



**TECHNICAL MEMORANDUM**

**DATE** 06 November 2019 **Project No.** 1668503-M01

**TO** Katrina Guy, Cultural Heritage Coordinator  
City of Vaughan

**CC** Valentina Perrelli; Sabrina Sgotto; Michael Vani

**FROM** Ragavan Nithiyantham, M.A., CAHP, Cultural Heritage Specialist **EMAIL** ragavan\_nithiyantham@golder.com

**CULTURAL HERITAGE IMPACT ASSESSMENT FOR 10489 ISLINGTON AVENUE, CITY OF VAUGHAN, ONTARIO – ADDENDUM LETTER**

Dear Katrina Guy,

This addendum letter is provided in response to the City of Vaughan’s comments on Golder’s Cultural Heritage Impact Assessment (CHIA) dated June 7, 2017 for the proposed development at 10489 Islington Avenue in the City of Vaughan, Ontario (‘the property’).

The property includes an existing two-storey Edwardian residence with front verandah (‘Building A’); rear wood frame addition and two-storey wing; a small boomtown front shop (‘Building B’); and a detached garage. 2081447 Ontario Inc. intends to demolish the rear wood-frame addition, detached garage, and all but the front façade of Building B and construct a two-storey, 566.68 square metre mixed residential and commercial building on Kellam Street, and a one storey brick and glass addition to the Islington Avenue façade. This new work will involve replacing the front verandah on the main block of the house with a two-level verandah extending to the wing, converting some window openings to entrances, and a number of minor alterations to Building A.

Golder’s 2017 CHIA concluded that the proposed development of the property will directly impact the original sections of Buildings A and B but determined that the scale and design of the proposed development is compatible with the heritage architecture and streetscape of the surrounding buildings and the Nashville-Kleinburg Heritage Conservation District (HCD). To mitigate the loss of three façades of Building B, which was found to be in poor physical condition, Golder recommended that the building be preserved by record prior to its partial demolition. In August 2019, Golder completed a draft heritage documentation report (HDR) for Building B and a maintenance plan which included a series of recommendations to ensure the property retains its current level of preservation and physical condition.

Overall, this letter provides: an overview of the design changes made to the proposed development since the 2017 CHIA; a summary of the maintenance and conservation plans for Building A and Building B; and an analysis of the proposed development against the policies of Section 9.3.4: Building Maintenance of the *Kleinburg-Nashville Heritage Conservation District Study and Plan* (HCD Plan).

## Design Overview

2081447 Ontario Inc. has made several changes to the design to further comply with the HCD Plan since Golder's 2017 CHIA. These changes include:

- The building footprint has been recessed on the first floor to accommodate parking
- The awnings have been removed from the Kellam Street elevation of Building B
- A double board fence and vegetation screening has been added to physically and visually separate the rear parking lot from 21 Kellam Street and other neighbouring properties
- The garbage room has been moved from the south end of Building A to the rear of the 3-storey addition, now accessible from the parking lot
- Parking area has been modified to include an accessible parking spot and a total of 13 parking spots
- A landscape plan has been provided which includes the plantings of five trees and dozens of shrubs, ornamental grasses and perennials
- Site circulation has been modified to include a 6 ft entrance to the parking lot from Kellam Street, and additional pedestrian entry points to the 3-storey addition
- Internal floor plans have been modified to have the staircase, lobby and meeting room at the first floor of the addition

The updated site plan, elevations and landscape plan can be found in APPENDIX A.

## Maintenance & Conservation Plan

In August 2019, Golder completed a maintenance plan for the property following guidelines provided by the City of Vaughan, Ministry of Heritage, Sport, Tourism and Culture Industries (formerly Ministry of Tourism, Culture and Sport) and Canada's Historic Places. The maintenance plan summarized the existing conditions and cultural heritage significance of the property and provided a series of recommendations to ensure the property retains its current level of preservation and physical condition.

Building A is in active use and the only deficiencies (mortar washout in brick exterior, repointing of foundation and chimney) do not reflect structural issues. However, to ensure no accidental damage to the main block of Building A during the partial demolition of Building B, Golder recommends to:

- Monitor for vibration impact during adjacent construction.
  - The foundation of Building A should be closely monitored during the adjacent construction activities. At that time, telltale meters should be installed at every 2 metres along the length of the foundation wall and the telltale meters should be checked for any cracks, convergence or movement on a daily basis. During construction, records of the crack measurement should be taken at various times during the day to observe whether any change is visible. If the vibration levels exceed 3.0 mm/s, the contractor should immediately communicate the monitoring results to the Client's representative and provide a verbal description of their proposed mitigative strategy. If a second vibration event exceeds the ground vibration limits, work should cease, and a revised approach should be prepared and submitted to the Contract Administrator for review.

The following actions are recommended to ensure the property retains its current level of preservation and viability for redevelopment:

- Designate an agent or staff member who can provide access to the property for Town staff, if requested (once, as soon as possible);
- Develop a comprehensive inspection and maintenance checklist (once, as soon as possible; see Appendix A of Golder's Maintenance Plan dated August 1, 2019);
- Partially demolish Building B;
  - Golder's 2017 CHIA identified the heritage attributes of Building B, which included the shiplap cladding with cornerboards. The exposed east and west façades should be reconstructed with Hardie Board clapboarding or shiplap to match the shop's original walls. Exterior character-defining elements of Building A should be clearly marked on plans and at the site along with careful supervision of the partial demolition of Building B by a qualified demolition contractor.
- Repoint the foundation of Building A;
  - Field investigations noted evidence of mortar washout, which will need to be repointed using lime mortar. A heritage mason can advise on the mortar mixture, but it should be slightly weaker than the stones in the wall (Weaver 1993:134).
- Repoint chimneys and walls of Building A;
  - Although intact, there are areas of the chimney and exterior walls which requires repointing due to mortar washout. As mentioned above, repointing should use lime mortar. The mortar mix should be durable enough to survive the weather yet soft enough not to damage masonry. Patching the chimney render instead of total replacement is preferred.
- Install new exterior doors at the north façade of Building A;
  - Number and carefully remove all bricks prior to creating any new doors and windows, then permanently store the bricks on-site.
- Inspect roof for leaks and replace damaged fibreglass batts and flashings;
- Debris in basement should be removed to ensure leaks can be more easily detected. Consider installing dehumidifier to prevent moisture build up;
- Initiate and conduct a periodic inspection schedule that addresses all exterior and interior spaces;
- Inspect quarterly for insect, pests and other infestation;
- Clear out all gutters and downspouts and ensure these shed water away from the foundations.

Additionally, Golder recommends that:

- The maintenance plan be reviewed every 3 months; and,

- 2081447 Ontario Inc. keep on file a written and photographic record of all inspections, observations and minor maintenance activities.

The following schedule in Table 1 is recommended to implement the strategies identified above.

**Table 1: Scope of Work**

Task	Frequency & Timing
Designate an agent or staff member who can provide access to the property for Town staff, if requested	Once, as soon as possible
Develop a comprehensive inspection and maintenance checklist	Once, as soon as possible
Partially demolish Building B	Within first 3 months
Repoint the foundation (Building A)	Within first 3 months
Repoint chimneys and exterior walls (Building A)	Within 3 to 6 months
Install new exterior doors at the north facade (Building A)	Within 3 to 6 months
Inspect roof for leaks and replace damaged fibreglass batts and flashings (Building A)	Within 3 to 6 months
Debris in basement should be removed to ensure leaks can be more easily detected. Consider installing de-humidifier to prevent moisture build up (Building A)	Within 3 to 6 months
Monitor for vibration during adjacent construction and wood frame addition removal (Building A)	Within 3 to 6 months
Initiate and conduct a periodic inspection schedule that addresses all exterior and interior spaces (Building A)	Quarterly
Inspect for insect, pests and other infestation (Building A)	Quarterly
Clear out all gutters and downspouts and ensure these shed water away from the foundations (Building A)	Twice yearly

## Policy Analysis

The table below provides an assessment of the maintenance and conservation plan against the policies identified in Section 9.3.4: Building Maintenance of the HCD Plan.

**Table 2. HCD guideline and proposed maintenance and conservation plan**

CITY HCD GUIDELINE	PROPOSED MAINTENANCE AND CONSERVATION PLAN
<b>9.3.4 Building Maintenance</b>	
<b>Masonry</b>	
Clean masonry using detergents and a stiff natural bristle brush. If this doesn't produce satisfactory cleaning, use only professional water-borne chemical agents for further cleaning.	Acknowledged.
Do not use sand-blasting or high pressure-water for masonry cleaning.	Acknowledged.
Do not paint historic masonry unless deterioration of masonry leaves no other choice.	Not applicable. There are no plans to paint the masonry of Building A.
If masonry must be painted use an appropriate breathing-type paint.	Not applicable. There are no plans to paint the masonry of Building A.
<b>Painting Woodwork</b>	
Inspect existing paint. Blisters or peeling paint usually means water is getting into the wood, and the source of water should be corrected.	Acknowledged. There is no evidence of blisters or peeling paint on the exterior of Building A or Building B.
Don't 'strip' woodwork, unless paint build-up is excessive and obscures architectural detail. Just remove loose paint and feather edges.	Not applicable. There are no plans to strip woodwork.
Don't use chemical strippers or torches to remove paint. These damage the wood and cause future problems.	Not applicable. There are no plans to use chemical strippers or torches to remove paint.
Use suitable heritage paint colours. Original paint colours can usually be found sanding or scraping through overpainted layers. Otherwise, approved heritage palettes are available at Heritage Services.	Compatible. Windows and doors will be light grey, with pewter Hardie plank on the upper levels and crimson red brick on the bottom level of the three-storey addition. Building A windows and door frames will be black.

CITY HCD GUIDELINE	PROPOSED MAINTENANCE AND CONSERVATION PLAN
Both <i>Preservation Briefs</i> and <i>Architectural Conservation Notes</i> have information on painting. See Section 9.3.2.	On-site investigation and property research was undertaken as part of Golder's 2017 CHIA. All conservation work has been based on historic documentation including historic photographs, drawings and physical evidence. A minimal intervention approach has been undertaken.

### Summary

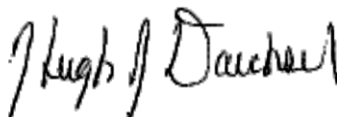
Overall, Golder's recommendations from the 2017 CHIA remain unchanged. Although the proposed development of the property will directly impact the original sections of Building A and B, rigorous design analysis and consultation has determined that the scale and design of the proposed development is compatible with the heritage architecture and streetscape of the surrounding buildings and Nashville-Kleinburg HCD.

Yours truly,

**Golder Associates Ltd.**



Ragavan Nithiyantham, M.A., CAHP  
*Cultural Heritage Specialist*



Hugh Daechsel, M.A.  
*Principal, Senior Archaeologist*

RN/HD/ly

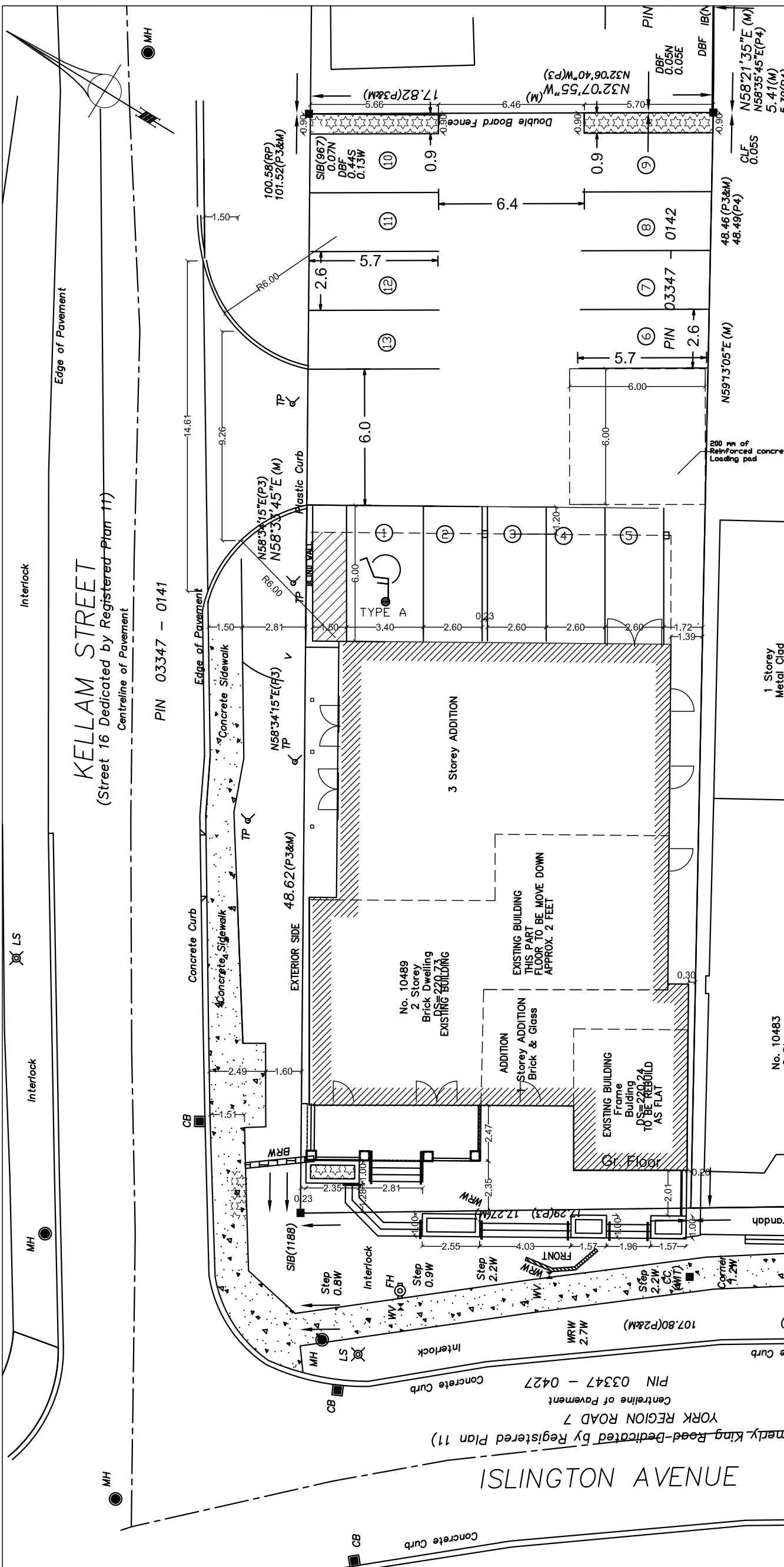
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### References

Weaver, Martin  
1993 *Conserving Buildings: Guide to Techniques and Materials*. John Wiley & Sons, Toronto.

