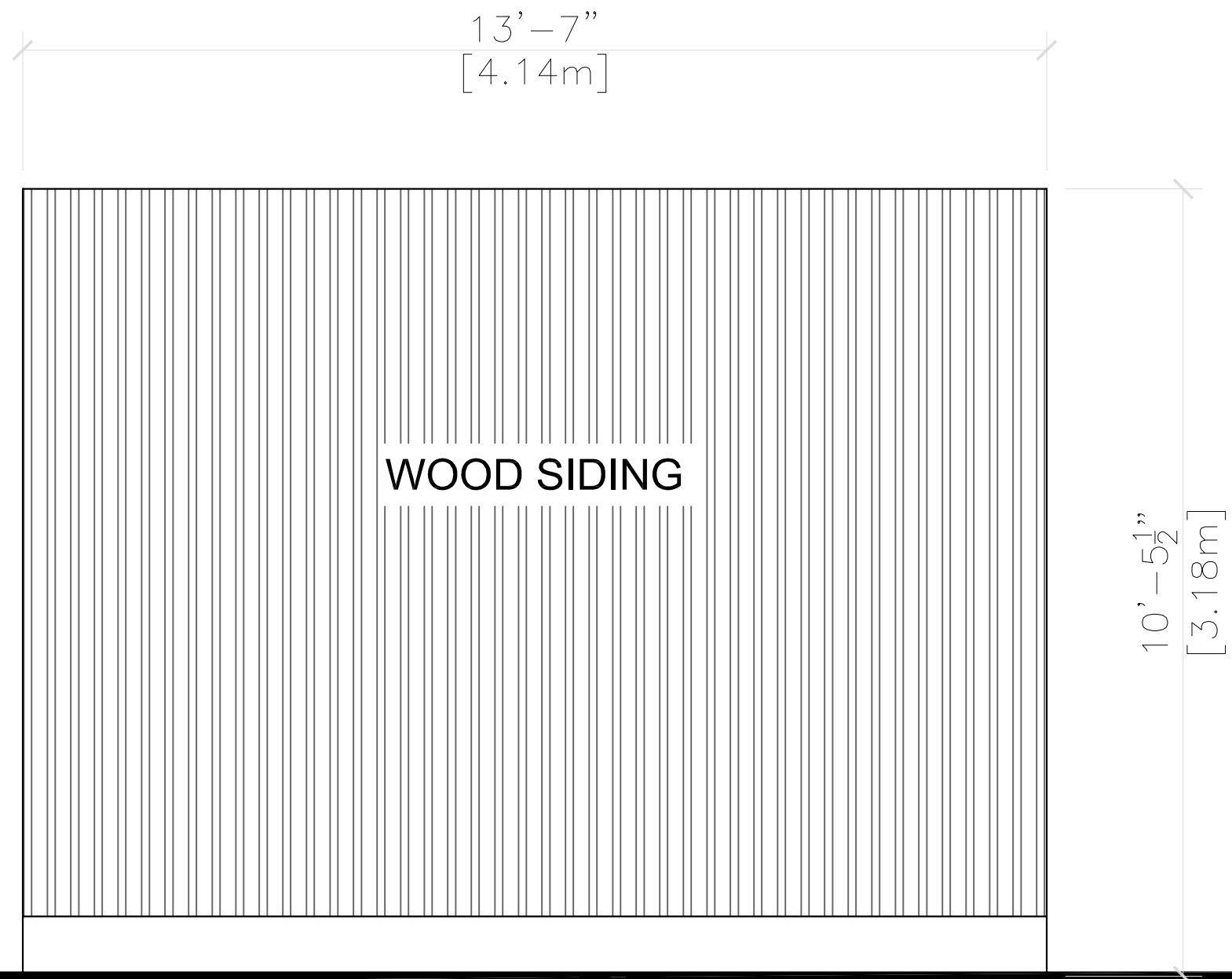
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DATE	2024, August ,02	
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SCALE	1/2" = 1'-0"	
NAME:	MEHRAN HEYDARI	
BCIN:	39628	
REGISTRATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C-3.2.5.1. OF THE 2006 O.B.C. (OR 2.17.5.1. OF THE 1997 O.B.C.)	FIRM NAME: P.M.P. DESIGN GROUP	
BCIN:	41993	

PMP Design Group
Exclusive Residential Design

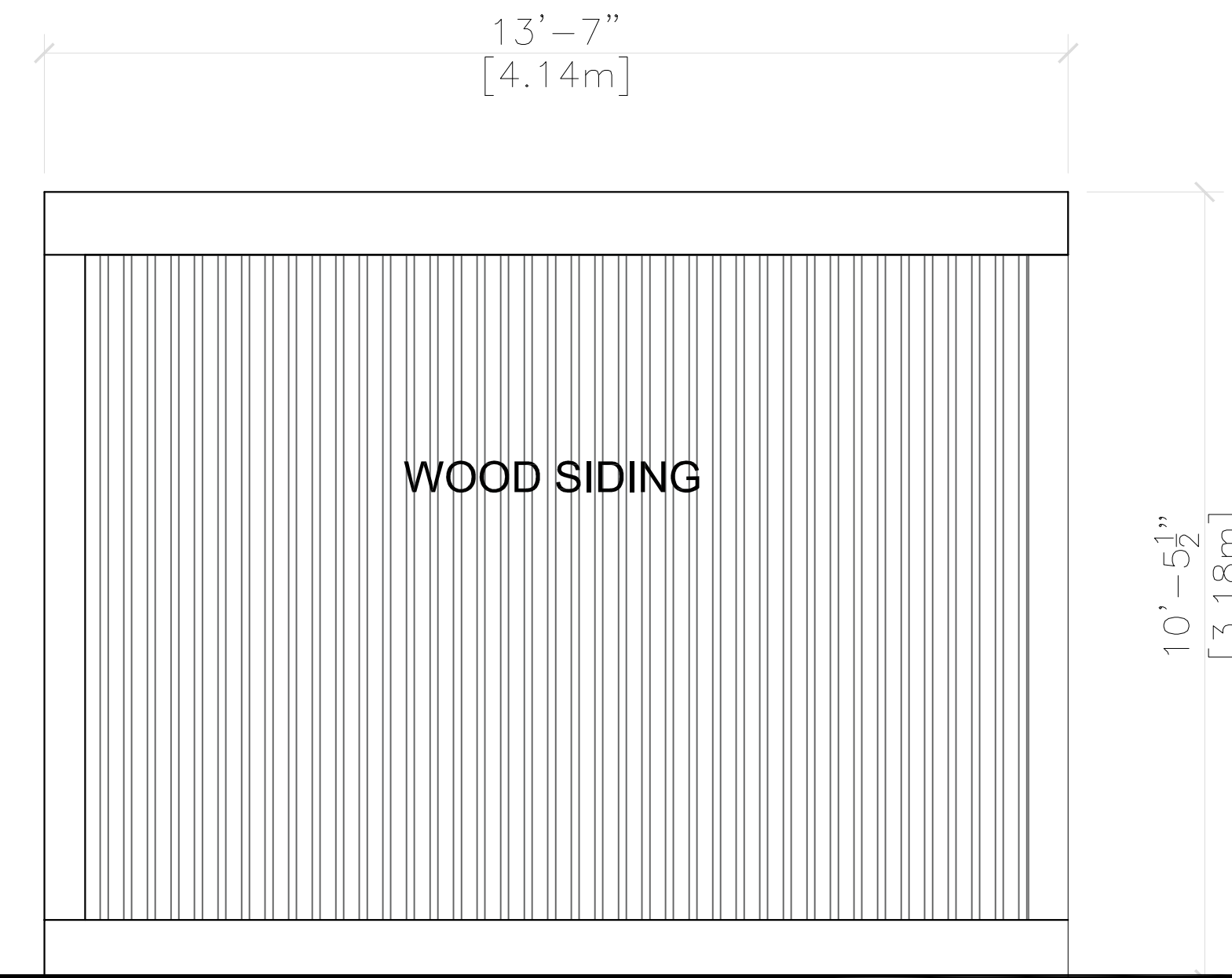
1090 Don Mills rd., UNIT 506, NORTH YORK, ON M3C3R6
 C: 416-809-1536 T: 416-623-9303

