

<b>ITEM: 6.9</b>	<b>REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A140/24</b>
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Report Date: September 27, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
By-law & Compliance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
TRCA	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	No Comments Received to Date

**PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)**

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
Applicant			08/09/2024	Application Cover Letter
Public	Rosanna Nicolucci	8302 Islington Avenue	09/24/2024	Letter of Objection

<b>BACKGROUND (SCHEDULE D, IF REQUIRED)</b>	
<small>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</small>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

<b>ADJOURNMENT HISTORY</b>	
<small>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</small>	
Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
N/A	N/A

<b>SCHEDULES</b>	
<b>Schedule A</b>	Drawings & Plans Submitted with the Application
<b>Schedule B</b>	Comments from Agencies, Building Standards & Development Planning
<b>Schedule C</b> (if required)	Public & Applicant Correspondence
<b>Schedule D</b> (if required)	Background



## MINOR VARIANCE APPLICATION FILE NUMBER A140/24

<b>CITY WARD #:</b>	2
<b>APPLICANT:</b>	8274- 8286 Islington Avenue Inc.
<b>AGENT:</b>	Blackthorn Development Corp.
<b>PROPERTY:</b>	8274 - 8286 Islington Avenue, Vaughan
<b>ZONING DESIGNATION:</b>	See below.
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ("VOP 2010"): 'Low-Rise Residential 3 and Natural Areas' by Volume 2, Section 11.11 - Woodbridge Centre Secondary Plan
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	DA.24.039
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to permit the construction of a seven (7) storey apartment building and retaining wall.

The following variances have been requested from the City's Zoning By-law:

**The subject lands are zoned RM2(H), Multiple Unit Residential Zone with the Holding Symbol (H) and EP- Environmental Protection Zone subject to the provisions of Exception 14.1138 under Zoning By-law 001-2021, as amended.**

#	Zoning By-law 001-2021	Variance requested
1	Balconies are permitted to encroach up to a maximum of 1.5 m into the required rear yard. [Section 4.13, Table 4-1]	To permit the balconies to encroach up to a maximum of 2.75 m into the required rear yard.
2	The maximum height and setback of a retaining wall on south side shall be 2 m in height with a setback of 0 m. [Exception 14-1138, Section 14-1138.3.4.]	To permit a maximum height and setback of the retaining wall on south side to be 2.9 m in height with a setback of 0 m.
3	The maximum height and setback of a retaining wall on north side shall be 3 m in height with a setback of 0 m. [Exception 14-1138, Section 14-1138.3.4.]	To permit a maximum height and setback of the retaining wall on north side to be 3.2 m in height with a setback of 0 m.
4	The maximum rooftop amenity area shall be 108 m <sup>2</sup> . [Exception 14-1138, Section 14-1138.3.3.]	To permit a maximum rooftop amenity area of 544 m <sup>2</sup> .
5	Indoor amenity area is not permitted on the same level or within the mechanical penthouse in accordance with the definitions of Storey and Mechanical Penthouse [Section 3.0].	To permit an indoor amenity space with a maximum Gross Floor Area of 134m <sup>2</sup> to be located on the mechanical penthouse level and shall not be considered a storey.

### HEARING INFORMATION

**DATE OF MEETING:** Thursday, October 3, 2024

**TIME:** 6:00 p.m.

**MEETING LOCATION:** Vaughan City Hall, Woodbridge Room (2<sup>nd</sup> Floor), 2141 Major Mackenzie Drive

**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

### PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

If you would like to submit written comments, please quote file number above and submit by mail or email to:

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

### HEARING INFORMATION

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to [cofa@vaughan.ca](mailto:cofa@vaughan.ca) no later than NOON on the last business day before the meeting.

**THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

### INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

### COMMITTEE OF ADJUSTMENT

<b>Date Public Notice Mailed:</b>	September 19, 2024, Revised Notice issued on September 23, 2024 (updated address and polling)
<b>Date Revised Public Notice Mailed</b>	September 20, 2024
<b>Date Applicant Confirmed Posting of Sign:</b>	September 17, 2024
<b>Applicant Justification for Variances:</b> <small>*As provided in Application Form</small>	The proposed development, currently the subject of a Site Plan Control application, entails a 7-storey Apartment Building consisting of a total Gross Floor Area of 14,968 Square Metres, a Floor Space Index of 2.29, 168 Apartment Dwelling Units, 205 Parking Spaces, 146 Long Term Bike Parking Spaces and 18 Short Term Bike Parking Spaces, together with 6,690.58 Square Metres of Amenity Area inclusive of 2,848.50 Square Metres of Landscaped Area.
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b> <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

<b>COMMENTS:</b>	
None	
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None

### BUILDING STANDARDS (ZONING)

<b>**See Schedule B for Building Standards (Zoning) Comments</b>	
<b>Building Standards Recommended Conditions of Approval:</b>	None

### DEVELOPMENT PLANNING

<b>**See Schedule B for Development Planning Comments.</b>	
<b>Development Planning Recommended Conditions of Approval:</b>	TBD

### DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)  
 [Link to Pool Permit](#)  
 [Link to Curb Curt Permit](#)  
 [Link Culvert Installation](#)

Development Engineering Department does not object to the Minor Variance application A140/24, to permit a proposed 7-storey apartment building subject to the following condition(s).

## DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)  
 [Link to Pool Permit](#)  
 [Link to Curb Curt Permit](#)  
 [Link Culvert Installation](#)

<b>Development Engineering Recommended Conditions of Approval:</b>	The Owner / Applicant shall obtain approval for the related Site Development Application (DA.24.039) from the Development Engineering (DE) Department.
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## PARKS, FORESTRY & HORTICULTURE (PFH)

No comments received to date.	
<b>PFH Recommended Conditions of Approval:</b>	None

## DEVELOPMENT FINANCE

No comment no concerns.	
<b>Development Finance Recommended Conditions of Approval:</b>	None

## BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comment.	
<b>BCLPS Recommended Conditions of Approval:</b>	None

## BUILDING INSPECTION (SEPTIC)

No comments received to date.	
<b>Building Inspection Recommended Conditions of Approval:</b>	None

## FIRE DEPARTMENT

No comments received to date.	
<b>Fire Department Recommended Conditions of Approval:</b>	None

## RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Planning <a href="mailto:Harry.Zhao@vaughan.ca">Harry.Zhao@vaughan.ca</a>	TBD
2	Development Engineering <a href="mailto:Rex.bondad@vaughan.ca">Rex.bondad@vaughan.ca</a>	The Owner / Applicant shall obtain approval for the related Site Development Application (DA.24.039) from the Development Engineering (DE) Department.
3	TRCA <a href="mailto:yorkplan@trca.ca">yorkplan@trca.ca</a>	That the applicant provides the required fee amount of \$2,110.00 payable to the Toronto and Region Conservation Authority.

