

**CULTURAL HERITAGE DISTRICT
IMPACT ASSESSMENT
and
Heritage Conservation District
Conformity Report**

**8010 Kipling Avenue
Vaughan (Woodbridge), Ontario,
Canada**

7 September 2018

prepared by



architecture + planning + urban design
+
heritage conservation
+
real estate development

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8010 Kipling Avenue
Woodbridge Heritage District
Vaughan, Ontario, Canada
CULTURAL HERITAGE IMPACT ASSESSMENT
and
CULTURAL HERITAGE DISTRICT CONFORMITY REPORT
28 August 2018

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3- Photographs of adjacent buildings on Kipling Avenue

4- Vicinity Map, 1810 Kipling Avenue, City of Vaughan, Ontario

5- 1860 Tremaine Map, excerpt showing approximate property location

6- 1880 Illustrated Atlas Map of Vaughan, excerpt showing location of 1810 Kipling Avenue

7- Aerial Photograph of Vicinity of subject property

8- Vaughan Official Plan map

9- Heritage Conservation District Map, Woodbridge

10- Site Plan of planned redevelopment of subject property

11- Preliminary elevation drawings of planned redevelopment of subject property

12- Cultural Heritage Summary Evaluation, 8010 Kipling Avenue

13- Curriculum Vitae, Mark Hall, OAA, MRAIC, FAIA, RPP, CAHP

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28 August 2018**

1.0 INTRODUCTION TO THE PROPERTY

This Cultural Heritage Impact Assessment (CHIA) follows City of Vaughan Guidelines for Cultural Heritage Impact Assessments, updated February 2016 (Appendix 1).

8010 Kipling Avenue is in the City of Vaughan, north of Woodbridge Avenue and William Street in the district known as Woodbridge. The property is a trapezoidal [nearly rectangular] parcel approximately 73.5m deep by 25.0m wide fronting on Kipling Avenue.

The property presently holds three structures:

(a) 1 ½ storey aluminum clad older residential building with pitched roof at the eastern end of the property, and with an enclosed front porch at the east side of the building plus a one storey addition on the west side. The building fronts onto Kipling Avenue along with:

(b) a small aluminum shed at north edge of the lot,

(c) concrete block and adjacent aluminum shed at west end (rear) of the property.

Western boundary of the property is adjacent to Canadian Pacific Rail property.

North of the property is a six-storey apartment building at 8026-8032 Kipling Avenue.

South of the property is an existing brick clad residential structure at 8006 Kipling Avenue.

The property is situated within the Woodbridge Heritage Conservation District, which is within the City of Vaughn, Ontario. This area contains many heritage buildings, and structures of similar scale which support the heritage district, combined with recently redeveloped parcels. 8010 Kipling Avenue is not a Designated Heritage Property, but is designated within the Vaughan Heritage Inventory under Part V of the Ontario Heritage Act.

The owner of the property, working with KFA, Architects, retained MW HALL CORPORATION, Heritage Conservation Consultants to prepare this Cultural Heritage Impact Assessment (CHIA) of the property and review of the planned redevelopment.

**8010 Kipling Avenue
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Vaughan, Ontario, Canada
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28 August 2018**

The subject property is owned by:

First Avenue
5461 Highway 7, Suite 200
Woodbridge, Ontario L4L 0B2

Contact information is as follows:

Mr. Jack Morelli
Tel: (905) 856-3031
Email: jmorelli@firstavenue.ca

2.1 History of the property and evolution to date

The property was purchased by the present owner for purposes of redevelopment. Application is in the process of being made to City of Vaughan to redevelop the property.

2.2 Context and setting of the subject property

The Woodbridge Heritage Conservation District Study and Plan [reference a)] notes that there are seven identified 'character areas' with the Woodbridge Heritage Conservation District. At this portion of Kipling Avenue, the north portion of the Heritage Conservation District, architectural character of the district is a mixture of older, low scaled buildings and newer, larger scaled infill buildings with a sidewalk along Kipling Avenue with few trees and some grassed areas between the sidewalk and street. 8010 Kipling Avenue is on the west side of the Kipling Avenue North character area but is, itself, not a heritage property. It is a relatively deep lot and presently has the 1 ½ storey residential building fronting on Kipling Avenue with a driveway on its south side providing access to existing the commercial structures at the rear of the lot. To the north of the property is a six-storey residential condominium building. To the south of the property is a single-family brick residence which is presently being restored and expanded.

2.3 Architectural evaluation of the subject property

The building at the front (east) of 8010 Kipling Avenue is a relatively modest house with an enclosed front porch, 12:12 pitched roof, small rear addition, with aluminum cladding which has been applied over the original exterior walls. Shape of the building and existing windows visible on the side walls indicate that the building is early 20th century/late 19th century. Structures at the rear of the property are likely mid- 20th century commercial/industrial buildings.

2.4 Planned redevelopment for the subject land and potential impacts on identified heritage resources

The 2010 Official Plan [reference e] for this property calls for it to be 'Low Rise Residential, Mixed Use'.

Planned redevelopment of the property is to remove existing buildings on the property and to construct 45 new rental apartment units with a single level of underground parking. The planned building will visually bridge the scale between an existing single-family residence on the south side of the property and the multi-unit five-storey condominium building on the north side of the property, extending the full depth of the lot with vehicular access to parking at the north of the lot. (appendices 11, 12, 13).

Present design for the building is for a one-storey base containing entry vestibule, service, guest parking, and amenity space at the front, some apartments at the rear, with upper two residential levels cantilevered over entry drive and access to underground parking and landscaped amenity area along northern side of the property. An added two storeys of residential apartments are located above the first level. The residential building is to be clad in red brick.

Scale of the new building is compatible with the heritage conservation district. It serves as a transition building between the heritage residence on the south and the multi-storey apartment building to the north. Use of red brick, properly scaled fenestration, perimeter landscaping and main entrance facing Kipling add to the scale and compatibility as a transitional structure in the heritage district.

2.5 Examination of preservation/mitigation options for cultural heritage resources.

Existing structures on the property have a marginal contribution to the preservation/mitigation option for cultural heritage resources, due to their scale.

Maintenance of the street setback with adjacent structures, combined with use of red brick will be consistent with the heritage district.

An existing mature tree presently located in the boulevard would be removed and new street trees are proposed along the face of the planned building.

Avoidance Mitigation

There are no significant cultural heritage resources on the property.

Salvage Mitigation

Salvation mitigation is not considered applicable in this case and is not considered.

Historical commemoration

Historical commemoration is not considered applicable in this case and is not considered.

2.6 Impact of development / mitigating measures – summary

<i>Potential Negative Impact</i>	<i>Assessment</i>
<ul style="list-style-type: none">• <i>destruction of any, or part of any, significant attributes or features</i>	<i>no destruction of any part of significant <u>heritage</u> attribute or feature</i>
<ul style="list-style-type: none">• <i>isolation of a heritage attribute from its surrounding environment, context, or a significant relationship</i>	<i>not applicable</i>
<ul style="list-style-type: none">• <i>a change in land use where the change in use negates the property's cultural heritage value</i>	<i>land use would remain</i>
<ul style="list-style-type: none">• <i>siting, massing, and scale</i>	<i>redevelopment of 1080 Kipling will provide an appropriate use of the site at a scale consistent with guidelines for development within the Heritage District</i>
<ul style="list-style-type: none">• <i>design that is sympathetic with adjacent properties</i>	<i>building design fits requirements with the Heritage District.</i>

4.0 RECOMMENDATION

Section 2 of the *Ontario Planning Act* indicates that City of Vaughan shall have regard to matters of Provincial Interest such as the conservation of features of significant architectural, cultural, historical, archeological, or scientific interest. In addition, Section 3 of the *Planning Act* requires that decision of Council shall be consistent with the *Provincial Policy Statement* (PPS 2014). Policy 2.6.3 of the PPS requires that “...*Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.*”

“Conserved” means the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archeological resources in a manner that ensures their cultural heritage value or interest is retained under the Ontario Heritage Act.”

The property contains no built heritage resource that has cultural value or interest per the criteria for heritage designation under Ontario Regulation 9/06 of the *Ontario Heritage Act*.

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Woodbridge Heritage District
Vaughan, Ontario, Canada
CULTURAL HERITAGE IMPACT ASSESSMENT
and
CULTURAL HERITAGE DISTRICT CONFORMITY REPORT
28 August 2018

This Cultural Heritage Resource Impact Assessment is respectfully submitted by

MW HALL CORPORATION

A handwritten signature in black ink, appearing to read 'M. Hall', written in a cursive style.

