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| ITEM:6.3 | REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A095/24 |
|-----------------|--|

Report Date: September 27, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

| Internal Departments <small>*Comments Received</small> | Conditions Required | | Nature of Comments |
|---|---|--|----------------------------------|
| Committee of Adjustment | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments |
| Building Standards (Zoning) | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments |
| Development Planning | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | Recommend Approval/No Conditions |
| Development Engineering | Yes <input checked="" type="checkbox"/> | No <input type="checkbox"/> | General Comments w/Conditions |
| Development Finance | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments |
| Forestry | Yes <input checked="" type="checkbox"/> | No <input type="checkbox"/> | General Comments w/Conditions |

| External Agencies <small>*Comments Received</small> | Conditions Required | | Nature of Comments <small>*See Schedule B for full comments</small> |
|--|------------------------------|--|--|
| Alectra | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments |
| Region of York | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments |
| TRCA | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments |

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

| Correspondence Type | Name | Address | Date Received <small>(mm/dd/yyyy)</small> | Summary |
|---------------------|------|---------|--|---------|
| None | | | | |

BACKGROUND (SCHEDULE D, IF REQUIRED)

* Background Information contains historical development approvals considered to be related to this file.
This information should not be considered comprehensive.

| Application No. (City File) | Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small> |
|-----------------------------|--|
| None | None |

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

| Hearing Date | Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small> |
|--------------|---|
| None | None |

SCHEDULES

| | |
|---------------------------------|---|
| Schedule A | Drawings & Plans Submitted with the Application |
| Schedule B | Comments from Agencies, Building Standards & Development Planning |
| Schedule C (if required) | Public & Applicant Correspondence |
| Schedule D (if required) | Background |



MINOR VARIANCE APPLICATION FILE NUMBER A095/24

| | |
|--|--|
| CITY WARD #: | 1 |
| APPLICANT: | Naira Ardenian & Mauro Taglieri |
| AGENT: | Serouj Kaloustian (HSK Design Inc.) |
| PROPERTY: | 2 Balderson Drive, Kleinburg |
| ZONING DESIGNATION: | See below. |
| VAUGHAN OFFICIAL PLAN (2010) DESIGNATION: | Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential" |
| RELATED DEVELOPMENT APPLICATIONS: | None |
| PROPOSAL: | Relief from the Zoning By-law is being requested to permit a trellis, shed (and eaves) and covered patio, including access stairs, to be located in the rear yard. |

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R2A Second Density Residential Zone and subject to the provisions of Exception 14.950 under Zoning By-law 001-2021, as amended.

| # | Zoning By-law 001-2021 | Variance requested |
|---|---|--|
| 1 | A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. [Section 4.1.2 b]. | To permit a residential accessory structure (shed) with a height greater than 2.8 m to be located a minimum of 1.27 m from the interior side lot line. |
| 2 | A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. [Section 4.1.2 b]. | To permit a residential accessory structure (shed) with a height greater than 2.8 m to be located a minimum of 0.61 m from the rear lot line. |
| 3 | A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. [Section 4.1.2 b]. | To permit a residential accessory structure (trellis) with a height greater than 2.8 m to be located a minimum of 1.13 m from the rear lot line. |
| 4 | In any Residential Zone, the maximum height of an accessory building or residential accessory structure shall be 3.0 m. [Section 4.1.4.1] | To permit a maximum height of a residential accessory structure (trellis) to be 3.84 m. |
| 5 | A minimum distance of 0.6 m shall be required from any permitted encroachment to the nearest lot line [Section 4.13.3]. | To permit a minimum distance of 0.35 m to the permitted encroachment of the shed eaves to the nearest rear lot line. |
| 6 | A maximum permitted encroachment for a porch, including access stairs from grade into a minimum required yard is 2.0 m. [Table 4-1]. | To permit a maximum encroachment of 2.74 metres for a porch, including access stairs from grade into the minimum required rear yard. |

HEARING INFORMATION

DATE OF MEETING: Thursday, October 3, 2024
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

HEARING INFORMATION

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

| | |
|--|---|
| Date Public Notice Mailed: | September 19, 2024 |
| Date Applicant Confirmed Posting of Sign: | September 15, 2024 |
| Applicant Justification for Variances: <small>*As provided in Application Form</small> | Smaller size of backyard |
| Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small> | Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> |
| COMMENTS: | |
| None | |
| Committee of Adjustment Recommended Conditions of Approval: | None |

BUILDING STANDARDS (ZONING)

| | |
|--|------|
| **See Schedule B for Building Standards (Zoning) Comments | |
| Building Standards Recommended Conditions of Approval: | None |

DEVELOPMENT PLANNING

| | |
|---|------|
| **See Schedule B for Development Planning Comments. | |
| Development Planning Recommended Conditions of Approval: | None |

DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

Due to the size of the proposed shed, covered patio and kitchenette on the subject property, which measures a total of 30.79 m², the Owner/Applicant must acquire a Lot Grading Permit from the Development Inspection and Lot Grading Division of the City's Development Engineering Department. It's important note that any in-ground structure exceeding 10 m² necessitates a Grading Permit. Once the Grading Permit is obtained, please reach out to the Development Engineering Reviewer to clear the Condition imposed on this application. The proposed work by the Owner / Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens,

DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer. The Development Engineering Department does not object to the Minor Variance application A095/24, subject to the following condition(s):

| | |
|--|---|
| Development Engineering Recommended Conditions of Approval: | The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca |
|--|---|

PARKS, FORESTRY & HORTICULTURE (PFH)

Recommend conditions for approval:

| | |
|--|---|
| PFH Recommended Conditions of Approval: | Applicant must install tree protection hoarding for the three city owned trees adjacent to Timber Creek Blvd. |
|--|---|

DEVELOPMENT FINANCE

No comment no concerns.

| | |
|--|------|
| Development Finance Recommended Conditions of Approval: | none |
|--|------|

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date.

| | |
|--|------|
| BCLPS Recommended Conditions of Approval: | None |
|--|------|

BUILDING INSPECTION (SEPTIC)

No comments received to date.

| | |
|--|------|
| Building Inspection Recommended Conditions of Approval: | None |
|--|------|

FIRE DEPARTMENT

No comments received to date.

| | |
|--|------|
| Fire Department Recommended Conditions of Approval: | None |
|--|------|

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

| # | DEPARTMENT / AGENCY | CONDITION |
|---|---|---|
| 1 | Development Engineering Rex.bondad@vaughan.ca | The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca |
| 2 | Parks, Forestry and Horticulture Operations zachary.quizzetti@vaughan.ca | Applicant must install tree protection hoarding for the three city owned trees adjacent to Timber Creek Blvd. |