*All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.*

## IMPORTANT INFORMATION

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

## IMPORTANT INFORMATION

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

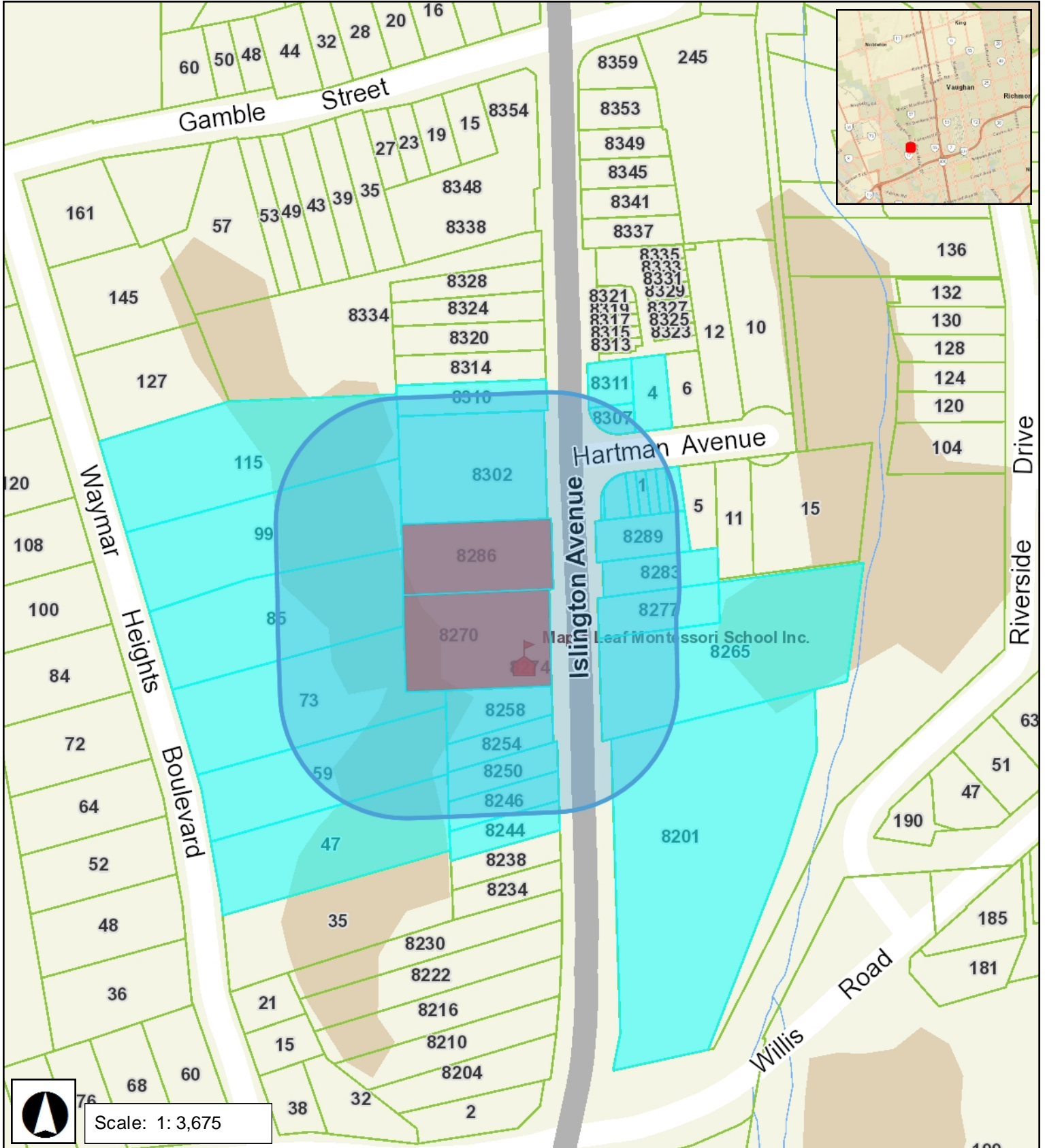
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

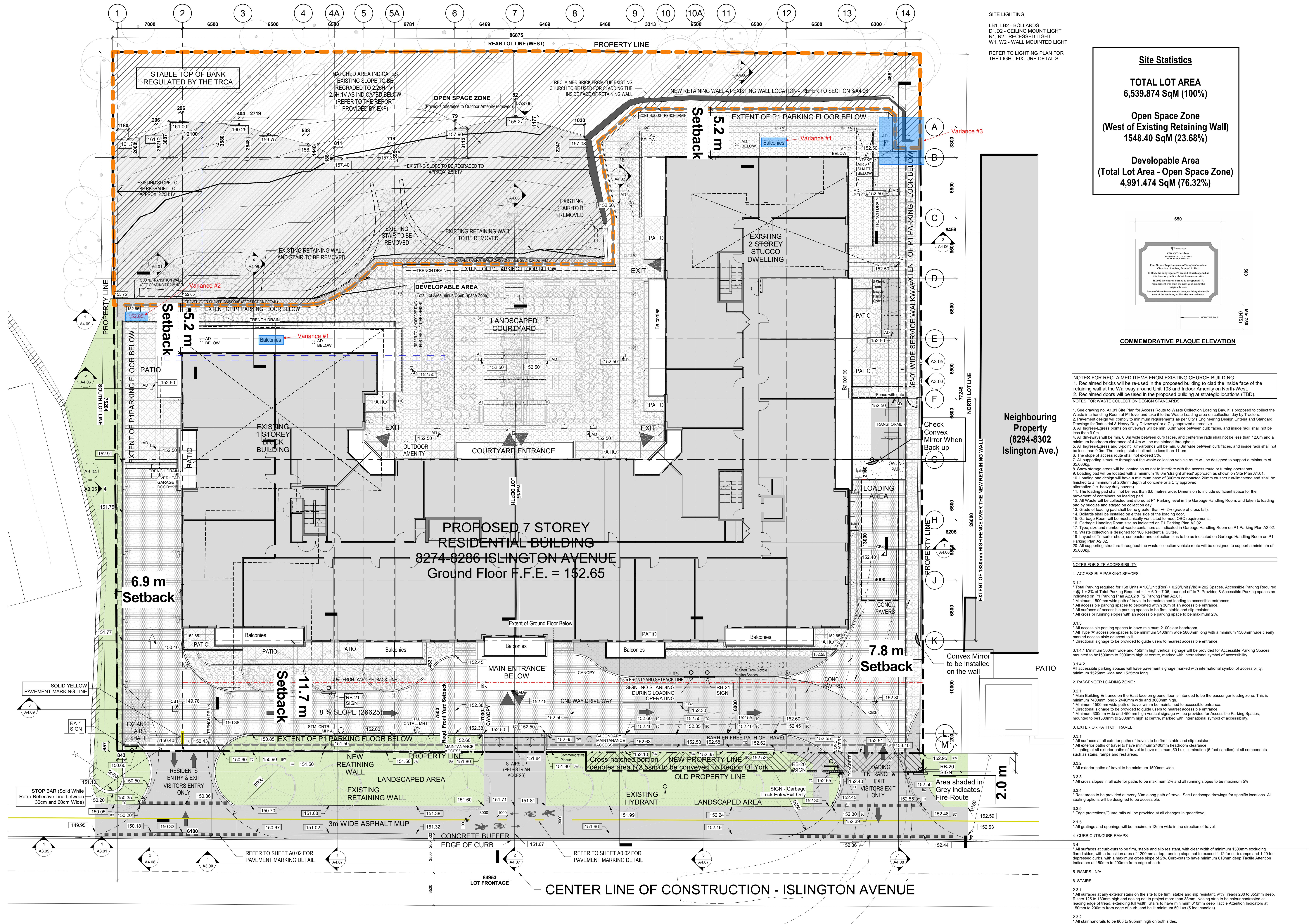
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

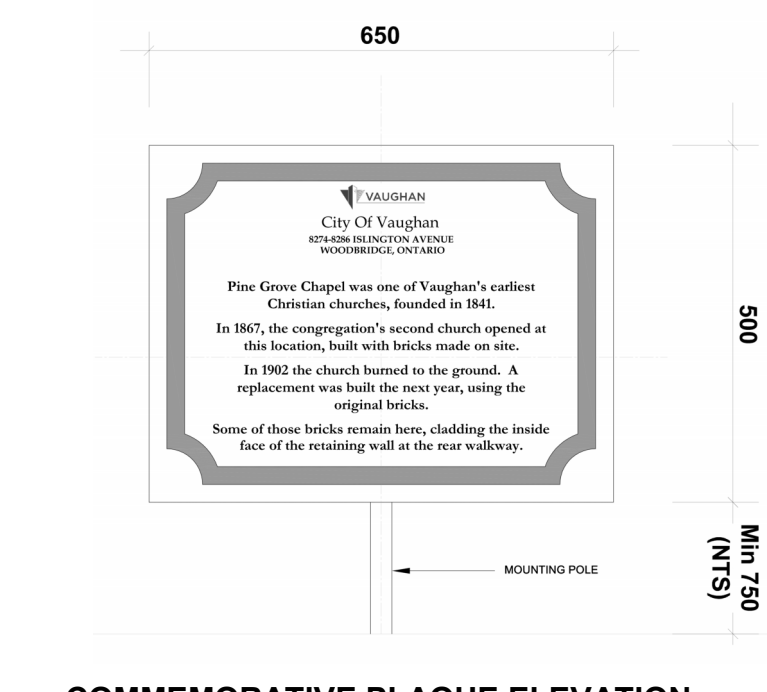
**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**SCHEDULE A: DRAWINGS & PLANS**





