

ITEM: 6.4	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A102/24
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Report Date: September 27, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Forestry	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
None				

BACKGROUND (SCHEDULE D, IF REQUIRED)

* Background Information contains historical development approvals considered to be related to this file.
This information should not be considered comprehensive.

Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
None	None

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
None	None

SCHEDULES

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A102/24

CITY WARD #:	1
APPLICANT:	Angelino Figliomeni
AGENT:	Lucas Cocomello
PROPERTY:	31 Northfield Court, Kleinburg
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PROPOSAL:	Relief from the Zoning By-law is being requested to permit a proposed cabana and reduced landscaping requirements in the rear yard.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R1B(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.336 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A residential accessory structure with a height greater than 2.8m shall not be located closer than 2.4m to any lot line. Section 4.1.2 b	To permit a residential accessory structure with a height greater than 2.8 m to be setback a minimum of 1.52m from the rear lot line.
2	A residential accessory structure with a height greater than 2.8m shall not be located closer than 2.4m to any lot line. Section 4.1.2 b	To permit a residential accessory structure with a height greater than 2.8 m to be setback a minimum of 2.13m from the north interior side lot line.
3	The maximum permitted lot coverage for all accessory building and residential accessory structures shall be 67 square metres. Section 4.1.3 1	To permit a maximum lot coverage of 89.19 square metres for the residential accessory structure.
4	The maximum permitted height for a residential accessory structure is 3.0m. Section 4.1.4 1	To permit a maximum height of 3.51m for the residential accessory structure.
5	In an R1B zone any portion of a rear yard in excess or 135 square metres shall be comprised of a minimum 60% soft landscape. Section 4.19.1 1	To permit a portion of the rear yard over 135 square metres to be comprised of a minimum of 53% soft landscape.

The subject lands are zoned R1 –Residential Zone and subject to the provisions of Exception 9(563) under Zoning By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
6	The minimum required rear yard for an accessory structure is 9.0m Exception 9(563) T52	To permit a minimum rear yard of 1.52m for the accessory structure.
7	The percentage of the lot area covered by all accessory buildings and structures shall not exceed 67 square metres. Section 4.1.1. a	To permit the percentage of the lot area covered by all accessory buildings and structures to be a maximum of 89.19 square metres.
8	Where an area of a rear yard of a lot is greater than 135 square metres a minimum of 60% of that portion of the rear yard in excess of 135 square metres shall be composed of soft landscaping. Section 4.1.2 b	To permit 53% soft landscaping for the portion of the rear yard in excess of 135 square metres

HEARING INFORMATION

DATE OF MEETING: Thursday, October 3, 2024

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive

LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	September 19, 2024
Date Applicant Confirmed Posting of Sign:	September 17, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	Zoning restrictions.
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
None	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	None
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DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

Due to the size of the proposed cabana and swimming pool on the subject property, which measures 60.22 m² and 89.19m² respectively, the Owner/Applicant must acquire a Lot Grading Permit from the Development Inspection and Lot Grading Division of the City's Development Engineering Department. It's important to note that any in-ground structure exceeding 10 m² necessitates a Grading Permit. Once the Grading Permit is obtained, please reach out to the Development Engineering Reviewer to clear the Condition imposed on this application. The Owner / Applicant shall apply for a Pool Grading Permit with the Development Engineering (DE) Department. Please visit the grading permits page at City of Vaughan website to learn how to apply for the Pool Permit. If you have any question about Pool Grading Permit, please contact the Development Engineering Department through email at DEPermits@vaughan.ca. The proposed work by the Owner / Applicant is increasing the lot coverage on the subject property by 33.1%. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer. The Development Engineering Department does not object to the Minor Variance application A102/24, subject to the following condition(s):

Development Engineering Recommended Conditions of Approval:	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
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PARKS, FORESTRY & HORTICULTURE (PFH)

Recommended condition of approval:

PFH Recommended Conditions of Approval:	Applicant/owner shall provide an arborist report/tree protection plan to the satisfaction of the forestry division.
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DEVELOPMENT FINANCE

No comment no concerns.

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date.

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC)

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT

No comments received to date.

Fire Department Recommended Conditions of Approval:	None
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RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Engineering Rex.bondad@vaughan.ca	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

		of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
2	Parks, Forestry and Horticulture Operations zachary.quizzetti@vaughan.ca	Applicant/owner shall provide an arborist report/tree protection plan to the satisfaction of the forestry division.
<i>All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.</i>		

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

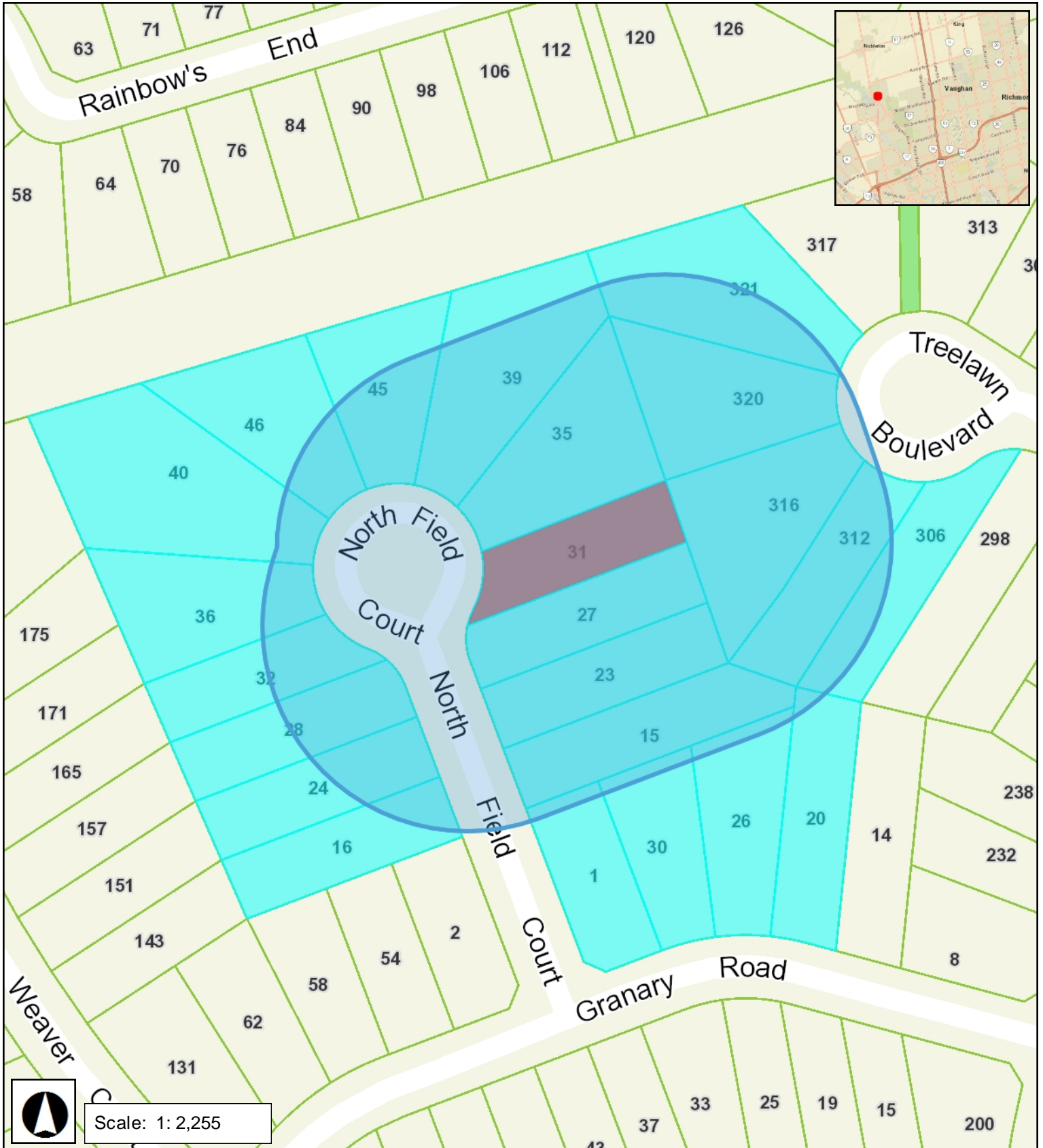
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