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

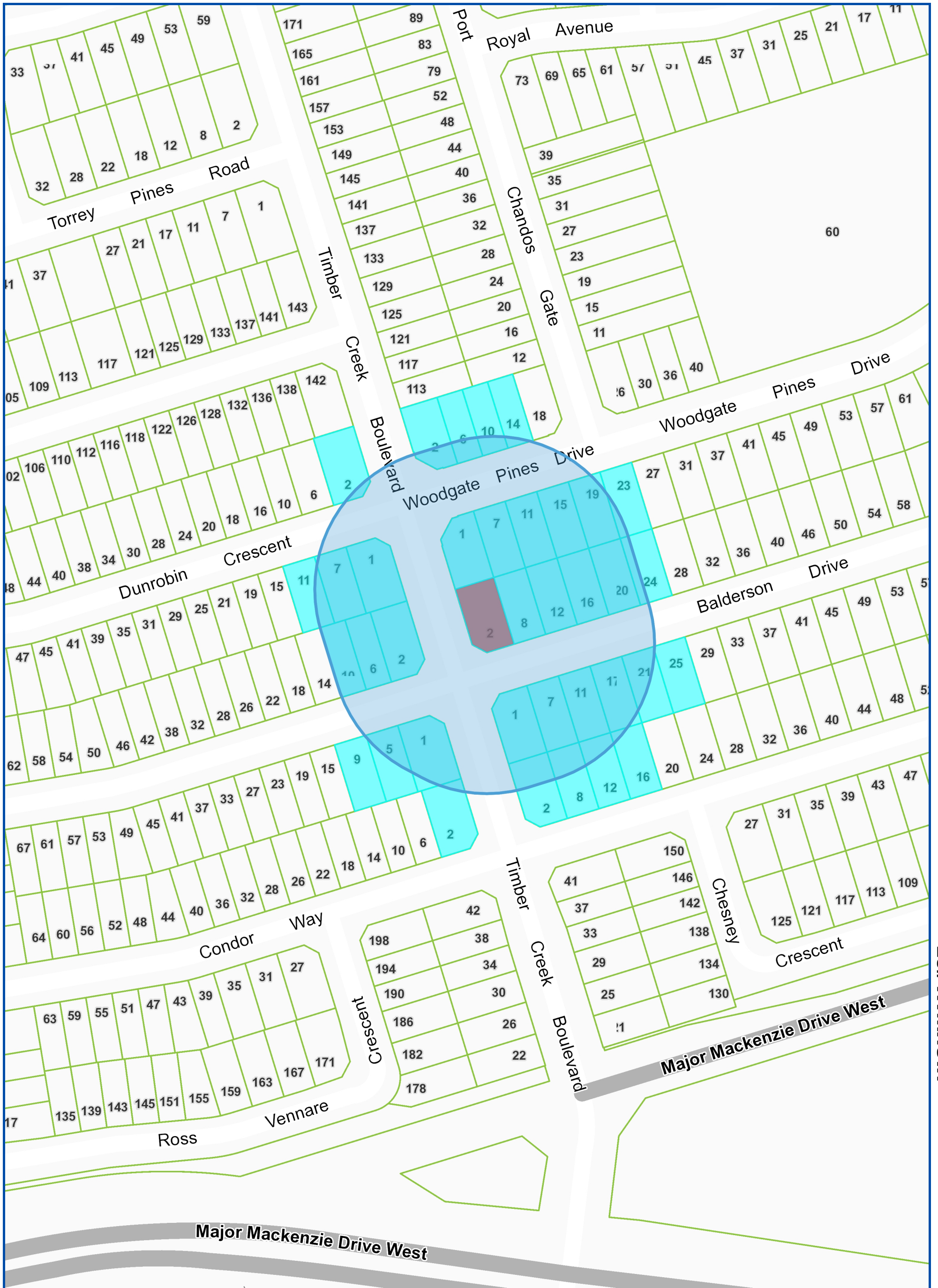
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

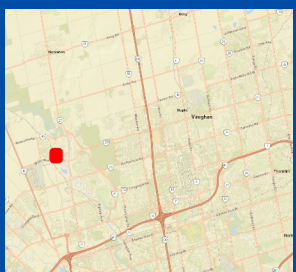
NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



HIGHWAY #27

Map Information:



Title: **2 Balderson Drive, Kleinburg**

NOTIFICATION MAP - A094/24

Disclaimer: Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: **1:2,257**
 0 0.04 km



Created By:
 Infrastructure Delivery
 Department
 June 4, 2024 9:53 AM

Projection:
 NAD 83
 UTM Zone
 17N

RECEIVED
By russog at 9:07 am, Sep 17, 2024



1800A Avenue Road, Toronto, ON M5M-3Z1
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| 11. | SEP 11, 2024 | Issued for C of A / City Application |
| 10. | SEP 6, 2024 | Issued for C of A / City Application |
| 9. | AUG 26, 2024 | Issued for C of A / City Application |
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| 7. | JUNE 14, 2024 | Issued for C of A / City Application |
| 6. | FEB 15, 2024 | Issued for Zoning Review / City Application |
| 5. | FEB 6, 2024 | Issued for Zoning Review / City Application |
| 4. | NOV 29, 2023 | Issued for Zoning Review / City Application |
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| A1.2 | REAR YARD & SHED PLAN |
| A1.3 | CANOPY, TRELIS AND SHED ROOF PLAN |
| A2.1 | CANOPY ELEVATIONS |
| A2.2 | SHED ELEVATIONS |

PROJECT:
2 Balderson Drive
Landscape & Canopy Dwg.