Mark Hall, OAA, MRAIC, FAIA, RPP, CAHP
President

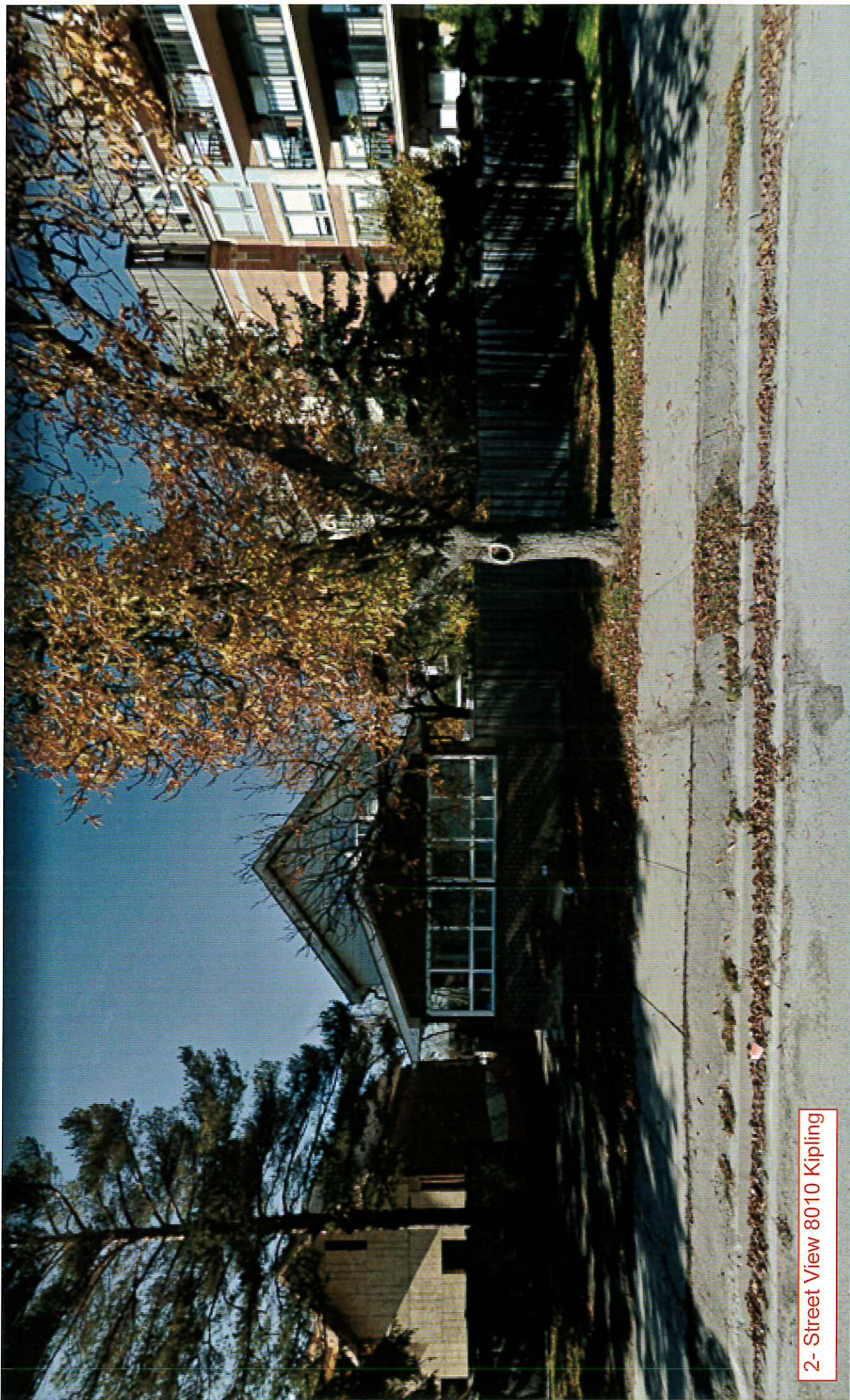
8010 Kipling Avenue
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REFERENCES

- a) City of Vaughan Guidelines for Cultural Heritage Impact Assessments
- b) Woodbridge Heritage Conservation District Study and Plan,
- c) Ontario Planning Act, Section 2, regarding City Council responsibility for Provincial Interest heritage properties
- d) Ontario Planning Act, Section 3, regarding requirement that Council decisions are consistent with Provincial Policy Statement of 2014.
- e) Ontario Provincial Policy Statement [PPS 2014] section 2.6.3
- f) Vaughan Official Plan, Land Use, 2010

APPENDICES

- 1- Property Survey, 8010 Kipling Avenue
- 2- Photographs, 8010 Kipling Avenue
- 3- Photographs of existing buildings to north and south sides of subject property
- 4- Vicinity Map, Woodbridge, City of Vaughan, Ontario
- 5- 1860 Tremaine Map, excerpt showing property at center of Maple.
- 6- 1880 Illustrated Atlas Map, showing 8910 Kipling Avenue
- 7- Aerial Photograph of Vicinity of subject property
- 8- Vaughan Official Plan map
- 9- Heritage Conservation District Map, Woodbridge
- 10- Site Plan of planned redevelopment of subject property
- 11- Preliminary Front Elevation Drawing of planned redevelopment of subject property
- 12- Preliminary Rear Elevation Drawing
- 13- Cultural Heritage Summary Evaluation, 8010 Kipling Avenue
- 14- Curriculum Vitae, Mark Hall, OAA, MRAIC, FAIA, RPP, CAHP