ELEVATIONS	
City of Vaughan Ontario, Canada	
TITLE 15 Cardish street	
DWG. PROPOSED PERGOLA PART#1	
MUNICIPAL FILE No.	A1-a1
PROJECT No. 624	



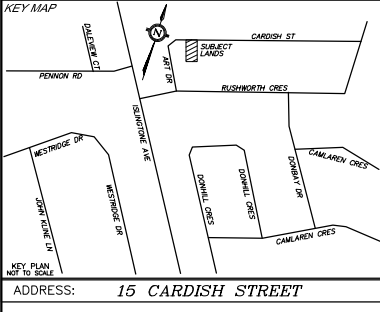
ESTABLISHED GRADE +210.25
PERGOLA PART #1

SOUGHT ELEVATION



ESTABLISHED GRADE +210.25
PERGOLA PART #1

NORTH ELEVATION



KEY PLAN: N.T.S.

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NO.	DATE	REVISIONS
3		
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PAPER SIZE 18X24		
DATE 2024, August ,02		
DESIGN	M.H.	CHECKED
DRAWN	A.A.	CHECKED
SCALE 1/2" = 1'-0"		
NAME: MEHRAN HEYDARI		
BCIN: 39628		
REGISTRATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C-3.2.5.1. OF THE 2006 O.B.C. (OR 2.17.5.1. OF THE 1997 O.B.C.)		
FIRM NAME: P.M.P. DESIGN GROUP		
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ELEVATIONS

**City of Vaughan
Ontario, Canada**

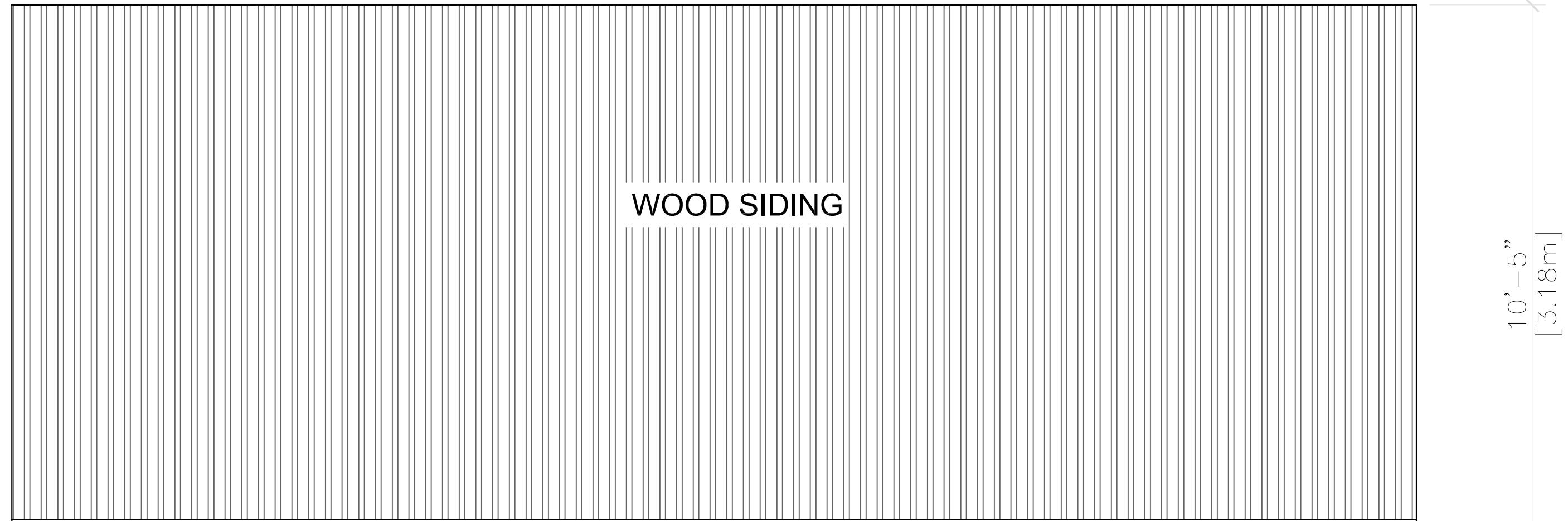
TITLE 15 Cardish street

DWG. PROPOSED PERGOLA PART#1

MUNICIPAL FILE No.

PROJECT No. 624

A1-a2

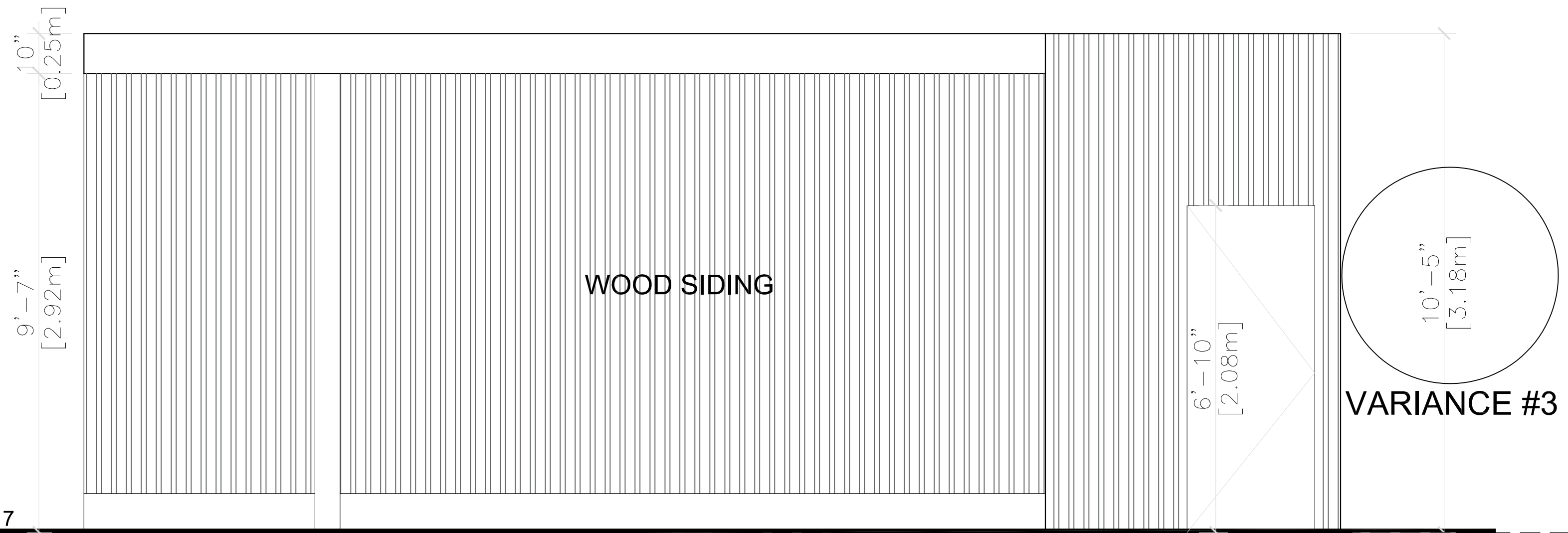


WOOD SIDING

10'-5"
[3.18m]