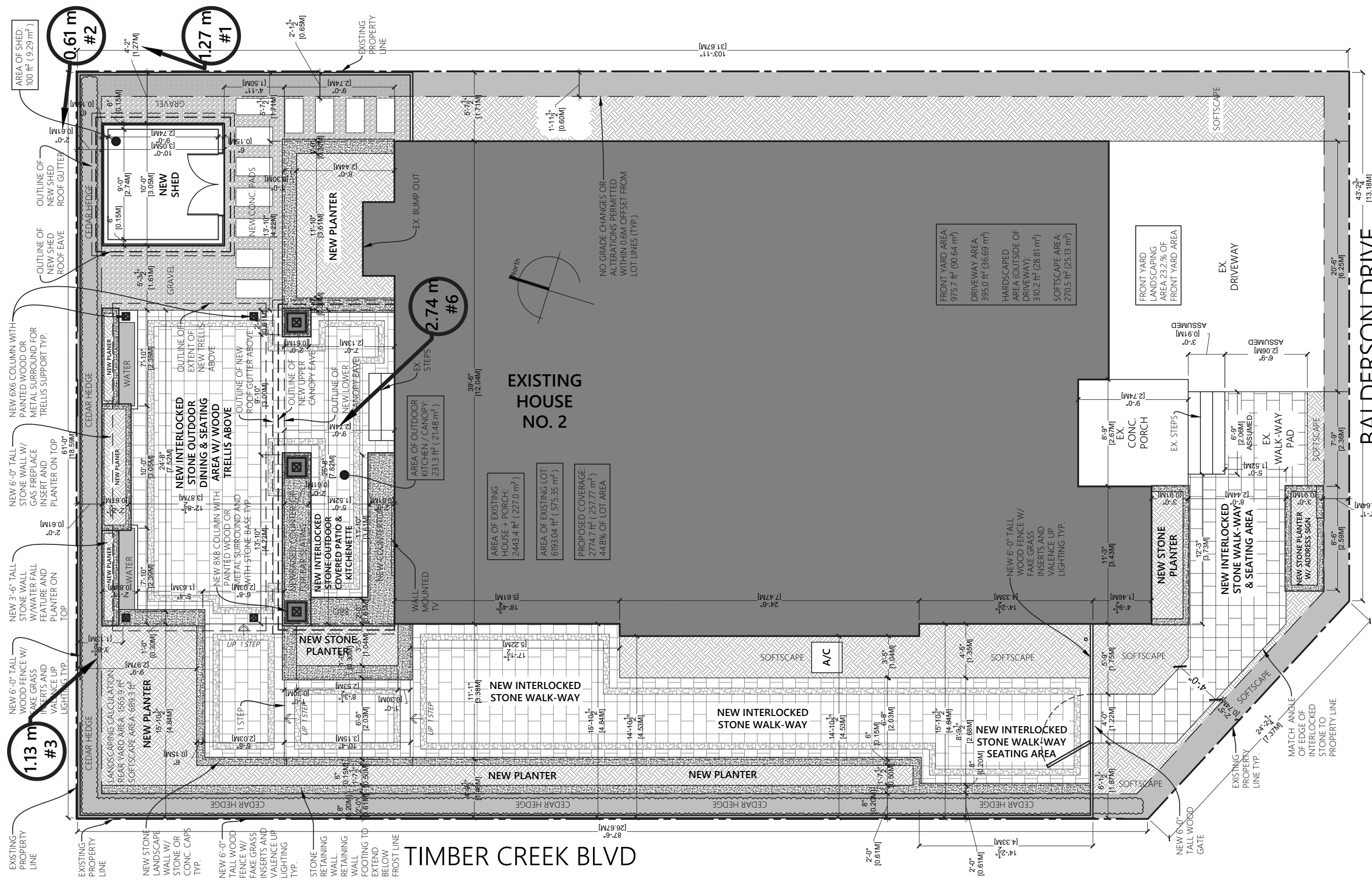
ADDRESS:
2 Balderson Dr, Kleinburg, ON L4H 3N5

PLOT DATE:
SEP 16, 2024

SCALE: 1/8" = 1' - 0"

SITE PLAN

A 1.1



FRONT YARD AREA:
975.7 ft² (90.64 m²)
DRIVEWAY AREA:
395.0 ft² (36.69 m²)
HARDSCAPED AREA (OUTSIDE OF DRIVEWAY):
310.2 ft² (28.81 m²)
SOFTSCAPE AREA:
270.5 ft² (25.13 m²)

EXISTING HOUSE NO. 2

AREA OF EXISTING LOT:
2443.4 ft² (227.0 m²)

AREA OF EXISTING LOT:
6193.04 ft² (575.35 m²)