2- Street View 8010 Kipling



3a) 8008 Kipling Avenue



3b) 8020 Kipling Avenue



3c) 8001 Kipling Avenue



3d) 8009 Kipling Avenue

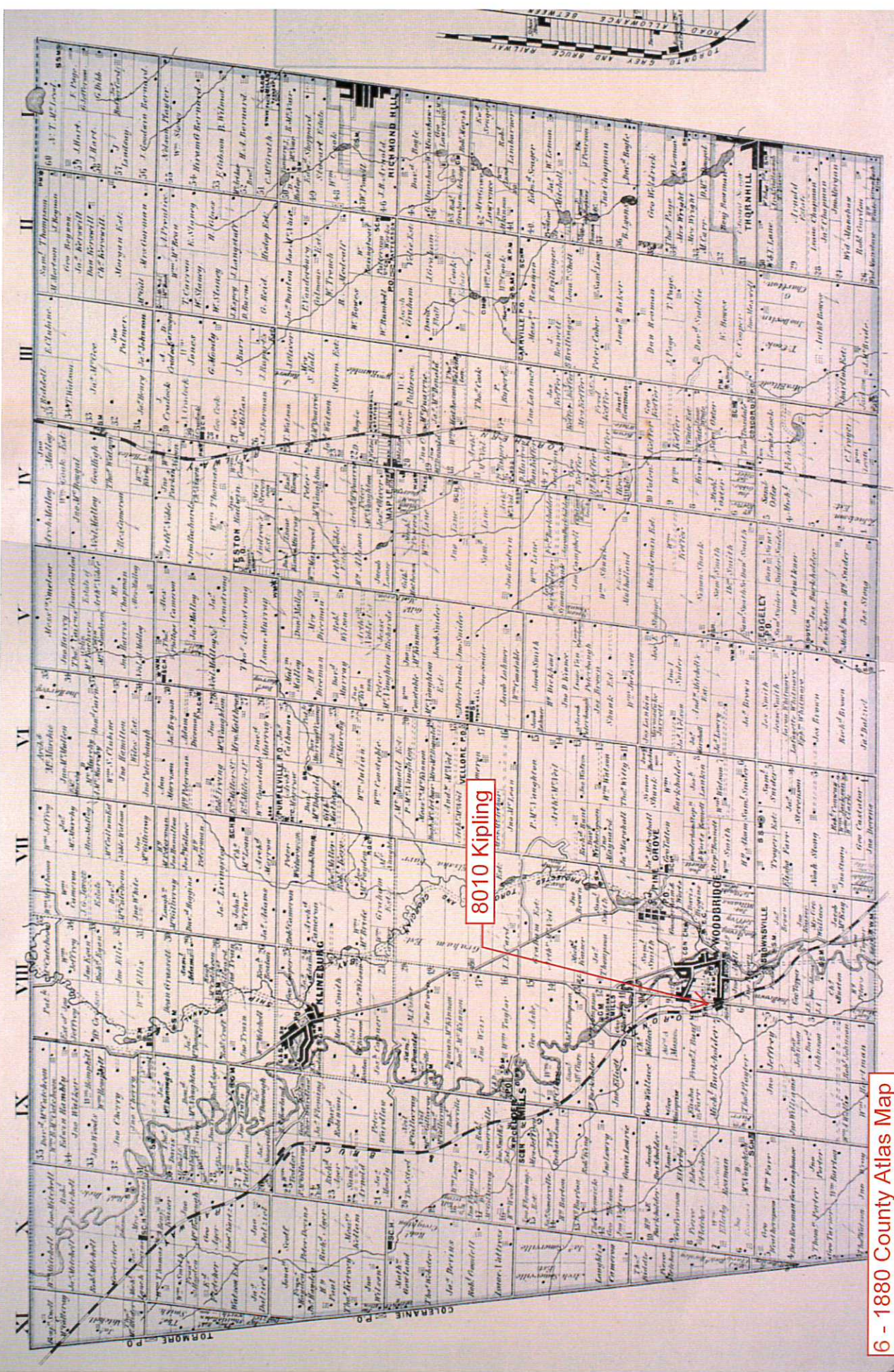


4 - Vicinity Map



8010 Kipling Avenue





8010 Kipling

6 - 1880 County Atlas Map



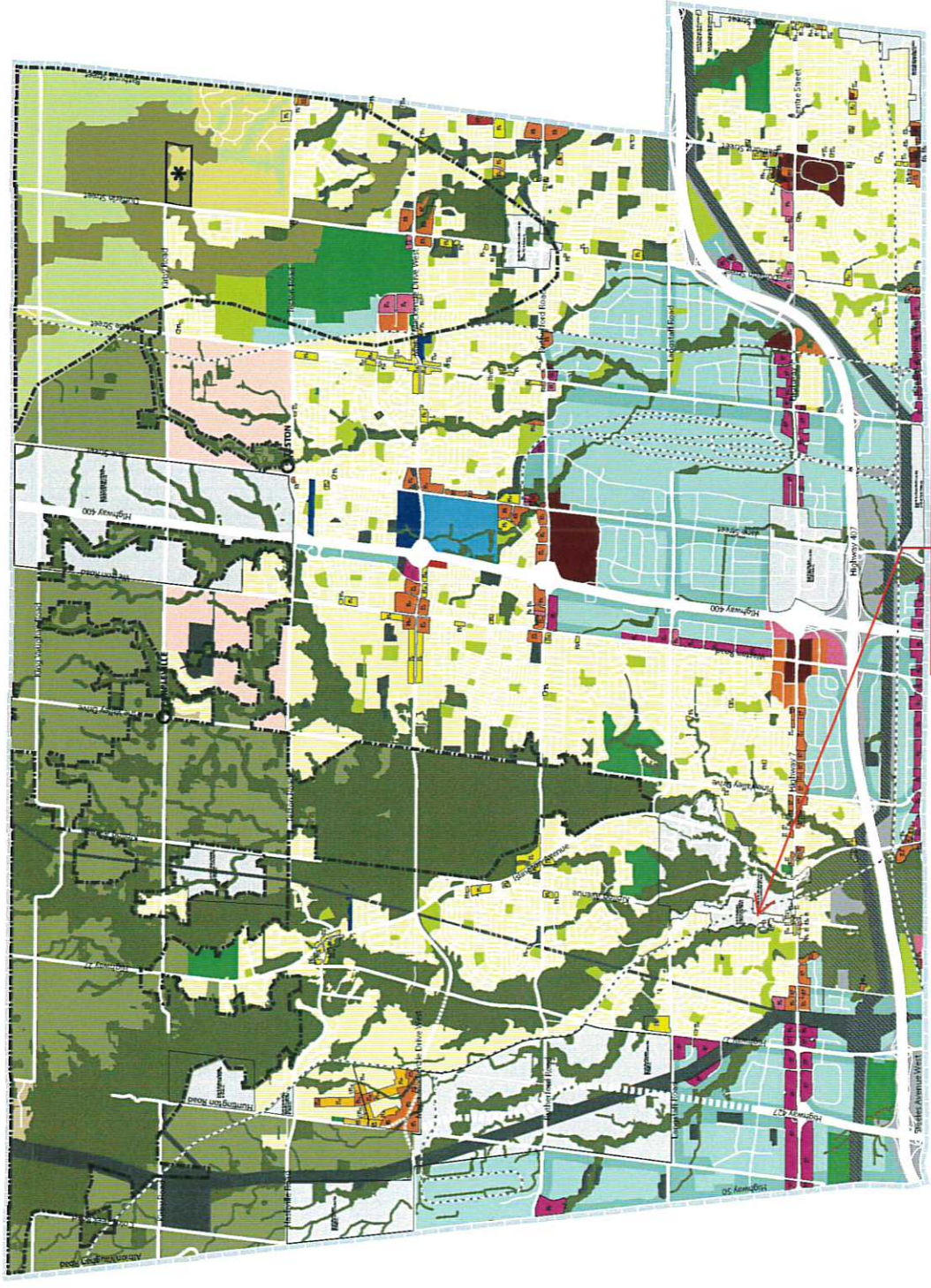
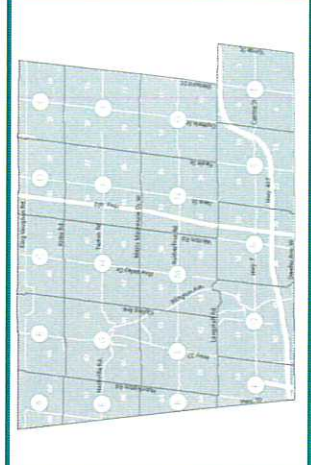
8010 Kipling Avenue