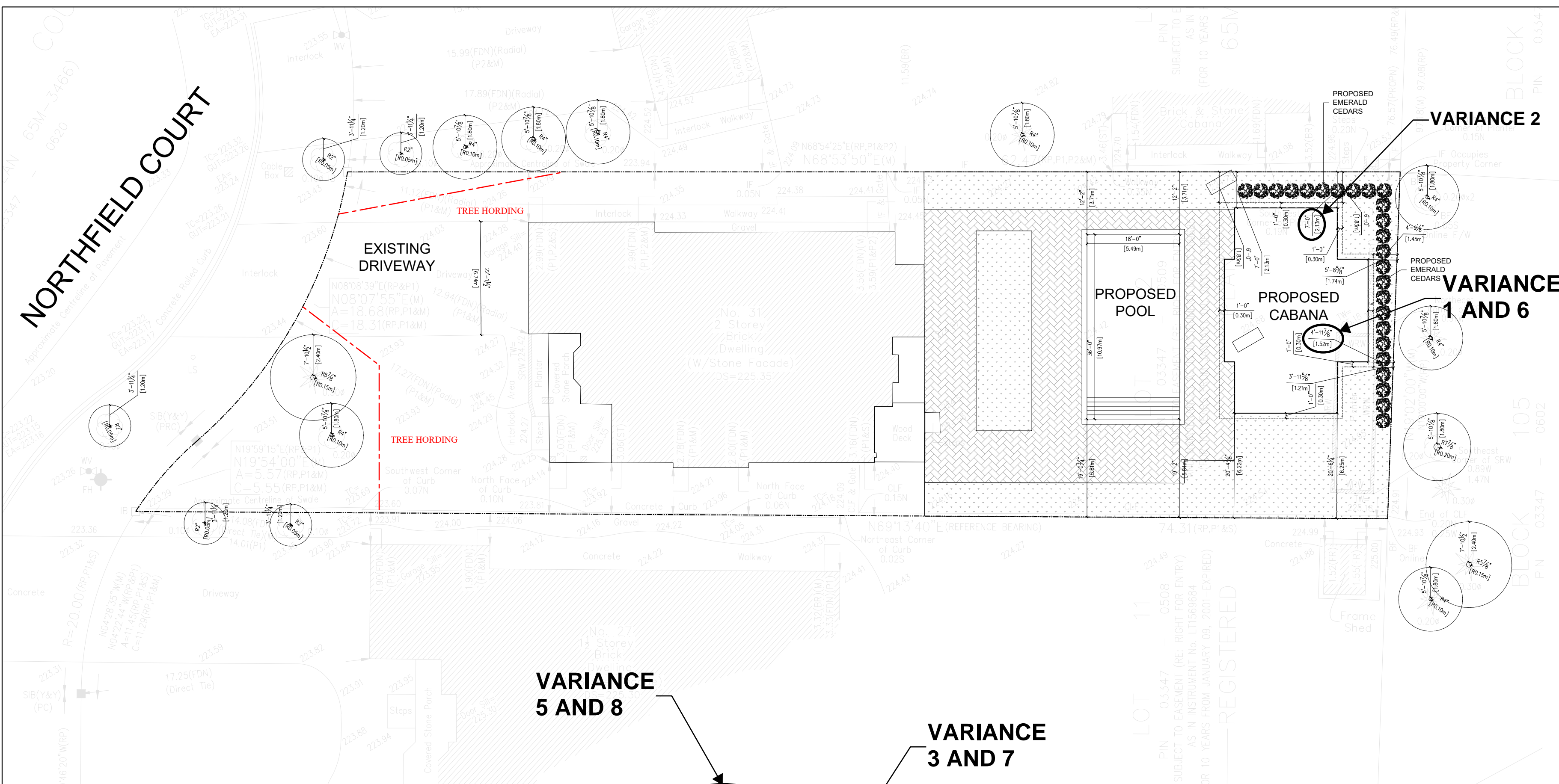
NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS

31 Northfield Court, Kleinburg



NORTHFIELD COURT



NOTES

THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF THE DESIGNER. THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND NOTIFY THE DESIGNER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL INFORMATION SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS (I.E. FLOOR LAYOUT, TRUSS LAYOUT) BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