PROPOSED COVERAGE:
2774.7 ft² (257.77 m²)
44.8% OF LOT AREA

TIMBER CREEK BLVD

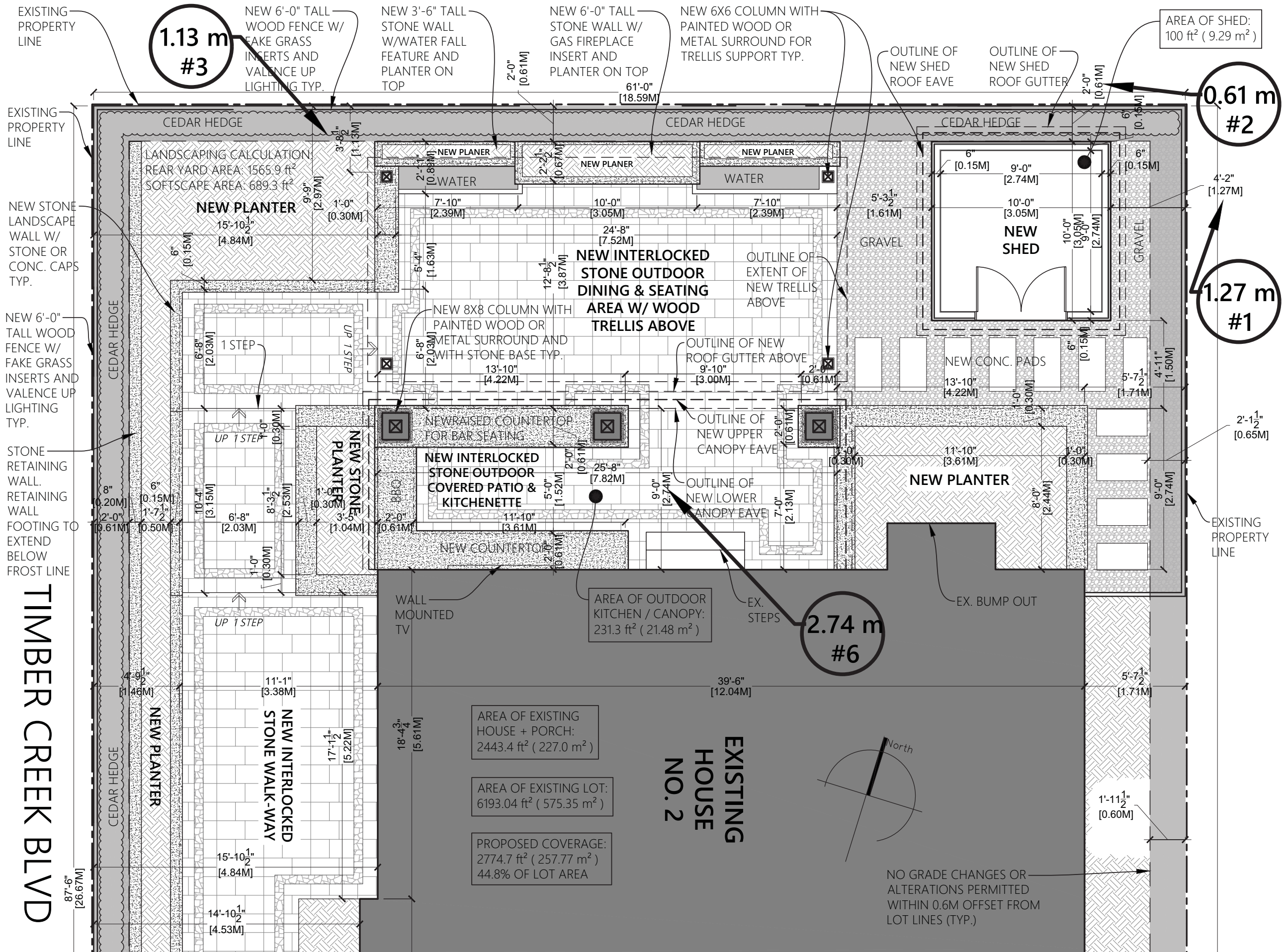
BALDERSON DRIVE

0.61 m #2

1.27 m #1

2.74 m #6

1.13 m #3



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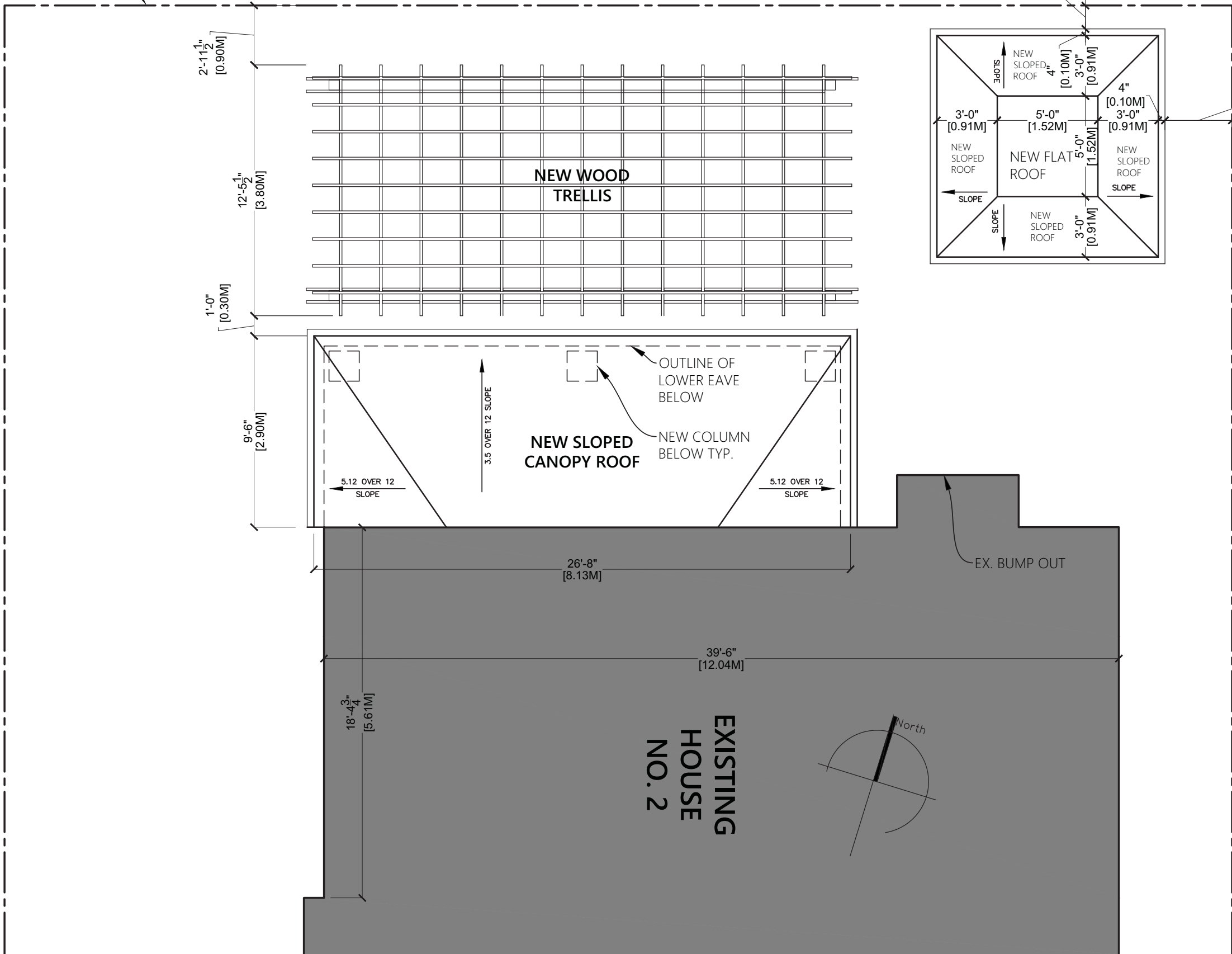
SCALE: 3/16" = 1' - 0"

REAR YARD & SHED PLAN

A 1.2

TIMBER CREEK BLVD

EXISTING PROPERTY LINE



EXISTING PROPERTY LINE



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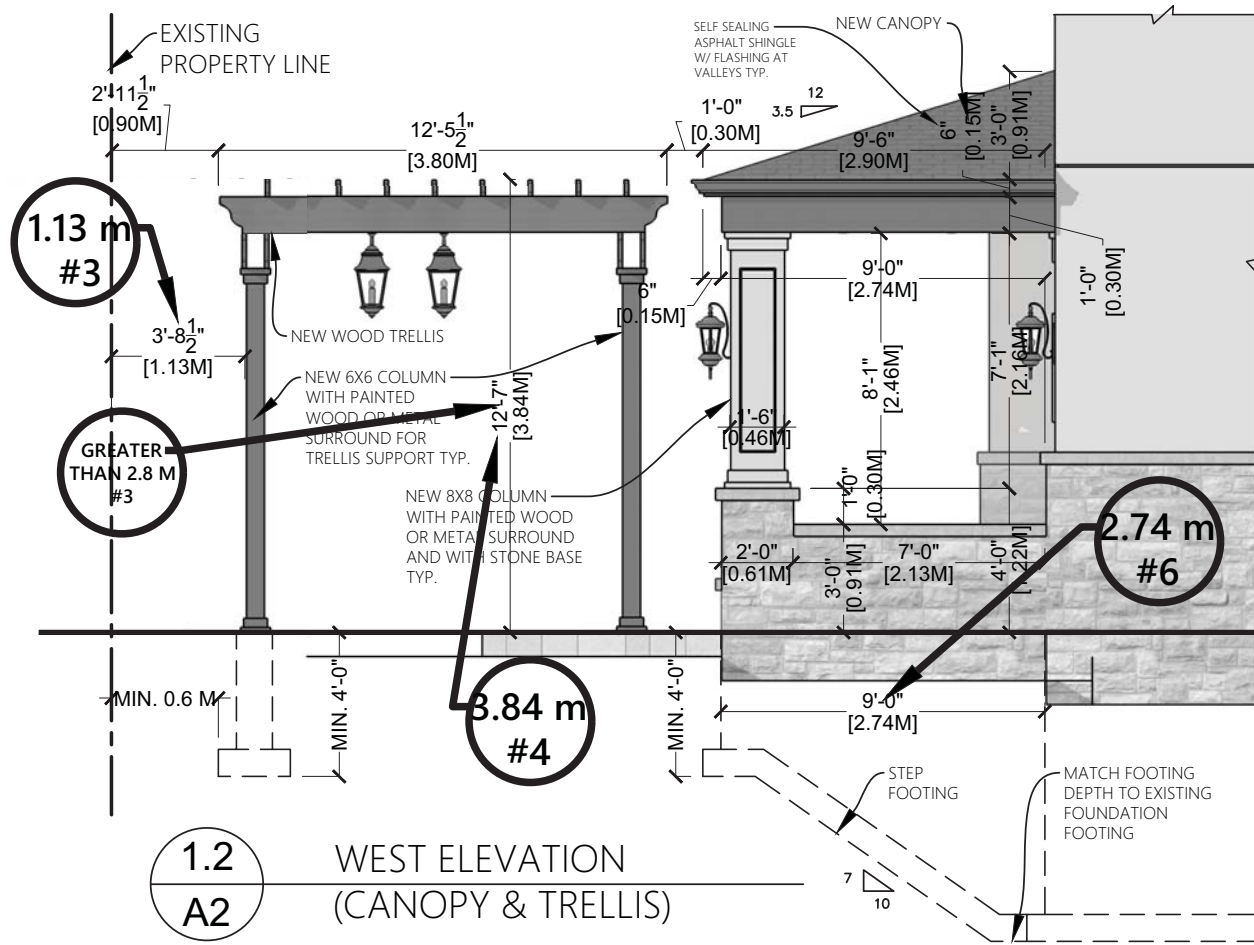
SCALE : 3/16" = 1' - 0"