ESTABLISHED GRADE +210.17
CABANA PART #2

EAST ELEVATION

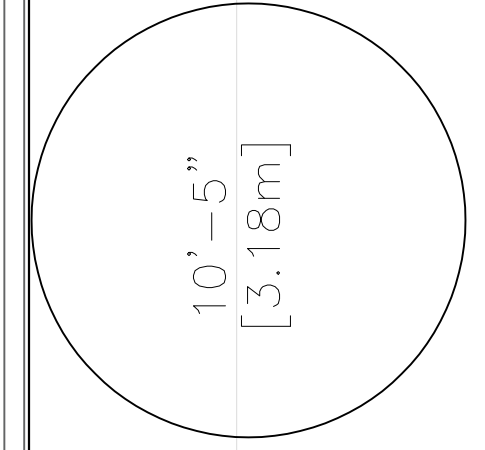


WOOD SIDING

10"
[0.25m]

9'-7"
[2.92m]

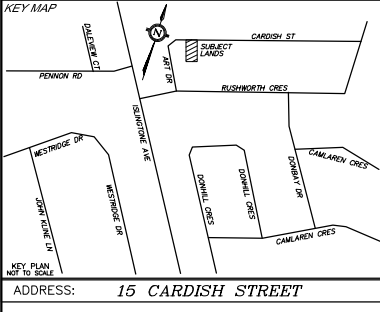
6'-10"
[2.08m]



VARIANCE #3

ESTABLISHED GRADE +210.17
CABANA PART #2

WEST ELEVATION



ADDRESS: 15 CARDISH STREET

KEY PLAN: N.T.S.

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PAPER SIZE 18X24

DATE 2024, August ,02

DESIGN **M.H.** CHECKED

DRAWN **A.A.** CHECKED

SCALE 1/2" = 1'-0"

NAME: MEHRAN HEYDARI

BCIN: 39628

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ELEVATIONS

City of Vaughan Ontario, Canada

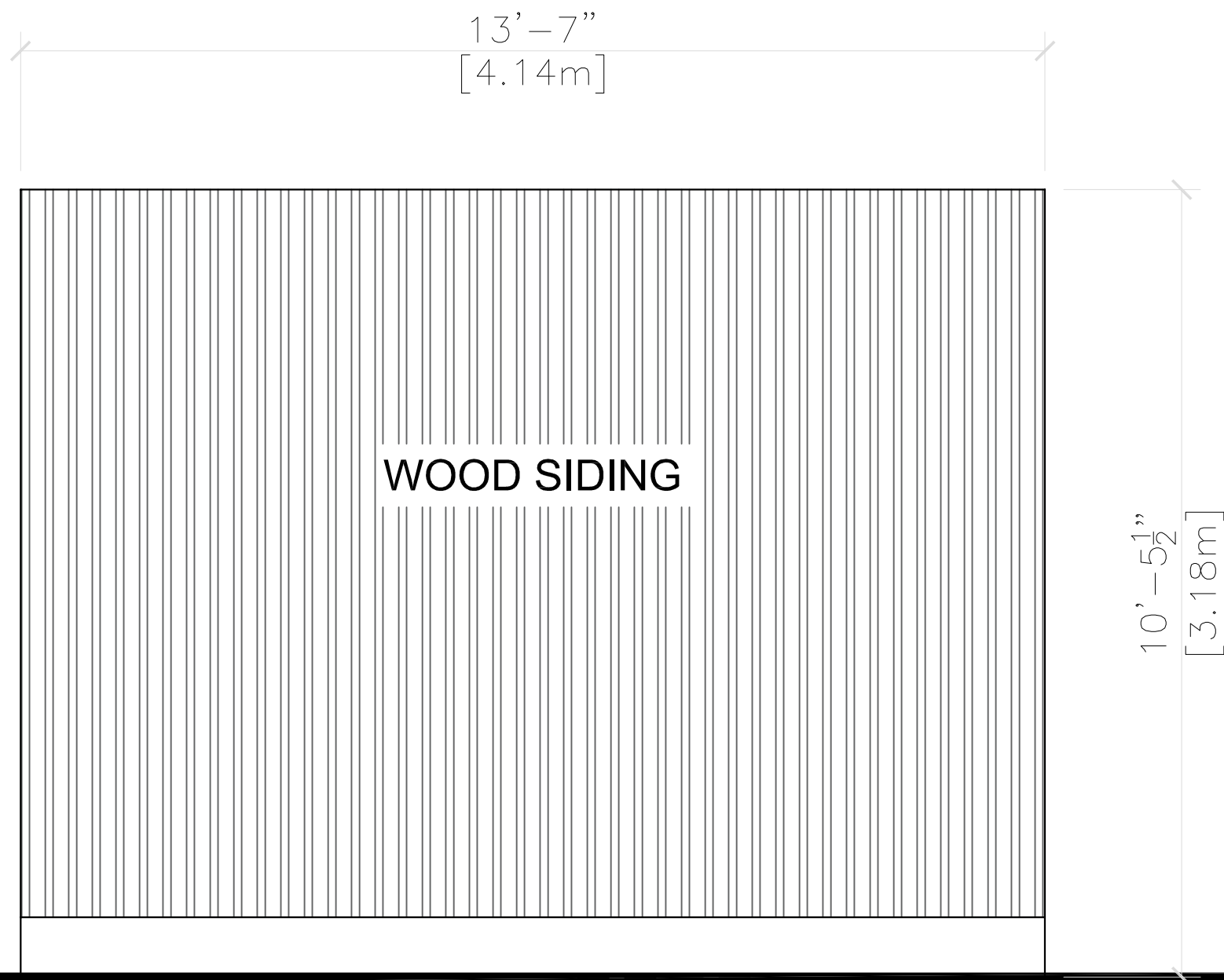
TITLE **15 Cardish street**

DWG. **PROPOSED CABANA PART#2**

MUNICIPAL FILE No.

