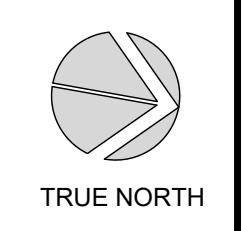




BATHURST STREET

SITE AREA	4,526.41 m2	Or	1.12 acres
GFA (BASSINGTHWAITE BLDG)	244.06 m2	Or	2,267 sf
COVERAGE	213.48 m2	Or	4.72 %
COVERAGE (INCLUDING PORCH)	238.38 m2	Or	5.27 %
PARKING PROVIDED			13 SPACES



No.	ISSUED	DATE
1	ISSUED FOR REVIEW	FEB. 20 2024
2	ISSUED FOR PAC	MAR. 22, 2024
3	ISSUED FOR HERITAGE COMMITTEE REVIEW	AUG. 12, 2024

No.	REVISION	DATE

BALDASSARRA
Architects Inc.

30 Great Gulf Drive, Unit 20 | Concord ON | L4K 0K7
T. 905.660.0722 | www.baldassarra.ca

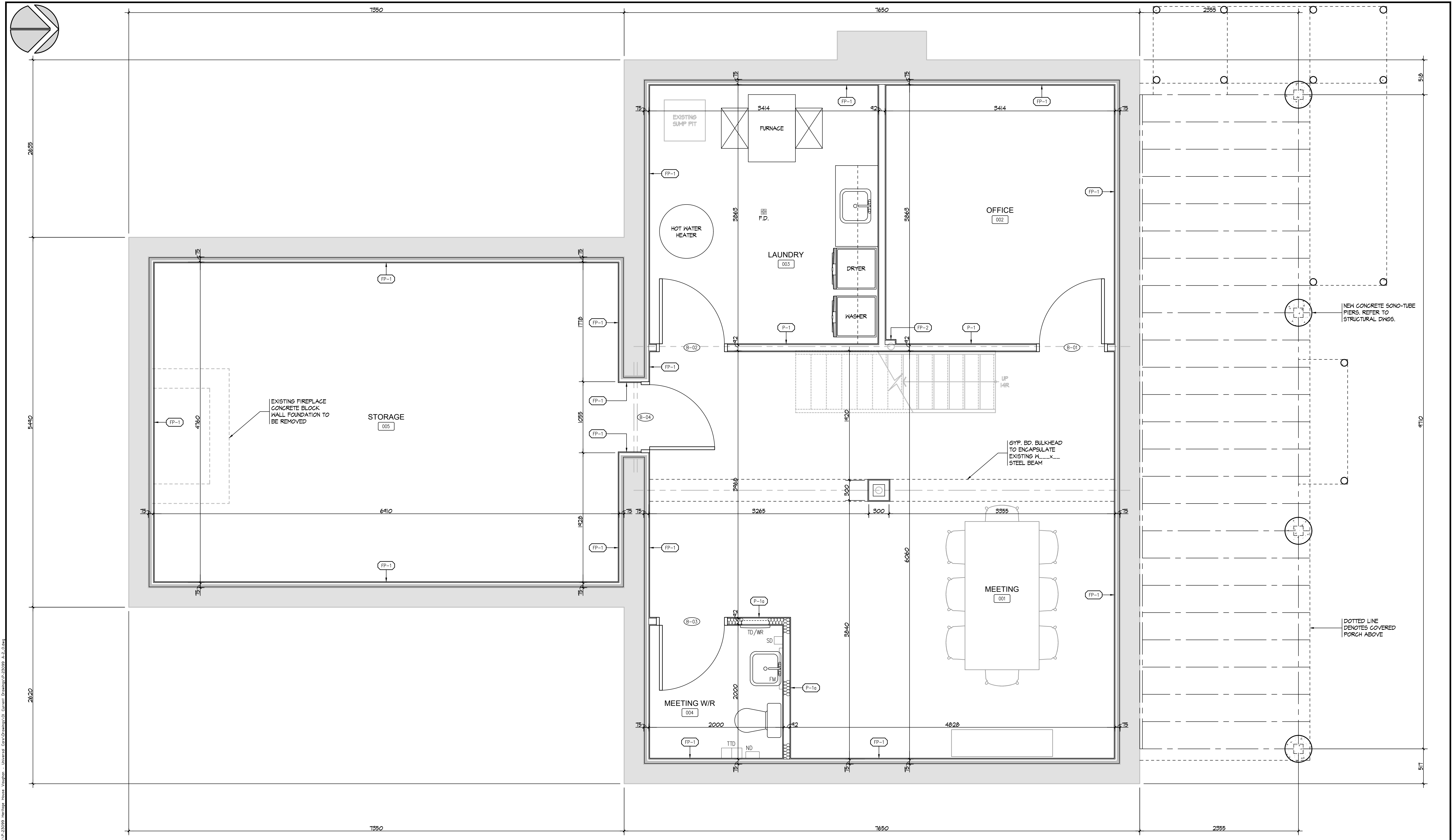
OWNERS INFORMATION:

Bassingthwaite Building

Vaughan, ON

Site Plan

DATE:	DRAWN BY:	CHECKED:	SCALE:
FEB. 2024	CI		1:200
PROJECT No.	DRAWING No.		
P-23099	A-1.0		



No.	ISSUED	DATE

No.	REVISION	DATE

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Architects Inc.

30 Great Gulf Drive, Unit 20 | Concord ON | L4K 0K7
T: 905.660.0722 | www.baldassarra.ca

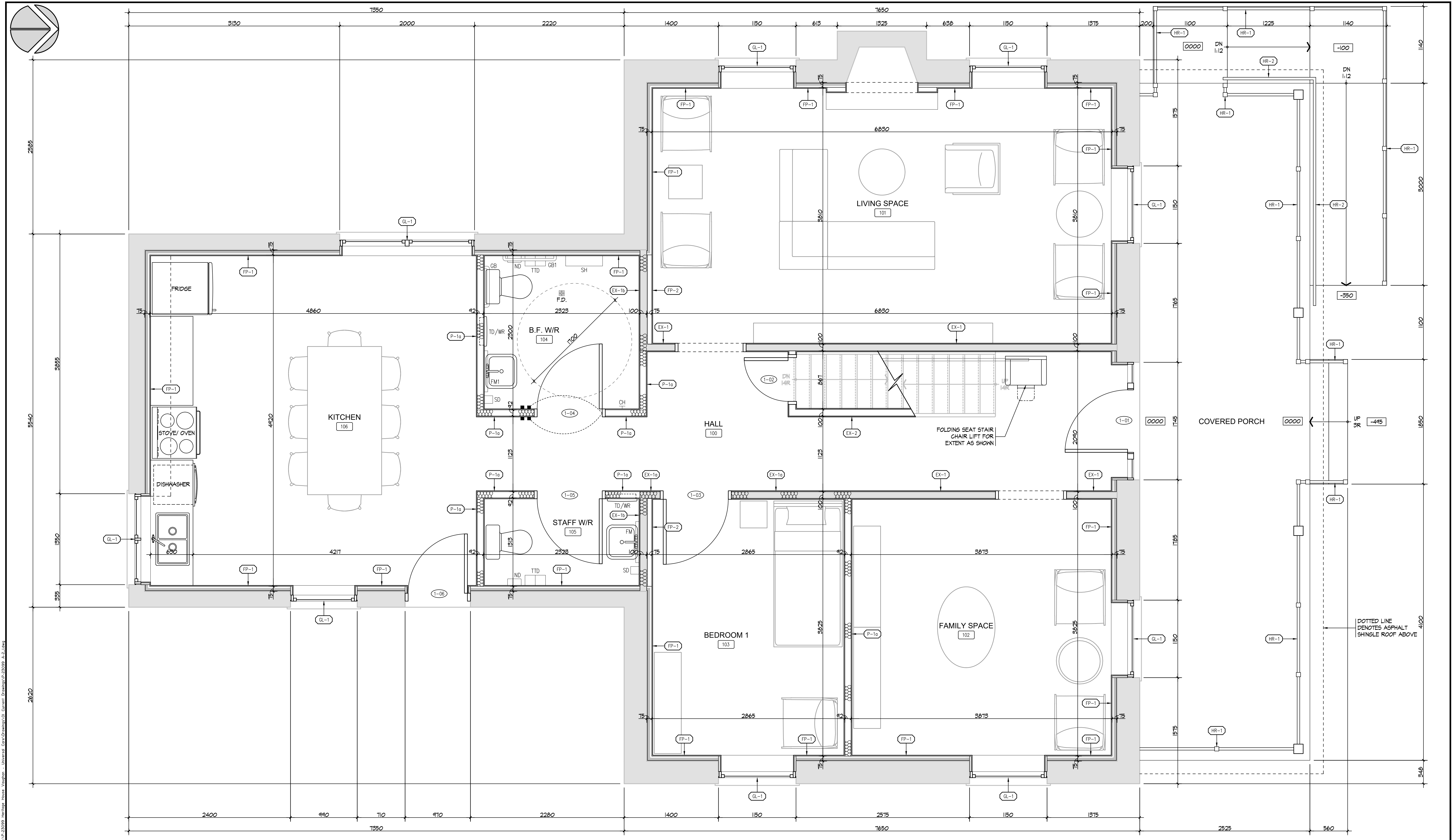
OWNERS INFORMATION:

Basingthwaite Building

Vaughan, ON

Basement Plan

DATE: JUL. 2024	DRAWN BY: CI	CHECKED:	SCALE: 1:25
PROJECT No. P-23099		DRAWING No. A-2.0	



No.	ISSUED	DATE

No.	REVISION	DATE

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Architects Inc.