CANOPY, TRELLIS & SHED ROOF PLAN

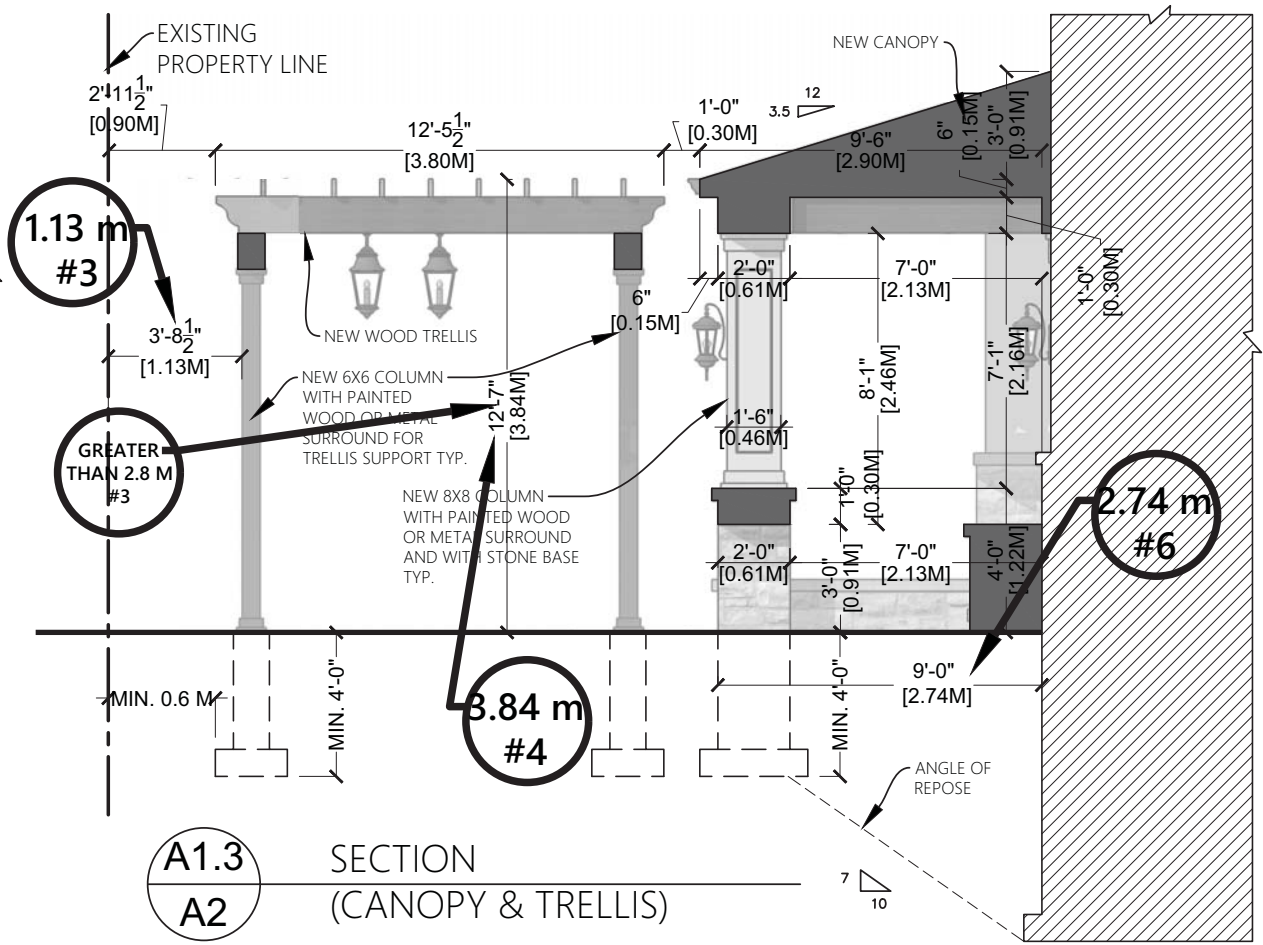
A 1.3



1.1 NORTH ELEVATION (CANOPY)
A2



1.2 WEST ELEVATION (CANOPY & TRELLIS)
A2



A1.3 SECTION (CANOPY & TRELLIS)
A2



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| 5. | FEB 6, 2024 | Issued for Zoning Review / City Application |
| 4. | NOV 29, 2023 | Issued for Zoning Review / City Application |
| 3. | NOV 12, 2023 | Issued for Zoning Review / City Application |
| 2. | SEP 15, 2023 | Issued for Owner Review / Schematic Design |
| 1. | AUG 21, 2023 | Issued for Owner Review / Schematic Design |

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| A1.1 | SITE PLAN |
| A1.2 | REAR YARD & SHED PLAN |
| A1.3 | CANOPY, TRELLIS AND SHED ROOF PLAN |
| A2.1 | CANOPY ELEVATIONS |
| A2.2 | SHED ELEVATIONS |

PROJECT:
2 Balderson Drive
Landscape & Canopy Dwg's.