7 - Aerial Map

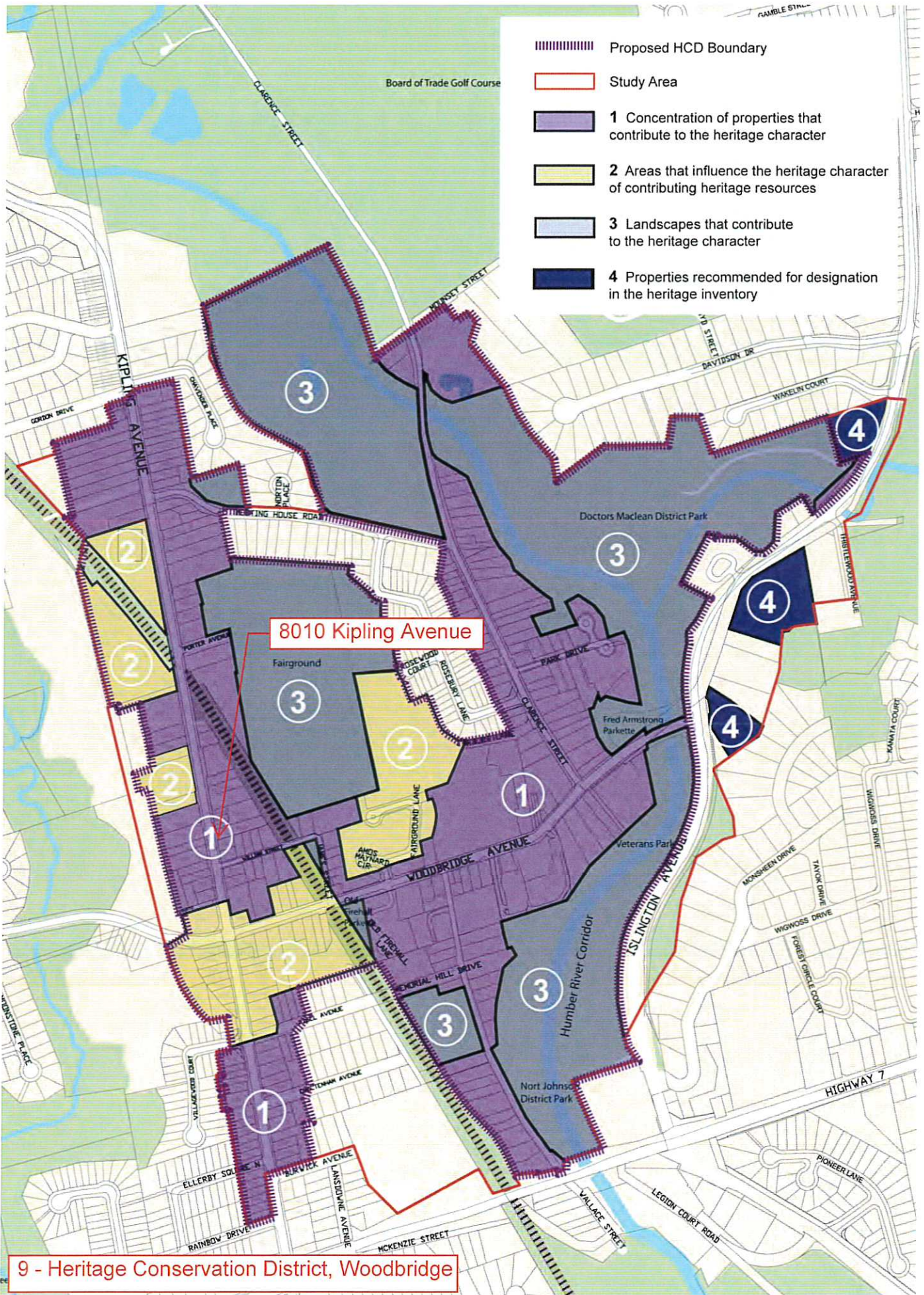
SCHEDULE 13
Land Use

- Natural Areas
- Parks
- Private Open Spaces
- Agricultural
- Rural
- Low-Rise Residential
- Low-Rise Mixed-Use
- Mid-Rise Residential
- Mid-Rise Mixed-Use
- High-Rise Residential
- High-Rise Mixed-Use
- Community Commercial Mixed-Use
- General Employment
- Prestige Employment
- Major Institutional
- New Community Areas
- Theme Park and Entertainment
- Parkway Belt West Lands
- Infrastructure and Utilities
- Lands Subject to Approved Area Specific Secondary Plans (see Schedule 1.1A)
- Roads
- Railway
- Greenbelt Plan Area & Oak Ridges Moraine Conservation Plan Area
- Oak Ridges Moraine Natural Core
- Oak Ridges Moraine Natural Linkage
- Oak Ridges Moraine Countryside
- Hamlet
- Minister's Decision on ORMCP Designation Deferred
- Municipal Boundary

Refer to Schedules 1-6, C for Lands Subject to Area and Site Specific Policies in Volume 2



8010 Kipling Avenue



Schedule 8: A Cluster of Properties and Landscapes that Contribute to the HCD Character



Project Statistics
 8010 Kipling Avenue, Woodbridge Ontario
 Updated: 30 Aug 2018

Project Owner:		Project Address:		Legal Description:	
MFR	1,833.01	F.S.I.	1,833.01	Part 1: Plan of part of the North half of Lot 7, Concession 8 (also known as lot 9, Truncated Part 95, Woodbridge)	
Lot Area	1,833.01	Lot Coverage	10.00	Building Height	12.00
Max R	1.00	Lot Frontage	73.22	Lot Depth	25.00
Max F	1.00	Max R	1.00	Max F	1.00
Max A	1.00	Max A	1.00	Max A	1.00

Gross Floor Area (GFA)		Dischargeable Area (DA)		GFA (m²)	
Ground	1,000.71	(1 Elevator & Mech Shafts)	1,000.96	PKA	1,000.96
2nd Floor	1,219.91		1,209.16	PKA	1,209.16
3rd Floor	1,219.91		1,209.16	PKA	1,209.16
4th Floor	1,219.91		1,209.16	PKA	1,209.16
Total Floor Area	3,480.53	Total Floor Area	3,480.53	PKA	3,480.53

Residential Unit Count		1 Bed + Den		2 Bed		3 Bed	
Ground Floor	1	0	2	0	0	0	0
2nd Floor	3	0	4	0	0	0	0
3rd Floor	3	0	4	0	0	0	0
4th Floor	3	0	4	0	0	0	0
Total	10	0	10	0	0	0	0

Car Parking requirements (801 Table)		Required Parking		Required Parking	
Type Unit	Max.	Min.	Max.	Min.	Max.
1-Bed + Den	52.5	0.05	1.2	23.8	47
2-Bed	105	0.1	2.4	47.6	94
3-Bed	157.5	0.15	3.6	71.4	141
Visitor	112.5	0.15	3.6	67.9	136
Total	382.5	3.3	4.3	180.8	365

Bicycle Parking Requirements		Bicycle Parking	
Group 1 (Bicycles)	11	Provided	23
Group 2 (E-bikes)	17	Provided	23
Total	28	Total	46

Car Parking provided		Total Parking	
Level	Residential	Level	Residential
Surface Parking	5	Surface Parking	5
Garage	34	Garage	34
Total	39	Total	39

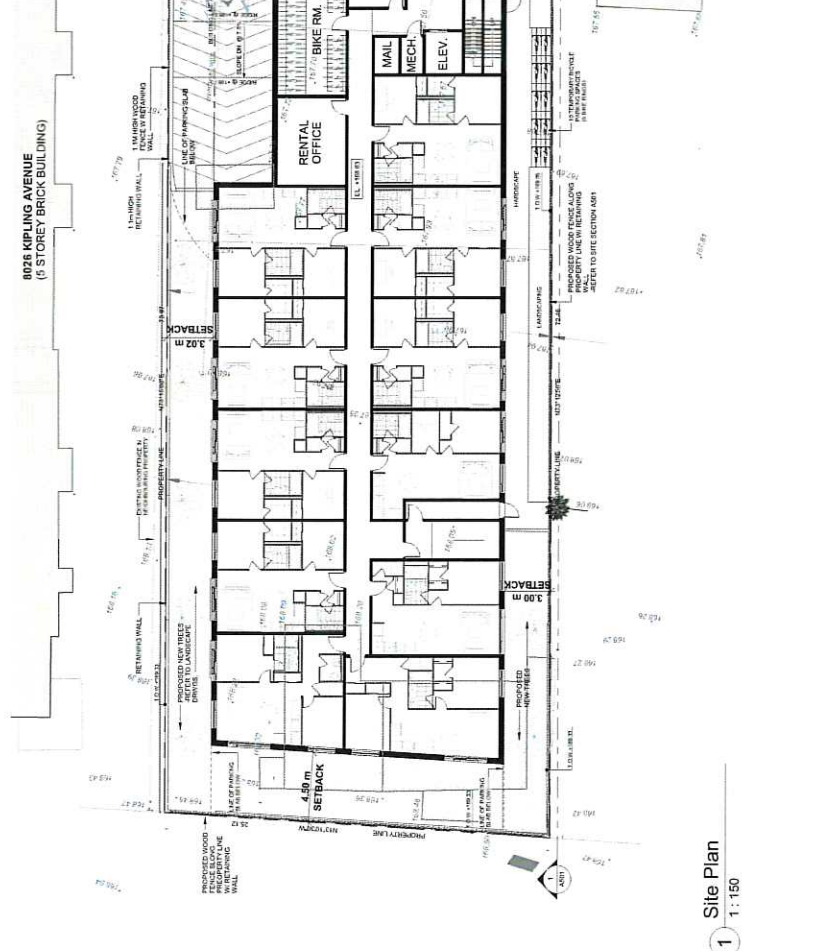
Landscape Area		Landscape Area	
Public Space Landscaped Area	118.00	Public Space Landscaped Area	118.00
Private Landscaped Area	1,361.53	Private Landscaped Area	1,361.53
Total Landscaped Area	1,479.53	Total Landscaped Area	1,479.53

Loading Facilities		Loading Facilities	
Requested	1	Provided	1
Max. Area (m²)	1,200.00	Max. Area (m²)	1,200.00

Site Plan Note:	
1.	SEEKING THE SERVICES OF A PROFESSIONAL ENGINEER FOR THE DESIGN OF THE FOUNDATION AND STRUCTURE OF THE BUILDING.
2.	SEEKING THE SERVICES OF A PROFESSIONAL ENGINEER FOR THE DESIGN OF THE MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS OF THE BUILDING.
3.	SEEKING THE SERVICES OF A PROFESSIONAL ENGINEER FOR THE DESIGN OF THE FIRE PROTECTION SYSTEMS OF THE BUILDING.
4.	SEEKING THE SERVICES OF A PROFESSIONAL ENGINEER FOR THE DESIGN OF THE ELEVATOR SYSTEMS OF THE BUILDING.
5.	SEEKING THE SERVICES OF A PROFESSIONAL ENGINEER FOR THE DESIGN OF THE VENTILATION SYSTEMS OF THE BUILDING.
6.	SEEKING THE SERVICES OF A PROFESSIONAL ENGINEER FOR THE DESIGN OF THE ENERGY EFFICIENCY MEASURES OF THE BUILDING.
7.	SEEKING THE SERVICES OF A PROFESSIONAL ENGINEER FOR THE DESIGN OF THE ACCESSIBILITY FEATURES OF THE BUILDING.
8.	SEEKING THE SERVICES OF A PROFESSIONAL ENGINEER FOR THE DESIGN OF THE SECURITY MEASURES OF THE BUILDING.
9.	SEEKING THE SERVICES OF A PROFESSIONAL ENGINEER FOR THE DESIGN OF THE SUSTAINABILITY MEASURES OF THE BUILDING.
10.	SEEKING THE SERVICES OF A PROFESSIONAL ENGINEER FOR THE DESIGN OF THE COMMUNITY ENGAGEMENT MEASURES OF THE BUILDING.
11.	SEEKING THE SERVICES OF A PROFESSIONAL ENGINEER FOR THE DESIGN OF THE LEGAL COMPLIANCE MEASURES OF THE BUILDING.