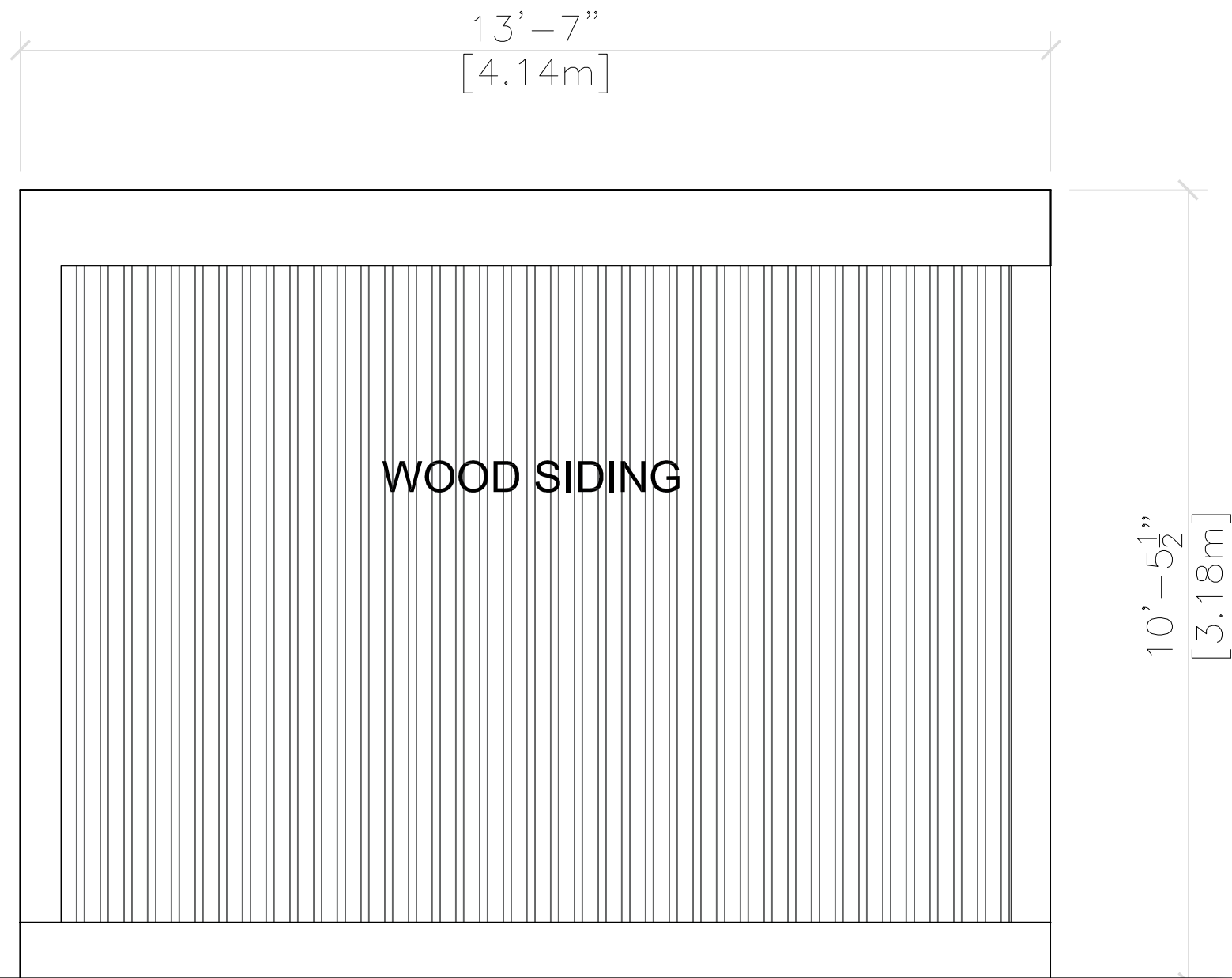
PROJECT No. **624**

A1-b1



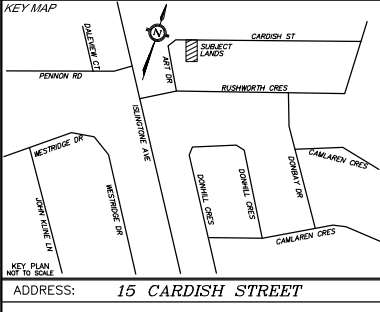
ESTABLISHED GRADE +210.17
CABANA PART #2

SOUGHT ELEVATION



ESTABLISHED GRADE +210.17
CABANA PART #2

NORTH ELEVATION



KEY PLAN: N.T.S.

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DESIGN	M.H.	CHECKED	
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SCALE: 1/2" = 1'-0"

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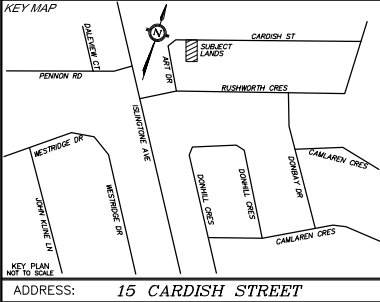
TITLE: 15 Cardish street

DWG: **PROPOSED CABANA PART#2**

MUNICIPAL FILE No.

PROJECT No. **624**

**A1-
b2**



ADDRESS: 15 CARDISH STREET

KEY PLAN: N.T.S.

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C: 416-809-1536 T: 416-623-9303

FLOOR PLAN

City of Vaughan Ontario, Canada

TITLE: **15 Cardish street**

DWG: **PROPOSED CABANA PART#2**

MUNICIPAL FILE No.

PROJECT No. **624**

A1-b



FLOOR PLAN

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	No Comments Received to Date

Prabhdeep Kaur

From: Cameron McDonald <Cameron.McDonald@trca.ca>
Sent: Tuesday, June 18, 2024 9:18 AM
To: Committee of Adjustment
Subject: [External] RE: A235/22 (15 Cardish Street) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good morning,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from TRCA.

Based on the above, we have no comments/requirements.

Regards,

Cameron McDonald

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:437-880-1925)

E: cameron.mcdonald@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: September 19, 2024
Name of Owner: Harwinder Kalsi
Location: 15 Cardish Street
File No.: A235/22

Proposed Variances (By-law 001-2021):

1. To permit a setback of **0.77 m** from the westerly interior side lot line to the residential accessory structure (pergola, identified as Part 1 on the Site Plan).
2. To permit a setback of **0.65 m** from the easterly interior side lot line to the residential accessory structure (cabana, identified as Part 2 on the Site Plan).
3. To permit two residential accessory structures (1 pergola and 1 cabana) identified as Part 1 and Part 2 on the Site Plan), each with a height of **3.18 m**.
4. To permit a setback of **2.03 m** from the rear lot line to the accessory structure (pergola, identified as Part 1 on the Site Plan).
5. To permit a setback of **2.03 m** from the rear lot line to the accessory structure (cabana, identified as Part 2 on the Site Plan).
6. To permit a maximum overall lot coverage of **40.95%**.
7. To permit a minimum of **72.44 m² (42.24 %)** of the area of the rear yard in excess of **135 m²** to be composed of soft landscape.
8. To permit a setback of **1.4 m** from the interior side lot line to a residential accessory structure (pool equipment).
9. To permit an outdoor swimming pool (hot tub) not to be located in the rear yard of a lot.

By-Law Requirements (By-law 001-2021):

1. A minimum setback of **1.5 m** is required from the westerly interior side lot line to the residential accessory structure (pergola, identified as Part 1 on the Site Plan).
2. A minimum setback of **1.5 m** is required from the easterly interior side lot line to the residential accessory structure (cabana, identified as Part 2 on the Site Plan).
3. A maximum height of **3.0 m** is permitted for each residential accessory structure (1 pergola and 1 cabana).
4. A minimum setback of **12 m** is required from the rear lot line to the residential accessory building (pergola, identified as Part 1 on the Site Plan).
5. A minimum setback of **12 m** is required from the rear lot line to the residential accessory structure (cabana, identified as Part 2 on the Site Plan).
6. A maximum overall lot coverage of **40%** is permitted.
7. In the R1 Zone, any portion of a yard in excess of **135.0 m²** shall be comprised of a minimum **60%** soft landscape. A minimum of **103.12 m²** rear yard soft landscape is required.
8. A minimum setback of **1.5 m** is required from the easterly interior side lot line to the residential accessory structure (pool equipment).
9. An outdoor swimming pool shall only be permitted in the rear yard of a lot.

Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owner is requesting relief to permit a pergola with an attached enclosed storage room (identified as part 1 on the site plan), a cabana with an attached enclosed storage room (identified as part 2 on the site plan), an existing covered deck with a hot tub, and an existing swimming pool with the above noted variances.