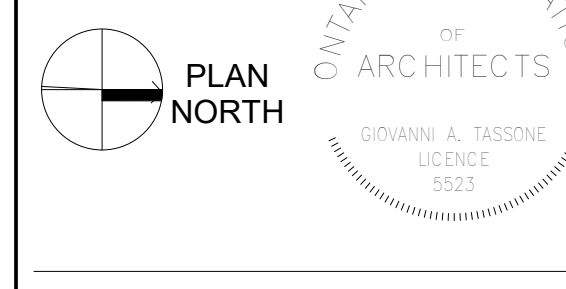
Site Statistics	
TOTAL LOT AREA	6,539.874 SqM (100%)
Open Space Zone (West of Existing Retaining Wall)	1548.40 SqM (23.68%)
Developable Area (Total Lot Area - Open Space Zone)	4,991.474 SqM (76.32%)



- NOTES FOR RECLAIMED ITEMS FROM EXISTING CHURCH BUILDING:
- Reclaimed bricks will be re-used in the proposed building to clad the inside face of the retaining wall at the Walkway around Unit 103 and Indoor Amenity on North-West.
  - Reclaimed doors will be used in the proposed building at strategic locations (TBD).
- NOTES FOR WASTE COLLECTION DESIGN STANDARDS:
- See drawing no. A1.01 Site Plan for Access Route to Waste Collection Loading Bay. It is proposed to collect the Waste in a handling room at P1 level and take it to the Waste Loading area on collection day by Tractors.
  - Pavement design will comply to minimum requirements as per City's Engineering Design Criteria and Standard Drawings for 'Industrial & Heavy Duty Driveways' or a City approved alternative.
  - All Ingress-Egress points on driveways will be min. 6.0m wide between curb faces, and inside radii shall not be less than 9.0m.
  - All driveways will be min. 6.0m wide between curb faces, and centerline radii shall not be less than 12.0m and a minimum headroom clearance of 4.4m will be maintained throughout.
  - All Ingress-Egress and 3-point Turn-arounds will be min. 6.0m wide between curb faces, and inside radii shall not be less than 9.0m. The turning stub shall not be less than 11.0m.
  - The slope of access route shall not exceed 5%.
  - All supporting structure throughout the waste collection vehicle route will be designed to support a minimum of 35,000kg.
  - Snow storage areas will be located so as not to interfere with the access route or turning operations.
  - Loading pad will be located with a minimum 18.0m 'straight ahead' approach as shown on Site Plan A1.01.
  - Loading pad design will have a minimum base of 300mm compacted 20mm crushed run-run/stones and shall be finished to a minimum of 200mm depth of concrete or a City approved alternative (i.e. heavy duty pavers).
  - The loading pad shall not be less than 6.0 metres wide. Dimension to include sufficient space for the movement of containers on loading pad.
  - All Waste will be collected and stored at P1 Parking level in the Garbage Handling Room, and taken to loading pad by baggers and staged on collection day.
  - Grade of loading pad shall be no greater than +/- 2% (grade of cross fall).
  - Bollards shall be installed on either side of the loading door.
  - Garbage Room will be mechanically ventilated to meet OGC requirements.
  - Garbage Handling Room size as indicated on P1 Parking Plan A2.02.
  - Type, size and number of waste containers as indicated in Garbage Handling Room on P1 Parking Plan A2.02.
  - Waste collection is designed for 168 Residential Suites.
  - Layout of Tri-axle chute, compactor and collection bins to be as indicated on Garbage Handling Room on P1 Parking Plan A2.02.
  - All supporting structure throughout the waste collection vehicle route will be designed to support a minimum of 35,000kg.

- NOTES FOR SITE ACCESSIBILITY:
- ACCESSIBLE PARKING SPACES:
    - 1.2 Total Parking required for 168 Units = 1.0/Unit (Res) + 0.20/Unit (Vis) = 202 Spaces. Accessible Parking Required = @ +/- 3% of Total Parking Required = 1 + 6.0 = 7.06, rounded off to 7. Provided 7 Accessible Parking Spaces as indicated on P1 Parking Plan A2.02 & P2 Parking Plan A2.01.
    - 1.3 Minimum 1500mm wide path of travel to be maintained leading to accessible entrances.
    - 1.4 All accessible parking spaces to be located within 30m of an accessible entrance.
    - 1.5 All surfaces of accessible parking spaces to be firm, stable and slip resistant.
    - 1.6 All cross or running slopes with an accessible parking space to be maximum 2%.
    - 1.7 All accessible parking spaces to have minimum 2100mm headroom.
    - 1.8 All Type 'A' accessible spaces to be minimum 3400mm wide 5800mm long with a minimum 1500mm wide clear path access aisle adjacent to it.
    - 1.9 Directional signage to be provided to guide users to nearest accessible entrance.
  - 1.4.1 Minimum 300mm wide and 450mm high vertical signage will be provided for Accessible Parking Spaces, mounted to be 1500mm to 2000mm high at centre, marked with international symbol of accessibility.
  - 1.4.2 All accessible parking spaces will have pavement signage marked with international symbol of accessibility, minimum 1525mm wide and 1525mm long.
- PASSENGER LOADING ZONE:
    - 2.1 Main Building Entrance on the East face on ground floor is intended to be the passenger loading zone. This is minimum 7400mm long x 2400mm wide and 3000mm high.
    - 2.2 Minimum 1500mm wide path of travel will be maintained to accessible entrance.
    - 2.3 Directional signage to be provided to guide users to nearest accessible entrance.
    - 2.4 Minimum 300mm wide and 450mm high vertical signage will be provided for Accessible Parking Spaces, mounted to be 1500mm to 2000mm high at centre, marked with international symbol of accessibility.
- EXTERIOR PATH OF TRAVEL:
    - 3.1.1 All surfaces at all exterior paths of travel to be firm, stable and slip resistant.
    - 3.1.2 All exterior paths of travel to have minimum 2400mm headroom clearance.
    - 3.1.3 Lighting at all exterior paths of travel to have minimum 50 Lux Illumination (5 foot candles) at all components such as stairs, ramps and rest areas.
    - 3.1.4 All exterior paths of travel to be minimum 1500mm wide.
    - 3.1.5 All cross slopes in all exterior paths to be maximum 2% and all running slopes to be maximum 5%.
    - 3.1.6 Rest areas to be provided at every 30m along path of travel. See Landscape drawings for specific locations. All seating options will be designed to be accessible.
    - 3.1.7 Edge protection/Guard rails will be provided at all changes in grade/level.
  - 2.1.5 All gratings and openings will be maximum 13mm wide in the direction of travel.
  - 2.1.6 CURB CUTS/CURB RAMPS:
    - 2.1.6.1 All surfaces at curb-cuts to be firm, stable and slip resistant, with clear width of minimum 1500mm excluding paved sides, with a transition area of 1200mm at curb, with a minimum 1:12 for curb ramps and 1:30 for depressed curbs, with a maximum cross slope of 2%. Curb-cuts to have minimum 610mm deep Tactile Attention Indicators at 150mm to 200mm from edge of curb.
  - 2.1.7 RAMP - NA
  - 2.1.8 STAIRS:
    - 2.1.8.1 All surfaces at any exterior stairs on the site to be firm, stable and slip resistant, with Treads 285 to 355mm deep, Risers 125 to 180mm high and nosing not to project more than 30mm. Nosing strip to be colour contrasted at leading edge of tread, extending full width. Stairs to have minimum 610mm deep Tactile Attention Indicators at 150mm to 200mm from edge of curb, and be lit minimum 50 Lux (5 foot candles).
    - 2.1.8.2 All stair handrails to be 865 to 965mm high on both sides.
  - 2.1.9 BUILDING ENTRANCE:
    - 2.1.9.1 At least one accessible entrance (or at least 50% of the total building entrances) to be accessible with level access.