**APPENDIX A**

**Site Plans, Elevations and Landscape  
Plan for 10489 Islington Avenue**



SUMMARY STATISTICS	
SITE AREA:	851.97 m <sup>2</sup>
FOOTPRINT AREA:	330.8 M <sup>2</sup>
COVERAGE:	38.82%
FSI :	1.07%
FLOOR AREA SUMMARY:	
a) GROUND FLOOR (COMMERCIAL):	
- FL. AREA (total):	330.8 m <sup>2</sup>
- FL. AREA (existing):	157.7 m <sup>2</sup>
- FL. AREA (addition):	173.1 m <sup>2</sup>
b) 2ND FLOOR (RESIDENTIAL):	
- FL. AREA (total):	361.92 m <sup>2</sup>
- FL. AREA (existing):	124.8 m <sup>2</sup>
- FL. AREA (addition):	237.12 m <sup>2</sup>
c) 3RD FLOOR (RESIDENTIAL):	
FL. AREA:	223.14 M <sup>2</sup>
d) BASEMENT	
FL. AREA:	149.9 M <sup>2</sup>
TOTAL GROSS FLOOR AREA(excluding basement): 915.86 m <sup>2</sup>	
TOTAL FLOOR AREA(addition) : 633.36 m <sup>2</sup>	
TOTAL FLOOR AREA(existing , alteration) : 282.5 m <sup>2</sup>	
DRIVE WAY AREAS AND PARKING: 393.11 m <sup>2</sup> (46.14%)	
PARKING PROVIDED : 12 SPACES + 1 ADDA TOTAL : 13 SPACE	
LANDSCAPING AREAS: 128.06 m <sup>2</sup> (15.04 %)	
HARD LANDSCAPE: 116.79 M <sup>2</sup>	
SOFT LAND AREA: 11.27	
FRONT YARD (ISLINGTON AVE.) : 65.65 m <sup>2</sup> SOFT LAND AREA: 1.17 HARD LAND AREA: 64.48	
NUMBER OF RESIDENTIAL UNITS: 5 NUMBER OF COMMERCIAL UNITS: 3	
BUILDING HEIGHT(ESTABLISHED GRADE TO TOP): 10.62 m BUILDING HEIGHT (ESTABLISHED GRADE TO MIDPOINT OF SLOPED ROOF): 8.70 m	

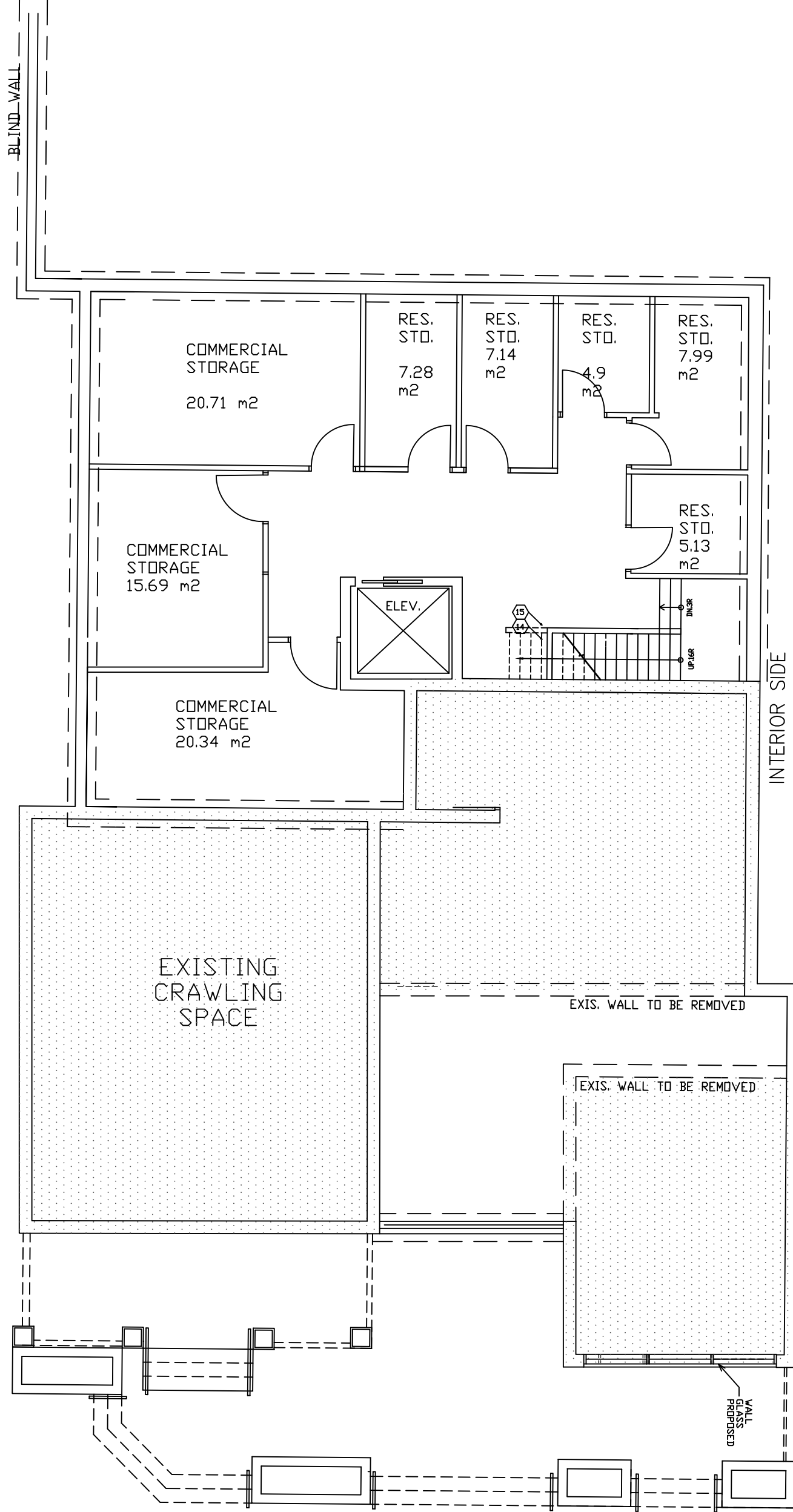
Space	Area (m <sup>2</sup> )
<u>First Floor:</u>	
Unit D:	67.09 m <sup>2</sup>
Unit E:	75.3 m <sup>2</sup>
Unit F:	115.33 m <sup>2</sup>
Meeting Room:	16.14 m <sup>2</sup>
Garbage Room:	9.1 m <sup>2</sup>
Lobby:	12.24 m <sup>2</sup>
Corridor:	15.91 m <sup>2</sup>
Stair and Elevator:	19.37 m <sup>2</sup>
Total Common area:	72.76 m <sup>2</sup>
Total:	330.8 m <sup>2</sup>
Total without common area:	258.04m <sup>2</sup>
<u>Second Floor:</u>	
Unit A2 (2 bed room) :	132.51 m <sup>2</sup>
Unit B2 (2 bed room) :	97.38 m <sup>2</sup>
Unit C2 (2 bed room) :	101.42 m <sup>2</sup>
Corridor:	11.38 m <sup>2</sup>
Stair & Elevator:	19.22 m <sup>2</sup>
Total Common area:	30.6 m <sup>2</sup>
Total :	361.92 m <sup>2</sup>
Total without common area:	331.32 m <sup>2</sup>
<u>Third Floor:</u>	
Unit B3 (2 bed room) :	103.54 m <sup>2</sup>
Unit C3 (2 bed room) :	94.14 m <sup>2</sup>
Corridor:	4.9 m <sup>2</sup>
Stair & Elevator:	20.55 m <sup>2</sup>
Total Common area:	25.45 m <sup>2</sup>
Total:	223.14 m <sup>2</sup>
Total without common area:	197.69 m <sup>2</sup>
<u>Number of Units:</u>	
Total number of residential units:	5
Total number of commercial units:	3

NO.	ISSUE/REVISION	DATE
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<b>BATTAGLIA ARCHITECT INC.</b> 1050 MCNICOLL AVE, UNIT 14, SCARBOROUGH, ON TEL: (416)4927772		

Project	PROPOSED RESIDENTIAL /COMMERCIAL BUILDING 10489 ISLINGTON AVE. KLEINBURG, ONTARIO
drawing	<b>SITE PLAN</b>

Date Rev.	OCT., 9, 2019
Date.	MAY, 30, 2019
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Drawn By	
project no.	
drawing no.	<b>A2</b>