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OWNERS INFORMATION:

Basingthwaite Building

Vaughan, ON

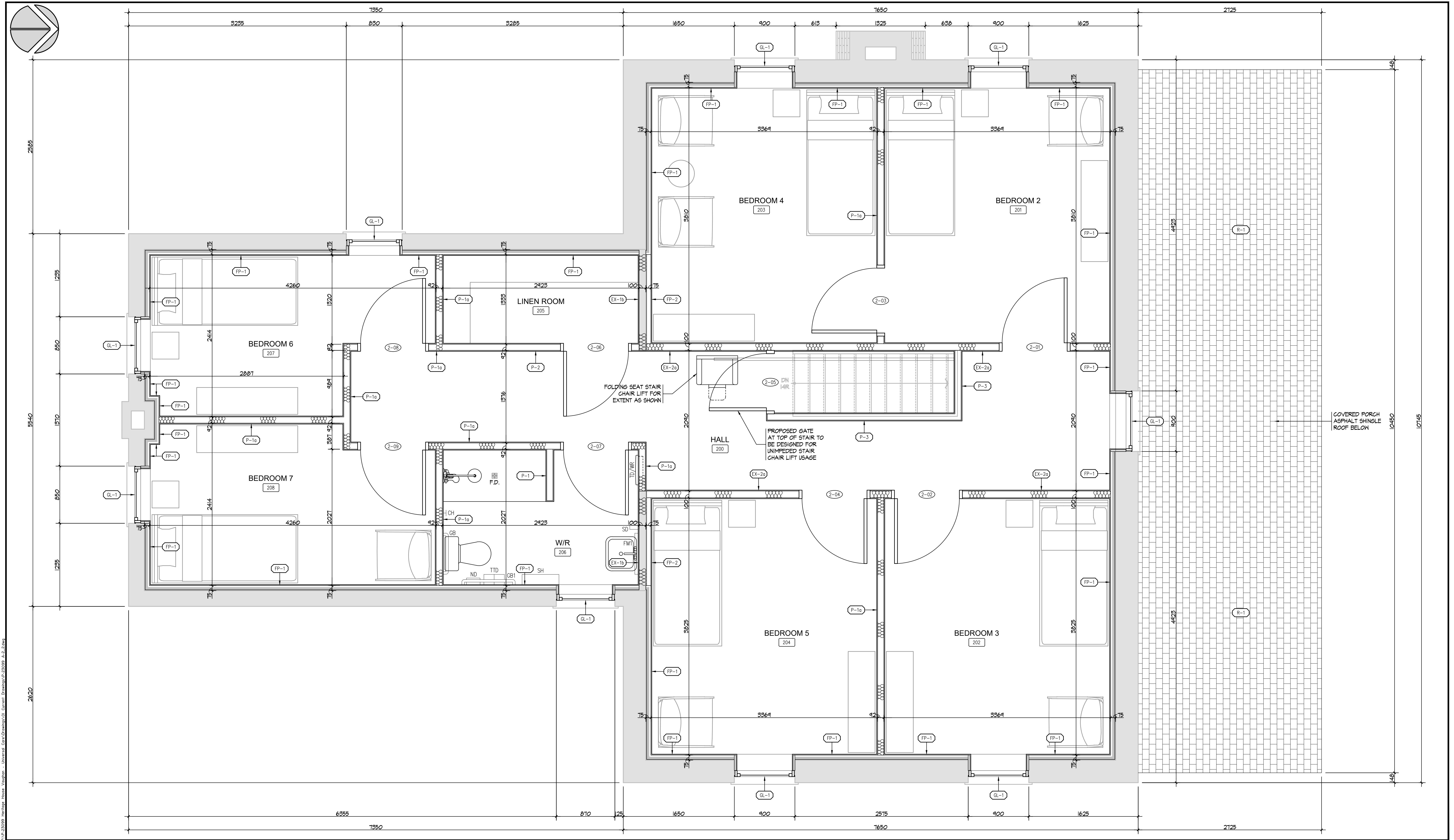
Ground Floor Plan

DATE:	DRAWN BY:	CHECKED:	SCALE:
JUL. 2024	CI		1:25

PROJECT No. DRAWING No.