RECEIVED  
By russog at 8:53 am, Sep 24, 2024



Architect inc.  
GIOVANNI A. TASSONE

PROPOSED RESIDENTIAL DEVELOPMENT  
8274-8286 ISLINGTON AVENUE

21026  
AR/KS/VT  
GAT

SITE PLAN

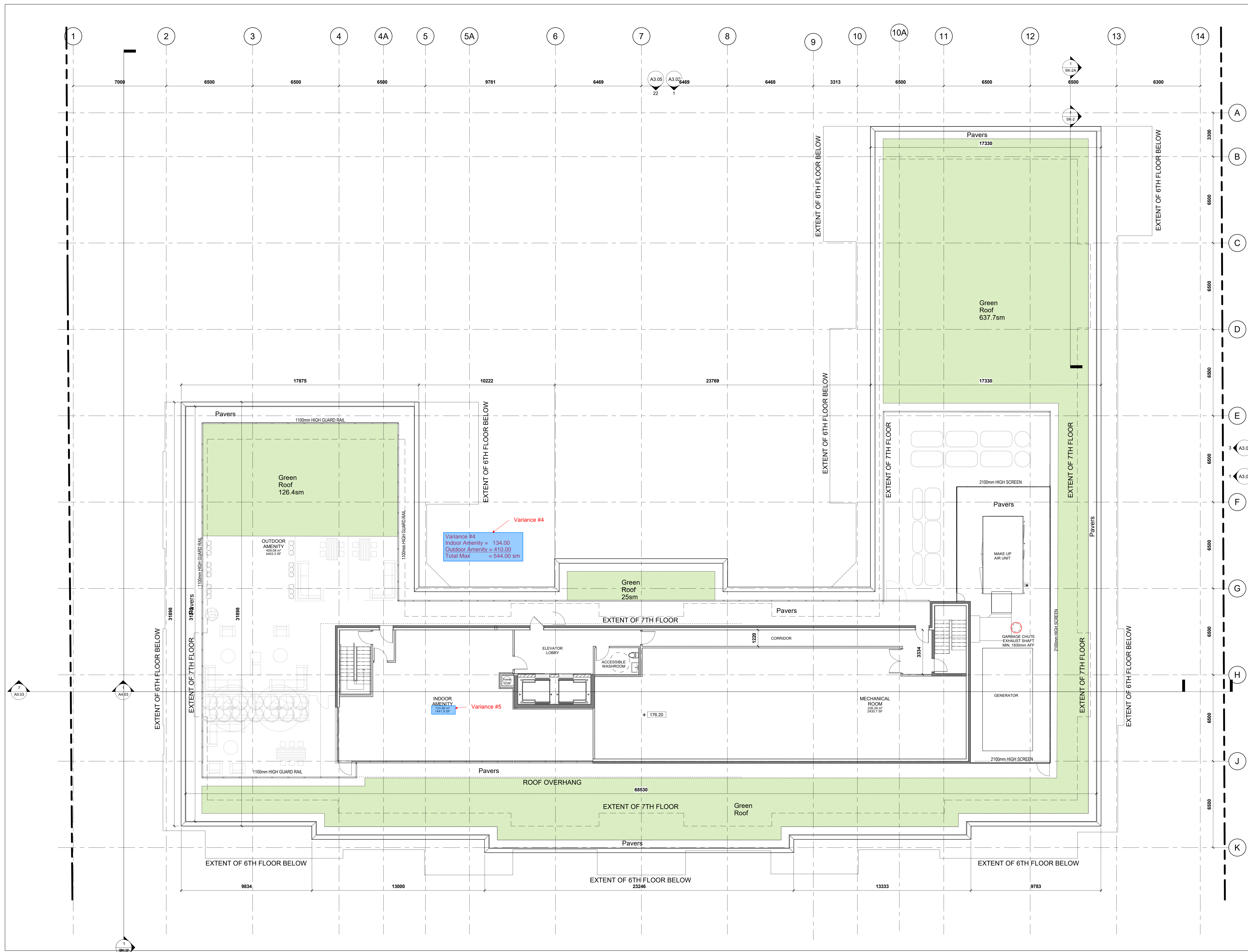
A1.00



All drawings, specifications, related documents and design are the copyright property of the architect and shall be retained and used as such. Reproduction of the drawings, specifications, related documents and design in whole or in part without the architect's written permission is prohibited.

Signature: Giovanni A. Tassone

**NOT ISSUED FOR CONSTRUCTION**



Variance #4  
 Indoor Amenity = 134.00  
 Outdoor Amenity = 410.00  
 Total Max = 544.00 sm

Variance #5  
 Indoor Amenity = 133.95 SF  
 Outdoor Amenity = 420.03 SF

Revisions

Date Issued	No.	Description
09.06.2024	6	Issued for Minor Variance
08.21.2024	5	SPA Re-submission - PAC 23.071
07.06.2024	4	SPA Re-submission - PAC 23.071
03.13.2024	3	SPA Re-submission - PAC 23.071
11.30.2023	2	SPA Submission - PAC 23.071
02.17.2022	1	OPA / REZONING