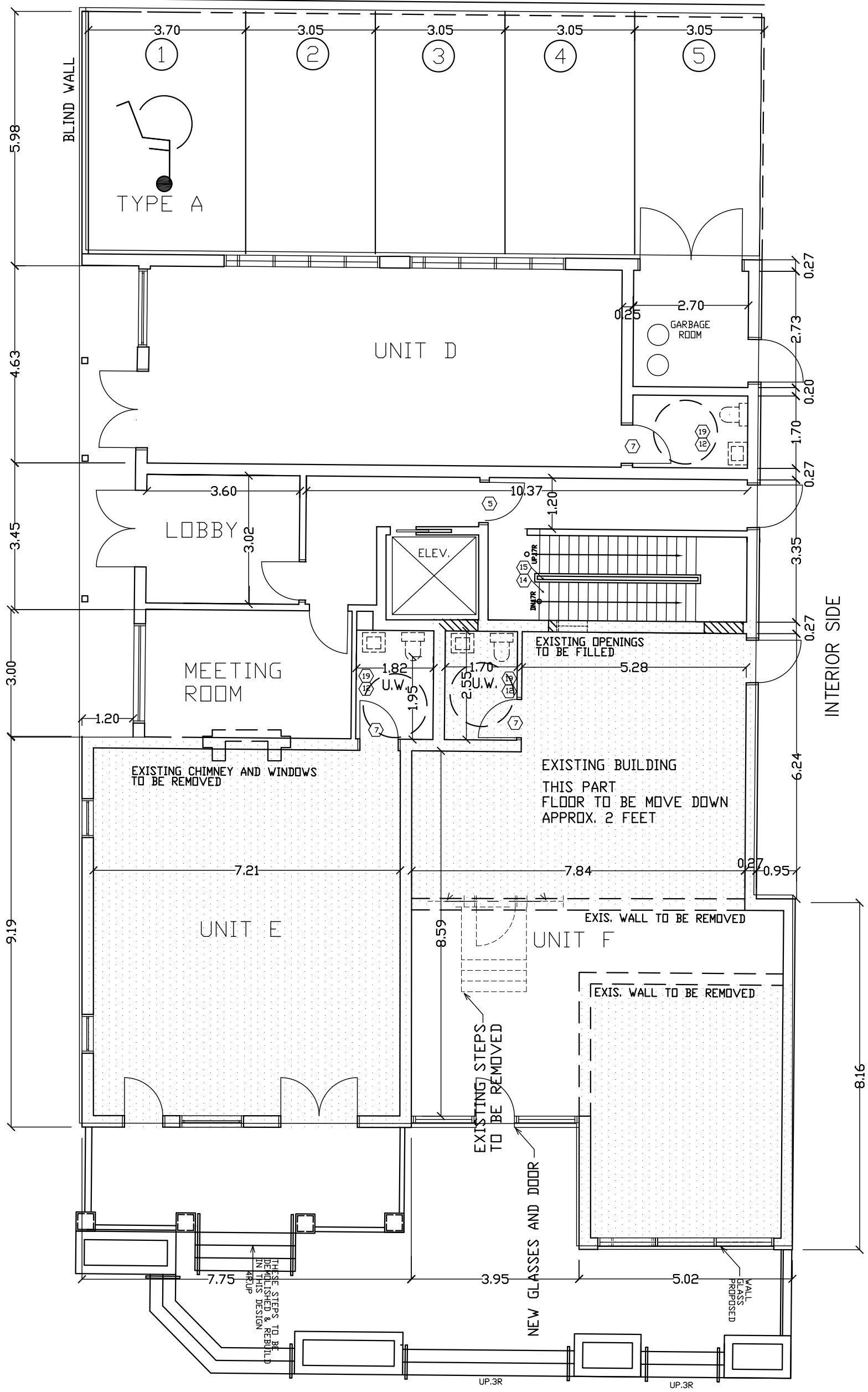




# BASEMENT

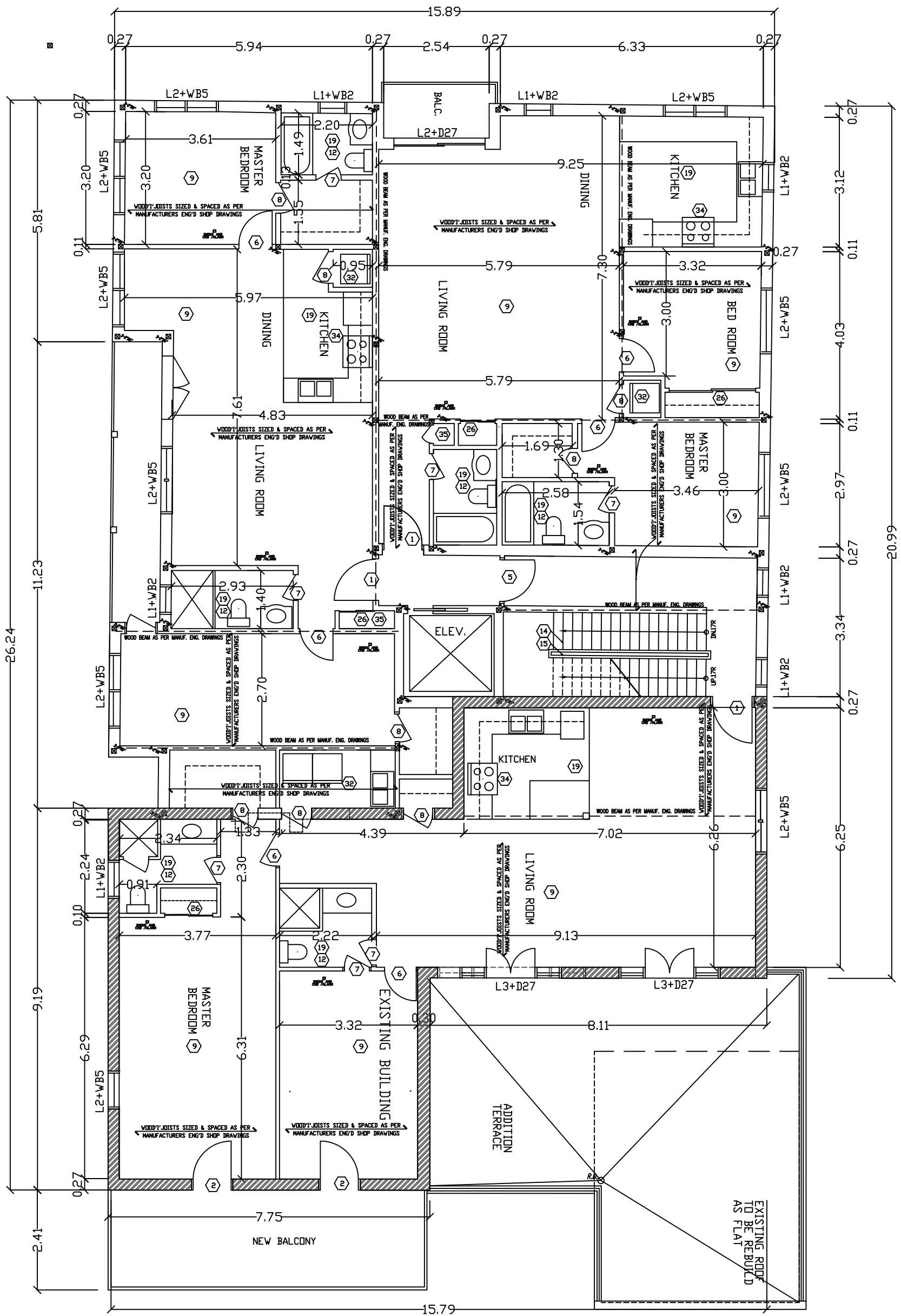
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The contractor shall check and verify all dimensions and report all errors and omissions to the Architect before proceeding with the work. This drawing is the property of the Architect and must be returned on completion of the work. Do not scale drawings.			drawing <b>Basement</b>	scale 1:100
<b>BATTAGLIA ARCHITECT INC.</b> 1050 MCNICOLL AVE, UNIT 14, SCARBOROUGH, ON TEL: (416)4927772				Drawn By
				project no.
				drawing no. <b>A2</b>

SECOND FLOOR LINE PROJECTION



FIRST FLOOR

NO.	ISSUE/REVISION	DATE	date
<p>The contractor shall check and verify all dimensions and report all errors and omissions to the Architect before proceeding with the work. This drawing is the property of the Architect and must be returned on completion of the work. Do not scale drawings.</p>			MAY 30, 2019
<p><b>BATTAGLIA ARCHITECT INC.</b></p>			scale 1:100
<p>1050 MCNICOLL AVE, UNIT 14, SCARBOROUGH, ON TEL: (416)4927772</p>			Drawn By
<p>Project PROPOSED RESIDENTIAL /COMMERCIAL BUILDING 10489 ISLINGTON AVE. KLEINBURG, ONTARIO</p>			project no.
<p>drawing <b>GROUND FLOOR</b></p>			drawing no. <b>A2</b>

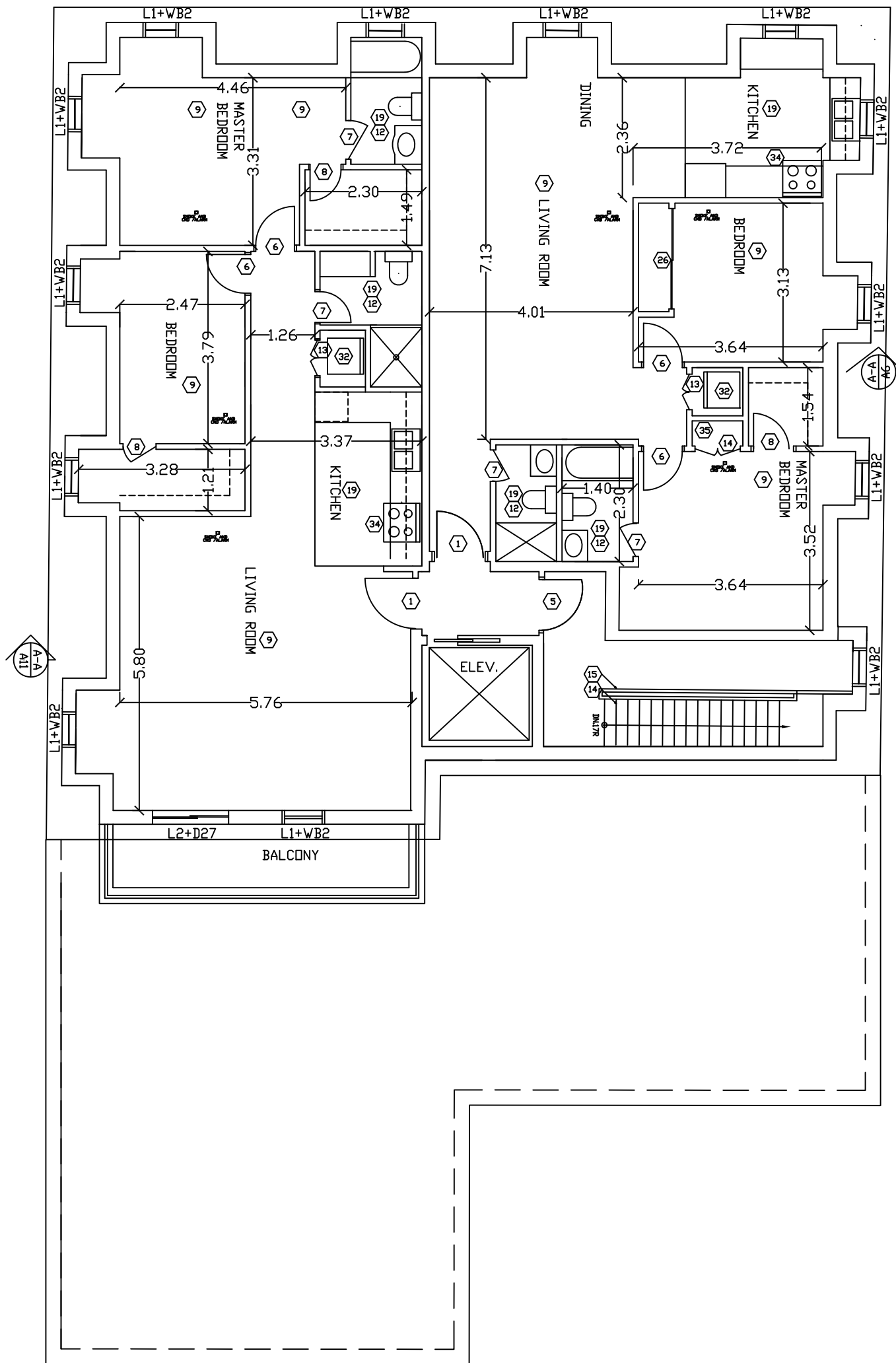


# SECOND FLOOR

NO.	ISSUE/REVISION	DATE
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<b>BATTAGLIA ARCHITECT INC.</b> 1050 MCNICOLL AVE, UNIT 14, SCARBOROUGH, ON TEL: (416)4927772		

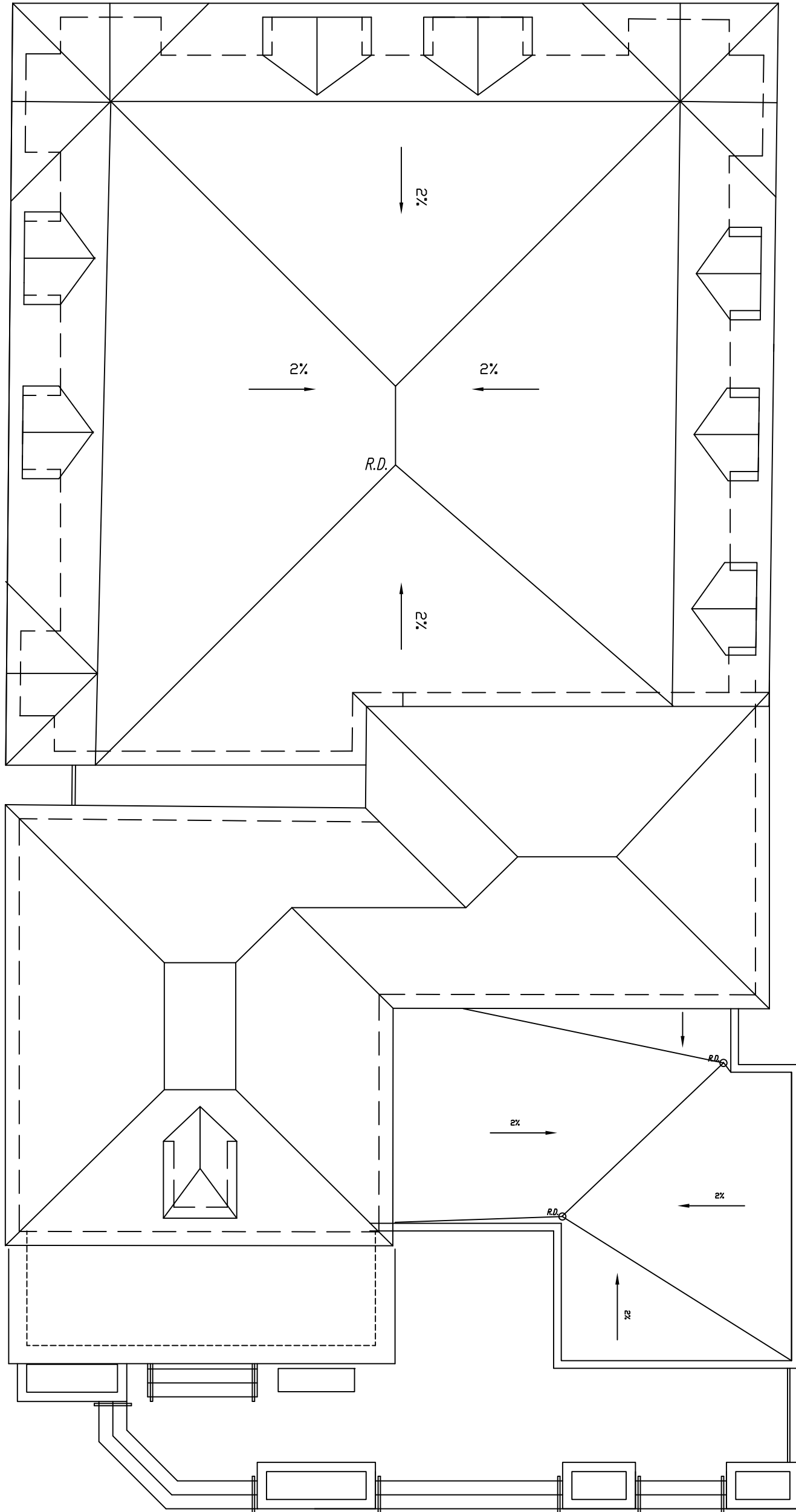
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drawing	<b>SECOND FLOOR</b>

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date	MAY 30, 2019
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Drawn By	
project no.	
drawing no.	