P-23099

A-2.1



No.	ISSUED	DATE

No.	REVISION	DATE

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Architects Inc.

30 Great Gulf Drive, Unit 20 | Concord ON | L4K 0K7
T. 905.660.0722 | www.baldassarra.ca

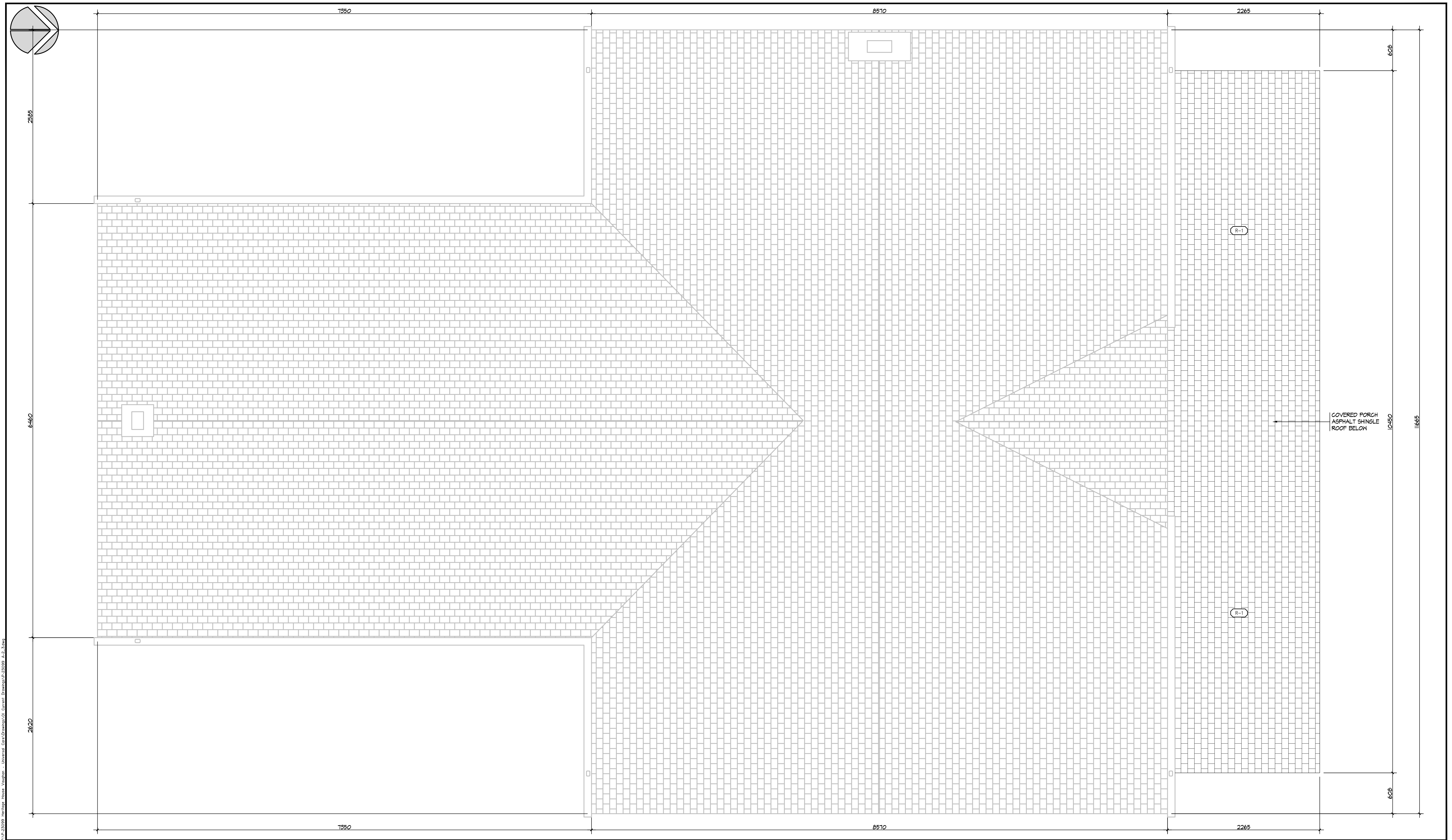
OWNERS INFORMATION:

Basingthwaite Building

Vaughan, ON

Second Floor Plan

DATE: JUL. 2024	DRAWN BY: CI	CHECKED:	SCALE: 1:25
PROJECT No. P-23099	DRAWING No. A-2.2		



No.	ISSUED	DATE

No.	REVISION	DATE

BALDASSARRA
Architects Inc.