Architect inc.  
**GIOVANNI A. TASSONE**

**PROPOSED RESIDENTIAL DEVELOPMENT**

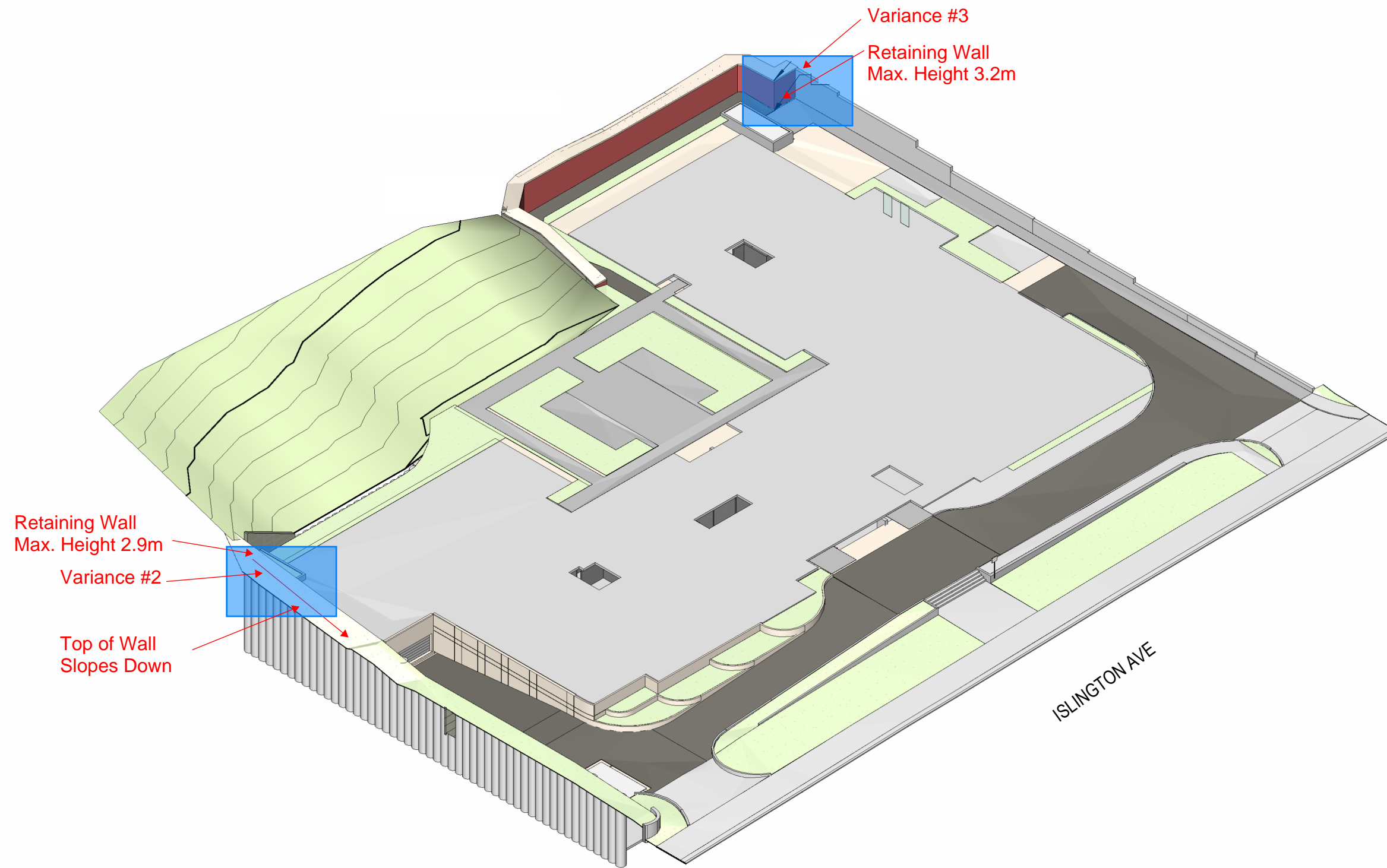
8274-8286 ISLINGTON AVENUE

Scale: 1 : 100  
 Author: [Name] Checker: [Name]

**MECHANICAL PENTHOUSE FLOOR PLAN**

**A2.06**

Note: This drawing is the property of the Architect and may not be reproduced or used without the approved consent of the Architect. The Contractor is responsible for checking and verifying all areas and dimensions and shall report all discrepancies to the Architect and obtain distribution prior to commencing work.



Retaining Wall  
Max. Height 2.9m

Variance #2

Top of Wall  
Slopes Down

Variance #3

Retaining Wall  
Max. Height 3.2m

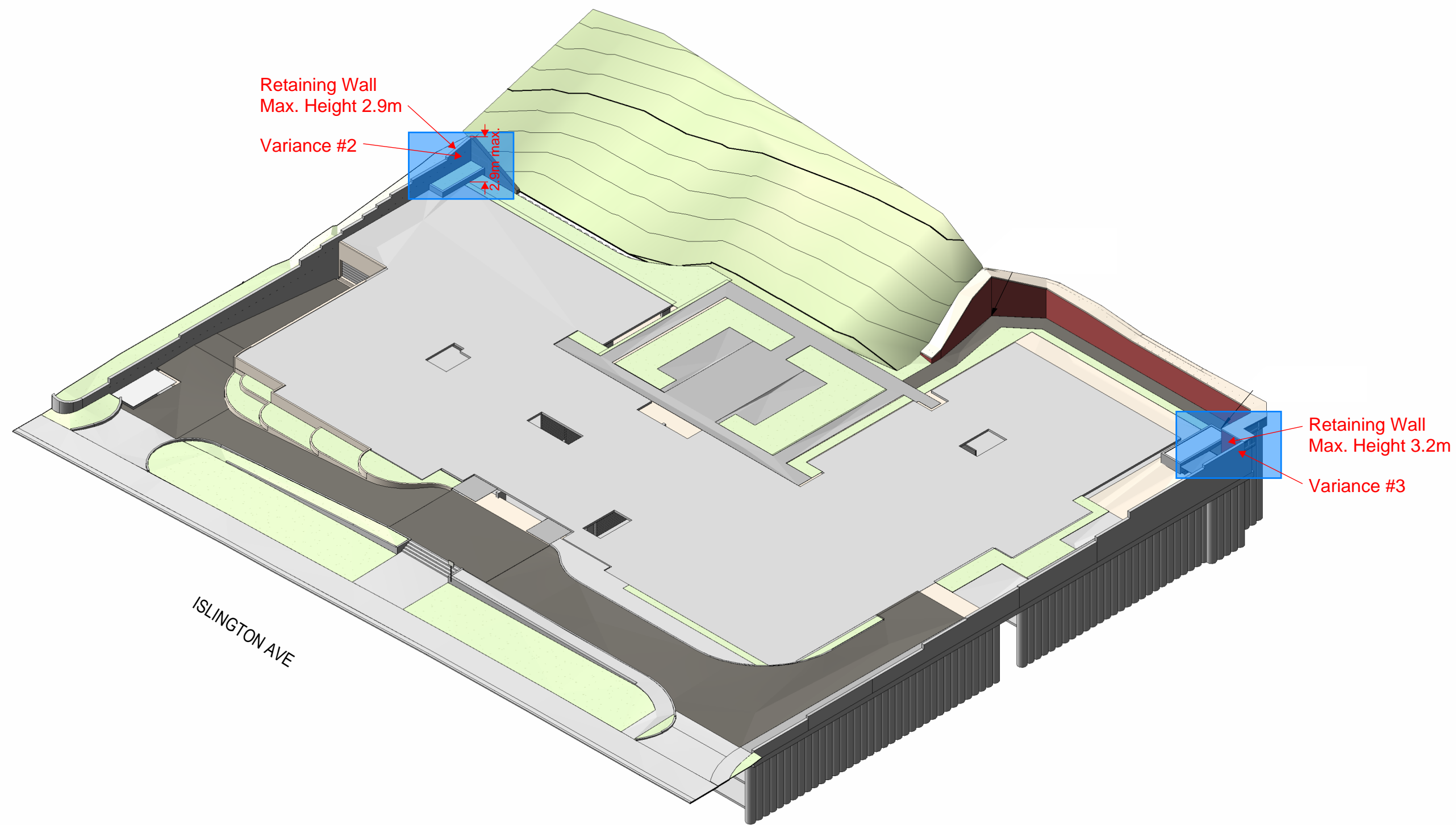
ISLINGTON AVE

# RETAINING WALLS - VIEW FROM SOUTH-EAST CORNER

PROPOSED RESIDENTIAL DEVELOPMENT AT 8274-8286 ISLINGTON AVE



Architect Inc.  
GIOVANNI A. TASSONE



Retaining Wall  
Max. Height 2.9m

Variance #2

2.9m max.

Retaining Wall  
Max. Height 3.2m

Variance #3

ISLINGTON AVE

**RETAINING WALLS - VIEW FROM NORTH-EAST CORNER**

PROPOSED RESIDENTIAL DEVELOPMENT AT 8274-8286 ISLINGTON AVE



Architect Inc.  
GIOVANNI A. TASSONE



**SK-4.2**

**SCHEDULE B:  
COMMENTS FROM AGENCIES, BUILDING STANDARDS &  
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
TRCA	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	No Comments Received to Date