ADDRESS:
2 Balderson Dr, Kleinburg, ON L4H 3N5

PLOT DATE:
SEP 16, 2024

SCALE : 3/16" = 1' - 0"

CANOPY & TRELLIS ELEV. & SECTION

A 2.1

THIS DRAWING SHALL REMAIN THE PROPERTY OF THE DESIGNER. THE COPYRIGHT OF THIS DRAWING AND WORK EXECUTED FROM THE SAME BEING RESERVED. THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE DESIGNER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC., ENGINEERING INFORMATION SHOWN ON THIS DRAWINGS. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. ALL SUBCONTRACTORS TO EXECUTE THEIR WORK ACCORDING TO SHOP DRAWINGS WHICH MUST BE APPROVED BY THE DESIGNER, AND BE KEPT ON SITE AT ALL TIMES.

THIS DRAWING IS NOT TO BE SCALED.

| | | |
|-----|---------------|---|
| 12. | SEP 16, 2024 | Issued for C of A / City Application |
| 11. | SEP 11, 2024 | Issued for C of A / City Application |
| 10. | SEP 6, 2024 | Issued for C of A / City Application |
| 9. | AUG 26, 2024 | Issued for C of A / City Application |
| 8. | AUG 13, 2024 | Issued for C of A / City Application |
| 7. | JUNE 14, 2024 | Issued for C of A / City Application |
| 6. | FEB 15, 2024 | Issued for Zoning Review / City Application |
| 5. | FEB 6, 2024 | Issued for Zoning Review / City Application |
| 4. | NOV 29, 2023 | Issued for Zoning Review / City Application |
| 3. | NOV 12, 2023 | Issued for Zoning Review / City Application |
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| NO. | DATE: | REVISION / ISSUED |

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- A1.1 SITE PLAN
- A1.2 REAR YARD & SHED PLAN
- A1.3 CANOPY, TRELLIS AND SHED ROOF PLAN
- A2.1 CANOPY ELEVATIONS
- A2.2 SHED ELEVATIONS

PROJECT:

2 Balderson Drive
Landscape & Canopy Dwg.

ADDRESS:

2 Balderson Dr, Kleinburg, ON L4H 3N5

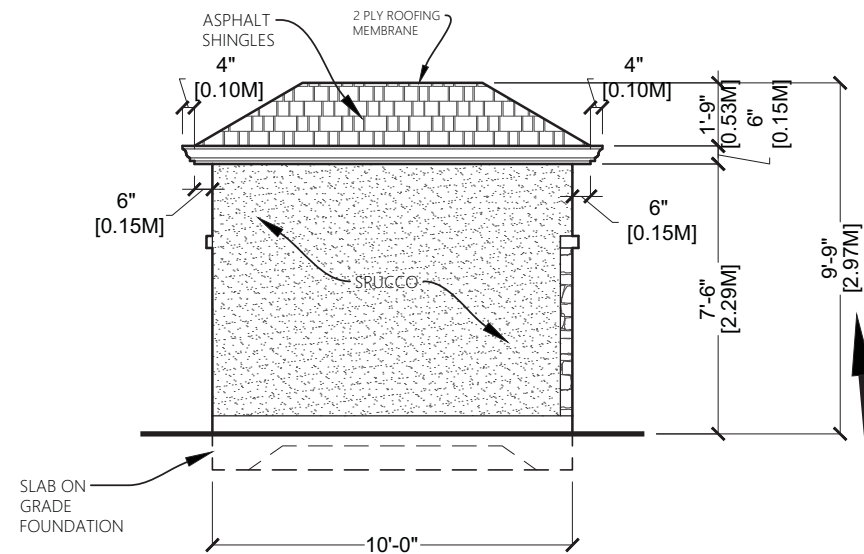
PLOT DATE:

SEP 16, 2024

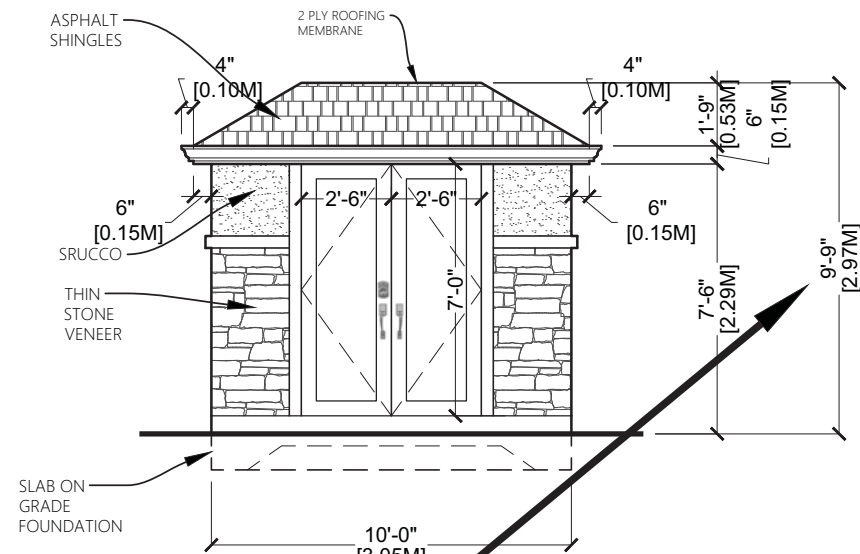
SCALE : 3/16" = 1' - 0"