The Development Planning Department has no objection to Variances 1 and 4 to permit reductions to the minimum required distances from the westerly interior side lot line (Variance 1) and rear lot line (Variance 4) for the partially constructed pergola with an

enclosed storage room (identified as part 1 on the site plan) that has a maximum height of 3.18 m. The pergola is proposed to have a flat (pergola style) roof design with the requested relief measured between the established grade to the top of the roof. The pergola is proposed to be open on all sides with the exception of the storage room at the rear which will be fully enclosed and combines for less than half of the length of the accessory structure. The proposed minimum setbacks from the interior side lot line (0.77 m) and rear lot line (2.03 m) for the pergola are not anticipated to pose significant adverse impacts to the abutting property to the west (19 Art Drive) or the south (5 Art Drive) as there are no eaves and the overhang does not overhang the property line. Sufficient space for maintenance and safe access is provided between it and the property lines and an adequate amount of space between the structure and the dwelling are also provided to mitigate potential adverse massing impacts along the west lot line. Adverse massing impacts resulting from the pergola's proximity to the west lot line due to its length is further mitigated by the absence of an enclosing wall (with the exception of the storage room) which was removed by the owner at the request of City staff. Development Engineering Department Staff have also reviewed the proposal and are satisfied that drainage will be maintained. As such, staff are of the opinion that the proposed pergola and associated storage room will have minor massing and visual (privacy) impacts on the properties to the west and south.

The Development Planning Department has no objection to Variances 2 and 5 to permit encroachments into the minimum required distances from the easterly interior side lot line (Variance 2) and rear lot line (Variance 5) for the proposed cabana which is partially constructed with an enclosed storage room (identified as part 2 on the site plan) that has a maximum height of 3.18 m. The cabana is proposed to have a flat roof design with the requested relief measured between the established grade to the top of the roof. The cabana is proposed to be enclosed on all but the west side facing the pool with the exception of the storage room at the rear which will be fully enclosed and combines for less than half of the length of the accessory structure. The proposed minimum setbacks from the interior side lot line (0.65 m) and rear lot line (2.03 m) for the cabana are not anticipated to pose significant adverse impacts to the abutting property to the east (21 Cardish Street) or the south (38 Rushworth Crescent) as the eave projections are minimal. Sufficient space for maintenance and safe access is provided between the cabana and the property lines and an adequate amount of space between the structure and the dwelling are also provided to mitigate potential adverse massing impacts along the east lot line. Adverse massing impacts resulting from the cabana's east wall's proximity to the east lot line due to its length is further mitigated by the existing tall wooden privacy fence. 21 Cardish Street contains a number of mature trees along the mutual interior side lot line, providing a vegetative buffer between its rear yard and the cabana considered in this application. Additionally, at the rear, the cabana abuts an existing residential accessory structure in the rear yard of the abutting property to the South (38 Rushworth Crescent). Development Engineering Department Staff have also reviewed the proposal and are satisfied that drainage will be maintained. As such, staff are of the opinion that the proposed cabana will have minor massing and visual (privacy) impacts on the properties to the south and the east.

The Development Planning Department has no objection to Variance 6 to permit an increased maximum lot coverage of 40.95%. The proposed 0.95% increase to the allowable maximum lot coverage is negligible from a visual perspective and provides sufficient area for rear yard amenity space. As such, no adverse impacts are anticipated to the neighbouring properties, the function of the Subject lands, or the character of the existing neighbourhood, should the variance be granted.

The Development Planning Department has no objection for the proposed reduction (42.24%) in soft landscaping in the rear yard (Variance 7). River rock runs along both interior side lot lines and the entirety of the rear lot line. Development Planning Staff are satisfied with various number of planting boxes proposed along the rear lot line which could provide opportunity for future vegetative plantings if desired. Permeable interlocking is also proposed around the entirety of the pool to help alleviate stormwater runoff. Development Engineering Staff have also reviewed the application and do not have any concerns regarding drainage in the rear yard. As such, Development Planning Staff are of the opinion that the proposed reduction in rear yard soft landscaping is desirable and appropriate for the development of the land and does not adversely impact the surrounding neighbours or character of the existing neighbourhood.

The Development Planning Department has no objection to Variance 8 to permit a reduced minimum interior side yard setback of 1.4 m for ground mounted pool

equipment which is located in a utility room abutting the house. The proposed 0.1 m reduction is negligible from a visual perspective and maintains appropriate space for access to the rear yard from the interior side yard. As such, there are no adverse privacy, use, or noise impacts anticipated on the neighbouring property to the west (21 Cardish Street) through the pool equipment location and therefore, it can be deemed appropriate for the development of the land.

The Development Planning Department has no objection to Variance 9 to permit an outdoor swimming pool (hot tub) not to be located in the rear yard as the hot tub is located close to the rear of the house under the existing covered deck that effectively functions as part of the rear yard. The hot tub complies with all setback requirements of the Zoning By-law and as such, no adverse impacts are anticipated on neighbouring properties.

In support of the Application, the Owner submitted an Arborist Report and Tree Removal / Landscape Plan prepared by Redbud Forestry Consultants, dated February 18, 2021. The report inventoried a total of two (2) trees on the Subject Lands, two (2) of which are proposed to be removed and five (5) replacement trees are proposed as a result. Urban Design staff have reviewed the report and concur with its recommendations.

Accordingly, the Development Planning Department support the requested variances and are of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None.

Comments Prepared by:

Nicholas Del Prete, Planner
David Harding, Senior Planner

To: Committee of Adjustment
From: Catherine Saluri, Building Standards Department
Date: August 19, 2024
Applicant: Harwinder Kalsi
Location: 15 Cardish Street
PLAN RP6087 Lot 160
File No.(s): A235/22

Zoning Classification:

The subject lands are zoned R1B(EN), First Density Residential Zone, Established Neighbourhood and subject to the provisions of Exception 14.336 under Zoning By-law 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	A minimum setback of 1.5 m is required from the westerly interior side lot line to the residential accessory structure (pergola, identified as Part 1 on the Site Plan). [4.1.2]	To permit a setback of 0.77 m from the westerly interior side lot line to the residential accessory structure (pergola, identified as Part 1 on the Site Plan).
2	A minimum setback of 1.5 m is required from the easterly interior side lot line to the residential accessory structure (cabana, identified as Part 2 on the Site Plan). [4.1.2]	To permit a setback of 0.65 m from the easterly interior side lot line to the residential accessory structure (cabana, identified as Part 2 on the Site Plan).
3	A maximum height of 3.0 m is permitted for each residential accessory structure (1 pergola and 1 cabana). [Section 4.1.4.1]	To permit two residential accessory structures (1 pergola and 1 cabana) identified as Part 1 and Part 2 on the Site Plan), each with a height of 3.18 m.
4	A minimum setback of 12 m is required from the rear lot line to the residential accessory building (pergola, identified as Part 1 on the Site Plan). [4.1.2]	To permit a setback of 2.03 m from the rear lot line to the accessory structure (pergola, identified as Part 1 on the Site Plan).
5	A minimum setback of 12 m is required from the rear lot line to the residential accessory structure (cabana, identified as Part 2 on the Site Plan). [4.1.2]	To permit a setback of 2.03 m from the rear lot line to the accessory structure (cabana, identified as Part 2 on the Site Plan).
6	A maximum overall lot coverage of 40% is permitted. [Table 7-3]	To permit a maximum overall lot coverage of 40.95%.
7	In the R1 Zone, any portion of a yard in excess of 135.0 m ² shall be comprised of a minimum 60% soft landscape. A minimum of 103.12 m ² rear yard soft landscape is required. [4.19.1]	To permit a minimum of 72.44 m ² (42.24 %) of the area of the rear yard in excess of 135 m ² to be composed of soft landscape.
8	A minimum setback of 1.5 m is required from the easterly interior side lot line to the residential accessory structure (pool equipment). [4.1.2.1 a]	To permit a setback of 1.4 m from the interior side lot line to a residential accessory structure (pool equipment).
9	An outdoor swimming pool shall only be permitted in the rear yard of a lot. [4.21.2]	To permit an outdoor swimming pool (hot tub) not to be located in the rear yard of a lot.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file.