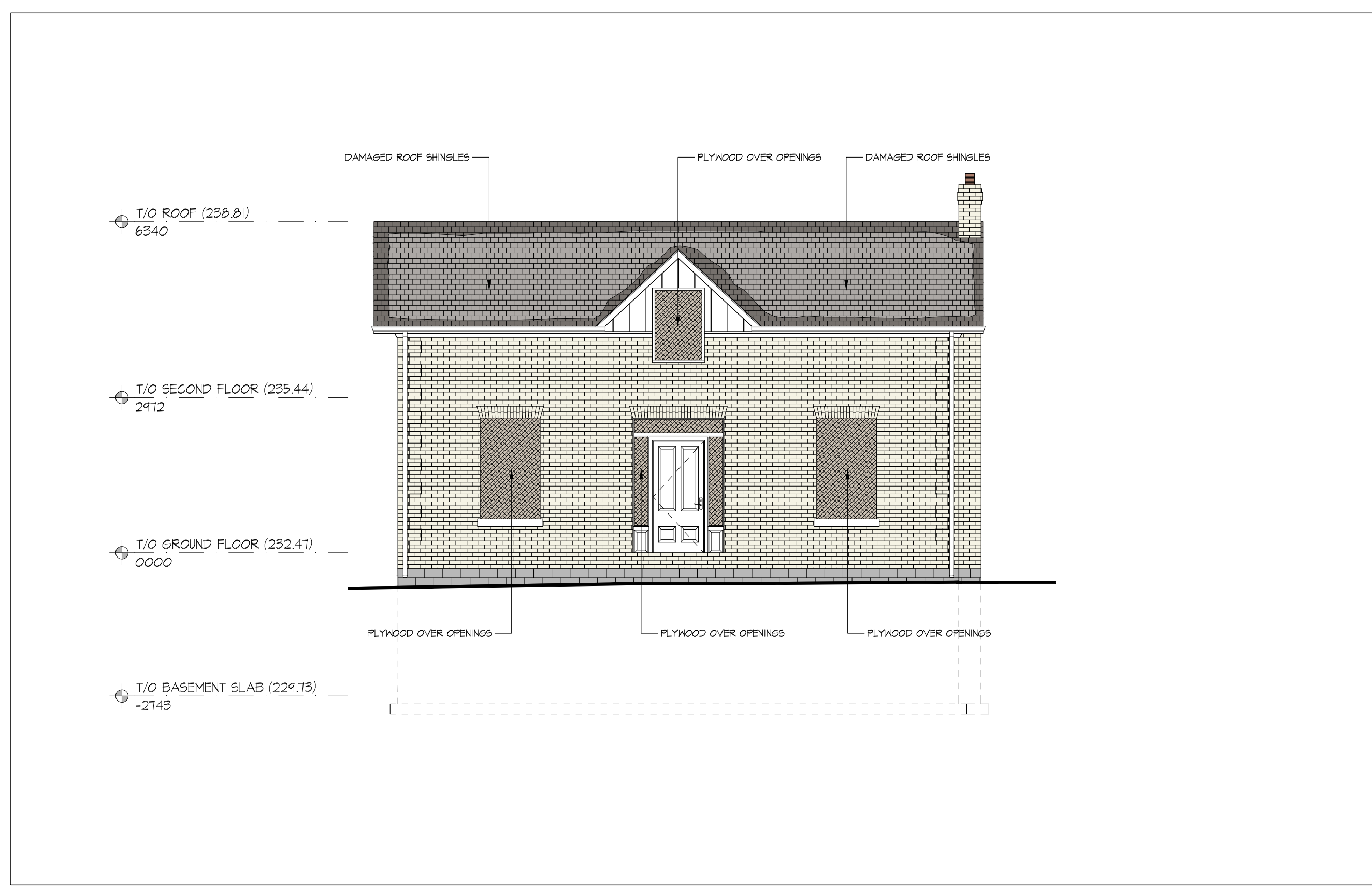
30 Great Gulf Drive, Unit 20 | Concord ON | L4K 0K7
T: 905.660.0722 | www.baldassarra.ca

OWNERS INFORMATION:

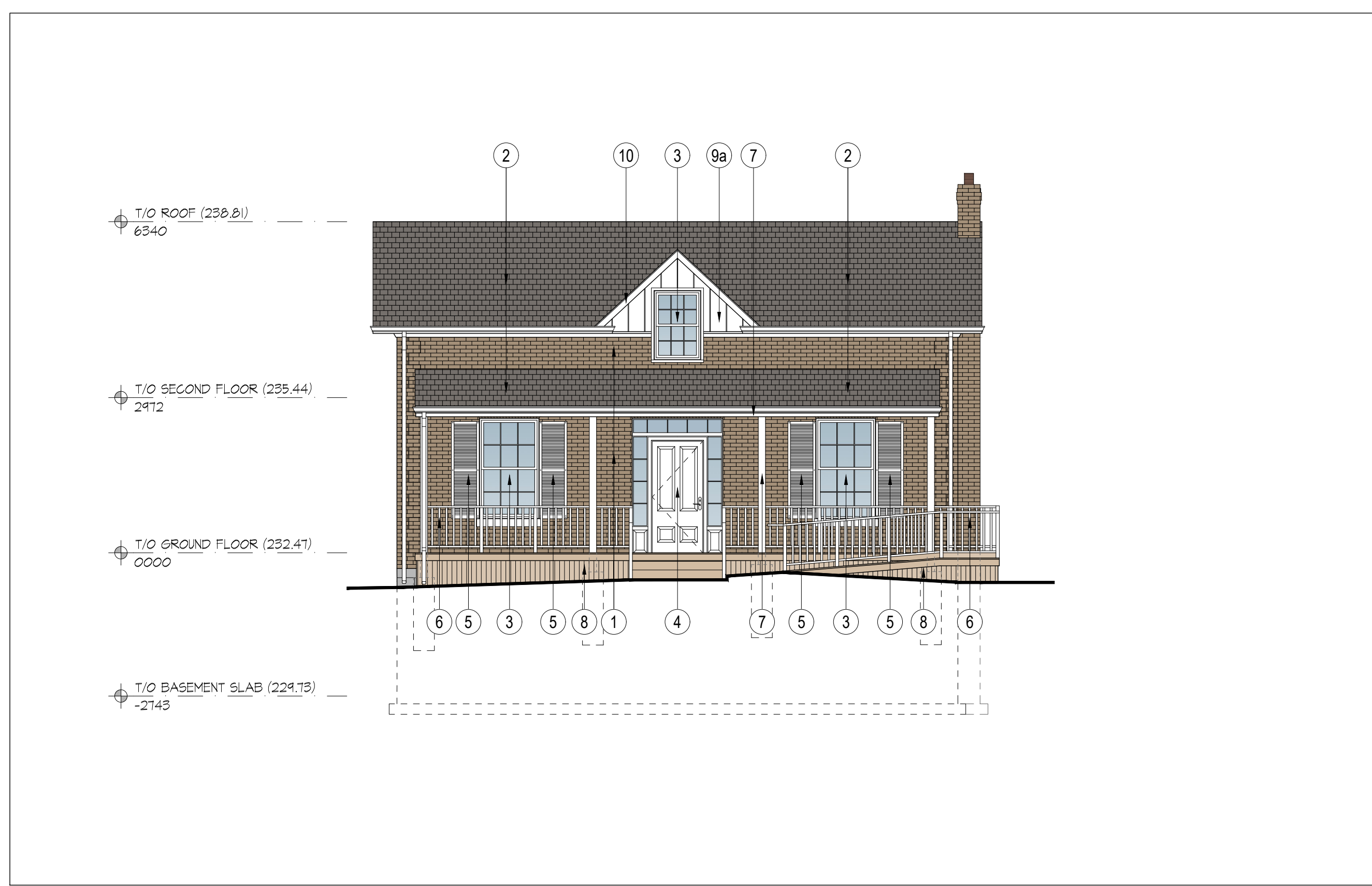
Basingthwaite Building

Vaughan, ON

Roof Plan			
DATE:	DRAWN BY:	CHECKED:	SCALE:
JUL. 2024	CI		1:25
PROJECT No.	DRAWING No.		
P-23099	A-2.3		

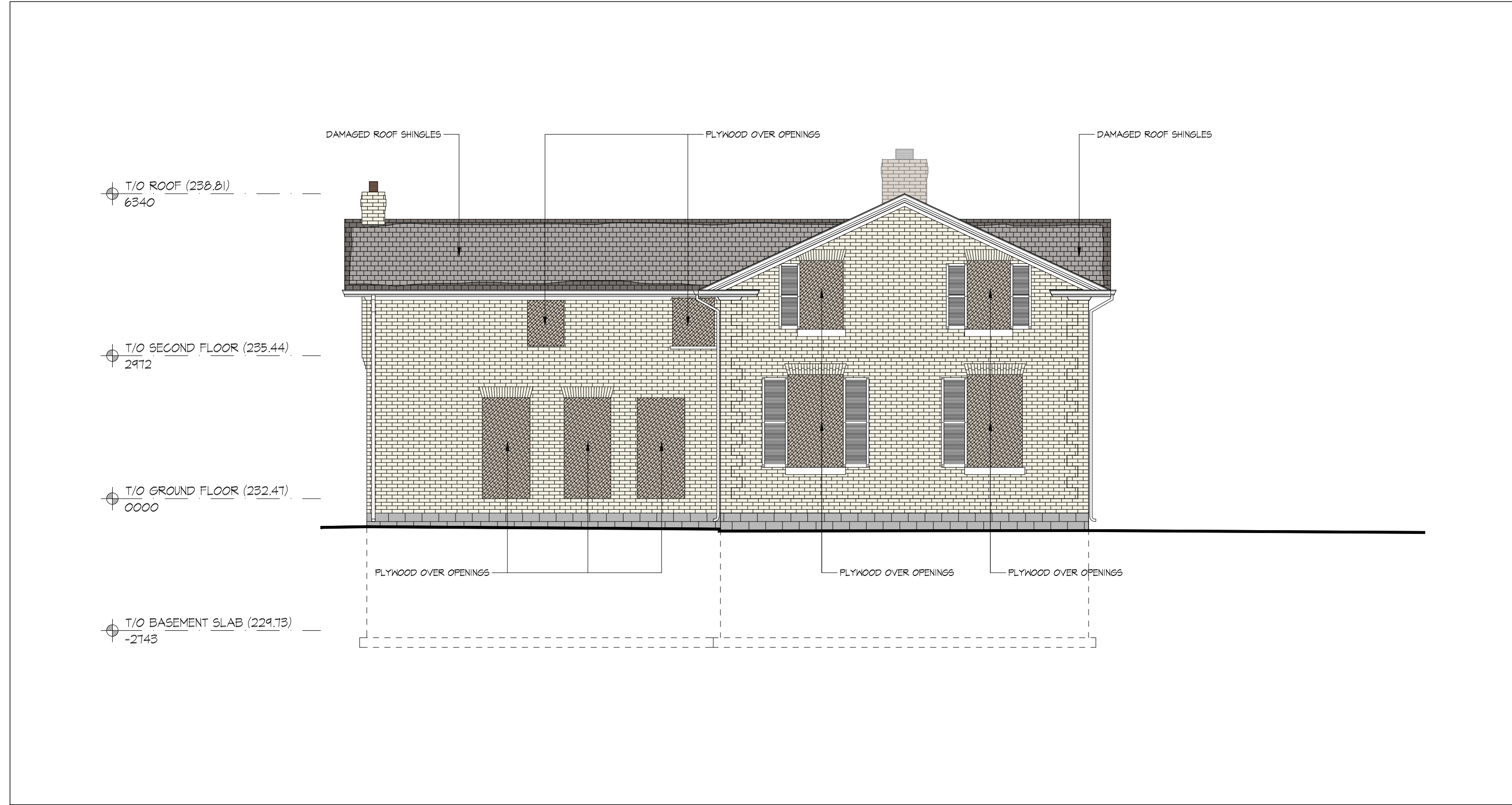


1 Existing North Elevation
A-3.0 1:75



2 Proposed North Elevation
A-3.0 1:75

- MATERIAL LEGEND**
- 1 EXISTING MASONRY WALL TO BE CLEANED & RESTORED TO ORIGINAL CONDITION.
 - 1a NEW MASONRY WALL INFILL TO MATCH EXISTING ADJACENT MASONRY.
 - 2 NEW ASPHALT ROOF SHINGLES. COLOUR TO BE CHARCOAL.
 - 3 NEW DOUBLE HUNG WINDOWS TO MATCH PREVIOUS HERITAGE HOUSE WINDOWS.
 - 4 NEW DOOR TO MATCH EXISTING HERITAGE HOUSE DOOR.
 - 5 NEW EXTERIOR WINDOW SHUTTERS TO MATCH EXISTING SHUTTERS.
 - 6 NEW 900mm HIGH WOOD PICKET GUARD TO BE PAINTED WHITE.
 - 7 NEW PRESSURE TREATED WOOD PORCH POSTS & BEAMS TO BE PAINTED WHITE.
 - 8 NEW 'TREX' COMPOSITE DECK. COLOUR TO BE CARMEL.
 - 9a EXISTING BOARD & BATTEN WOOD FASCIA TO BE RESTORED & PAINTED WHITE.
 - 9b NEW BOARD & BATTEN WOOD FASCIA TO MATCH EXISTING HERITAGE HOUSE.
 - 10 EXISTING ROOF FASCIA BOARD TO BE RESTORED & PAINTED WHITE.