**Date:** August 22<sup>nd</sup> 2024

**Attention:** **Christine Vigneault**

**RE:**

**File No.:** **A140-24**

**Related Files:**

**Applicant** Blackthorn Development Corp.

**Location** 8274 Islington Avenue



Discover the possibilities

### COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

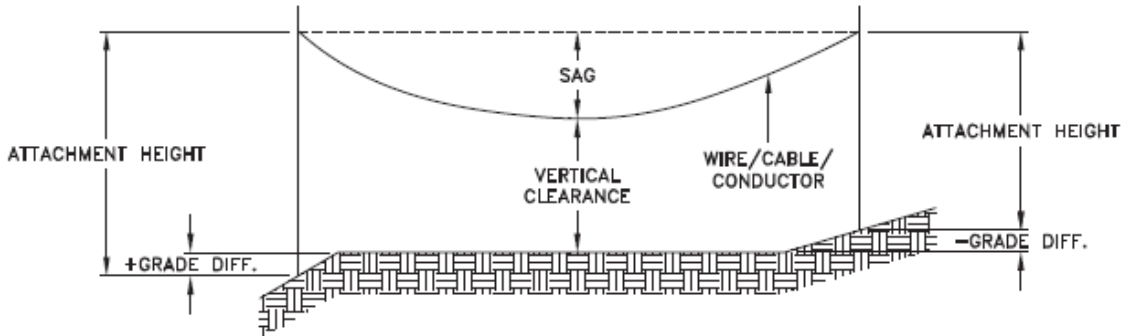
Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG  
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)  
 ± GRADE DIFFERENCE  
 + 0.3m (VEHICLE OR RAILWAY LOCATION)  
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

**NOTES:**

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

**CONVERSION TABLE**

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

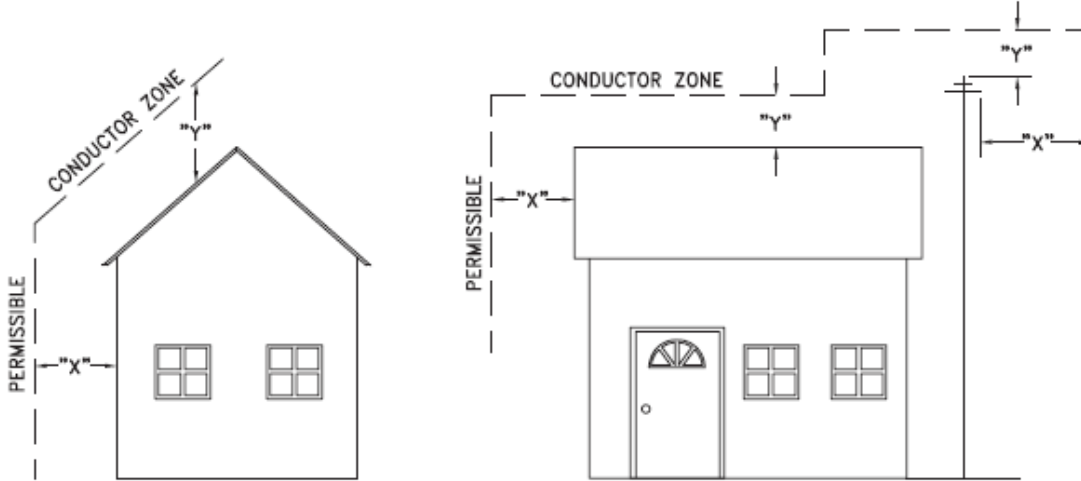
**REFERENCES**

SAGS AND TENSIONS | SECTION 02

**MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS**

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

**NOTES**

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

**MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)**

**Certificate of Approval**  
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04  
Debbie Dadwani, P.Eng. 2010-MAY-05  
Name Date  
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:  
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF



**To:** Committee of Adjustment  
**From:** Niloufar Youssefi, Building Standards Department  
**Date:** September 19, 2024  
**Applicant:** Blackthorn Development Corp.  
**Location:** 8274 Islington Avenue  
 PLAN M1107 Lot 6  
**File No.(s):** A140/24

**Zoning Classification:**

The subject lands are zoned RM2(H), Multiple Unit Residential Zone with the Holding Symbol (H) and EP- Environmental Protection Zone subject to the provisions of Exception 14.1138 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	Balconies are permitted to encroach up to a maximum of <b>1.5 m</b> into the required rear yard. [Section 4.13, Table 4-1]	To permit the balconies to encroach up to a maximum of <b>2.75 m</b> into the required rear yard.
2	The maximum height and setback of a retaining wall on south side shall be <b>2 m</b> in height with a setback of <b>0 m</b> . [Exception 14-1138, Section 14-1138.3.4.]	To permit a maximum height and setback of the retaining wall on south side to be <b>2.9 m</b> in height with a setback of <b>0 m</b> .
3	The maximum height and setback of a retaining wall on north side shall be <b>3 m</b> in height with a setback of <b>0 m</b> . [Exception 14-1138, Section 14-1138.3.4.]	To permit a maximum height and setback of the retaining wall on north side to be <b>3.2 m</b> in height with a setback of <b>0 m</b> .
4	The maximum rooftop amenity area shall be <b>108 m<sup>2</sup></b> . [Exception 14-1138, Section 14-1138.3.3.]	To permit a maximum rooftop amenity area of <b>544 m<sup>2</sup></b> .
5	Indoor amenity area is not permitted on the same level or within the mechanical penthouse in accordance with the definitions of Storey and Mechanical Penthouse [Section 3.0].	To permit an indoor amenity space with a maximum Gross Floor Area of 134m <sup>2</sup> to be located on the mechanical penthouse level, and shall not be considered a storey.

**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file

**Building Permit(s) Issued:**

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m<sup>2</sup>.

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.



2141 Major Mackenzie Drive  
Vaughan, Ontario  
Canada L6A 1T1  
(905) 832-2281

September 12, 2024

PAR-DPP-2024-00224  
Ex Ref. CFN 66418.05, CFN 64135.20

**SENT BY E-MAIL: Christine.Vigneault@vaughan.ca**

Christine Vigneault  
Secretary Treasurer  
Committee of Adjustment  
City of Vaughan  
2141 Major Mackenzie Drive  
Vaughan, Ontario L6A 1T1

Dear Christine:

**Re: Minor Variance Application A140/24 – Addendum Submission**  
**8270, 8274, 8286 Islington Avenue**  
**Part of Lot 7; Concession 9**  
**City of Vaughan, Regional Municipality of York**  
**Owner: 8274-8286 Islington Avenue Inc.**  
**Agent: Blackthorn Development Corp.**

This letter acknowledges receipt of the above-noted application circulated by the City of Vaughan. The materials were received by Toronto and Region Conservation Authority (TRCA) on August 22, 2024. TRCA staff have reviewed the application and offer the following comments for the consideration of the Committee of Adjustment.

**Purpose of the Application**

It is our understanding that the purpose of the above noted application is to request the following variance under By-law 001-2021, as amended:

By-Law 001-2021:

1. To permit the balconies to encroach up to a maximum of 2.75 metres into the required rear yard;
2. To permit a maximum height and setback of the retaining wall on south side to be 2.6 metres in height with a setback of 0.0 metres; and,
3. To permit a maximum rooftop amenity area of 535.0 square metres.

It is the understanding of TRCA staff that the noted variances are required to facilitate the development of a seven-storey apartment building (Gross Floor Area of 14,968 m<sup>2</sup>), with two levels of underground parking, and indoor and outdoor amenity areas.

### **Conservation Authorities Act**

The subject properties (8270, 8274, 8286 Islington Avenue) are entirely within TRCA's Regulated Area as they are situated within a historically built-up portion of the Humber River valley corridor. As such, a permit from TRCA pursuant to Conservation Authorities Act – Section 28 would be required for any development or site alteration within TRCA's Regulated Area.

### **Background**

TRCA has been involved in the review of Official Plan Amendment OP.22.003, Zoning By-law Amendment Z.22.005 and are currently reviewing the Site Development Application DA.24.039 to facilitate the detailed design review of the proposed development.

### **Application-Specific Comments**

TRCA reviewed the first submission of the above-noted application and provided comments to the Committee of Adjustment on September 4, 2024. It was noted in TRCA's letter that the applicant will need to demonstrate how access to the erosion access allowance (rear yard) will be maintained and not obstructed by the proposed balconies and how machinery will be able to access the erosion access allowance to the toe of slope. TRCA recommended deferral to the Committee of Adjustment to allow for further consultation between TRCA staff and the proponent.