Building Permit(s) Issued:

Building Permit Application No. 2022 118525 has been submitted for two cabanas. The application must be amended to reflect the proposed revisions for which the minor variance application has been reviewed.

Other Comments:

General Comments	
1	The Applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit.
2	It is the owner's responsibility to determine the limits of the subject property and the existence of any registered easements or restrictions.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

None

* Comments are based on the review of documentation supplied with this application.

Date: June 13th 2024

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A235-22**

Related Files:

Applicant Harwinder Kalsi

Location 15 Cardish Street

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream(Construction Standard 03-1, 03-4, 03-9), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Stephen Cranley, C.E.T

Mitchell Penner

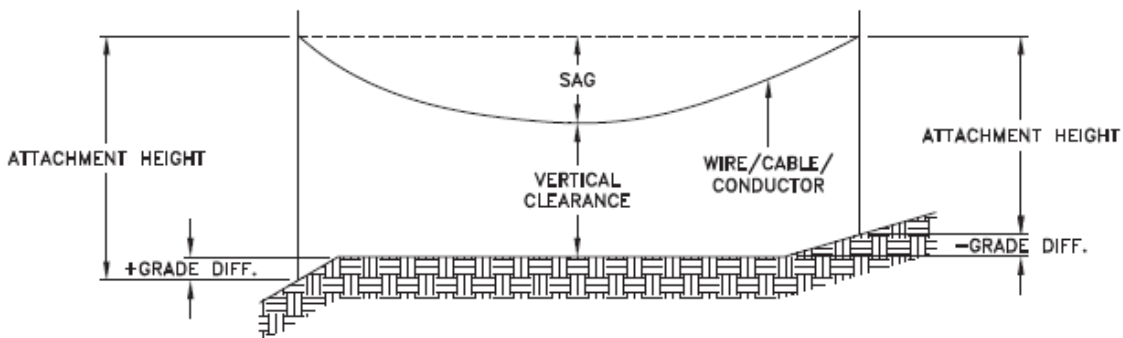
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

E-mail: stephen.cranley@alectrautilities.com

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO VEHICLES	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO PEDESTRIANS AND BICYCLES ONLY	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT RAILWAY CROSSINGS	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

REFERENCES

SAGS AND TENSIONS | SECTION 02

Certificate of Approval

This construction Standard meets the safety requirements of Section 4 of Regulation 22/04

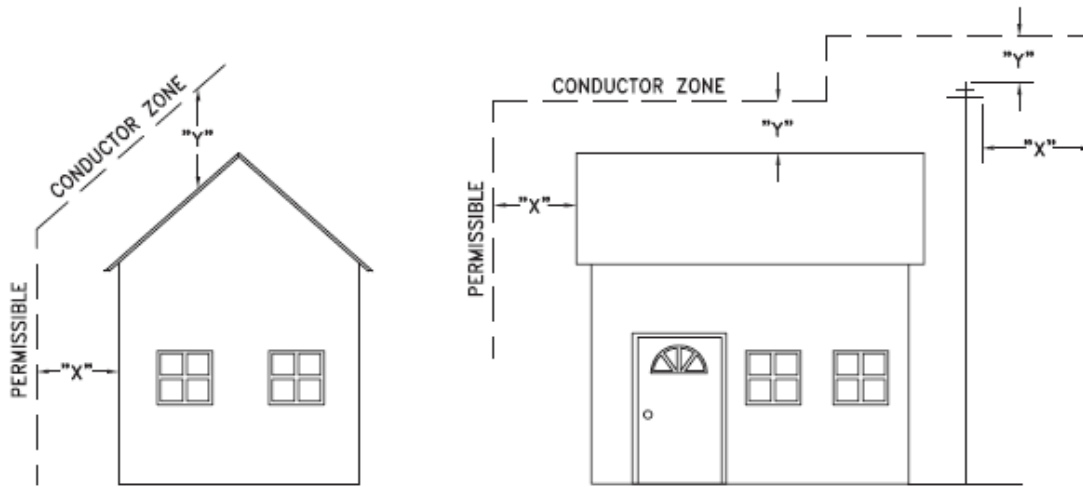
Joe Crozier, P.Eng. 2012-JAN-09

Name Date

P.Eng. Approval By: Joe Crozier

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09



VOLTAGE	MINIMUM HORIZONTAL CLEARNACE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

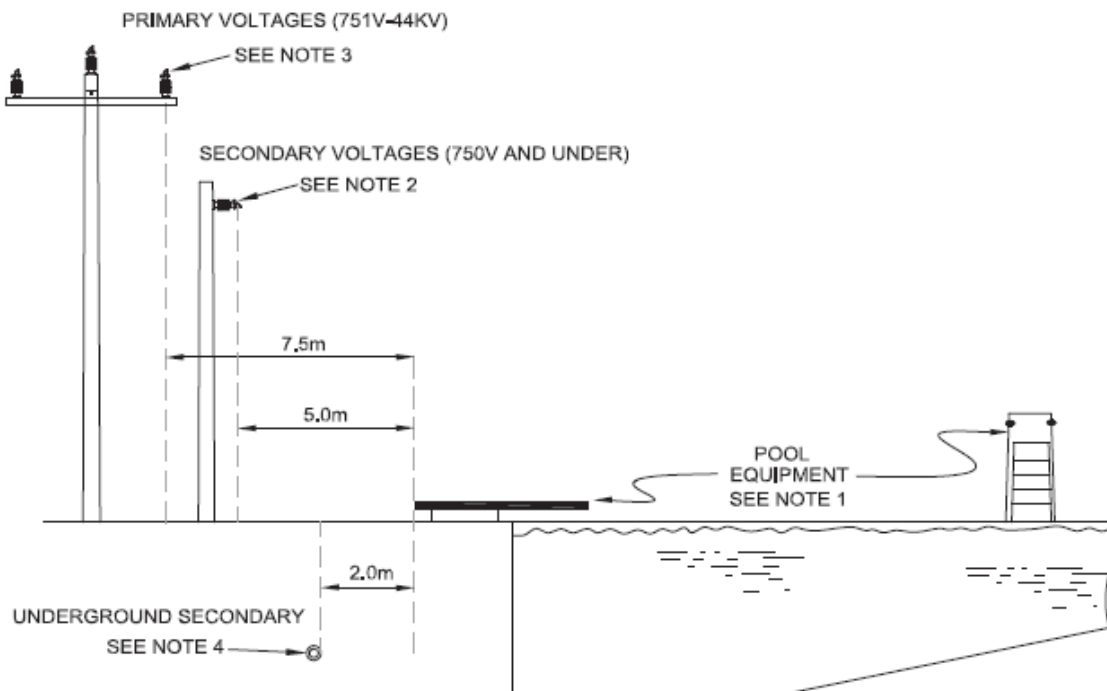
1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P.Eng. Approval By: D. Dadwani

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
P:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 23-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 9:22:02 AM, Adobe PDF



NOTES:

1. ANY STRUCTURE WITHIN 5.0 METRES OF POOL EDGE SHALL BE CONSIDERED PART OF THE POOL.
2. THERE SHALL NOT BE ANY OVERHEAD SECONDARY OR COMMUNICATION WIRING (750V OR LESS) ABOVE THE POOL, AND ABOVE OTHER ELEVATED SURFACES ASSOCIATED WITH THE POOL, INCLUDING BUT NOT RESTRICTED TO A DIVING STRUCTURE, SLIDE, SWINGS, OBSERVATION STAND, TOWER OR PLATFORM, OR ABOVE THE ADJACENT AREA EXTENDING 5.0M HORIZONTALLY FROM THE POOL EDGE.
3. THERE SHALL NOT BE ANY OVERHEAD PRIMARY WIRING (751V - 44KV) ABOVE THE POOL AND OTHER ELEVATED SURFACES ASSOCIATED WITH THE POOL, OR ABOVE THE ADJACENT AREA EXTENDING 7.5M HORIZONTALLY FROM THE POOL EDGE.
4. ANY UNDERGROUND CONDUCTORS SHALL BE 2.0M AWAY FROM POOL EDGE IN DUCT WITH NON-CONDUCTING JACKET. FOR DEPTH AND DUCT DETAILS REFER TO FIGURE 3 IN 25-100 FOR 200A SERVICE AND 25-101 FOR 400A SERVICE RESPECTIVELY, AS PER POWERSTREAM SERVICE DESIGN SPECIFICATIONS.
5. THESE DIMENSIONS APPLY TO ALL SIDES OF THE POOL.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX.)
7.5m	24'-6"
5.0m	16'-3"
2.0m	6'-6"

REFERENCES

FIGURE 3, 25-100	SECTION 25
FIGURE 3, 25-101	SECTION 25

Certificate of Approval

This construction Standard meets the safety requirements of Section 4 of Regulation 22/04

Joe Crozier, P.Eng.	2013-JUN-12
Name	Date
P.Eng. Approval By:	Joe Crozier

MINIMUM CLEARANCES FOR CONDUCTORS ADJACENT TO SWIMMING POOLS

ORIGINAL ISSUE DATE: 2013-JUNE-12 REVISION NO: R0 REVISION DATE:

Prabhdeep Kaur

From: Cameron McDonald <Cameron.McDonald@trca.ca>
Sent: Tuesday, June 18, 2024 9:18 AM
To: Committee of Adjustment
Subject: [External] RE: A235/22 (15 Cardish Street) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good morning,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from TRCA.

Based on the above, we have no comments/requirements.

Regards,

Cameron McDonald

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:4378801925)

E: cameron.mcdonald@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

SCHEDULE D: BACKGROUND

Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
A146/18	Approved by COA; 09/13/18

NOTICE OF DECISION
Minor Variance Application A146/18
 Section 45 of the Planning Act, R.S.O., 1990, c.P.13

Date of Hearing: Thursday, September 13, 2018
Applicant: Harwinder Kalsi
Agents Mehran Heydari - PMP Design Group
 TJ Cieciora – Design Plan Services Inc.
Property: **15 Cardish St Kleinburg ON**
Zoning: The subject lands are zoned R1, Residential under By-law 1-88 as amended.
OP Designation: VOP 2010: "Low-Rise Residential"
Related Files: None
Purpose: Relief from the by-law is being requested to permit the construction of a proposed two-storey dwelling.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A minimum front yard setback of 7.5 metres is required.	1. To permit a minimum front yard setback of 6.0 metres.
2. A maximum lot coverage of 30% is permitted.	2. To permit a maximum lot coverage of 36.24% (dwelling 33%, covered front porch 0.94%, covered rear deck 2.3%).
3. A minimum interior side yard setback of 1.5 metres is required.	3. To permit a minimum easterly interior side yard setback of 0.66 metres to a window well

Sketch: A sketch illustrating the request has been attached to the decision.

Having regard to the requirements of Section 45 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, including the written and oral submissions related to the application, it is the decision of the Committee:

THAT Application No. A146/18 on behalf of Harwinder Kalsi, be **APPROVED**, in accordance with the sketch submitted with the application (as required by Ontario Regulation 200/96) and subject to the following conditions:

	Department/Agency	Condition
1	Development Engineering Brad Steeves 905-832-8585 x 8977 brad.steeves@vaughan.ca	The Owner/applicant shall submit the final Lot Grading Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading approval for the proposed dwelling prior to any work being undertaken on the property. Please visit or contact Development Engineering's front desk on the 2nd floor of City Hall to apply for lot grading approval.

For the following reasons:

1. The general intent and purpose of the by-law will be maintained.
2. The general intent and purpose of the official plan will be maintained.
3. The requested variance(s) is/are acceptable for the appropriate development of the subject lands.
4. The requested variance(s) is/are minor in nature.

Please Note:

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.


Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City's Zoning By-law or additional variances may be required.

Written & oral submissions considered in the making of this decision were received from the following:

Public Written Submissions * Public Correspondence received and considered by the Committee in making this decision	Public Oral Submissions *Please refer to the approved Minutes of the Thursday , September 13, 2018 meeting for submission details.
Name: Mahesh Prashad Address: 21 Cardish Street, Kleinburg Nature of Correspondence: Letter of Concern	Name: Laura Kobak Address: 28 Cardish Street, Kleinburg
Name: Laura Kobak Address: 28 Cardish Street, Kleinburg Nature of Correspondence: Letter of Objection	

SIGNED BY ALL MEMBERS PRESENT WHO CONCUR IN THIS DECISION:

		
H. Zheng Member	J. Cesario Chair	R. Buckler Vice Chair
		
M. Mauti Member		A. Perrella Member

DATE OF HEARING:	Thursday, September 13, 2018
DATE OF NOTICE:	September 21, 2018
LAST DAY FOR *APPEAL: *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	October 3, 2018 4:30 p.m.
CERTIFICATION: I hereby certify that this is a true copy of the decision of the City of Vaughan's Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application.	
	
Christine Vigneault, ACST Manager Development Services & Secretary Treasurer to the Committee of Adjustment	

Appealing to The Local Planning Appeal Tribunal
The *Planning Act*, R.S.O. 1990, as amended, Section 45

The applicant, the Minister or any other person or public body who has an interest in the matter may within 20 days of the making of the decision appeal to the Local Planning Appeal Tribunal (LPAT) against the decision of the Committee by filing with the Secretary-Treasurer of the Committee a notice of appeal (A1 Appeal Form) setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the Secretary-Treasurer of the fee prescribed by the Tribunal under the *Local Planning Appeal Tribunal Act*.

Note: A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

When **no appeal is lodged** within twenty days of the date of the making of the decision, the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