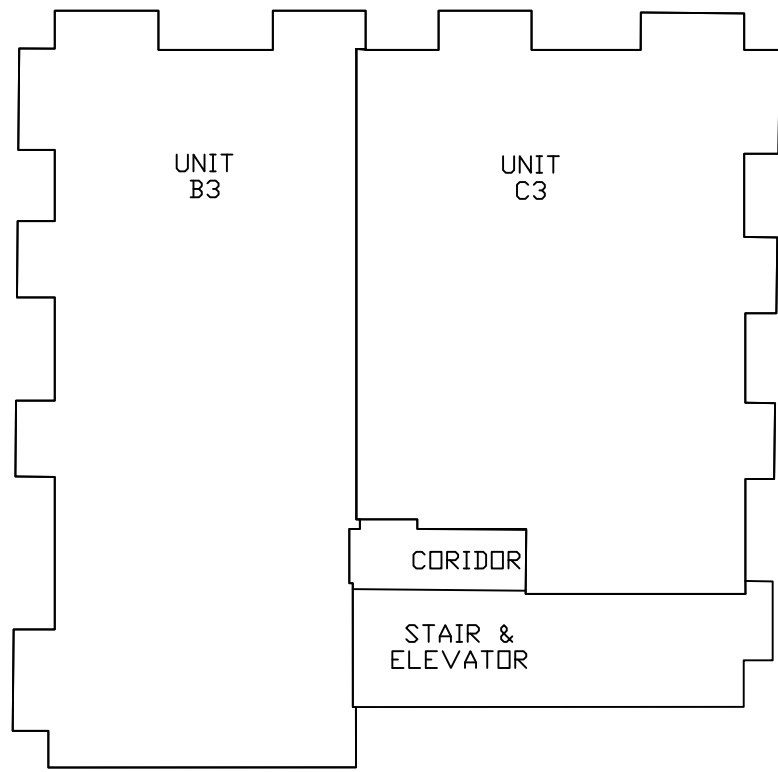


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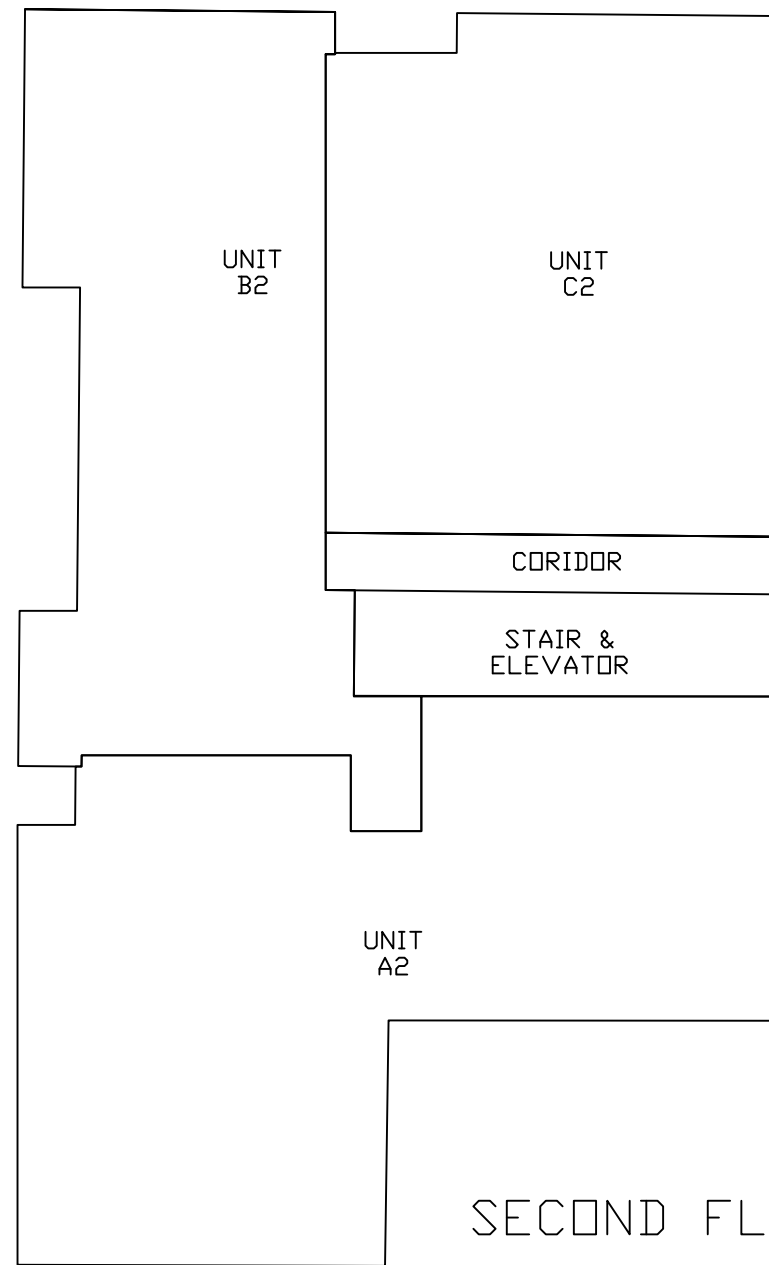
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	The contractor shall check and verify all dimensions and report all errors and omissions to the Architect before proceeding with the work. This drawing is the property of the Architect and must be returned on completion of the work. Do not scale drawings.		PROPOSED RESIDENTIAL /COMMERCIAL BUILDING 10489 ISLINGTON AVE. KLEINBURG, ONTARIO	MAY 30, 2019
	<b>BATTAGLIA ARCHITECT INC.</b> 1050 MCNICOLL AVE, UNIT 14, SCARBOROUGH, ON TEL: (416)4927772			scale 1:100
			drawing	Drawn By
			<b>THIRD FLOOR</b>	project no.
				drawing no. <b>A2</b>



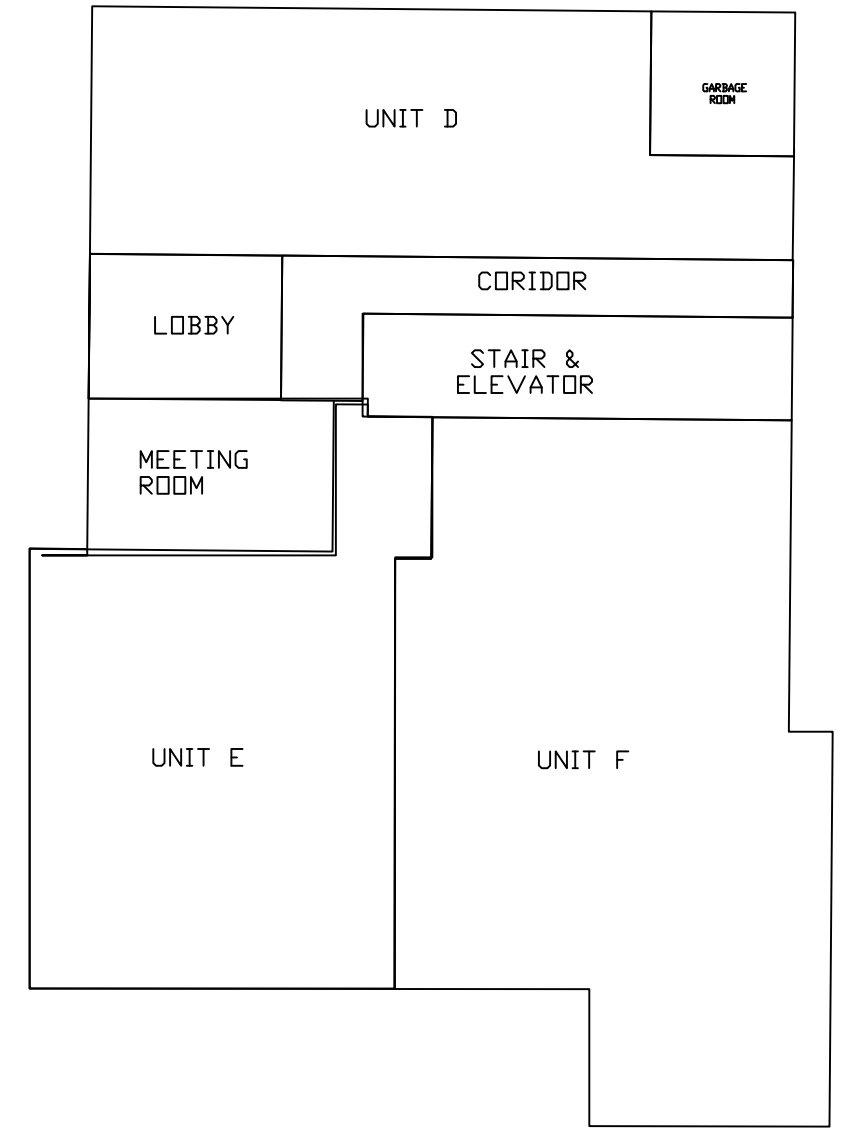
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<p><b>BATTAGLIA ARCHITECT INC.</b></p>			drawing	scale 1:100
<p>1050 MCNICOLL AVE, UNIT 14, SCARBOROUGH, ON TEL: (416)4927772</p>			<p><b>ROOF PLAN</b></p>	Drawn By
				project no.
				drawing no. <b>A2</b>



THIRD FLOOR



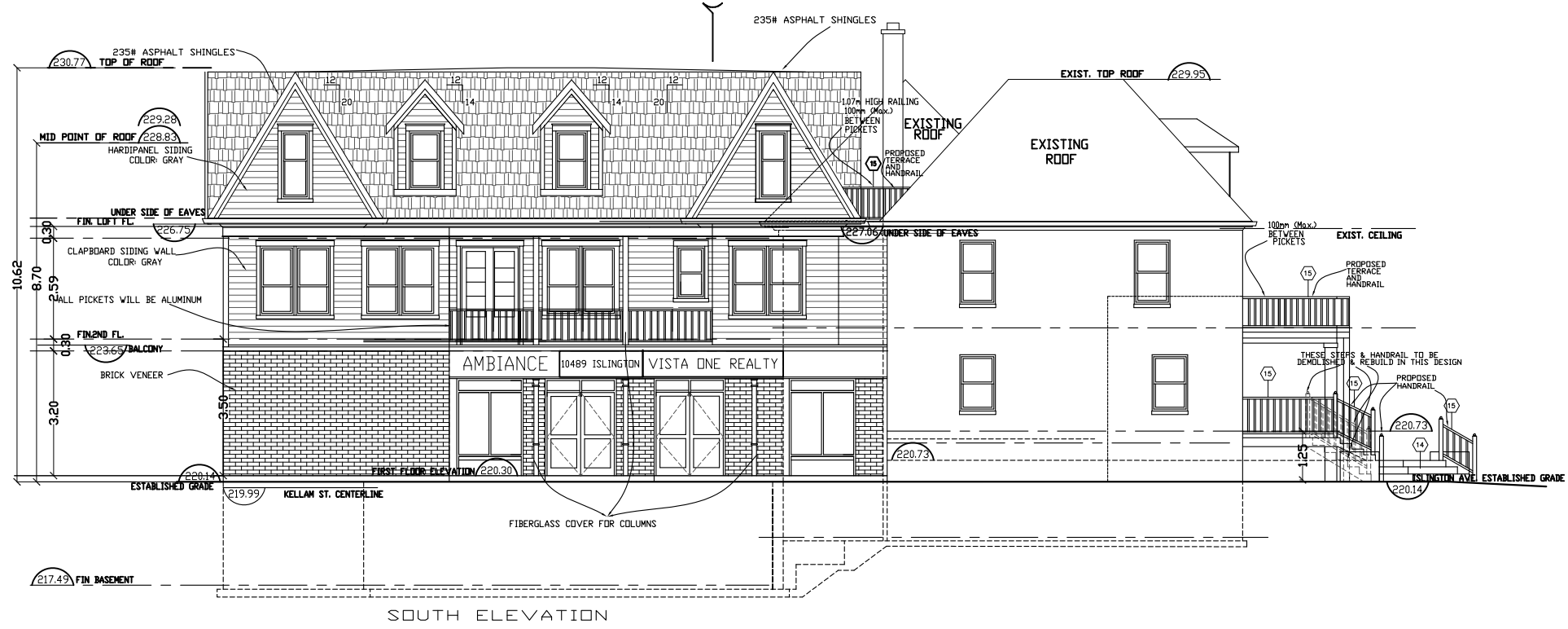
SECOND FLOOR



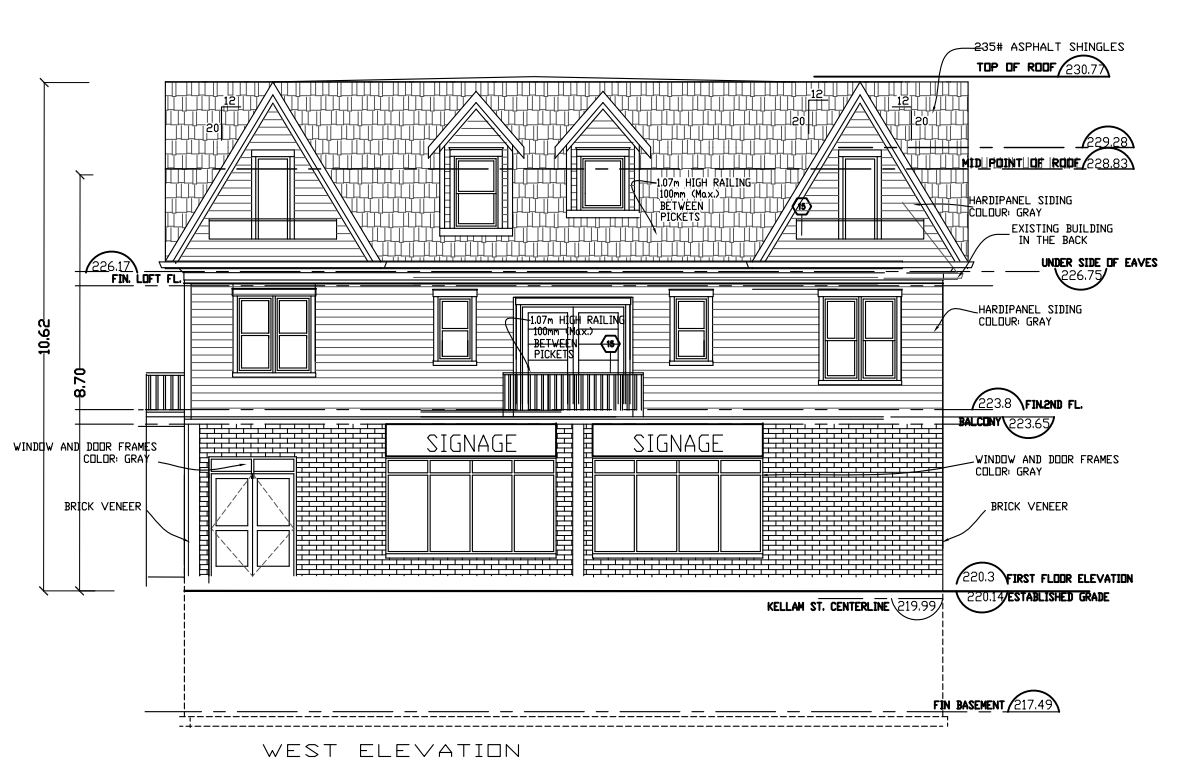
FIRST FLOOR

OUT LINE FOR EACH UNIT

NO.	ISSUE/REVISION	DATE	Project PROPOSED RESIDENTIAL /COMMERCIAL BUILDING 10489 ISLINGTON AVE. KLEINBURG, ONTARIO	date MAY 30, 2019
<p>The contractor shall check and verify all dimensions and report all errors and omissions to the Architect before proceeding with the work. This drawing is the property of the Architect and must be returned on completion of the work. Do not scale drawings.</p>				scale 1:100
<p><b>BATTAGLIA ARCHITECT INC.</b> 1050 MCNICOLL AVE, UNIT 14, SCARBOROUGH, ON TEL: (416)4927772</p>			<p>drawing <b>Out line and Area</b></p>	<p>Drawn By project no. drawing no. <b>A2</b></p>