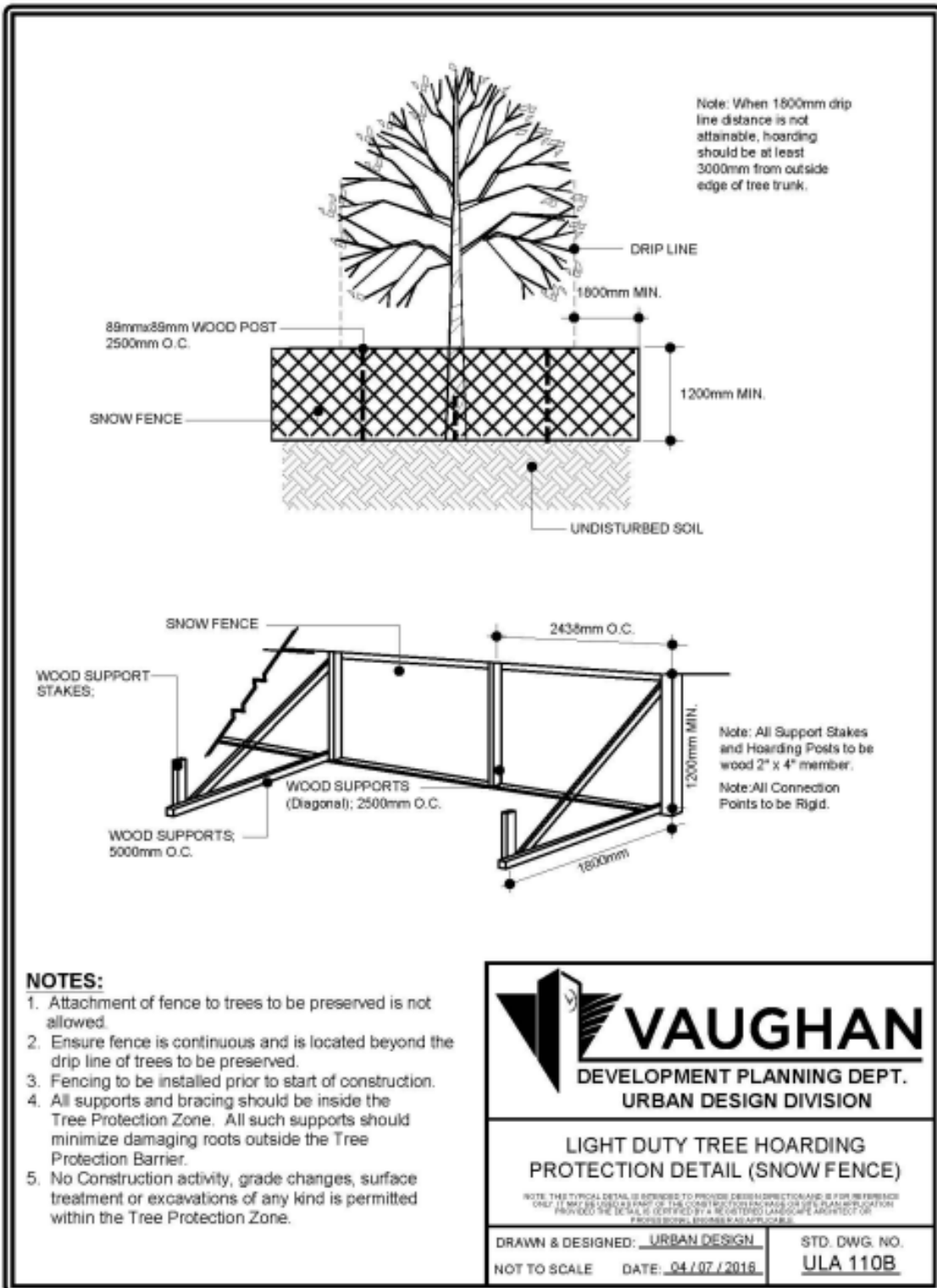
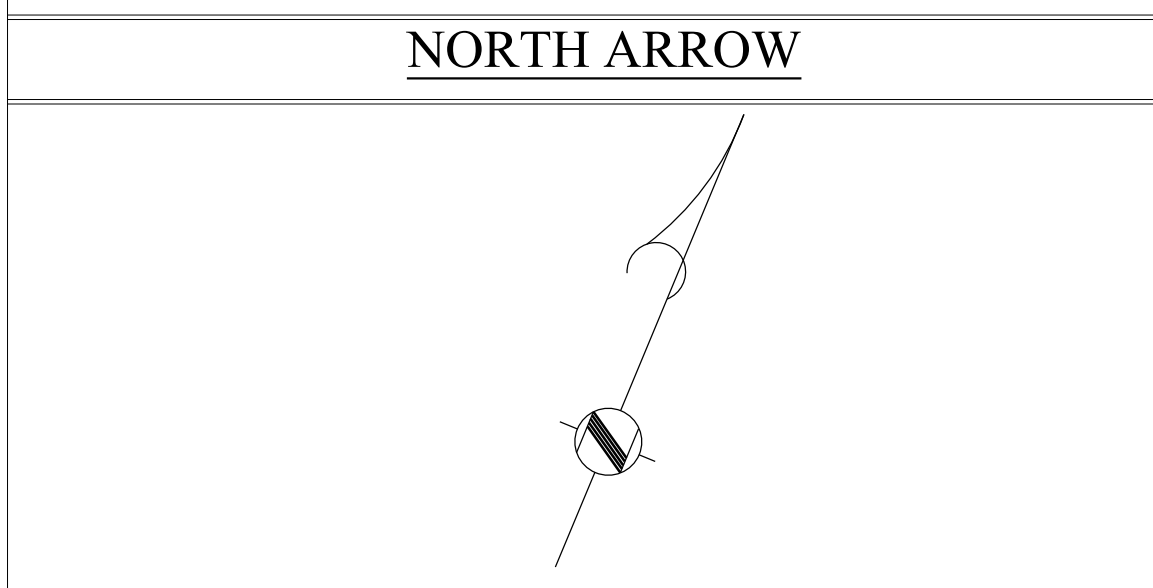
DRAWINGS SHALL NOT BE SCALED. THESE DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL THE REQUIRED BUILDING PERMITS HAVE BEEN ISSUED.

No.	DATE:	REVISION
1	FEB, 2 2024	ISSUED FOR REVIEW
2		
3		
4		

SEALS

<u>SCOPE OF WORK</u>		
PROPOSED CABANA		
<u>SITE STATISTICS</u>		
	METRIC	IMPERIAL
LOT AREA	1366.00 S.M.	14703.46 S.F.
EX. HOUSE COVERAGE*	277.77 S.M.	2989.91 S.F.
EX. PORCH AREA*	20.09 S.M.	216.20 S.F.
EX. DECK AREA*	10.34 S.M.	111.29 S.F.
NEW CABANA AREA*	89.19 S.M.	960.00 S.F.
NEW POOL AREA	60.20 S.M.	648.00 S.F.
COVERAGE*	397.37 S.M.	4277.40 S.F.
<u>ZONING INFORMATION</u>		
	ZONING	PROPOSED
ZONE(CABANA)	R1B	
LOT AREA	600.00 S.M.	EXISTING
FRONTAGE	18.00M	EXISTING
FRONT YARD	9.00M	10M+ PROP.
SIDE YARD	1.50M	2.13M PROP.
SIDE YARD	1.50M	6.22M PROP.
REAR YARD	9.00M	1.50M PROP.
COVERAGE	40.00%	29.09% PROP.
MAX HEIGHT	3.00M	3.51M

<u>REAR YARD LANDSCAPE (52.94%)</u>		
REAR YARD AREA	571.83 S.M.	6155.09 S.F.
NEW CABANA AREA	89.19 S.M.	960.00 S.F.
NEW LANDSCAPE STONE	180.76 S.M.	1945.73 S.F.
NEW POOL AREA	60.20 S.M.	648.00 S.F.
NEW POOL COPING	10.41 S.M.	112.00 S.F.
GRASS AREA	231.27 S.M.	2489.36 S.F.
REAR YARD AREA OVER 135 S.M.		
571.83 - 135 = 436.83 S.M.(REMAINING REAR YARD AREA)		
60% REMAINING REAR YARD AREA = SOFTSCAPE AREA		
436.83 X 60% = 262.10 S.M. MINIMUM GRASS AREA		



SCHILLERCO
 340 CHURCH STREET
 OAKVILLE, ON L6J 1P1
 PHONE: 905-822-1666
 EMAIL: TRAVIS@SCHILLERCO.CA

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31 NORTHFIELD COURT,
 VAUGHAN, ON.