Appeal Fees & Forms

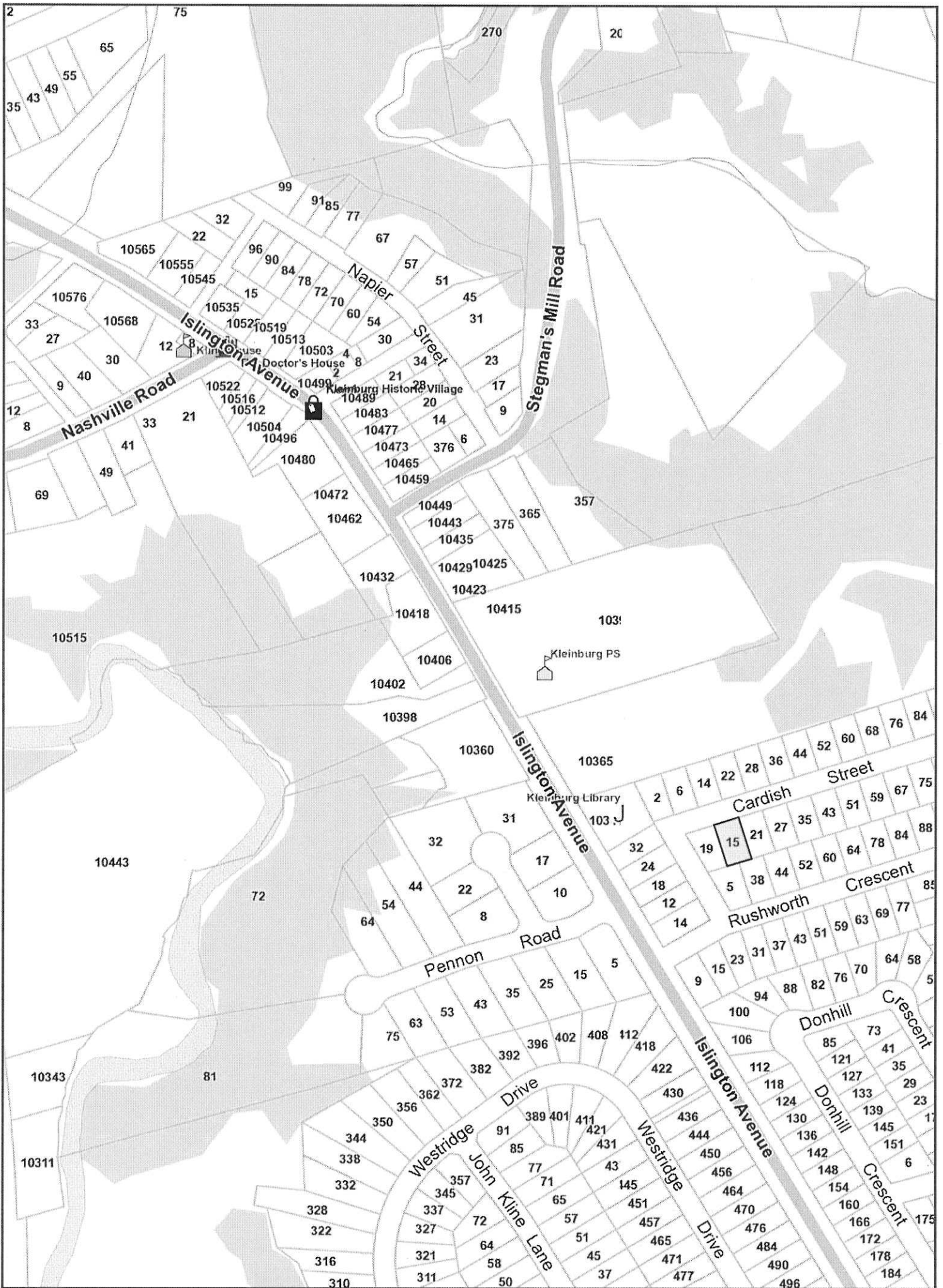
Local Planning Appeal Tribunal: The LPAT appeal fee is \$300 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The LPAT Appeal Fee must be paid by certified cheque or money order payable to the "Minister of Finance". Notice of appeal forms (A1 Appeal Form – Minor Variance) can be obtained at www.elto.gov.on.ca or by visiting our office.

City of Vaughan LPAT Processing Fee: \$793.00 per application

*Please note that all fees are subject to change.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from each respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All applicable conditions must be cleared prior to the issuance of a Building Permit.



Map Information:



Title:

15 CARDISH STREET, KLEINBURG

LOCATION MAP - A146/18

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:4,514

0 0.07 km

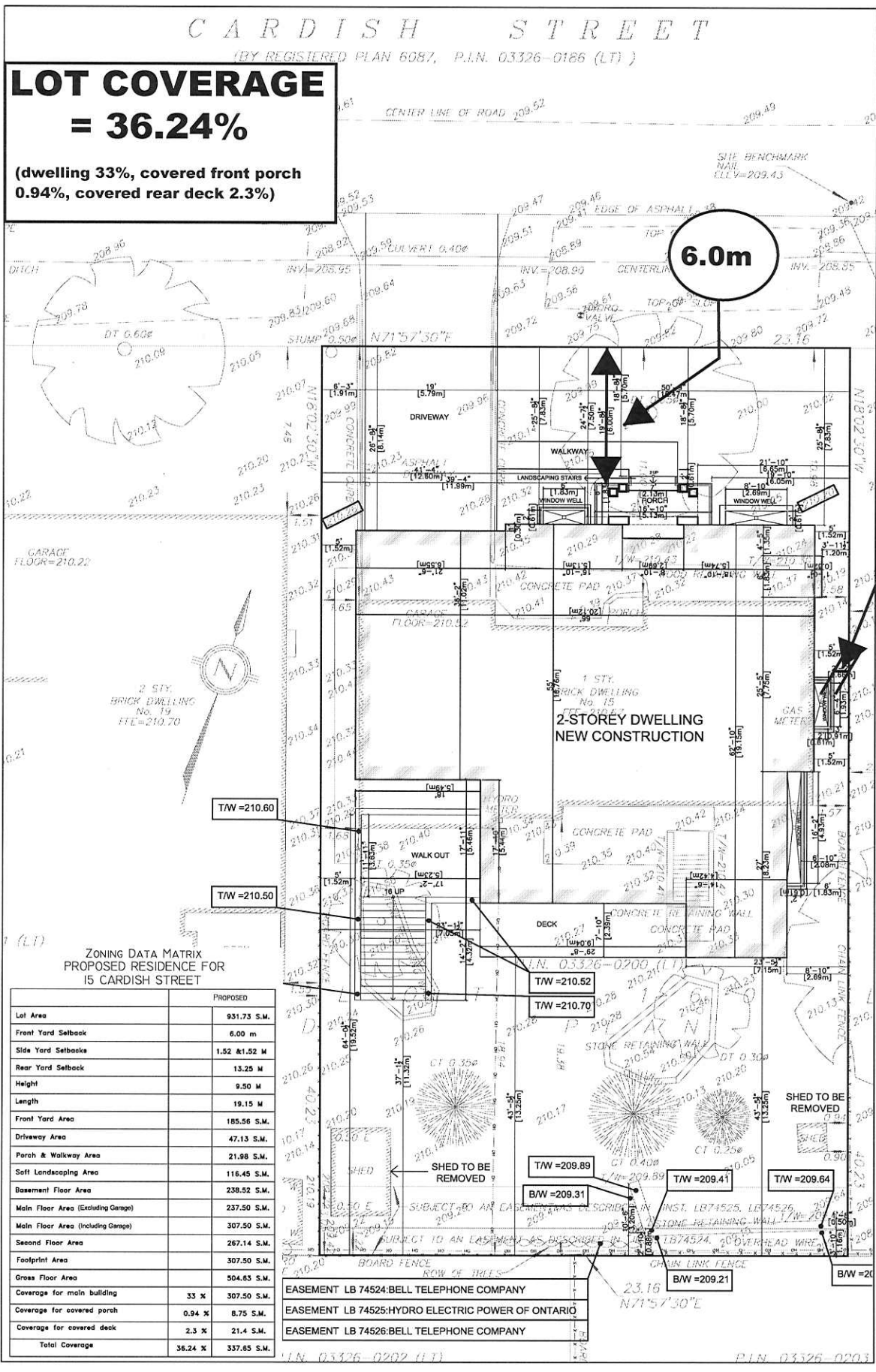


Created By:

Infrastructure Delivery
Department
August 23, 2018 6:03 PM

Projection:

NAD 83
UTM Zone
17N



PROJECT TITLE:
15 CARDISH STREET,
VAUGHAN
ONTARIO

SHEET NUMBER:

A0

DRAWING TITLE:

COVER

SCALE:

N.T.S.

NO.	ISSUED FOR	DD MM YYYY
1	COA	28.07.2017
5	COA	15.08.2018