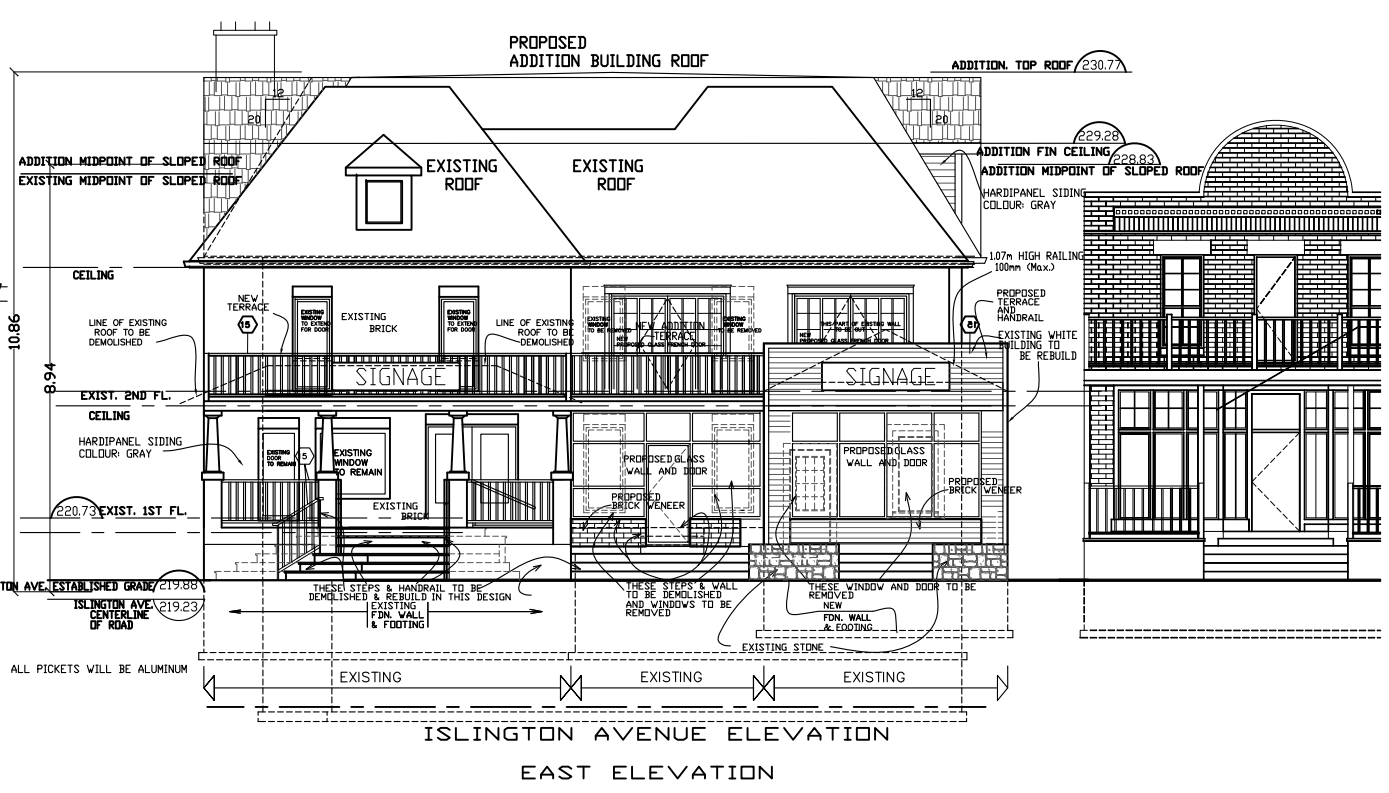
SOUTH ELEVATION



WEST ELEVATION

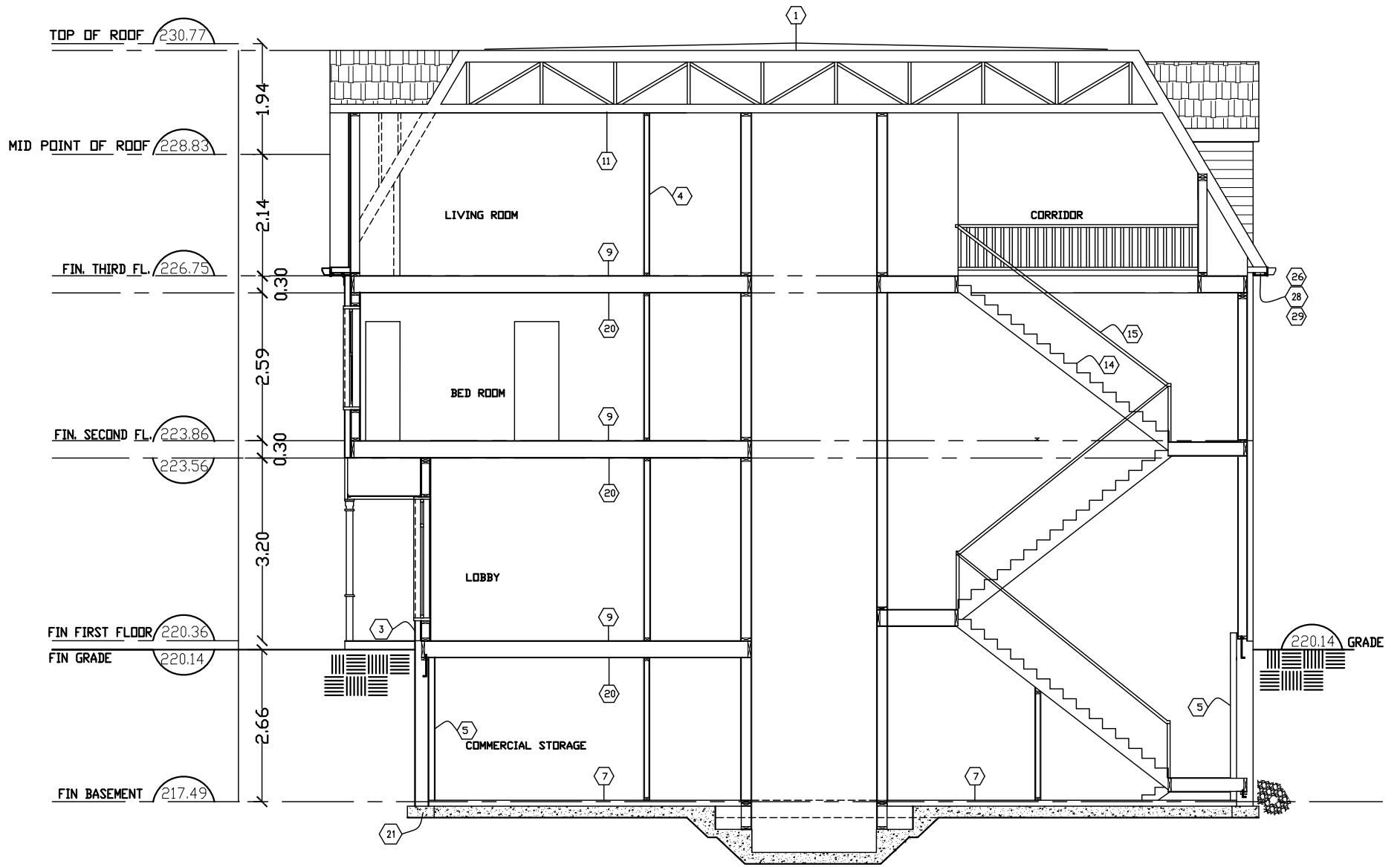


NORTH ELEVATION



EAST ELEVATION

NO.	ISSUE/REVISION	DATE	Project	Date Rev.
	The contractor shall check and verify all dimensions and report all errors and omissions to the Architect before proceeding with the work. This drawing is the property of the Architect and must be returned on completion of the work. Do not scale drawings.		PROPOSED RESIDENTIAL /COMMERCIAL BUILDING 10489 ISLINGTON AVE. KLEINBURG, ONTARIO	OCT. 10, 2019
	<b>BATTAGLIA ARCHITECT INC.</b> 1050 MCNICOLL AVE, UNIT 14, SCARBOROUGH, ON TEL: (416)4927772		<b>ELEVATIONS</b>	date MAY 30, 2019
				scale NTS
				Drawn By
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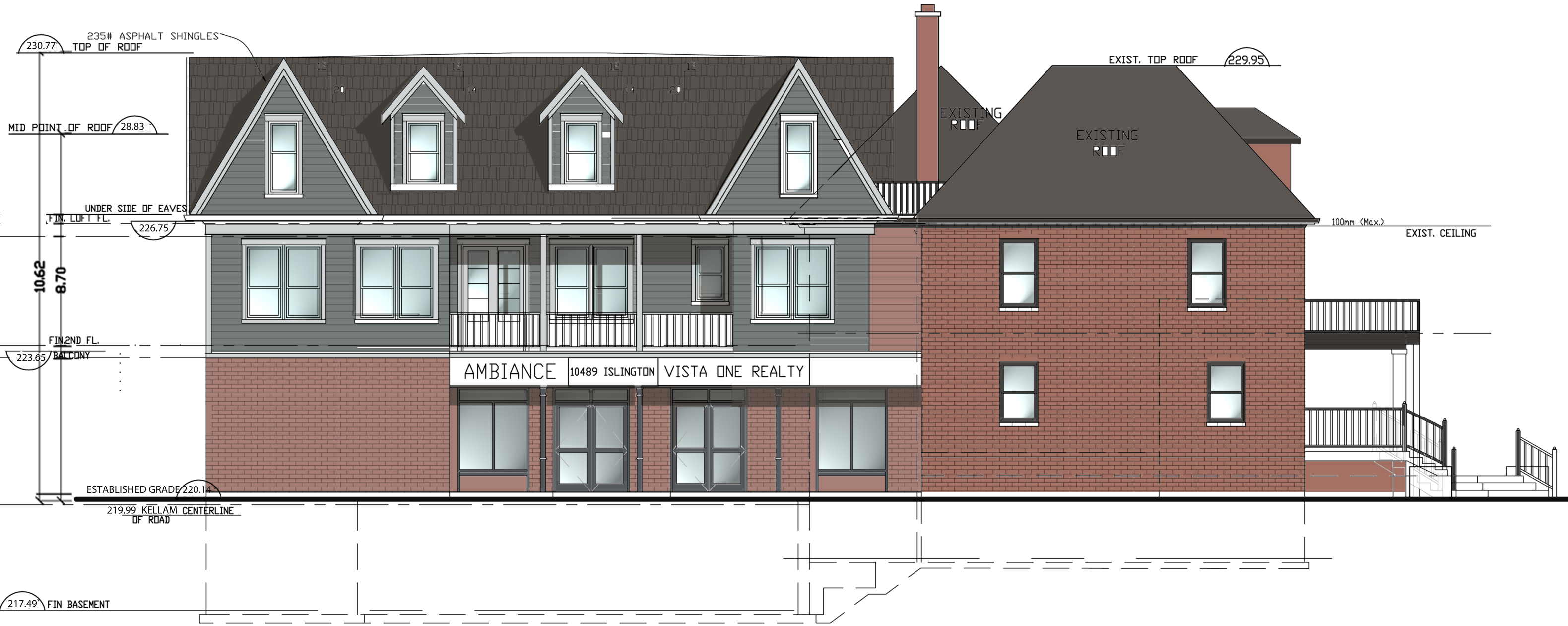
CROSS SECTION

NO.	ISSUE/REVISION	DATE	Project	date MAY 30, 2019
<p>The contractor shall check and verify all dimensions and report all errors and omissions to the Architect before proceeding with the work. This drawing is the property of the Architect and must be returned on completion of the work. Do not scale drawings.</p>			<p>PROPOSED RESIDENTIAL /COMMERCIAL BUILDING 10489 ISLINGTON AVE. KLEINBURG, ONTARIO</p>	scale 1:100
<p><b>BATTAGLIA ARCHITECT INC.</b></p>			drawing	Drawn By
1050 MCNICOLL AVE, UNIT 14, SCARBOROUGH, ON TEL: (416)4927772			<b>CROSS SECTION</b>	project no.
				drawing no.
				<b>A2</b>