PAGE

PROPOSED SITE PLAN

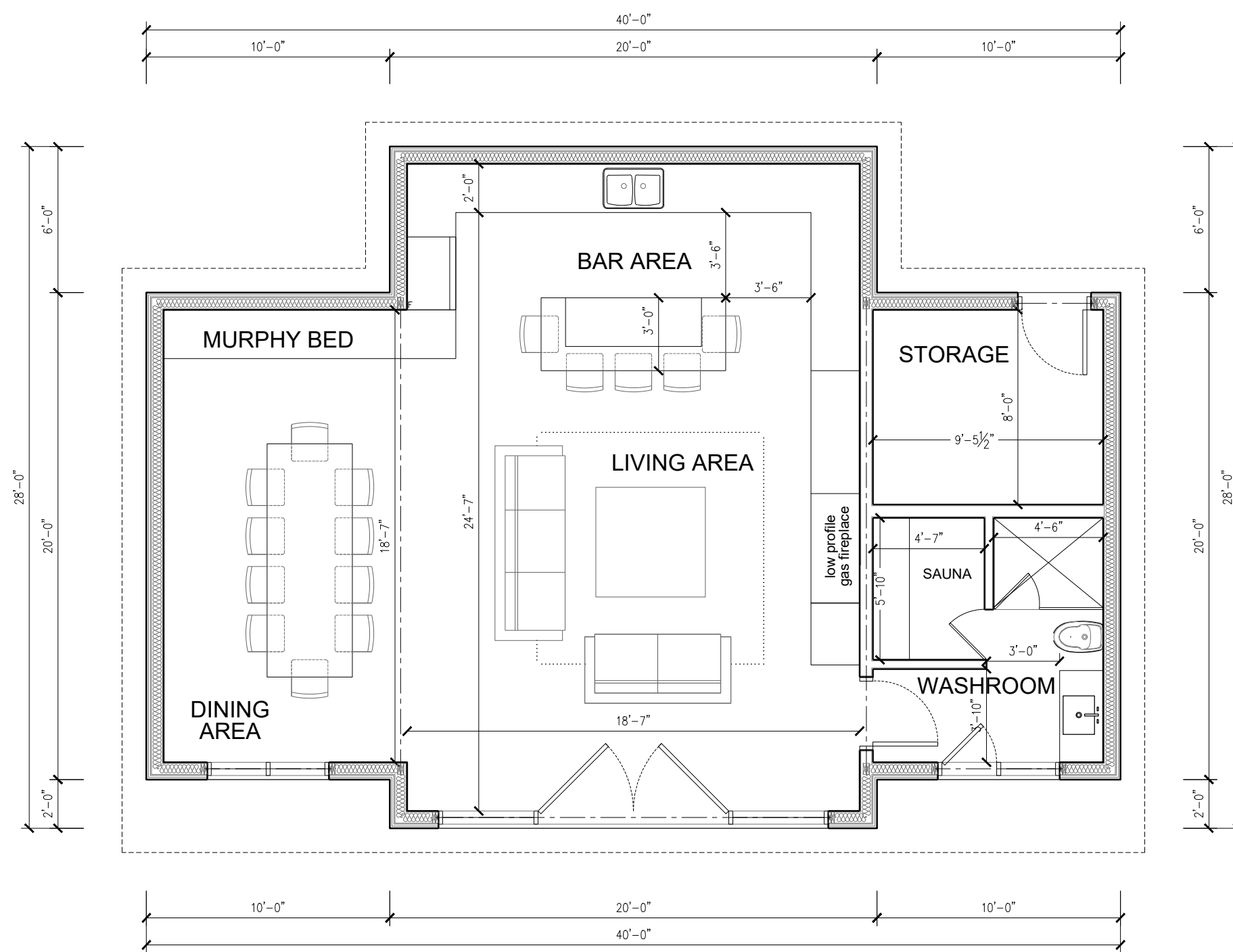
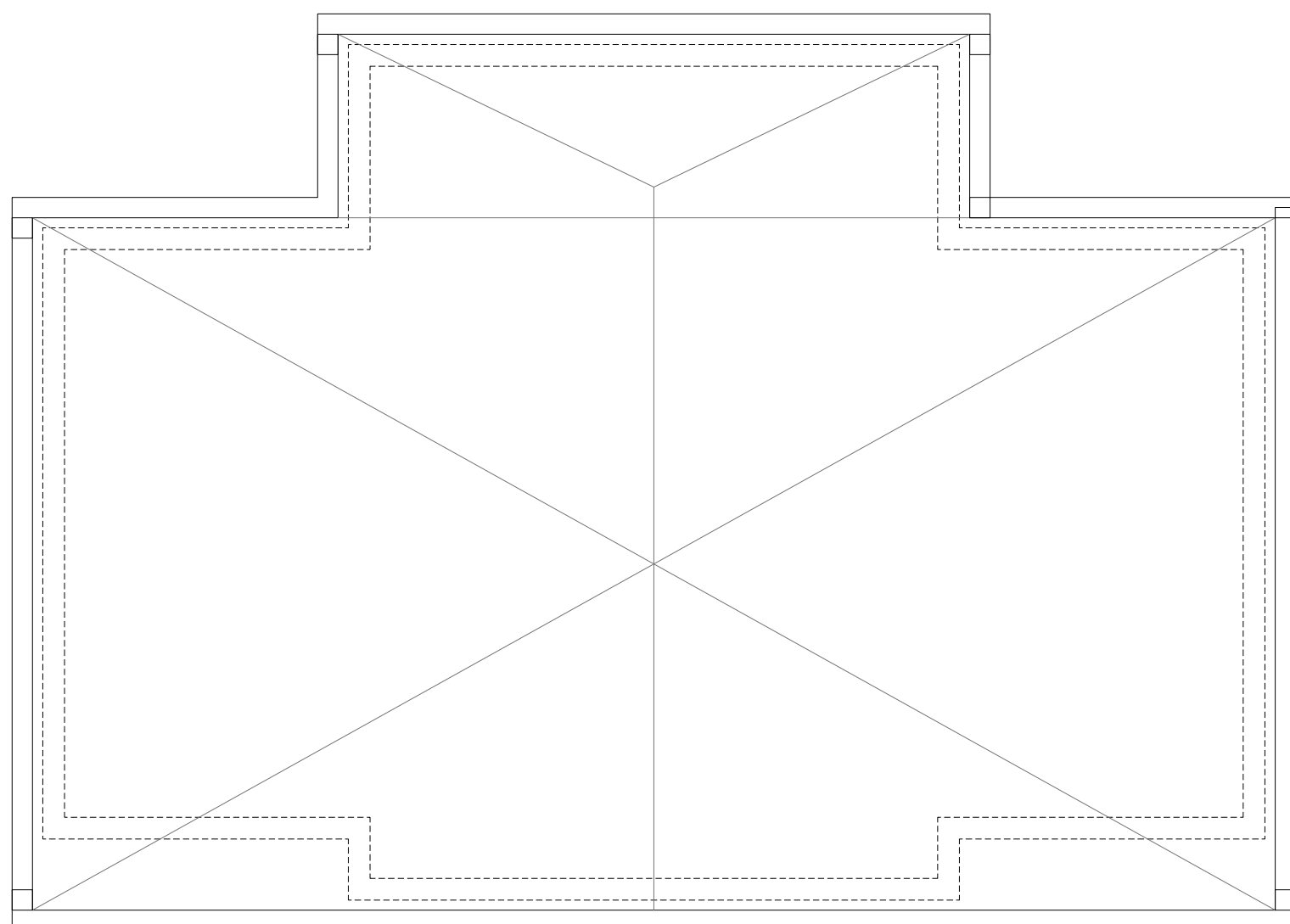
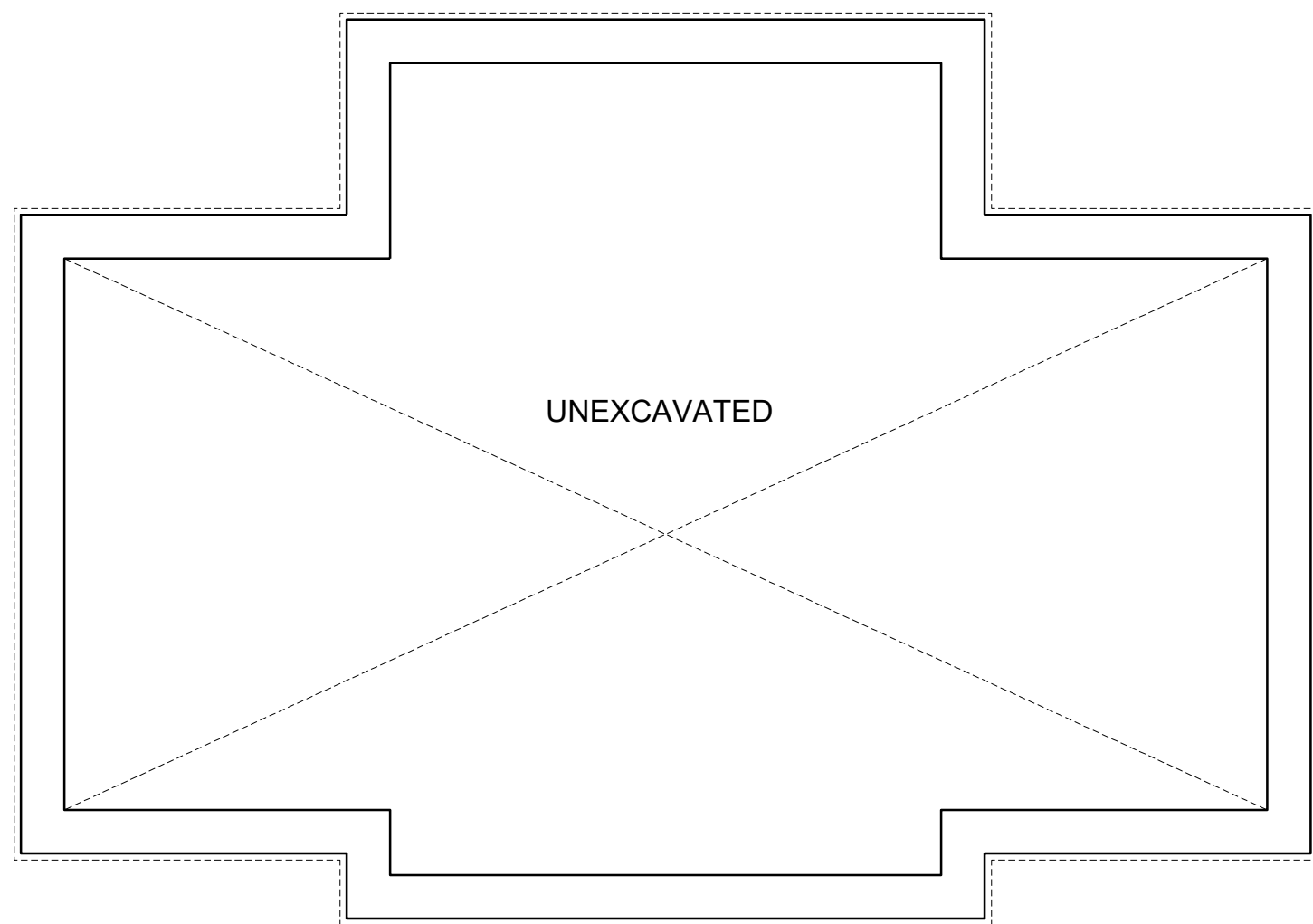
APPROVED BY:	TS	A1.0
DATE:	FEB 2024	
SCALE:	1/16" = 1'-0"	
PROJECT No.	2024SE105	