Client	
Client	FIRST AVENUE
Project No.	17004
Scale	As indicated
Date	Issue Date
Drawn by	Author
Drawing Title	Context Map, Statistics & Site Plan
Drawing Number	A002

Site Legend	
PROPERTY LINE	PROPERTY LINE
BASELINE CORRECTION	BASELINE CORRECTION
FIRE HYDRANT	FIRE HYDRANT
EXISTING CURBSIDE AREA	EXISTING CURBSIDE AREA
PROPOSED TREE	PROPOSED TREE
PROPOSED SHRUB	PROPOSED SHRUB
EXISTING TREE	EXISTING TREE
ROOFSPACE	ROOFSPACE
RAMP	RAMP
ENTRANCE DOOR	ENTRANCE DOOR
STREET STORAGE	STREET STORAGE



Context Map/Concept Plan

Site Plan 1:150



FRONT (EAST)
ELEVATION

8010
KIPLING, AVENUE
WOODBIDGE, ON

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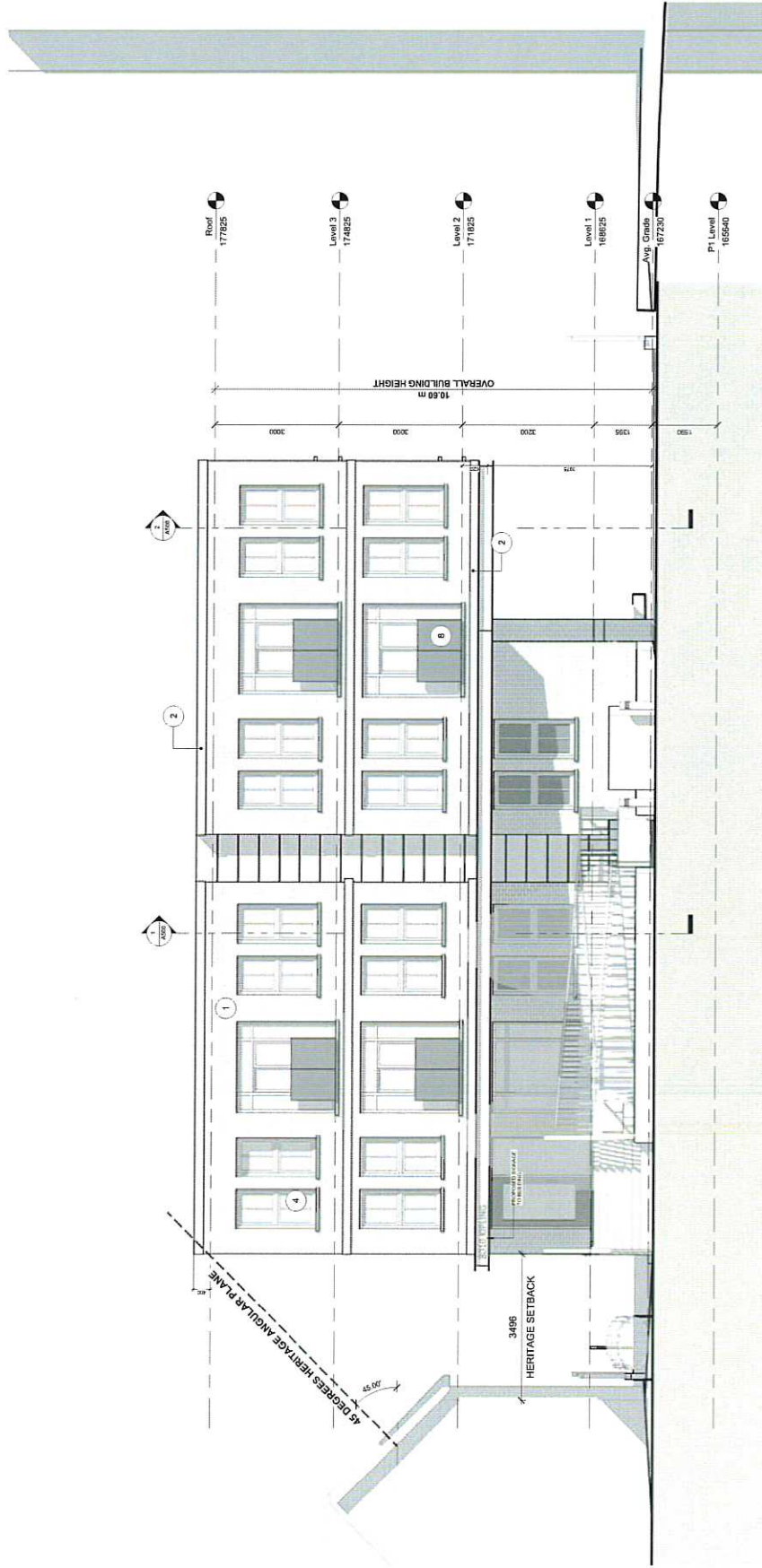
No.	Description	Date
1	Issued for IGA	2023.03.21

CLIENT
FIRST AVENUE
100 KING STREET WEST, SUITE 200
TORONTO, ONTARIO M5X 1C5
Project North

XFA
architects + planners inc.

Project No: 17064
Scale: 1:50
Date: Issue Date
Drawn by: AUP/PT
Drawing Title

East Elevation
Drawing Number
A400



1 East Elevation
1:50

MATERIAL LEGEND

TYPE	DESCRIPTION	TYPE	DESCRIPTION	TYPE	DESCRIPTION
1	PRECAST CONCRETE WITH POLYMER CONCRETE FINISH	4	WINDOW WALL SYSTEM WITH CLEAR GLAZING	7	CONCRETE CLADDING PANELS WITH POLYMER CONCRETE FINISH
2	PRECAST CONCRETE WITH POLYMER CONCRETE FINISH	5	NOT DIPPED GALVANIZED STEEL INSULATED CLEAR FINISH	8	CLADDING - ALUM. FINISHING SANDBLASTED CONCRETE
3	PRECAST ALUM. CLADDING (CHARCOAL GREY)	6	CHARCOAL STEEL BEAM - PAINTED (CHARCOAL GREY)	9	ARCHITECTURAL CONCRETE FINISH

<p>8010 Kipling Avenue, Woodbridge, Ontario Heritage Impact Summary Chart</p>	
<p>ONTARIO REGULATION 9/06, ONTARIO HERITAGE ACT</p>	
<p>prepared by: MW HALL CORPORATION, Heritage Consultant</p>	
<p>15-Jan-18</p>	

CRITERIA for determining cultural heritage value, and for determining whether or not a property is worthy of Designation under the Ontario Heritage Act

ASSESSMENT of whether existing conforms to the Ontario Heritage Act

- 1.i The property has design value or physical value because it, is a rare, unique or early example of a style, type, expression, material or construction method
- 1.ii The property has design value or physical value because it, displays a high degree of craftsmanship or artistic merit
- 1.iii The property has design value or physical value because it, demonstrates a high degree of technical or scientific achievement.
- 2.i The property has historical value or associative value because it, has direct association with a theme, event, belief, person, activity, organization or institution that is significant to a community.
- 2.ii The property has historical value or associative value because it, yields, or has the potential to yield, information that contributes to an understanding of a community or culture
- 2.iii The property has historical value or associative value because it, demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community
- 3.i The property has contextual value because it, is important in defining, maintaining or supporting the character of an area.
- 3.ii The property has contextual value because it, is physically, functionally, visually or historically linked to its surroundings
- 3.iii The property has contextual value because it, is a landmark

The existing property does not have design value or physical value, is not rare, unique or an early example of a style, type, material or construction method. Further, the residential building has been substantially modified with a major more contemporary addition, with the original masonry covered with stucco and siding. Planned infill of new housing works well as a transition structure between the single family residence to the south and multi-storey apartment to the north of the site.

The existing structure does not display any unusual degree of craftsmanship or artistic merit. Infill replacement is designed to be compatible with the District.

The existing property does not demonstrate any high degree of technical or scientific achievement. Replacement building is properly scaled for the District.

The existing building does not have historical value or associative value significant to the present community of the former community of Maple, now part of City of Vaughan as part of the Designated Heritage District. Planned replacement is contemporary in design, but use of materials, fenestration, orientation to street represents appropriate infill/transitional structure for the District.

The existing property does not yield any information that contributes to understanding of the community. Existing building was likely not designed by an architect, designer or theorist. The builder is unknown, but architectural character of the house indicates that probably a local builder/contractor was responsible for construction of the house. New planned structure is sensitively designed to contribute to Heritage District.

Existing structure is compatible with residence to the south, but planned infill building is transitional in scale, and planned brick is more compatible with building materials in the District.