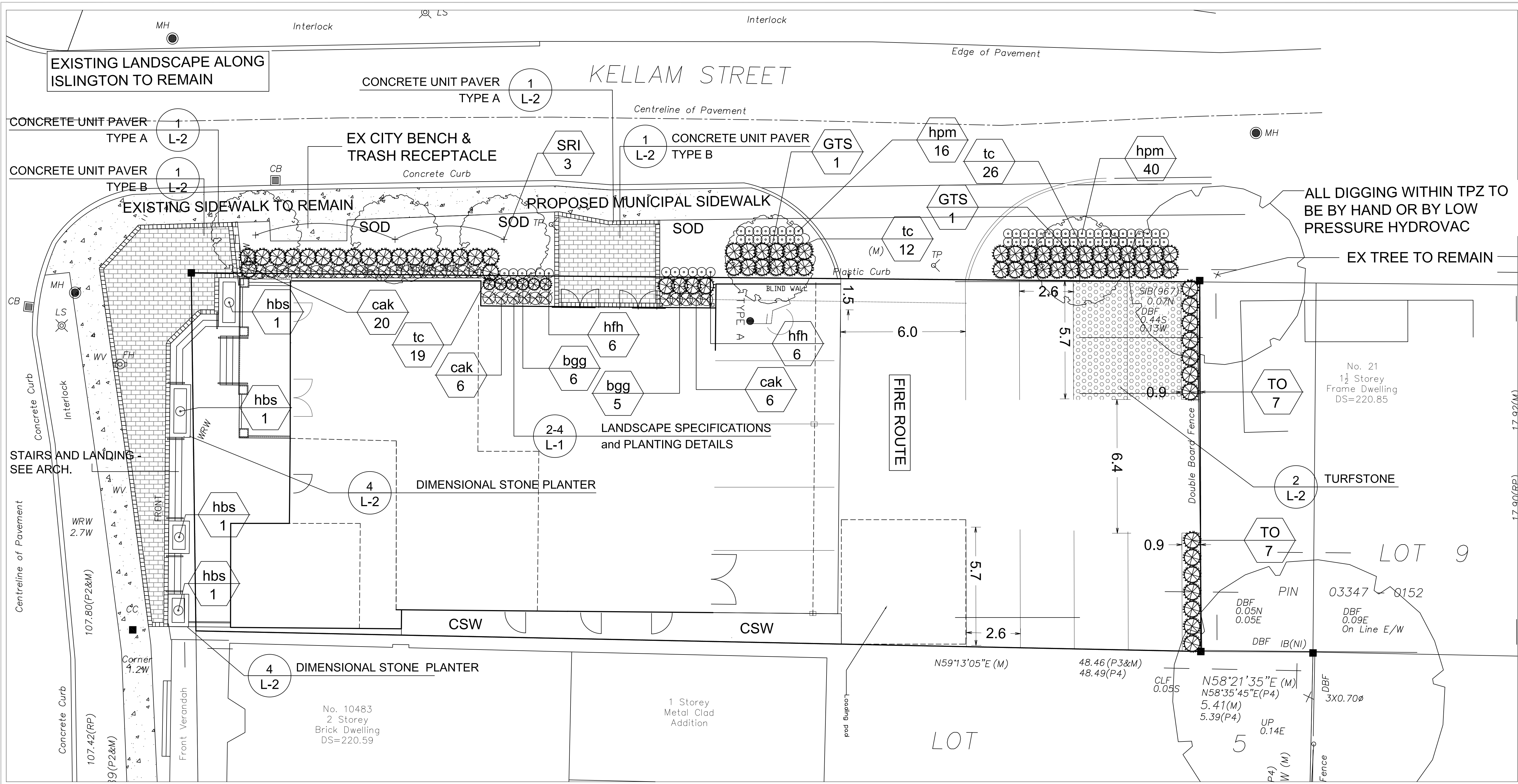


ISLINGTON AVENUE ELEVATION



KELLAM STREET ELEVATION

<b>BATTAGLIA ARCHITECT INC.</b> 1050 MCNICOLL AVE, UNIT 14, SCARBOROUGH, ON TEL: (416)4927772	<b>Project</b> PROPOSED RESIDENTIAL /COMMERCIAL BUILDING 10489 ISLINGTON AVE. KLEINBURG, ONTARIO	<b>ELEVATION ON KELLAM STREET</b>	Date: 2019/OCT/07
			Drawn By NI



- ### General Notes
- Do not scale the drawings. All dimensions are in millimetres unless noted otherwise.
  - This drawing is to be read in conjunction with the site plan and architectural drawings prepared by the Architect, and engineering drawings prepared by the Civil, Mechanical, and Electrical Engineers.
  - The contractor shall check and verify all existing and proposed grading and conditions on the project and immediately report any discrepancies to the consultant before proceeding with any work.
  - The contractor is to be aware of all existing and proposed services and utilities. The contractor is responsible for having all underground services and utility lines staked by each agency having jurisdiction prior to commencing work.
  - This drawing is to be used for development approval only. For layout of all work refer to construction drawings.
  - Plant quantities indicated on the plan supercede the quantities from the plant list (report any discrepancies to the landscape architect).
  - Do not leave any holes open overnight.
  - Keep area outside construction zone clean and useable by others at all times. Contractor shall thoroughly clean areas surrounding the construction zone at the end of each work day.
  - Contractor to make good any and all damages outside of the development area that may occur as a result of construction at no extra cost.
  - This drawing is Copyright MHBC 2019.

### LEGEND

- EXISTING DECIDUOUS TREE
- PROPOSED DECIDUOUS TREE
- PROPOSED CONTINUOUS SHRUB /PERENNIAL BED
- SOD
- CSW
- CONCRETE SIDEWALK
- PLANT KEY
- DETAIL KEY

Revision No.	Date	Issued / Revision	By
10	October 7, 2019	Issued for Review	CC
9	August 1, 2019	Issued for Review	NV
8	April 25, 2018	Issued for Review	PD
7	July 26, 2017	Issued for Review	DC
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1 Landscape Plan  
1:100

### LANDSCAPE SPECIFICATIONS:

ALL SOD SHALL CONFORM TO THE STANDARDS OF THE NURSERY SOD GROWERS ASSOCIATION OF ONTARIO. ALL SODDED AREAS SHALL BE PREPARED WITH A MINIMUM OF 150MM OF TOPSOIL AND SODDED WITH BLUEGRASS - RESCUE NURSERY SOD. ON SLOPES LAY THE TURF PIECES HORIZONTALLY ACROSS THE SLOPE, STARTING AT THE BOTTOM. FOR AREAS WITH A 2:1 SLOPE OR GREATER STAKE SOD TO HOLD IN PLACE WITH 1/2" X 1" X 12" PEGS AT TWO-FOOT SPACINGS.

UNLESS SOIL TESTS SUGGEST OTHERWISE, FERTILIZER SHALL BE APPLIED AS FOLLOWS:  
SODDED AREAS: 11-8-4 (11% NITROGEN, 8% PHOSPHOROUS, 4% POTASH) AT 4.5 KG/M.  
PLANTING BEDS: 7-7-7 (7% NITROGEN, 7% PHOSPHOROUS, 7% POTASH) AT 0.12 KG/M; AND BONE MEAL AT 0.35 KG/M; OF PLANTING SOIL MIXTURE AS OUTLINED BELOW.

ALL PLANTING BEDS ARE TO BE CONTINUOUS, AND EXCAVATED TO A MINIMUM DEPTH OF 450MM UNLESS NOTED OTHERWISE. PLANTING BEDS ARE TO BE FILLED WITH A SOIL MIXTURE COMPOSED OF SIX (6) PARTS SAND AND LOAM, TWO (2) PARTS WELL ROTTED MANURE, AND ONE (1) PART PEAT MOSS, IN ADDITION TO THE FERTILIZERS SPECIFIED ABOVE.

ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS OF THE CANADIAN NURSERY TRADES ASSOCIATION. ALL PLANT MATERIAL IS TO BE CLAY GROWN STOCK. INSTALL ALL PLANT MATERIAL AS SHOWN ON THE PLANTING PLAN AND DETAILS. USE ONLY VIABLE NURSERY STOCK GROWN IN STRICT ACCORDANCE WITH PROPER HORTICULTURAL PRACTICES WHICH IS FREE FROM DAMAGE, PESTS, AND DISEASE.

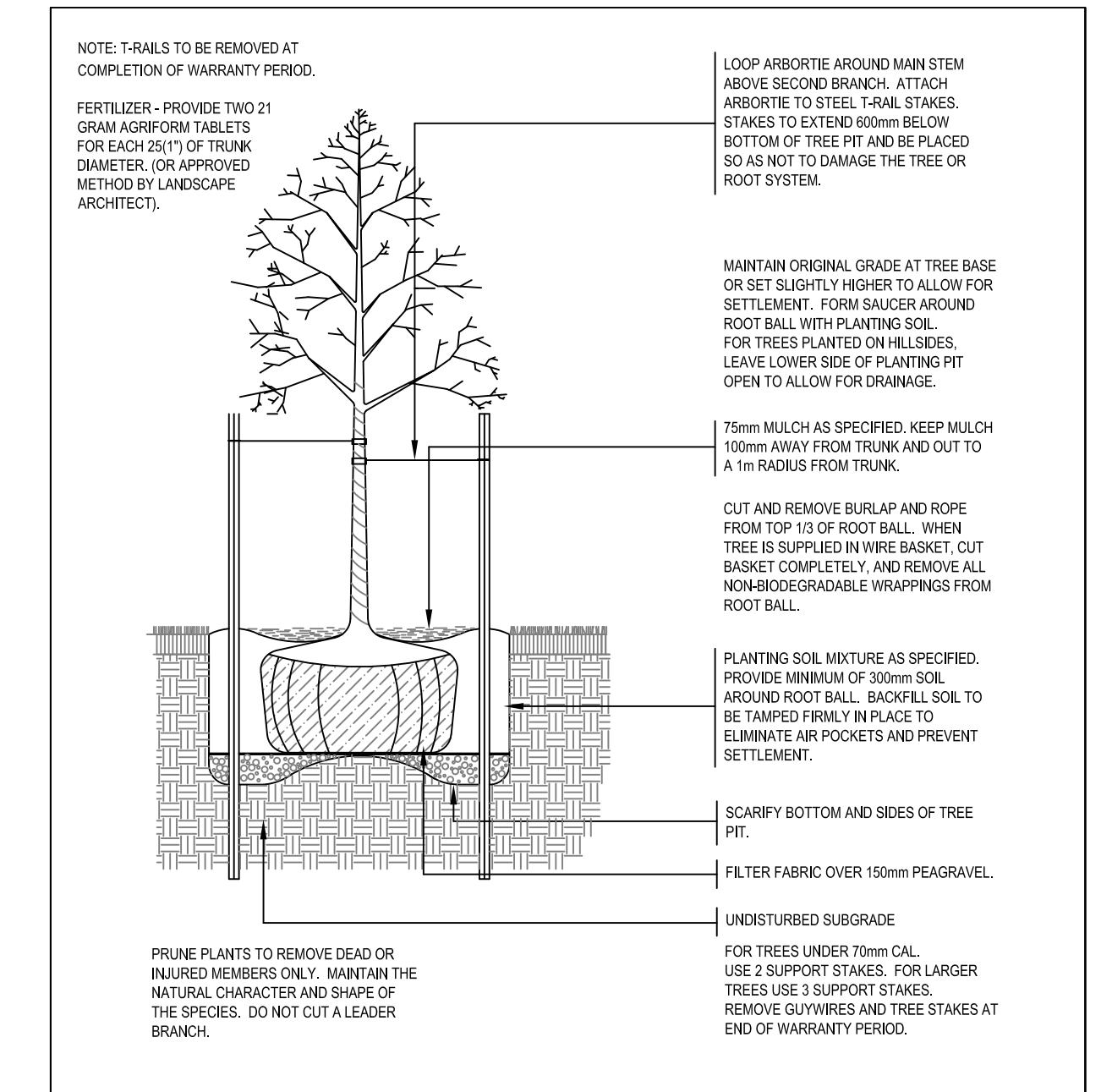
ALL BEDS ARE TO BE COVERED WITH A 150MM DEPTH OF CLEAN, SHREDDED PINE BARK MULCH BY GRO-BARK OR APPROVED EQUAL UNLESS NOTED OTHERWISE. GUYING AND STAKING OF TREES SHALL CONFORM TO THE PLANTING DETAILS. WRAP ALL DECIDUOUS TREES AS PER THE SPECIFICATIONS OF THE ONTARIO LANDSCAPE CONTRACTORS ASSOCIATION.

THE CONTRACTOR WILL OBSERVE PROPER MAINTENANCE PROCEDURES FOR ALL NEWLY CONSTRUCTED LANDSCAPE WORK AS PER SECTION 1E (MAINTENANCE WORK) OF LANDSCAPE ONTARIO'S SPECIFICATIONS. UNLESS OTHERWISE NOTED, THIS WILL APPLY DURING THE CONSTRUCTION PERIOD ONLY. THE CONTRACTOR SHALL MAINTAIN ALL PLANTING AND SODDING UNTIL FINAL ACCEPTANCE IS GRANTED BY THE LANDSCAPE ARCHITECT.

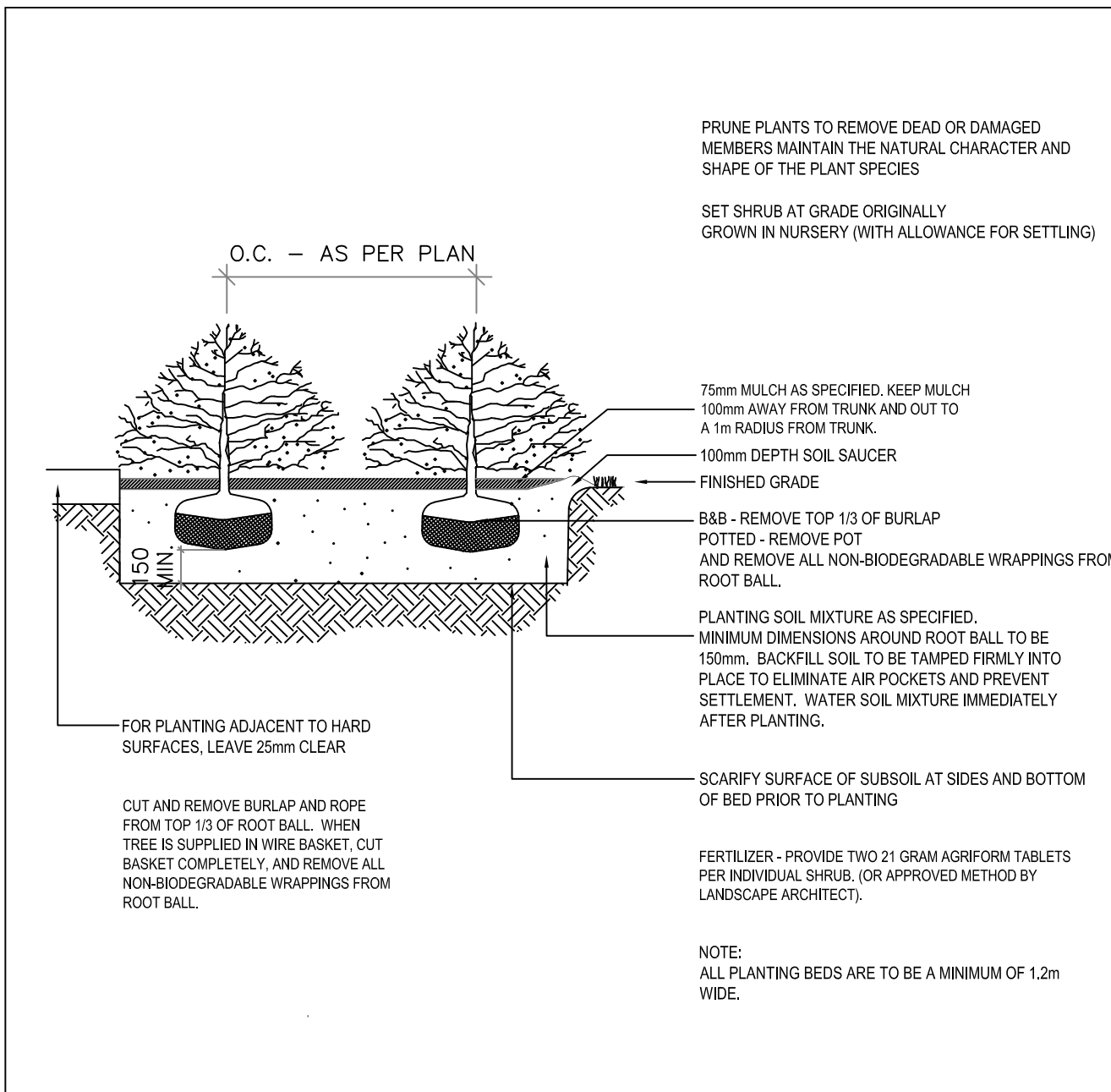
THE CONTRACTOR WILL BE RESPONSIBLE FOR THE PROTECTION OF ALL PLANT MATERIAL FROM DAMAGES RESULTING FROM WINTER CONDITIONS AS WELL AS RODENTS DURING THE WARRANTY PERIOD. APPLY "SKOOT" RODENT DETERRENT FORMULA (OR APPROVED EQUAL) TO ALL CONIFEROUS TREES AND ALL SHRUBS IN LATE OCTOBER AS PER MANUFACTURER'S DIRECTIONS.