TRCA received a Geotechnical Letter signed and stamped by a licensed geotechnical engineer on September 10, 2024, confirming that the proposed balconies will not impede the ability for machines and equipment to access the area associated with the erosion access allowance adjacent to the retaining wall in the event that maintenance and repair is required.

Based on TRCA's review of the Geotechnical Letter, file history, and nature of the encroachment, TRCA has no objection to the requested variances.

### **Recommendation**

Based on the comments noted above, TRCA has **no objection** to the approval of Minor Variance Application A140/24 subject to the following conditions:

1. That the applicant provides the required fee amount of \$2,110.00 payable to the Toronto and Region Conservation Authority.

### **Fees**

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$2,110.00 (Minor Variance – Major) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

We thank you for the opportunity to review the subject application and provide our comments as per our commenting and regulatory role. We trust these comments are of assistance.

Should you have any questions, please contact Cameron McDonald, Planner I at 437-880-1925 or at [cameron.mcdonald@trca.ca](mailto:cameron.mcdonald@trca.ca).

Sincerely,

*Cameron McDonald*

Cameron McDonald  
Planner I  
Development Planning and Permits | Development and Engineering Services  
[cameron.mcdonald@trca.ca](mailto:cameron.mcdonald@trca.ca), 437-880-1925

## SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			08/09/2024	Application Cover Letter
Public	Rosanna Nicolucci	8302 Islington Avenue	09/24/2024	Letter of Objection



**DELIVERED BY EMAIL & UPLOADED  
TO APPLICATION PORTAL**

August 9, 2024

**City of Vaughan**

Office of the Clerk - Committee of Adjustment  
2141 Major Mackenzie Drive  
Vaughan, ON  
L6A 1T1

**Attention: Ms. Christine Vigneault, Manager Development Services  
& Secretary Treasurer Committee of Adjustment**

**RE: Application for Minor Variance**  
8270, 8274 & 8286 Islington Avenue  
City of Vaughan, Regional Municipality  
Related City File No. PAC. 23.071

Dear Madam,

In accordance with the *Planning Act*, as amended, our office is pleased to submit a Minor Variance application pertaining to the above captioned lands, to seek relief from the former *City of Vaughan Zoning By-law No. 1-88*, as amended and current *City of Vaughan Zoning By-law No. 001-2021*, as amended.

The proposed Minor Variance Application specifically seeks relief from the following Bylaw requirements:

1. City of Vaughan Zoning By-law No. 1-88, as amended:
  - i. To permit balconies to encroach **2.75 metres** into the rear yard whereas Section 3.14 (c) of the By-law permits up to a maximum of 1.8 metres.
  - ii. To permit a retaining wall, located on the south side of the Subject Lands with a height of **2.6 metres** with a 0-metre setback whereas Exception 9 (1562) of the By-law permits a retaining wall height of 2 metres with a 0 metre setback.

## **BLACKTHORN DEVELOPMENT CORP.**

### 2. City of Vaughan Zoning By-law No. 001-2021, as amended:

- i. To permit balconies to encroach **2.75 metres** into the rear yard whereas Section 4.13, Table 4-1 of the By-law permits up to a maximum of 1.5 metres.
- ii. To permit a retaining wall, located on the south side of the Subject Lands with a height of **2.6 metres** with a 0-metre setback whereas Section 14-1138.3.2 Exception 14-1138 of the By-law permits a retaining wall height of 2 metres with a 0-metre setback.
- iii. To permit a total rooftop amenity area (*409.08 Square Metres Outdoor & 133.96 Square Metres Indoor*) of **535 Square Metres** whereas Section 14-1128.3.3, Exception 14-1138, of the By-law, permits a maximum of 108 Square Metres of total rooftop amenity area.

### **Property Location & Description**

The lands subject to the proposed Minor Variance application are municipally addressed as 8270, 8274 & 8286 Islington Avenue and legally described as Part of Lot 5 and Part of Lot 6, Registered Plan M-1107, City of Vaughan, Regional Municipality (“*Subject Lands*”).

The Subject Lands are located within an established community area, surrounded by existing lands uses including existing residential, institutional, commercial uses and open spaces.

The proposed development will add housing options to the existing community.

### **Existing Land Use Policies & Regulations**

Per Official Plan Amendment No. 108, the Subject lands are designated ‘Low-Rise Residential (3)’ and ‘Natural Areas’ with a site-specific exception including a maximum building height of 7-storeys, a maximum Floor Space Index of 3.21, a minimum building setback from Islington Avenue of 11.7 metres, and to provide relief from the 45-degree angular plane requirements.

The Subject Lands are zoned ‘RA3(H) Apartment Residential Zone’ with the Holding Symbol ‘(H)’ and “OS1 Open Space Conservation Zone”, per amending By-law 085-2023 being an Amendment to the City’s Former Zoning By-law 1-88.

Further, the Subject Lands are zoned “RM2(H) Multiple Residential Zone” with the Holding Symbol ‘(H)’ and “EP Environmental Protection Zone” per amending By-law 084-2023 being an Amendment to the *City of Vaughan Zoning By-law No. 001-2021*.



## **BLACKTHORN DEVELOPMENT CORP.**

The proposed Minor Variance application seeks relief from both Site-Specific Zoning By-laws including By-law 084-2023 being a By-law to amend the City's new comprehensive Zoning By-law No. 001-2021 and By-law 085-2023 being a By-law to amend the City's former comprehensive Zoning By-law No. 1-88.

### **Description of Proposed Development**

The proposed development, currently the subject of a Site Plan Control application, entails a 7-storey Apartment Building consisting of a total Gross Floor Area of 14,968 Square Metres, a Floor Space Index of 2.29, 168 Apartment Dwelling Units, 205 Parking Spaces, 146 Long Term Bike Parking Spaces and 18 Short Term Bike Parking Spaces, together with 6,690.58 Square Metres of Amenity Area inclusive of 2,848.50 Square Metres of Landscaped Area.

Through the review of the Site Plan Control application, Zoning Comments revealed non-compliance to the Site-Specific Zoning By-law requirements, as it pertains to amount of Roof Top Amenity Area, extent of permitted Balcony(s) Encroachments within the Rear Yard and the required setback including maximum height of a Retaining Wall, proposed on the south side of the proposed development.

Accordingly, relief from the Site-Specific Zoning By-law requirements is being sought through the proposed Minor Variance application.

### **Proposed Minor Variances**

As mentioned above, relief from both the former *City of Vaughan Zoning By-law No. 1-88*, as amended and current *City of Vaughan Zoning By-law No. 001-2021*, as amended is required to implement the proposed development.

Specifically, the following Variances are proposed:

1. City of Vaughan Zoning By-law No. 1-88, as amended:
  - i. To permit balconies to encroach **2.75 metres** into the rear yard whereas Section 3.14 (c) of the By-law permits up to a maximum of 1.8 metres.
  - ii. To permit a retaining wall, located on the south side of the Subject Lands with a height of **2.6 metres** with a 0-metre setback whereas Exception 9 (1562) of the By-law permits a retaining wall height of 2 metres with a 0-metre setback.

## **BLACKTHORN DEVELOPMENT CORP.**

### 2. City of Vaughan Zoning By-law No. 001-2021, as amended:

- i. To permit balconies to encroach **2.75 metres** into the rear yard whereas Section 4.13, Table 4-1 of the By-law permits up to a maximum of 1.5 metres.
- ii. To permit a total rooftop amenity area (*409.08 Square Metres Outdoor & 133.96 Square Metres Indoor*) of **535 Square Metres** whereas Section 14-1128.3.3, Exception 14-1138, of the By-law, permits a maximum of 108 Square Metres of total rooftop amenity area.
- iii. To permit a retaining wall, located on the south side of the Subject Lands with a height of **2.6 metres** with a 0-metre setback whereas Section 14-1138.3.2 Exception 14-1138 of the By-law permits a retaining wall height of 2 metres with a 0-metre setback.