The existing property is visually and historically linked to the Designated Heritage District, but planned redevelopment will be appropriately scaled, and brick facade is an improvement over the existing structure on the site, compatible with other structures in the district, including the immediately adjacent redeveloped residence to the south of the subject site.

Neither the existing residential building nor the planned redevelopment are landmark structures.

Mark Hall, OAA, MRAIC, RPP, MCIP, FAIA, AICP, CAHP

ACADEMIC + PROFESSIONAL TRAINING

Harvard University, Master of City Planning in Urban Design
US Navy Civil Engineer Corps Officer School, Certificate of Graduation
Construction and Design Management
Massachusetts Institute of Technology
Graduate Studies in Planning and Economics
Pratt Institute, Master Degree program studies in Planning and Economics
University of Michigan, Bachelor of Architecture

DESIGN AND CONSTRUCTION EXPERIENCE

Mariposa Land Development Company [1438224 Ontario Inc.]
Toronto / Orillia, President
Orchard Point Development Company [1657923 Ontario Inc.]
Orillia, Vice President
MW HALL CORPORATION, Toronto, Toronto, President
Teddington Limited, Toronto,
Development advisor, Planner, Architect
ARCHIPLAN, Los Angeles, Principal/President
DMJM, Los Angeles, Planner
Gruen Associates, Los Angeles, Planner
US NAVY, Civil Engineer Corps, Officer
Apel, Beckert & Becker, Architects, Frankfurt
Green & Savin, Architects, Detroit

CITY DEVELOPMENT / URBAN DESIGN / REAL ESTATE DEVELOPMENT

Mark Hall has directed a number of city development and urban design projects, including waterfront revitalization, commercial, multi-unit residential, industrial facilities and major mixed use projects in both public and private clients/employers. He has worked on staff for public agencies, including real estate development and property management services. He understands the dynamics of city development, the techniques required for successful implementation, and procedural, financial and political requirements. His experience and contributions range throughout Canada, the United States, Europe, Southeast Asia, the Middle East and the Arctic. As a result of his extensive experience in this area, he has been invited to participate in the Regional Urban Design Assistance Team [R/UDAT] programs of the American Institute of Architects, and a program of waterfront renewal in Toronto by the Ontario Professional Planners Institute. He is a Registered Professional Planner in Ontario, member of the Canadian Institute of Planners, and a founding member of the American Institute of Certified Planners. Recently, as president of Mariposa Land Development Company, he designed and built a 54 unit condominium apartment project designed to upgrade the waterfront of historic downtown Orillia, Ontario. The building has spurred a number of revitalization projects in Orillia.

HISTORIC PRESERVATION / ADAPTIVE REUSE

Mr. Hall has developed special interest and expertise in historic preservation and adaptive reuse of historic structures and city districts. He has served as president of the Los Angeles Conservancy, and designed projects combining historic preservation and appropriate adaptive reuse of the properties. He is a member of the Canadian Association of Heritage Professionals. Recently he served as preservation architect on renovations of the RC Harris Water Plan, a designated cultural heritage building in Toronto. He has served as architect for restoration and additions to a number of historic houses in the Annex, Beaches and other areas of central city Toronto, as well as Belleville, Orillia, Mississauga and Brampton, and in Los Angeles and Florida. He frequently works with property developers, municipalities and heritage property owners as consultant regarding historic properties of concern to municipalities in which they are working.

ARCHITECTURE

A licensed architect for over 40 years, Mr. Hall is licensed to practice in Canada and the US. He has been responsible for design and construction of a number of significant projects: mixed use structures, corporate headquarters and industrial facilities, military facilities, multi-unit residential, civic and commercial centres, and seniors housing. He understands the design, construction and real estate development process, as well as management of multi-disciplinary and client concerns for cost effective, efficient, award-winning structures. Many of the structures he has built are the result of implementing more comprehensive master planned developments. For his work in historic preservation, education and community service he was awarded Fellowship in the American Institute of Architects.

COMMUNITY & EDUCATION SERVICE

In addition to professional practice, Mr. Hall has made major commitments to teaching and community service. He taught urban design and city planning at USC, UCLA, Southern California Institute of Architecture [SCI ARC] and Boston Architectural Center. While at Harvard he worked with the Harvard Urban Field Service in Boston's Chinatown. As an officer in the US NAVY he was awarded a special Commendation Medal for development of a master plan for the NAVY's Arctic Research Laboratory and the adjacent Inupiat community of Barrow, Alaska. His work has been published in professional journals and has received various awards and honors. He served on the board of directors and later as president of the Southern California chapter of the American Institute of Architects. He was co-chair for the Ontario Professional Planners Institute [OPPI] of a multi-disciplinary design Charette to determine the future of the Metropolitan Toronto waterfront, and later on a committee of the Ontario Association of Architects looking into solutions to urban sprawl. He has served as president of the non-profit Housing Development Resource Centre [HRDC] and as president of Toronto Brigantine, a non-profit organization providing sail training aboard two tall ships in the Great Lakes.



ATTACHMENT #3



Drawing Title:		Aerial Orthographic Plan	
Project No.:	17054	Scale:	RTS
Date:	FEB 27, 2018	Drawn By:	AA
Drawing No.:		A00a	

FIRST AVENUE

First Avenue Properties

Project Name: _____

Scale: _____

NORTH

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No.	Issue / Description	Date
01	Issued for SPA	2018/03/01

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8010

KIPLING AVENUE
WOODBRIDGE, ON

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No.	Description	Date
1	PRELIMINARY SPA	2018.08.15
2	PRELIMINARY SPA	2018.08.15

Sheet No.	Sheet Name
A000	CONCEPT
A001	CONCEPT
A002	CONCEPT
A003	CONCEPT
A004	CONCEPT
A005	CONCEPT
A006	CONCEPT
A007	CONCEPT
A008	CONCEPT
A009	CONCEPT
A010	CONCEPT

CLIENT
FIRST AVENUE
 150 HURONTARIO STREET
 SUITE 200
 TORONTO, ONTARIO M5H 1R7
 Project North



Project No: 17094
 Scale:
 Date: 01/10/2019
 Drawn by: AA
 Drawing Title

Cover Page
 Drawing Number
A000

ATTACHMENT #5



8010 KIPLING AVENUE

ISSUED FOR SPA, JANUARY 11, 2019

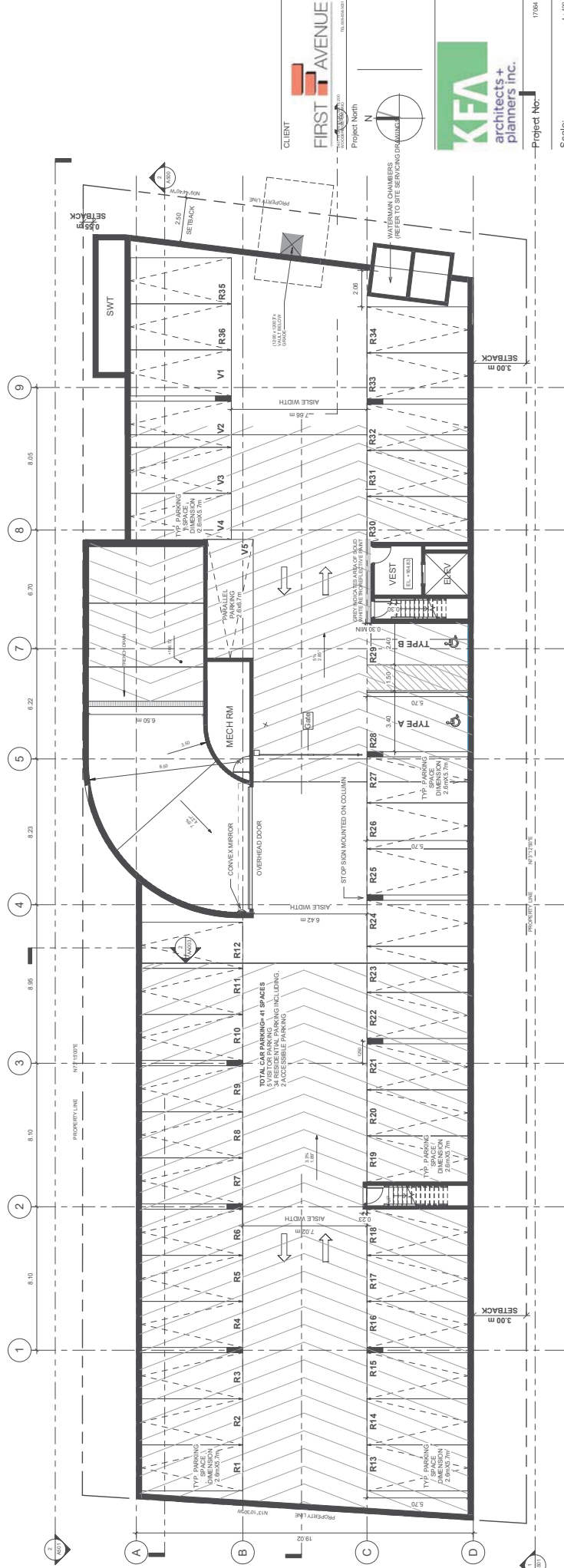
- ARCHITECT & PLANNERS:**
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 SUITE 800
 TORONTO, ONTARIO M5T 2C8
 TEL: 416-633-6226
 FAX: 416-351-3303
- HERITAGE CONSULTANT:**
MW HALL CORPORATION
 21 SCOLLARD STREET
 TORONTO, ONTARIO
 TEL: 416-920-8105
- CIVIL ENGINEER:**
LITHOS GROUP INC.
 150 BERMONDSEY ROAD
 SUITE 200
 YORK, ONTARIO M3A 1Y1
 TEL: 416-750-7769
- NOISE ENGINEER:**
HGC ENGINEERING
 2000 ARGENTIA ROAD 1
 SUITE 203
 MISSISSAUGA, ONTARIO L5M 1P7
 TEL: 905-828-4044
- LIGHTING ENGINEER:**
E-LUMEN INTERNATIONAL INC.
 595 CITYVIEW BLVD
 SUITE 204/205
 YORK, ONTARIO L4H 3M7
 TEL: 905-417-6881
- ENVIRONMENTAL ENGINEER:**
RUBIDIUM ENVIRONMENTAL
 845 HARRINGTON COURT
 UNIT 200B
 BRANTFORD, ONTARIO L7N 3P3
 TEL: 905-635-4063
- TRAFFIC CONSULTANT:**
NEXTRANS
 15260 YONGE STREET
 SUITE 204
 SCARBOROUGH, ONTARIO L3N 1M4
 TEL: 905-903-2563