VAUGHAN
 DEVELOPMENT PLANNING DEPT.
 URBAN DESIGN DIVISION

LIGHT DUTY TREE HOARDING
 PROTECTION DETAIL (SNOW FENCE)

DRAWN & DESIGNED: URBAN DESIGN LTD. STD. DWG. NO. ULA 110B
 NOT TO SCALE DATE: 04/07/2018

- NOTES:**
- Attachment of fence to trees to be preserved is not allowed.
 - Ensure fence is continuous and is located beyond the drip line of trees to be preserved.
 - Fencing to be installed prior to start of construction.
 - All supports and bracing should be inside the Tree Protection Zone. All such supports should minimize damaging roots outside the Tree Protection Barrier.
 - No Construction activity, grade changes, surface treatment or excavations of any kind is permitted within the Tree Protection Zone.



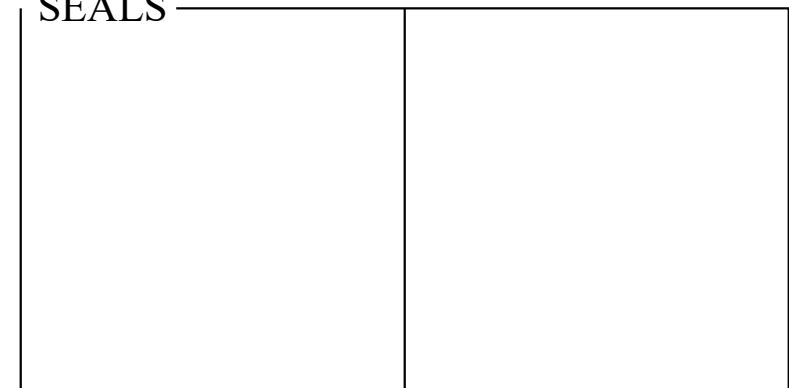
NOTES

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DRAWINGS SHALL NOT BE SCALED. THESE DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL THE REQUIRED BUILDING PERMITS HAVE BEEN ISSUED.

No.	DATE:	REVISION
1	FEB, 2024	ISSUED FOR REVIEW
2		
3		
4		

SEALS



SCHILLERCO
 340 CHURCH STREET
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 PHONE: 905-822-1666
 EMAIL: TRAVIS@SCHILLERCO.CA