SHED ELEVATIONS

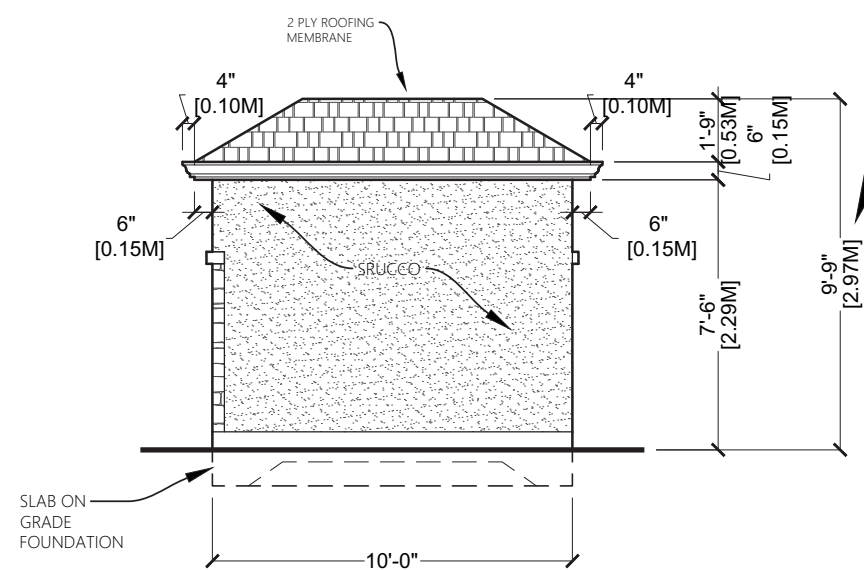
A 2.2



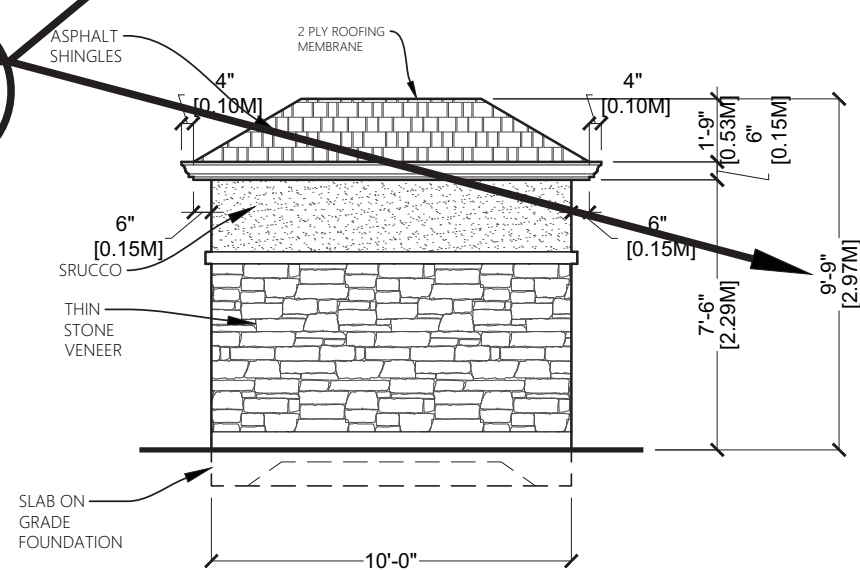
2.1
A2 NORTH ELEVATION
(SHED)



2.2
A2 SOUTH ELEVATION
(SHED)



2.3
A2 EAST ELEVATION
(SHED)



2.4
A2 WEST ELEVATION
(SHED)

**GREATER
THAN 2.8 M
#1 & #2**

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

| Department / Agency <small>*Comments Received</small> | Conditions Required | | Nature of Comments |
|---|------------------------------|--|----------------------------------|
| Building Standards (Zoning) *See Schedule B | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments |
| Development Planning | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | Recommend Approval/No Conditions |

| External Agencies <small>*Comments Received</small> | Conditions Required | | Nature of Comments <small>*See Schedule B for full comments</small> |
|---|------------------------------|--|---|
| Alectra | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments |
| Region of York | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments |
| TRCA | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments |

Date: August 20th 2024

Attention: **Christine Vigneault**

RE:

File No.: **A095-24**

Related Files:

Applicant HSK Design Inc.

Location 2 Balderson Drive



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

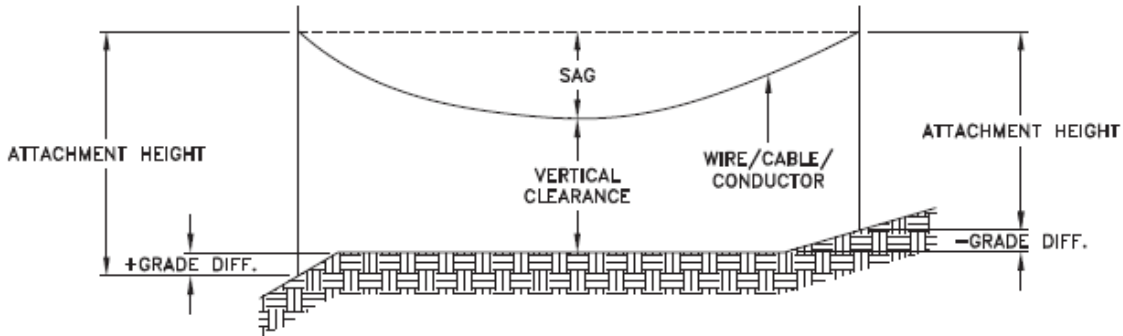
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

| LOCATION OF WIRES, CABLES OR CONDUCTORS | SYSTEM VOLTAGE | | | |
|---|------------------------------------|------------------------|--------------------------------------|-------|
| | SPAN GUYS AND COMMUNICATIONS WIRES | UP TO 600V AND NEUTRAL | 4.16/2.4kV TO 27.6/16kV (SEE NOTE 1) | 44kV |
| MINIMUM VERTICAL CLEARANCES (SEE NOTE 2) | | | | |
| OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u> | 442cm | 442cm | 480cm | 520cm |
| OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u> | 250cm | 310cm | 340cm | 370cm |
| ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u> | 730cm | 730cm | 760cm | 810cm |



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

| METRIC | IMPERIAL (APPROX) |
|--------|-------------------|
| 810cm | 27'-0" |
| 760cm | 25'-4" |
| 730cm | 24'-4" |
| 520cm | 17'-4" |
| 480cm | 16'-0" |
| 442cm | 15'-5" |
| 370cm | 12'-4" |
| 340cm | 11'-4" |
| 310cm | 10'-4" |
| 250cm | 8'-4" |

REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

| Certificate of Approval | |
|---|-------------|
| This construction Standard meets the safety requirements of Section 4 of Regulation 22/04 | |
| Joe Crozier, P.Eng. | 2012-JAN-09 |
| Name | Date |
| P.Eng. Approval By: | Joe Crozier |



| VOLTAGE | MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4) | MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5) |
|--------------------|--|--|
| 0-600V AND NEUTRAL | 100cm | 250cm |
| 4.16/2.4 TO 44kV | 300cm | 480cm |

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

| METRIC | IMPERIAL (APPROX) |
|--------|-------------------|
| 480cm | 16'-0" |
| 300cm | 10'-0" |
| 250cm | 8'-4" |
| 100cm | 3'-4" |

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Catherine Saluri, Building Standards Department
Date: September 12, 2024
Applicant: HSK Designs Inc.
Location: 2 Balderson Drive
PLAN 65M4383 Lot 110
File No.(s): A095/24

Zoning Classification:

The subject lands are zoned R2A Second Density Residential Zone and subject to the provisions of Exception 14.950 under Zoning By-law 001-2021, as amended.