The proposed Variances maintain the intent of the Official Plan, Zoning By-law, are minor in nature and represent an appropriate use of the Subject Lands.

### **Planning Justification**

The proposed Minor Variance Application represents a minor departure from the Zoning By-law requirements, maintains the intent of the Zoning By-law, meets the general intent of the Official Plan, and represents an appropriate use of the subject lands.

### Purpose and Intent of Official Plan:

The Subject Lands are designated for residential use and the proposed development will implement the permissible building typologies (*e.g., 7-Storey Apartment Building*) per the ‘Low Rise Residential 3’ designation.

The proposed balcony encroachment into the rear yard does not pose any adverse impacts including privacy, in that, per the Site-Specific Zoning By-laws, the same extent of balcony encroachment (*e.g., 2.74 metres*) is already permitted within the interior side yard. The rear yard is defined from the applicable Open Space (*OSI*) and not the actual rear lot line. Therefore, despite the proposed balcony(s) encroachment into the rear yard, the actual rear lot line provides for additional area, which is free of any encroachments.

The proposed increase in height of the retaining wall from 2 metres to 2.6 metres is representative of a minor increase in height and the retaining wall will ensure sufficient structural supports for the proposed grading of the development.

## **BLACKTHORN DEVELOPMENT CORP.**

The increase in allowable rooftop amenity area of 535 Square Metres (*409.08 Square Metres Outdoor & 133.96 Square Metres Indoor*) will permit future residents and visitors to have access to sufficient indoor and outdoor common spaces for gathering without any impacts onto adjacent lands as the proposed development already includes a permissible roof top amenity area.

Accordingly, the proposed Minor Variances maintain the purpose and intent of the Official Plan, in that, the Variances will accommodate a permissible development within a designated site while ensuring superior design related to proposed balconies and roof top amenity area including a minor increase for the retaining wall. The Variances also are largely already contemplated within the existing and approved Site-Specific Zoning By-laws, in that, balcony(s) encroachments are permitted within the interior side yard, the retaining wall height of 2 metres is already permitted and a roof top amenity area is permitted. In all cases, the requests to permit balcony(s) encroachment within the rear yard, increased retaining wall height by 0.6 metres and increased roof top amenity area do not pose any adverse impacts onto the proposed development, adjacent lands or uses while maintaining the intent of the Official Plan, as it pertains to the Subject Lands.

### Purpose and Intent of the Zoning By-law:

The proposed development is permissible in accordance with the approved Site-Specific Zoning By-laws including balcony encroachments, the south retaining wall and rooftop amenity area.

The proposed development complies with the majority of other zoning regulations and the proposed relief, sought through the Minor Variance Application is reasonable and considered minor.

As noted, the proposed balcony encroachment into the rear yard does not pose any adverse impacts including privacy, in that, per the Site-Specific Zoning By-laws, the same extent of balcony encroachment (*e.g., 2.74 metres*) is already permitted within the interior side yard. The rear yard is defined from the applicable Open Space (*OSI*) and not the actual rear lot line. Therefore, despite the proposed balcony(s) encroachment into the rear yard, the actual rear lot line provides for additional area, which is free of any encroachments.

The proposed increase in height of the south retaining wall by 0.6 metres is minor and will ensure compliance with City Engineering Standards for site grading.

Lastly, the increased rooftop amenity area does not pose any adverse impacts and will permit a sufficiently sized indoor and outdoor common areas, for use of future residents and visitors.

Accordingly, the proposed Minor Variance maintain the purpose and intent of the applicable Zoning By-laws, in that, the Variances to not impede the proper and orderly layout of the proposed development together with compliance to most of the By-law requirements.

## **BLACKTHORN DEVELOPMENT CORP.**

### Minor in Nature:

The proposed Minor Variances are minor in nature as they maintain the intent of the Official Plan and Zoning By-law while not generating any adverse impacts onto adjacent lands, uses, and ensuring sufficient balcony areas, rooftop amenity area and implementation of a required retaining wall.

### Appropriate and Desirable Development:

The proposed Minor Variances are reflective of appropriate and desirable development, in that, the Official Plan and Zoning By-law permits the proposed development's use, building typology, through a quality architectural design and in accordance with municipal standards, as demonstrated through the ongoing Site Plan Control Application's technical review. The proposed development will provide required Housing Supply to help meet the City's Housing Requirements including varied housing types.

### **Submission Items**

In support of a complete application for the Minor Variance Application, our office is pleased to provide the following Submission Items:

- One (1) PDF of this Cover Letter, as prepared by the undersigned.
- Various PDF's of completed and commissioned Minor Variance Application Forms including Owner Authorization Form, Sworn Declaration Form, Permission to Enter & Acknowledgement of Public Information Form, Structure Dimensions Chart, Variance Chart, Property Setbacks Chart, Tree Declaration Form and Zoning Acknowledgement Form, as prepared by the undersigned and executed by the Registered Owner.
- One (1) PDF of a Topographical Survey depicting the Subject Lands, as prepared by R-PE Surveying Ltd.
- One (1) PDF of a Site Plan, identifying the proposed Minor Variances, as prepared by Giovanni A. Tassone Architect Inc.
- One (1) PDF of a Roof Plan, identifying the proposed Minor Variance, as prepared by Giovanni A. Tassone Architect Inc.
- One (1) PDF of Building Elevations, as prepared by Giovanni A. Tassone Architect Inc.
- One (1) PDF of an Arborist Report, as prepared by Canopy Consulting.

**BLACKTHORN DEVELOPMENT CORP.**

End of Submission Items.

Please note, the required Application Fee of **\$6,252.50** made payable to the City of Vaughan, representing the required Minor Variance Application Fee will be submitted under separate cover, delivered to City Hall.

**Committee of Adjustment Hearing & Public Notice**

It is respectfully requested the enclosed Minor Variance Application be considered at the earliest available Committee of Adjustment Hearing.

Please contact the undersigned to provide any comments and Public Notice requirements for the enclosed Minor Variance Application.

Your assistance and attention regarding the processing of the Minor Variance Application is greatly appreciated.

Should you have any questions or require further information, please do not hesitate to contact the undersigned.

Yours truly,  
**BLACKTHORN DEVELOPMENT CORP.**

Maurizio Rogato, B.U.R.Pl., M.C.I.P., R.P.P.  
Principal

Copy:

Client

**From:** [REDACTED]  
**To:** [Committee of Adjustment Mailbox](#)  
**Subject:** [External] FW: Emailing: Scan\_20240923 (2)  
**Date:** Tuesday, September 24, 2024 11:47:39 AM

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CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

I was not aware that this building had been approved as a 7 storey apartment building. We attended the meeting a few years ago as a group from 8302 Islington Avenue and presented why such a large building should not be located here. I am disappointed with the decision to approve this. The variances below are also of a great concern to our building. I hope someone takes this all into consideration.

I am sending you a copy of a Notice of Hearing regarding the property at 8274 Islington Avenue, I live at 8302 Islington, which is next door on the north side of this proposed building. I see so many things on this Minor Variance Application that are not so minor. At the bottom of the first page is "the construction of a 7 storey APARTMENT BUILDING and retaining wall. I thought this was a condominium building. Apartment building means rentals to me. Which is it?

Also the retaining wall on the north side of the building is going to be over 10feet tall!! That ruins any view from our ground floor units at 8302 Islington as well as a 0 setback. Too tall and too close to our building. I can go on and on but I am really concerned here. Do I need to move before they start building this monstrosity. I hope not.  
Rosanna Nicolucci [REDACTED]

Your message is ready to be sent with the following file or link attachments:

Scan\_20240923 (2)

Note: To protect against computer viruses, e-mail programs may prevent sending or receiving certain types of file attachments. Check your e-mail security settings to determine how attachments are handled.

## SCHEDULE D: BACKGROUND

Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A