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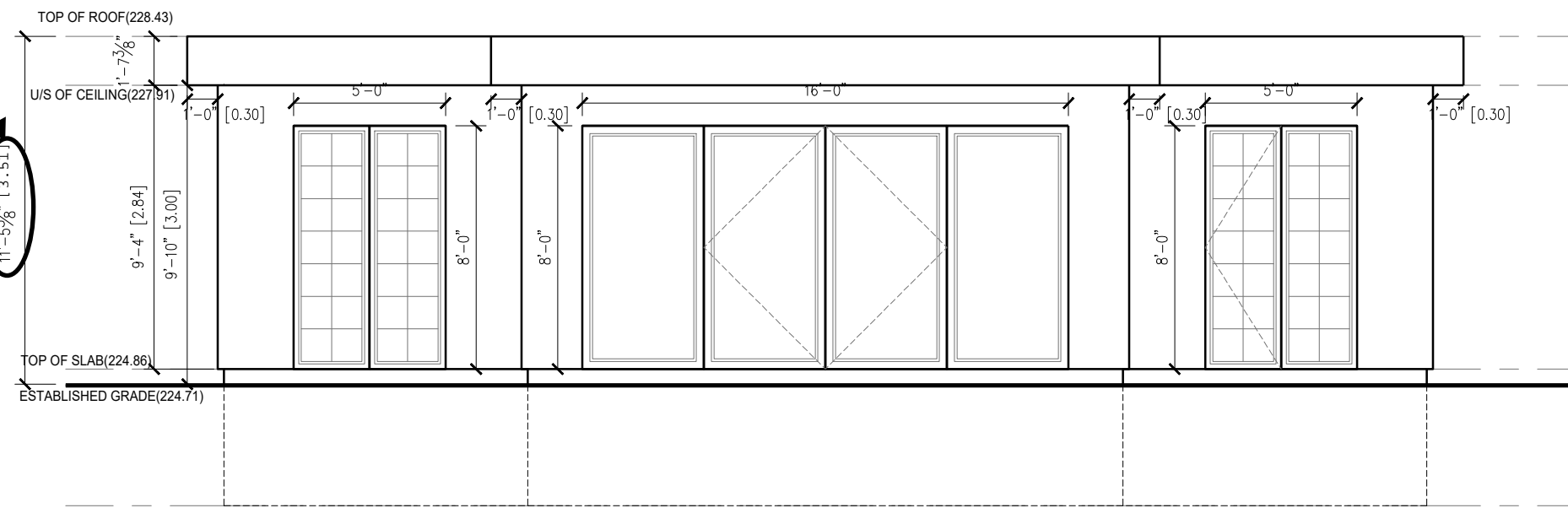
31 NORTHFIELD COURT,
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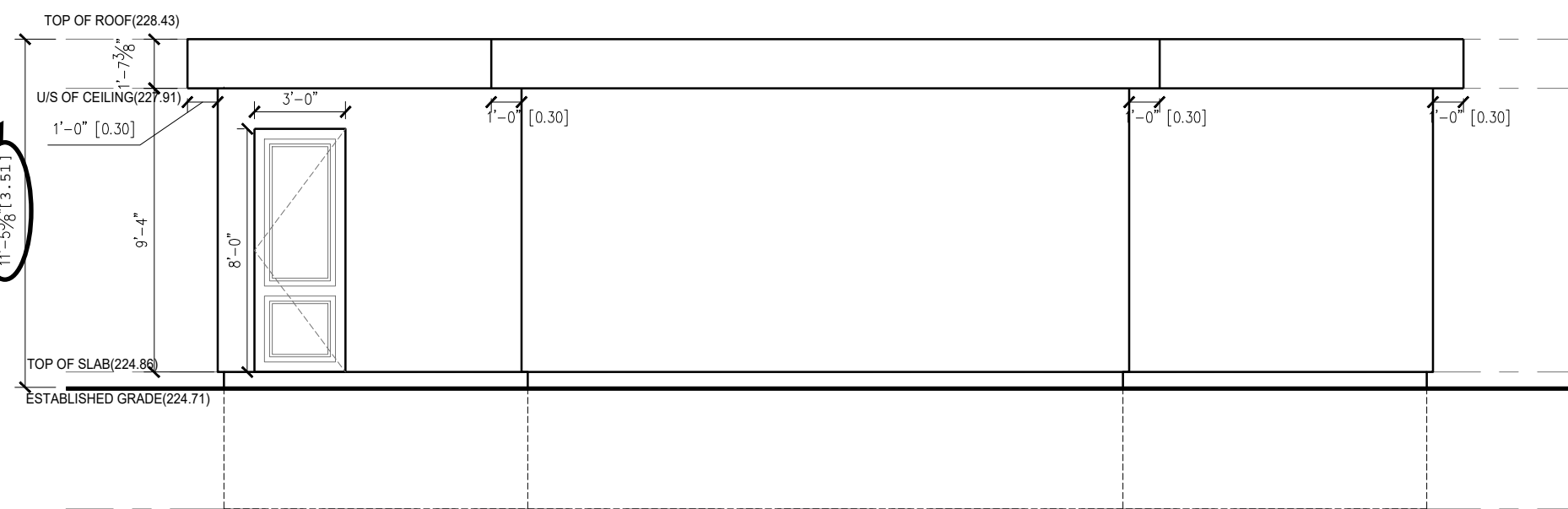
PROPOSED FLOOR PLANS