| # | Zoning By-law 001-2021 | Variance requested |
|---|---|--|
| 1 | A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. [Section 4.1.2 b]. | To permit a residential accessory structure (shed) with a height greater than 2.8 m to be located a minimum of 1.27 m from the interior side lot line. |
| 2 | A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. [Section 4.1.2 b]. | To permit a residential accessory structure (shed) with a height greater than 2.8 m to be located a minimum of 0.61 m from the rear lot line. |
| 3 | A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. [Section 4.1.2 b]. | To permit a residential accessory structure (trellis) with a height greater than 2.8 m to be located a minimum of 1.13 m from the rear lot line. |
| 4 | In any Residential Zone, the maximum height of an accessory building or residential accessory structure shall be 3.0 m. [Section 4.1.4.1] | To permit a maximum height of a residential accessory structure (trellis) to be 3.84 m. |
| 5 | A minimum distance of 0.6 m shall be required from any permitted encroachment to the nearest lot line [Section 4.13.3]. | To permit a minimum distance of 0.35 m to the permitted encroachment of the shed eaves to the nearest rear lot line. |
| 6 | A maximum permitted encroachment for a porch, including access stairs from grade into a minimum required yard is 2.0 m. [Table 4-1]. | To permit a maximum encroachment of 2.74 metres for a porch, including access stairs from grade into the minimum required rear yard. |

Staff Comments:

Other Comments:

| General Comments | |
|------------------|---|
| 1 | The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit. |
| 2 | The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority). |

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

None

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: September 19, 2024
Name of Owners: Naira Ardenian and Mauro Taglieri
Location: 2 Balderson Drive
File No.(s): A095/24

Proposed Variance(s) (By-law 001-2021):

1. To permit a residential accessory structure (shed) with a height greater than **2.8 m** to be located a minimum of **1.27 m** from the interior side lot line.
2. To permit a residential accessory structure (shed) with a height greater than **2.8 m** to be located a minimum of **0.61 m** from the rear lot line.
3. To permit a residential accessory structure (trellis) with a height greater than **2.8 m** to be located a minimum of **1.13 m** from the rear lot line.
4. To permit a maximum height of a residential accessory structure (trellis) to be **3.84 m**.
5. To permit a minimum distance of **0.35 m** to the permitted encroachment of the shed eaves to the nearest rear lot line.
6. To permit a maximum encroachment of **2.74 m** for a porch, including access stairs from grade into the minimum required rear yard.

By-Law Requirement(s) (By-law 001-2021):

1. A residential accessory structure with a height greater than **2.8 m** shall not be located closer than **2.4 m** to any lot line.
2. A residential accessory structure with a height greater than **2.8 m** shall not be located closer than **2.4 m** to any lot line.
3. A residential accessory structure with a height greater than **2.8 m** shall not be located closer than **2.4 m** to any lot line.
4. In any Residential Zone, the maximum height of an accessory building or residential accessory structure shall be **3.0 m**.
5. A minimum distance of **0.6 m** shall be required from any permitted encroachment to the nearest lot line.
6. A maximum permitted encroachment for a porch, including access stairs from grade into a minimum required yard is **2.0 m**.

Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owners are requesting relief to permit a proposed covered patio/kitchenette area, a proposed trellis, and a proposed shed in the rear yard with the above-noted variances.

The Development Planning Department has no objection to Variances 1, 2 & 5 to permit the proposed shed in the northeast corner of the rear yard. Variance 1 is to permit a reduced interior side yard setback of 1.27 m and Variance 2 to permit a reduced rear yard setback of 0.61 m both measured to the walls of the shed respectively. Variance 5 is to permit a reduced rear yard setback of 0.35 m measured to the eaves of the shed. The shed is modest in mass and complies with maximum height and maximum lot coverage requirements within Zoning By-law 001-2021 for accessory structures. The proposed minimum setbacks from the interior side and rear lot lines for the shed provide sufficient space for maintenance access and are not anticipated to pose significant adverse impacts to the abutting property to the south (1 Woodgate Pines Drive) and the east (8 Balderson Drive) as the roof slopes away from the property lines. Potential adverse massing impacts anticipated from the shed wall's proximity to the interior and rear lot lines is further mitigated by the existing tall wooden privacy fence. Development Engineering Department Staff have also reviewed the proposal and are satisfied that drainage will be maintained. As such, Development Planning Staff are of the opinion that

the shed will have minor massing and visual (privacy) impacts on the properties to the north and the east.

The Development Planning Department has no objection to Variances 3 & 4 to permit the proposed trellis over the proposed dining patio area in the rear yard. Variance 3 is to permit a proposed reduced rear yard setback (1.13 m) measured to the posts of the trellis and Variance 4 is to permit a maximum height of 3.84 m for the residential trellis structure. The proposed trellis is open on all four sides and has a pergola-style roof and is located central to the rear yard and complies with all other setback requirements of the Zoning By-law. Additionally, the Owners are proposing cedar hedge plantings along the perimeter of the rear and exterior side lot lines which will provide a vegetative buffer between the rear yard and the property to the north, as well as Timber Creek Boulevard to the west. As such, the proposed trellis is not anticipated to have adverse use (privacy) or massing impacts on the neighbouring property to the north (1 Woodgate Pines Drive), the property to the east (8 Balderson Drive), or the existing streetscape of Timber Creek Boulevard, and the proposed 1.13 m minimum rear yard setback provides sufficient space for safe maintenance and access purposes.

The Development Planning Department has no objection to Variance 6 to permit a 2.74 m encroachment into the required rear yard to permit the proposed covered patio/kitchenette and the access stairs linking the dwelling's rear access to the patio/kitchenette. The 0.74 increase in maximum encroachment is negligible from a visual perspective and does not impede on the functionality of the rear yard as sufficient amenity space and landscaping is provided. As such, no adverse impacts are anticipated from the 2.74 m encroachment on the neighbouring properties.

Accordingly, the Development Planning Department support the requested variances and are of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None.

Comments Prepared by:

Nicholas Del Prete, Planner
David Harding, Senior Planner

From: [Cameron McDonald](#)
To: [Committee of Adjustment](#)
Subject: [External] RE: A095/24 (2 Balderson Drive) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Monday, August 19, 2024 3:31:58 PM
Attachments: [image002.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good afternoon,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from TRCA.

Based on the above, we have no comments/requirements.

Regards,

Cameron McDonald

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:437-880-1925)

E: cameron.mcdonald@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



From: [Development Services](#)
To: [Christine Vigneault](#)
Cc: [Committee of Adjustment](#)
Subject: [External] RE: A095/24 (2 Balderson Drive) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Monday, August 19, 2024 9:28:32 AM
Attachments: [image001.png](#)
[image003.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hi Christine,

The Regional Municipality of York has completed its review of the minor variance application – A095/24 (2 Balderson Drive) and has no comment.

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Planning | Economic and Development Services Branch | Corporate Services Department

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

| Correspondence Type | Name | Address | Date Received (mm/dd/yyyy) | Summary |
|----------------------------|-------------|----------------|---------------------------------------|----------------|
| None | | | | |

SCHEDULE D: BACKGROUND

| Application No. (City File) | Application Description (i.e. Minor Variance Application; Approved by COA / OLT) |
|-----------------------------|---|
| None | None |