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KIPLING AVENUE
WOODBRIIDGE, ON

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No.	Description	Date
1	PRELIMINARY PLAN	01/10/2018
2	REVISED PLAN	01/10/2018



CLIENT: **FIRST AVENUE**
1500 SHEPPARD AVENUE EAST, SUITE 100
SCARBOROUGH, ON M1B 2Y4

Project North

KFA architects + planners inc.

Project No.: 17094

Scale: 1:100

Date: 01/10/2018

Drawn by: A/P/01

Drawing Title: P1 Parking Level

Drawing Number: A200

ATTACHMENT #6

8010
KIPLING AVENUE
WOODBIDGE, ON

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No.	Description	Date
1	ISSUED FOR PERMIT	2018-08-28
2	ISSUED FOR PERMIT	2018-08-28

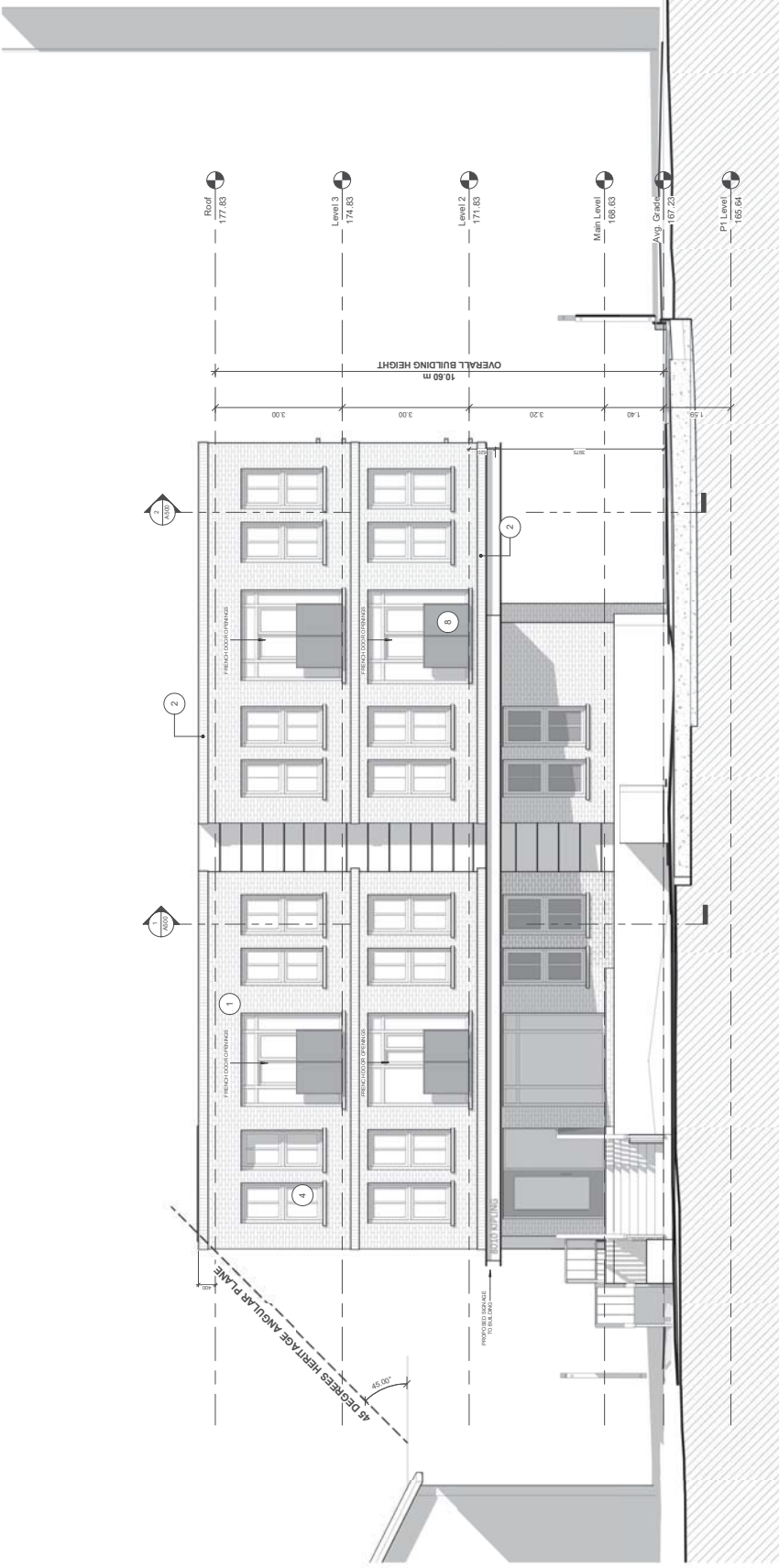
CLIENT
FIRST AVENUE
COMMERCIAL DEVELOPMENT
115 GERRARD ST. E.
Project North

KFA
architects + planners inc.

Project No: 17094
Scale: 1:50
Date: 01/10/2018
Drawn by: Afor
Drawing Title

East Elevation
Drawing Number
A400

ATTACHMENT #9



MATERIAL LEGEND

TYPE	DESCRIPTION	TYPE	DESCRIPTION	TYPE	DESCRIPTION
1	BRICKWORK WITH MASONRY IMPREGNATION AND CLEAR GLAZING	4	WINDOW WALL SYSTEM WITH MASONRY IMPREGNATION AND CLEAR GLAZING	7	CERAMIC WOOD PANEL PRODUCT FOR EXTERIOR
2	BRICKWORK WITH MASONRY IMPREGNATION AND CLEAR GLAZING	5	HOT DIPPED GALVANIZED STEEL RAILINGS, CLEAR FINISH	8	ALUMINUM FINISH SANDBLASTED GLAZING
3	PREFR. ALUM. GLAZING (CHARCOAL GREY)	6	PREFR. ALUM. GLAZING (CHARCOAL GREY)	9	ARCHITECTURAL CONCRETE FINISH

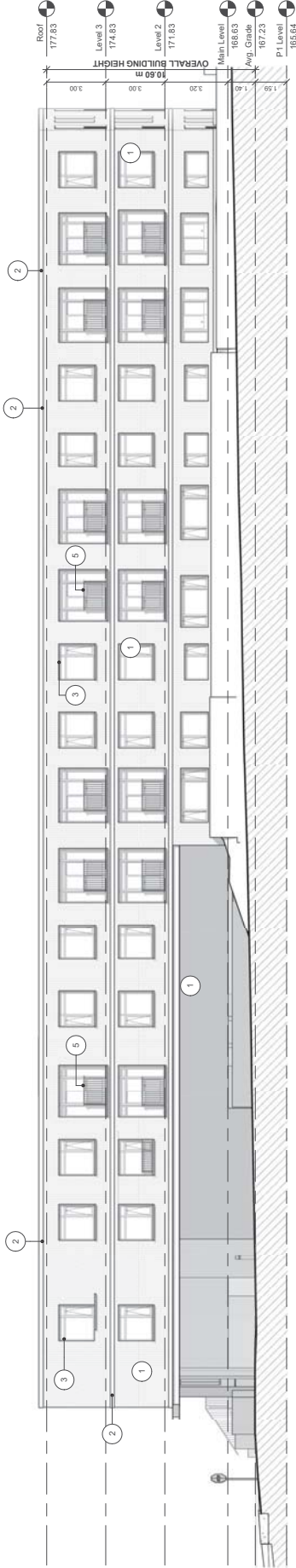
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8010