APPROVED BY:	TS	A1.1
DATE:	FEB 2024	
SCALE:	1/4" = 1'-0"	
PROJECT No.	2024SE105	

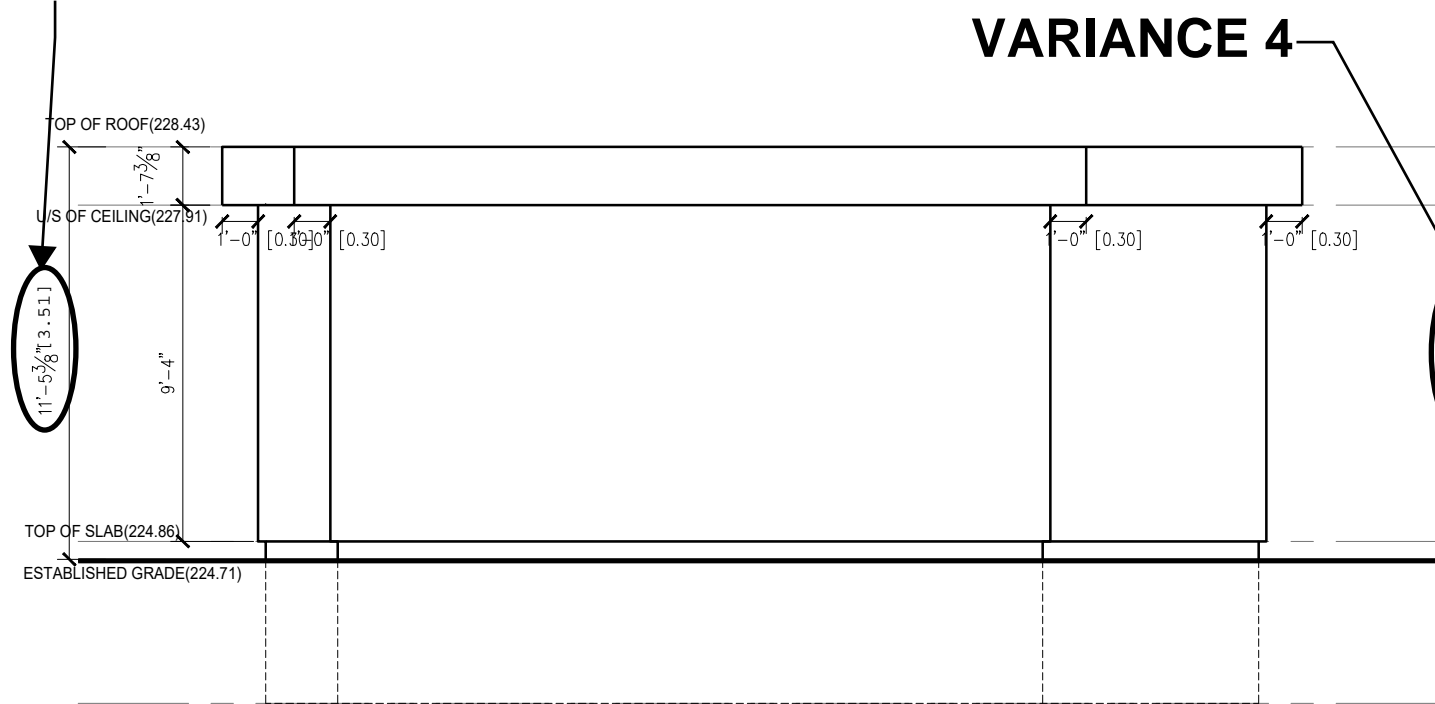
VARIANCE 4



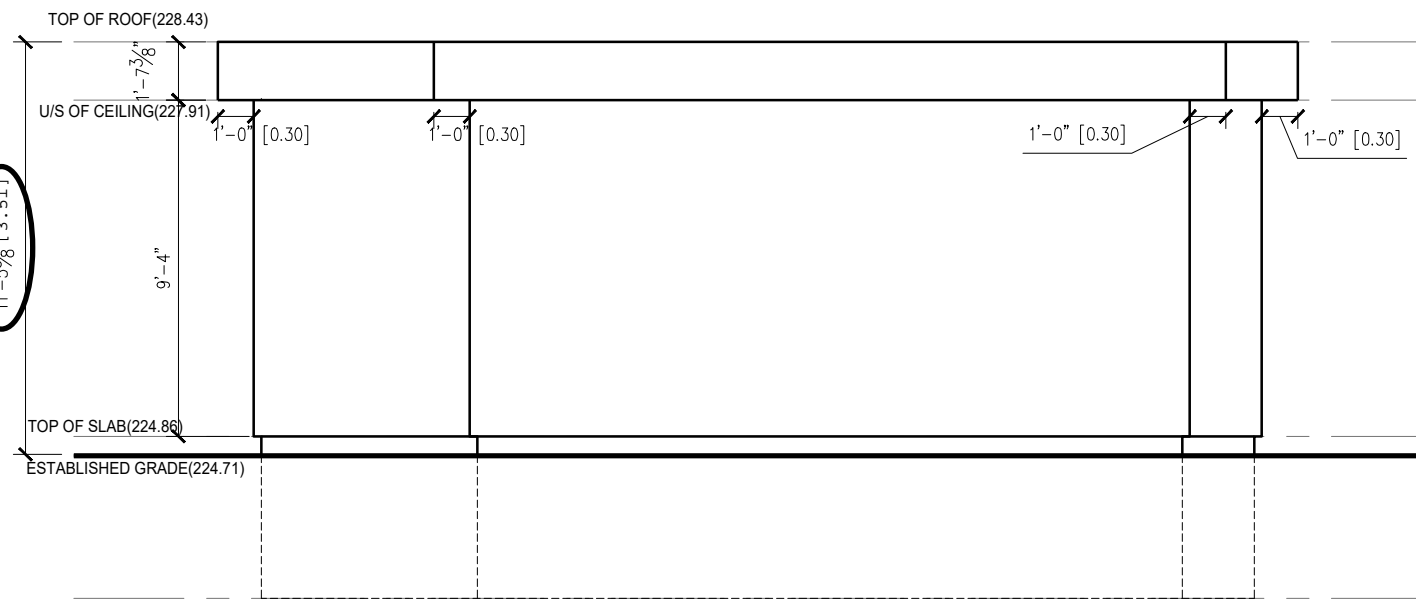
VARIANCE 4



VARIANCE 4



VARIANCE 4



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SEALS

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 EMAIL: TRAVIS@SCHILLERCO.CA

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PROPOSED ELEVATIONS

APPROVED BY:	TS	A2.1
DATE:	FEB 2024	
SCALE:	1/4" = 1'-0"	
PROJECT No.	2024SE105	

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: July 11th 2024

Attention: **Christine Vigneault**

RE:

File No.: **A102-24**

Related Files:

Applicant Schillerco Ltd.

Location 31 Northfield Court



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

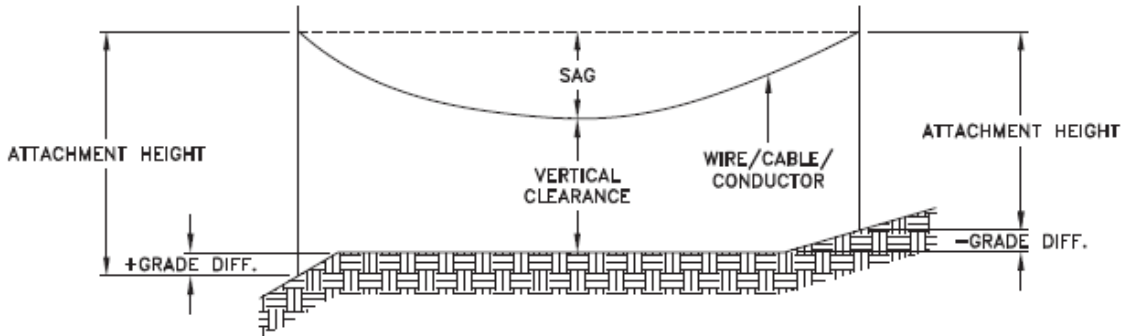
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

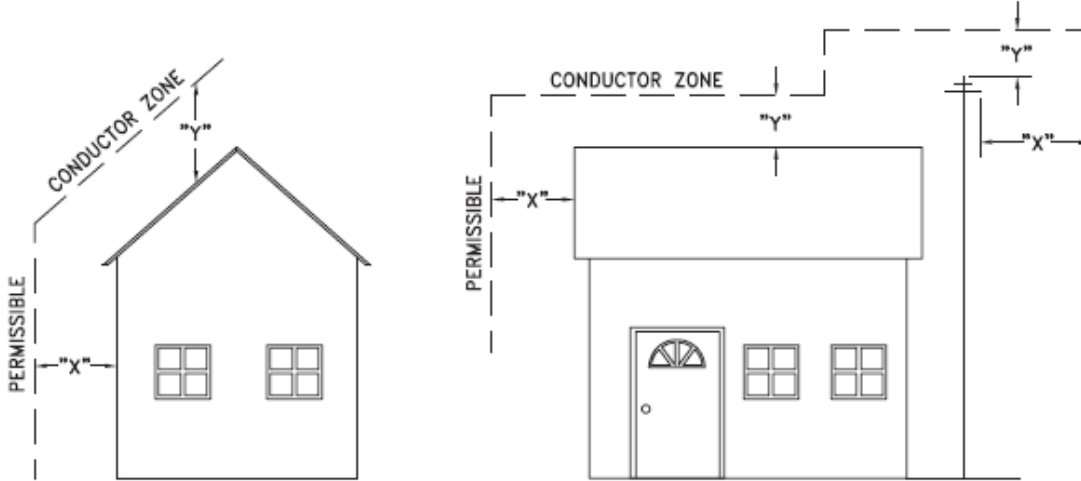
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Bernd Paessler, Building Standards Department
Date: August 29, 2024
Applicant: Schillerco Ltd.
Location: 31 Northfield Court
PLAN 65M3466 Lot 12
File No.(s): A102/24

Zoning Classification:

The subject lands are zoned R1B(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.336 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A residential accessory structure with a height greater than 2.8m shall not be located closer than 2.4m to any lot line. Section 4.1.2 b	To permit a residential accessory structure with a height greater than 2.8 m to be setback a minimum of 1.52m from the rear lot line.
2	A residential accessory structure with a height greater than 2.8m shall not be located closer than 2.4m to any lot line. Section 4.1.2 b	To permit a residential accessory structure with a height greater than 2.8 m to be setback a minimum of 2.13m from the north interior side lot line.
3	The maximum permitted lot coverage for all accessory building and residential accessory structures shall be 67 square metres. Section 4.1.3 1	To permit a maximum lot coverage of 89.19 square metres for the residential accessory structure.
4	The maximum permitted height for a residential accessory structure is 3.0m. Section 4.1.4 1	To permit a maximum height of 3.51m for the residential accessory structure.
5	In an R1B zone any portion of a rear yard in excess of 135 square metres shall be comprised of a minimum 60% soft landscape. Section 4.19.1 1	To permit a portion of the rear yard over 135 square metres to be comprised of a minimum of 53% soft landscape.