THE CONTRACTOR SHALL PROVIDE A FULL ONE YEAR GUARANTEE (OR TWO YEARS IF REQUIRED BY THE MUNICIPALITY OR OWNER) ON ALL LANDSCAPE WORKS, BEGINNING ON THE DATE THAT FINAL ACCEPTANCE IS GRANTED BY THE LANDSCAPE ARCHITECT.

2 Landscape Specifications  
N.T.S.



3 Deciduous Tree Planting  
N.T.S.



4 Shrub Planting  
N.T.S.

### MASTER PLANT LIST

Key	Qty.	Botanical Name	Common Name	Cal.	Ht./Sp.	Cond.
<b>DECIDUOUS TREES</b>						
SRI	3	<i>Syringa reticulata</i> 'Ivory Silk'	Ivory Silk Tree Lilac	60mm		SB
GTS	2	<i>Clethra tricanthos</i> 'Shademaster'	Shademaster Honeylocust	60mm		SB
<b>CONIFEROUS TREES</b>						
TO	14	<i>Thuja occidentalis</i>	White Cedar	150cm		SB
<b>CONIFEROUS SHRUBS</b>						
bgg	11	<i>Buxus 'Green Gem'</i>	Green Gem Boxwood	60cm		CG
tc	57	<i>Taxus canadensis</i>	Canadian Yew	60cm		CG
<b>ORNAMENTAL GRASSES</b>						
cak	32	<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	Feather Reed Grass	60cm o/c	2 gal. pot	
<b>PERENNIALS</b>						
hfh	12	<i>Hemerocallis 'Frans Hals'</i>	Frans Hals Daylily	60cm o/c	2 gal. pot	
hpm	56	<i>Hemerocallis 'Pandora's Box'</i>	Pandora's Box Daylily	60cm o/c	2 gal. pot	
hbs	4	<i>Hibiscus syriacus</i>	Rose of Sharon	60cm o/c	2 gal. pot	

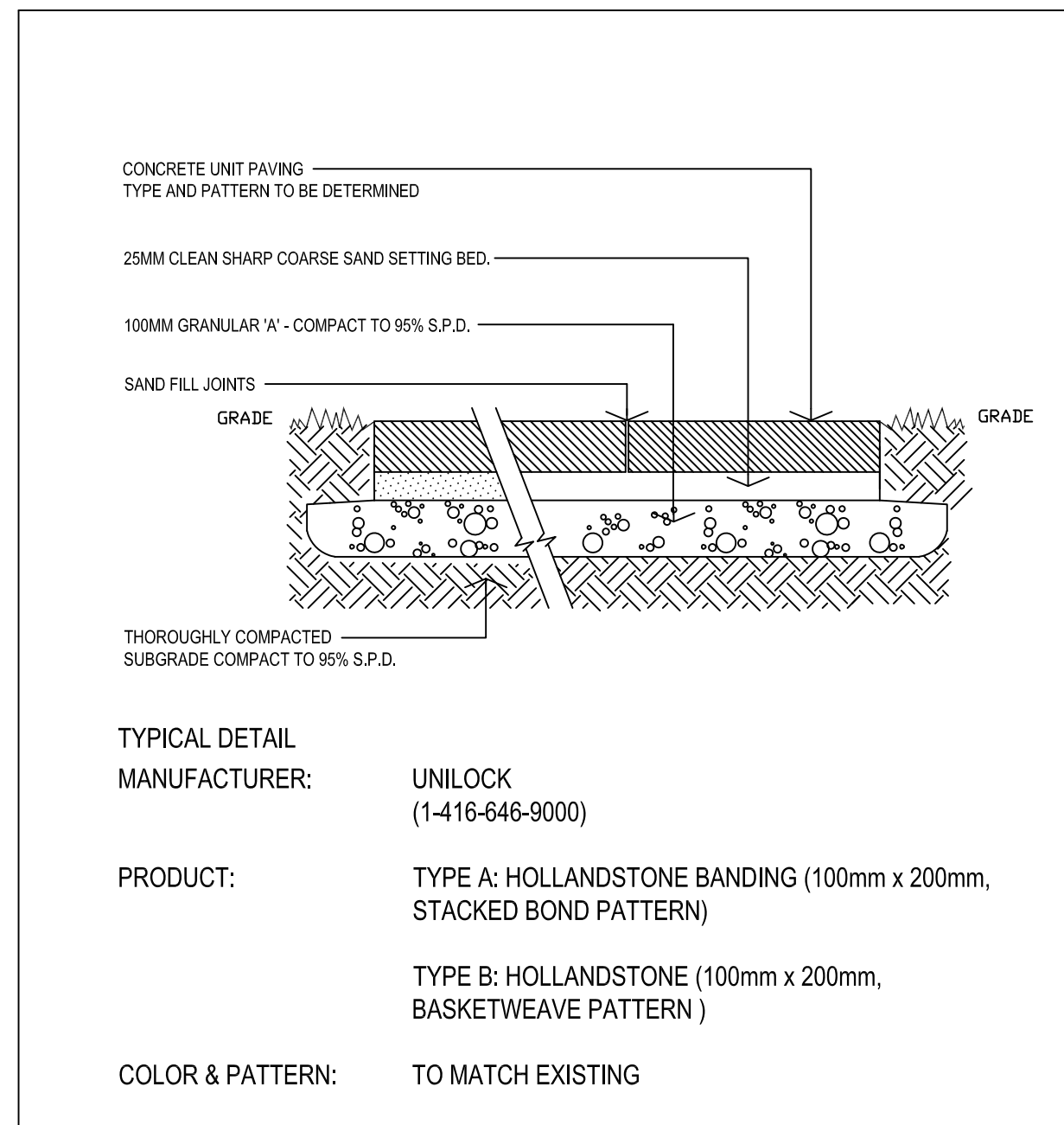
**PLANNING URBAN DESIGN & LANDSCAPE ARCHITECTURE**

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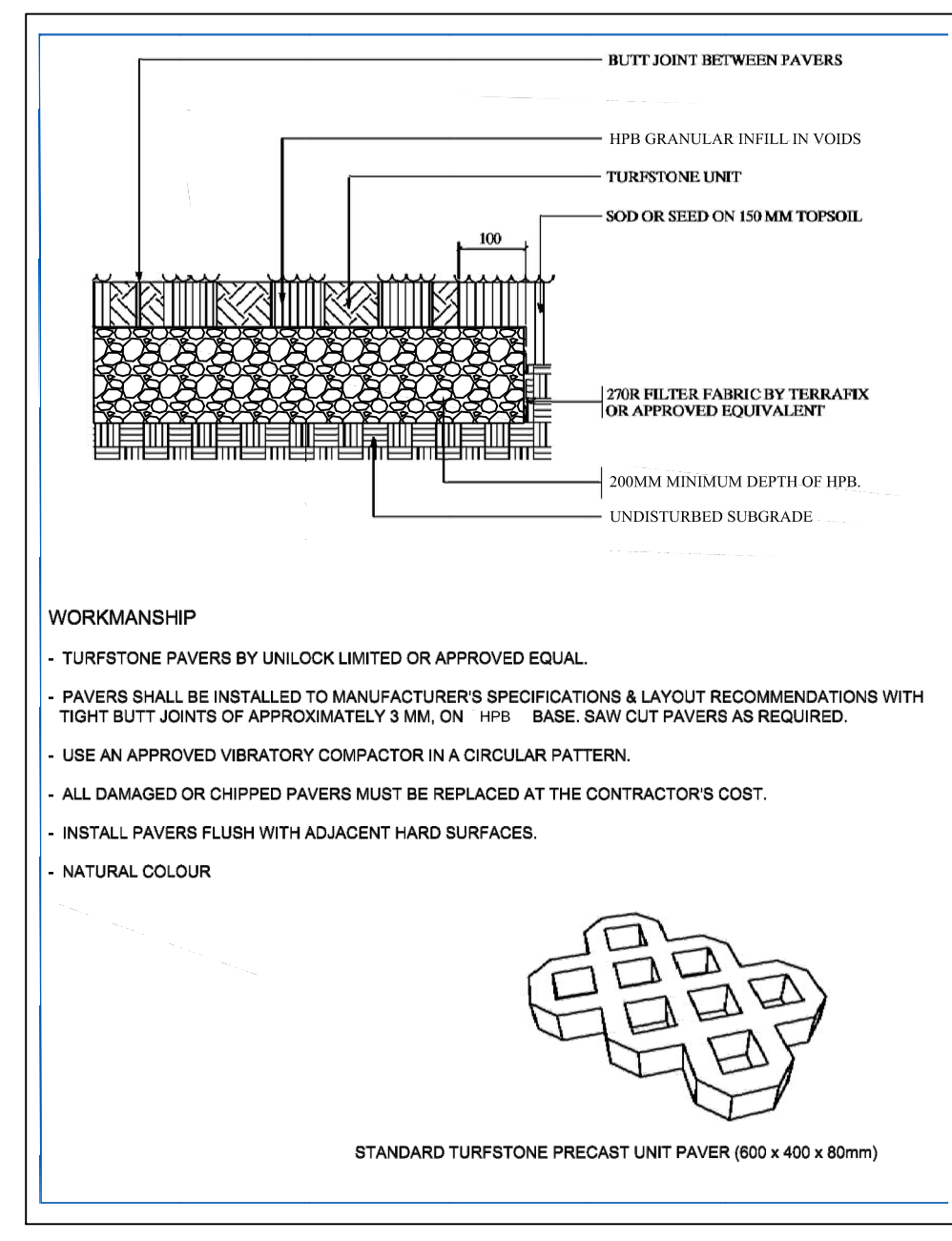
<b>Stamp</b>		<b>Date</b>	May 2017
<b>Drawn By</b>	DC	<b>Plan Scale</b>	as noted
<b>File No.</b>	1700 A	<b>Checked By</b>	NM
<b>Project</b>	10489 ISLINGTON AVE KLEINBURG, ONTARIO	<b>Other</b>	
<b>File Name</b>	Landscape Plan	<b>Dwg No.</b>	L-1

All drawings and specifications are instruments of service and will remain the property of MHBC Planning and must be returned at the completion of the work. This drawing shall not be used for construction purposes unless the drawings are marked "Issued for Construction" and the professional seal is signed and dated by the landscape architect.