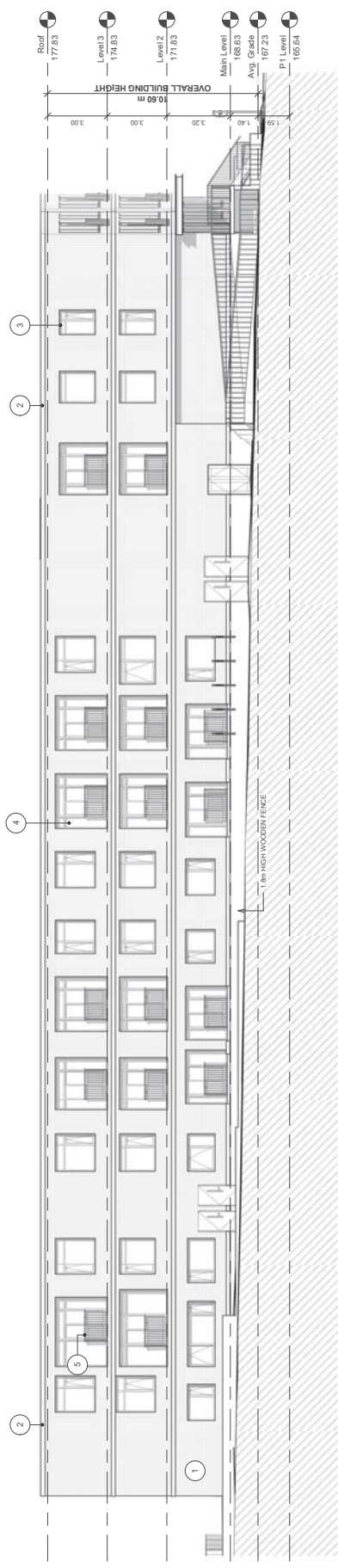
KIPLING AVENUE
WOODBRIDGE, ON

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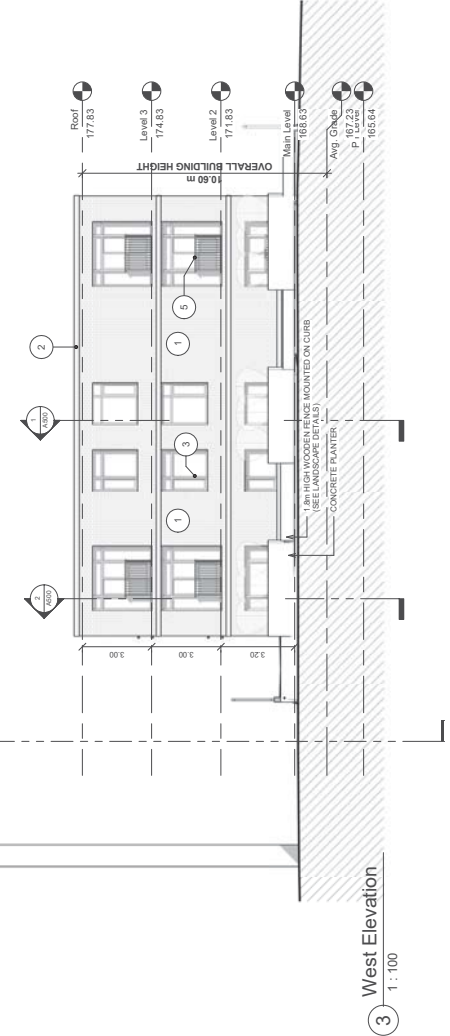
No.	Description	Date
1	Issue for Review	01/10/2018
2	Issue for Construction	01/10/2018



1 North Elevation
1 : 100



2 South Elevation
1 : 100



3 West Elevation
1 : 100

CLIENT
FIRST AVENUE
ARCHITECTS INC.
Project North

KFEA
architects + planners inc.

Project No: 17094
Scale: As Indicated
Date: 01/10/2018
Drawn by: A/for

Drawing Title
North, South & West Elevation

Drawing Number
A401

ATTACHMENT #10

TYPE	DESCRIPTION	TYPE	DESCRIPTION
1	MASONRY: RED BRICK, REGULAR NOMA CHIMNEY	4	WINDOW WALL SYSTEM
2	MASONRY: RED BRICK, REGULAR NOMA AS'S SYSTEM (MASONRY BRICK COLOUR)	5	HST BRICK CLAWED STEEL HALLOW
3	PREFIN ALUM CLADDING (CONCRETE GREY)	6	CANOPY: STEEL GLASS - PAINTED CHROME/ALUM
7	CANOPY: CEILING STAINED WOOD FINISH		
8	CANOPY: FLOOR PANELS, POLISHED CONCRETE		
9	GLASS + ALUM RAILING SANDBLASTED GLAZING		
10	ARCHITECTURAL CONCRETE FINISH		

MATERIAL LEGEND

8010
KIPLING AVENUE
WOODBIDGE, ON

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No.	Description	Date
1	Issue for Review	01/23/2018
2	Issue for Construction	01/23/2018



1 MASONRY
RED BRICK, REGULAR NORMA SIZE, RUNNING BOND, COLOUR AS SHOWN IN IMAGE



2 MASONRY
YELLOW BRICK, REGULAR NORMA SIZE, VERTICALLY STACKED BOND, COLOUR AS SHOWN IN IMAGE



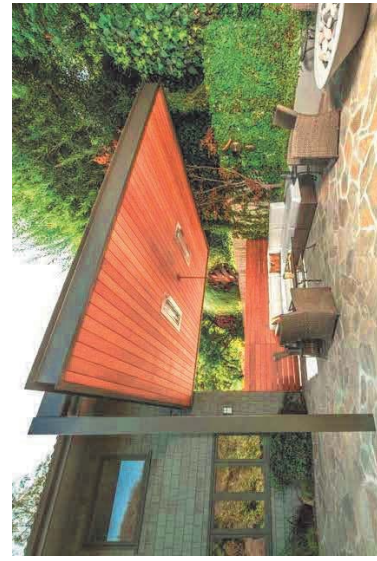
3 CLADDING
PREFINISHED ALUMINUM CLADDING, COLOR CHARCOAL GREY



4 WINDOW WALL SYSTEM
WINDOW WALL SYSTEM WITH CHARCOAL GREY MULLIONS AND CLEAR GLAZING



5 GALVANIZED STEEL RAILINGS
HOT DIPPED GALVANIZED STEEL RAILINGS, CLEAR FINISH



6 CANOPY I BEAM
CANOPY STEEL I BEAM PAINTED CHARCOAL GREY



8 SANDBLASTED GLASS AND ALUMINUM RAILING
GLASS AND ALUMINUM RAILING WITH SANDBLAST GLAZING



9 ARCHITECTURAL CONCRETE FINISH

ATTACHMENT #11

CLIENT

FIRST AVENUE
ARCHITECTURAL MATERIALS

Project North



KFA
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Project No. 17004

Scale:

Date: 01/10/2018

Drawn by: Author

Drawing Title
Architectural Materials

Drawing Number

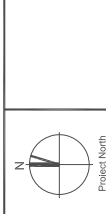
A600

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KIPLING AVENUE
WOODBIDGE, ON



Key Map



Project North

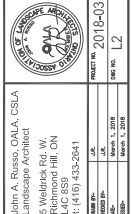
NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	10/22/2018
2	REVISED	11/01/2018
3	REVISED	11/01/2018
4	REVISED	11/01/2018
5	REVISED	11/01/2018
6	REVISED	11/01/2018
7	REVISED	11/01/2018
8	REVISED	11/01/2018
9	REVISED	11/01/2018
10	REVISED	11/01/2018
11	REVISED	11/01/2018
12	REVISED	11/01/2018

LANDSCAPE DETAILS

SCALE AS SHOWN

8010 Apartments
By First Avenue Properties
8010 Kipling Avenue
Woodbridge, ON

John A. Evans, OMA, CSLA
Landscape Architect
5 Weybridge Rd. W.
Richmond Hill, ON
L4B 1G9 | 416-882-2841



DATE: 11/01/2018
SCALE: L2

ATTACHMENT #12b