The subject lands are zoned R1 –Residential Zone and subject to the provisions of Exception 9(563) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
6	The minimum required rear yard for an accessory structure is 9.0m Exception 9(563) T52	To permit a minimum rear yard of 1.52m for the accessory structure.
7	The percentage of the lot area covered by all accessory buildings and structures shall not exceed 67 square metres. Section 4.1.1. a	To permit the percentage of the lot area covered by all accessory buildings and structures to be a maximum of 89.19 square metres.
8	Where an area of a rear yard of a lot is greater than 135 square metres a minimum of 60% of that portion of the rear yard in excess of 135 square metres shall be composed of soft landscaping. Section 4.1.2 b	To permit 53% soft landscaping for the portion of the rear yard in excess of 135 square metres

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m²

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: September 20, 2024
Name of Owner: Angelino Figliomeni
Location: 31 Northfield Court
File No.(s): A102/24

Proposed Variances (By-law 001-2021):

1. To permit a residential accessory structure with a height greater than 2.8 m to be setback a minimum of **1.52 m** from the rear lot line.
2. To permit a residential accessory structure with a height greater than 2.8 m to be setback a minimum of **2.13 m** from the north interior side lot line.
3. To permit a maximum lot coverage of **89.19 m²** for the residential accessory structure.
4. To permit a maximum height of **3.51 m** for the residential accessory structure.
5. To permit a portion of the rear yard over 135 m² to be comprised of a minimum of **53%** soft landscape.

Proposed Variances (By-law 1-88):

6. To permit a minimum rear yard of **1.52 m** for the accessory structure.
7. To permit the percentage of the lot area covered by all accessory buildings and structures to be a maximum of **89.19 m²**.
8. To permit **53%** soft landscaping for the portion of the rear yard in excess of 135 m².

By-Law Requirements (By-law 001-2021):

1. A residential accessory structure with a height greater than 2.8 m shall not be located closer than **2.4 m** to any lot line.
2. A residential accessory structure with a height greater than 2.8 m shall not be located closer than **2.4 m** to any lot line.
3. The maximum permitted lot coverage for all accessory building and residential accessory structures shall be **67 m²**.
4. The maximum permitted height for a residential accessory structure is **3.0 m**.
5. In an R1B zone any portion of a rear yard in excess of 135 m² shall be comprised of a minimum **60%** soft landscape.

By-Law Requirements (By-law 1-88):

6. The minimum required rear yard for an accessory structure is **9.0 m**
7. The percentage of the lot area covered by all accessory buildings and structures shall not exceed **67 m²**.
8. Where an area of a rear yard of a lot is greater than 135 m², a minimum of **60%** of that portion of the rear yard in excess of 135 m² shall be composed of soft landscaping.

Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owner is seeking relief to permit a residential accessory structure (cabana) with a lot coverage of 89.19 m² in the rear yard and reduced rear yard soft landscaping with the above-noted variances.

The Development Planning Department has no objections to Variances 1, 2, and 6 for reduced minimum setbacks from the proposed cabana to the rear and north interior side lot lines. The Owner has worked with Development Planning and Urban Design staff to increase the rear lot line setback (Variance 1 & 6) and the north interior lot line setback (Variance 2) to 1.52 m and 2.13 m respectively. The Owner also proposes to plant a row of emerald cedar trees between the cabana and the rear and north interior lot lines to provide vegetative screening and to reduce the visual impact of the cabana on the neighbouring properties to the north (35 North Field Court) and the east (316 Treelawn Boulevard). Urban Design staff are of the opinion that the proposed setbacks of 1.52 m

and 2.13 m respectively provide adequate room for access and maintenance even after the proposed vegetation matures. The location of the proposed cabana in relation to the lot lines is not anticipated to have adverse use (privacy) or massing impacts on neighbouring properties, and maintains the intent of the setback provisions in the Zoning By-laws.

The Development Planning Department has no objections to Variances 3 and 7 permitting a fully enclosed cabana with a lot coverage of 89.19 m². The property has a total lot area of 1,366 m², of which the rear yard makes up a total of 607.75 m². The proposed cabana takes up 14.68% of the rear yard area and 6.53% of the total lot area. The total lot coverage is 29.09%, which maintains a compliant status. The overall size of the lot and rear yard is sufficient to accommodate the lot coverage of the proposed cabana. Development Engineering staff advises that the lot coverage of the proposed cabana is not anticipated to adversely impact stormwater management and drainage in the rear yard. Furthermore, the dwelling on the lot, including attached porch and deck areas, combine for a lot coverage of 308.20 m². The proposed cabana would remain accessory to the principal use (dwelling) in terms of scale, and is not considered an over-development of the rear yard.

The Development Planning Department has no objections to Variance 4 permitting a 3.51 m maximum height for the proposed cabana, which will have a flat roof. Similar reliefs from the height provision have been granted within the area. The proposed row of emerald cedar trees between the cabana and the rear and north interior lot lines provides a vegetative buffer to reduce the visual impact of the cabana on the neighbouring properties to the north (35 North Field Court) and the east (316 Treelawn Boulevard). Additionally, the height of the proposed cabana is appropriate given the spatial separation it maintains from abutting neighbouring properties.

The Development Planning Department has no objection to Variances 4 and 8 to permit 53% soft landscaping in the rear yard over the 135 m² threshold. The proposed 7% reduction in rear yard soft landscaping represents approximately 33.1 m² of required soft landscaping. The rear yard is 607.75 m² in area and has an approximate depth of 27.5 m and an approximate width of 20.5 m. Given its size, the proposed rear yard maintains an appropriate distribution of soft and hard landscaping to facilitate the establishment of vegetation and provides sufficient space for stormwater infiltration. An adequate landscape strip is proposed to be provided along the north interior lot line and rear lot line to establish a hedge of emerald cedar trees. Urban Design staff and Development Engineering staff have both reviewed the proposed rear yard and have no concerns regarding the soft landscaping distribution and layout in the rear yard.

Accordingly, the Development Planning Department supports the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Harry Zhao, Planner 1

David Harding, Senior Planner

From: [Cameron McDonald](#)
To: [Committee of Adjustment](#)
Subject: [External] RE: A102/24 (31 Northfield Court) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Monday, July 15, 2024 9:44:28 AM
Attachments: [image003.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good morning,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from TRCA.

Based on the above, we have no comments/requirements.

Regards,

Cameron McDonald

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:(437)880-1925)

E: cameron.mcdonald@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)

From: [Development Services](#)
To: [Lenore Providence](#)
Cc: [Committee of Adjustment](#)
Subject: [External] RE: A102/24 (31 Northfield Court) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Monday, July 29, 2024 6:38:24 PM
Attachments: [image002.png](#)
[image004.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hi Lenore,

The Regional Municipality of York has completed its review of the minor variance application – A102/24 (31 NorthfieldCourt) and has no comment.

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Planning | Economic and Development Services Branch | Corporate Services Department

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

SCHEDULE D: BACKGROUND

Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
None	None