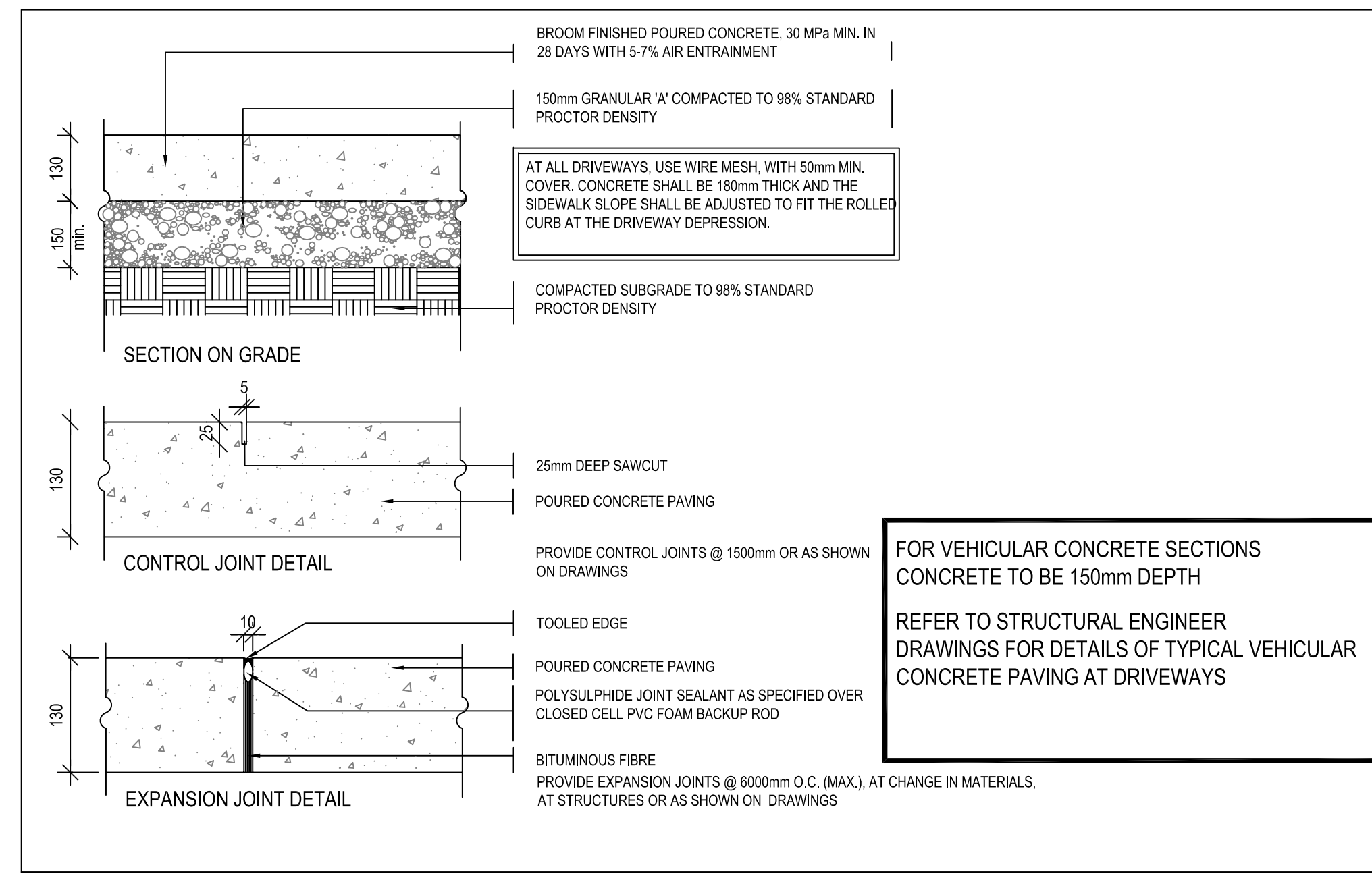
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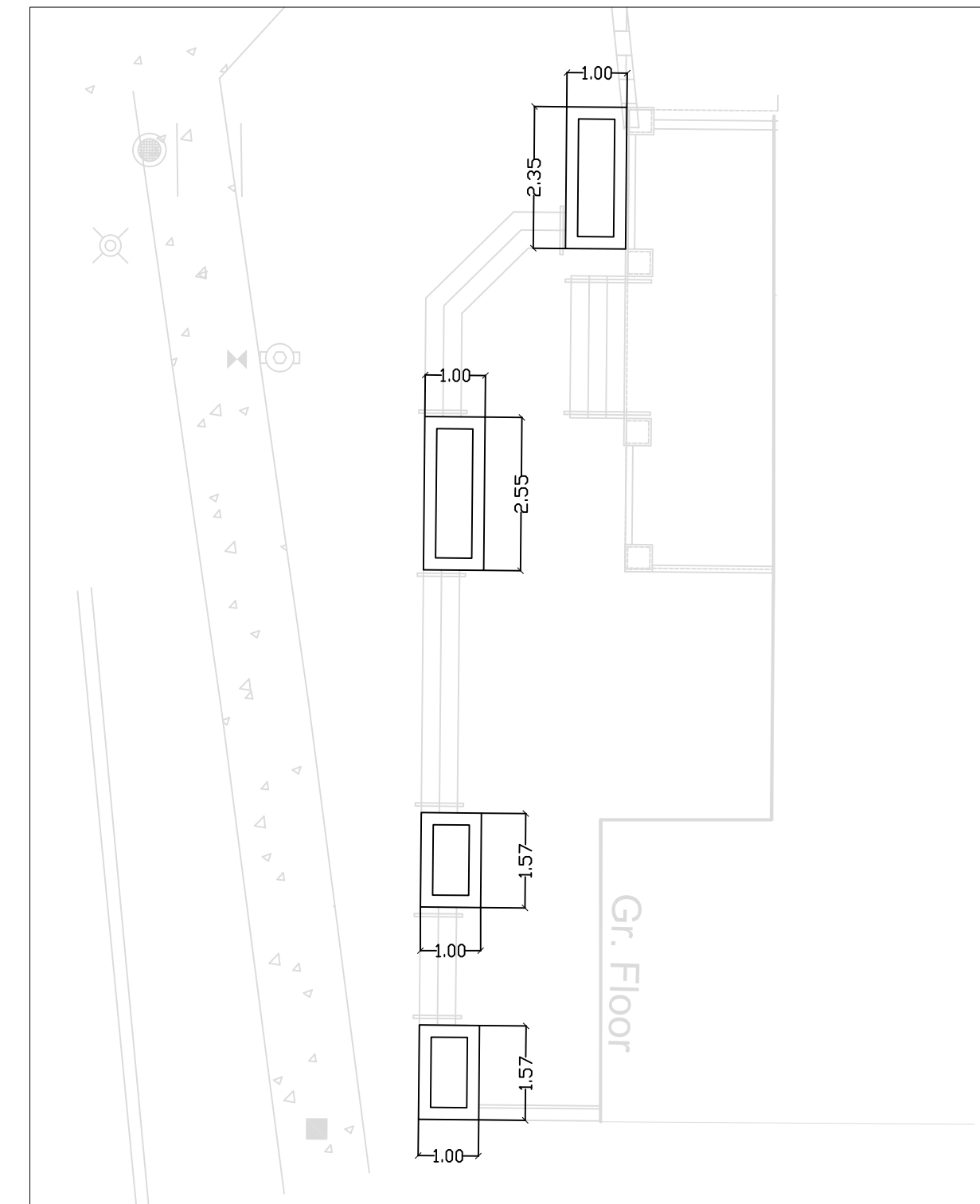
1 Concrete Unit Paving at Grade N.T.S.



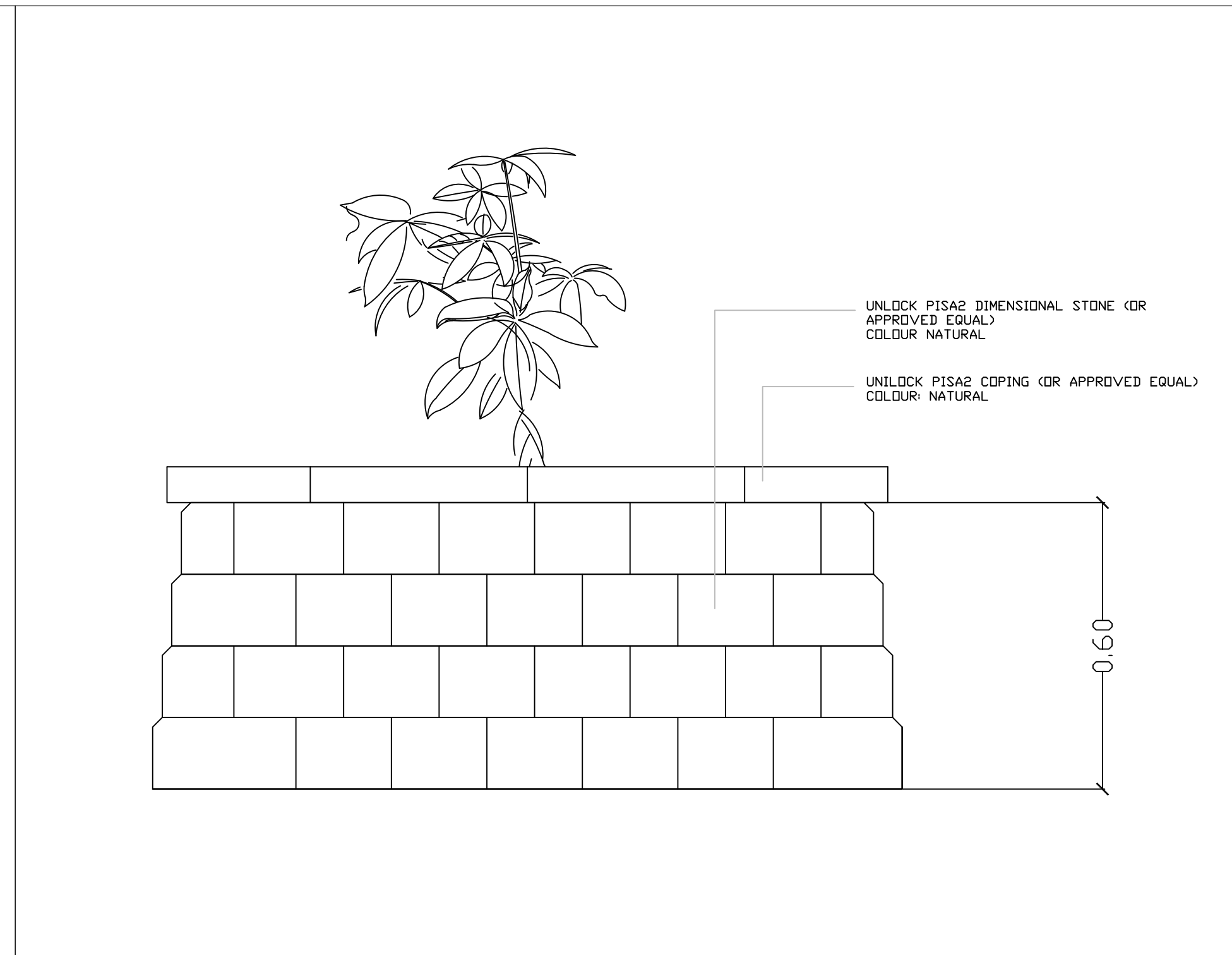
2 Turfstone N.T.S.



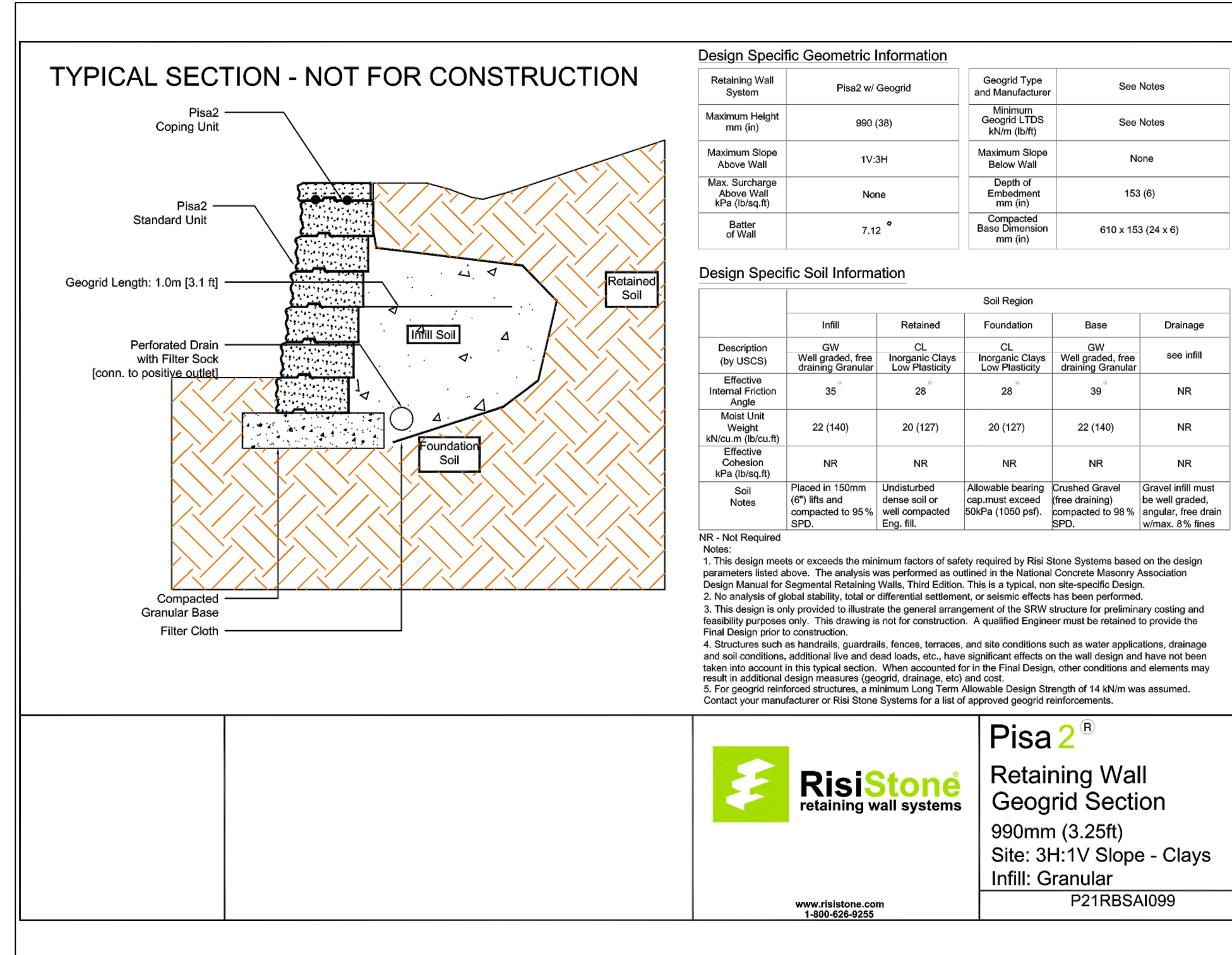
3 Concrete Paving N.T.S.



4 Dimensional Stone Planter N.T.S.



4 Dimensional Stone Planter N.T.S.



4 Dimensional Stone Planter N.T.S.

Revision No.	Date	Issued / Revision	By
10	October 7, 2019	Issued for Review	CC
9	August 1, 2019	Issued for Review	NV
8	April 25, 2018	Issued for Review	PD
7	July 26, 2017	Issued for Review	DC
6	May 19, 2017	Issued for Review	DC
5	May 10, 2017	Issued for Review	DC
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	Date	May 2017
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Project	10489 ISLINGTON AVE KLEINBURG, ONTARIO	
File Name	Landscape Details	Dwg No. L-2