3 Existing East Elevation
A-3.0 1:75



4 Proposed East Elevation
A-3.0 1:75

P:\P-23099 - Heritage House - Vaughan - Universal - Civil\Drawings\Concept - Drawings\A-3.0.dwg

No.	ISSUED	DATE
1	ISSUED FOR HERITAGE COMMITTEE REVIEW	AUG. 12, 2024

No.	REVISION	DATE
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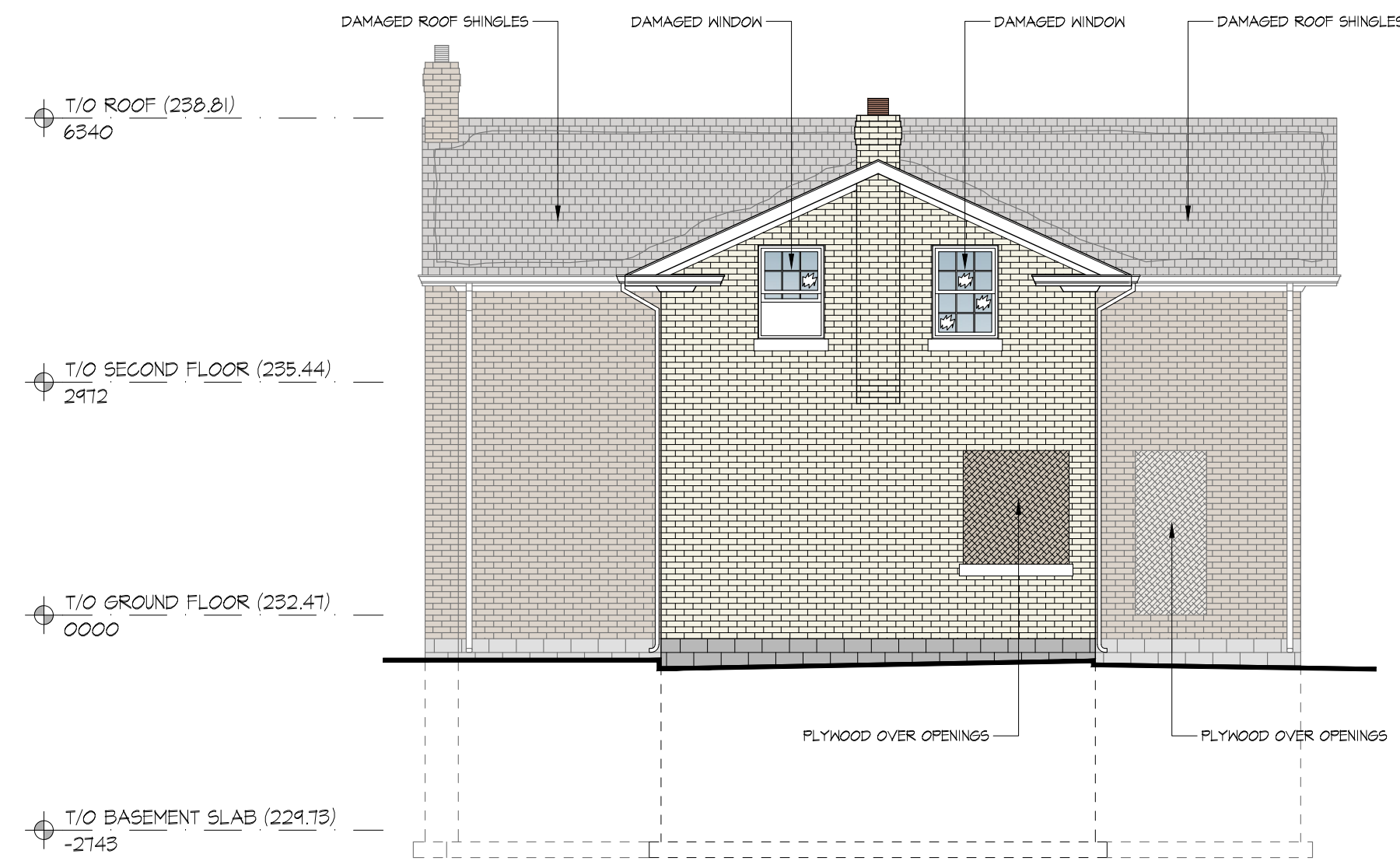
OWNERS INFORMATION:

Basingthwaite Building

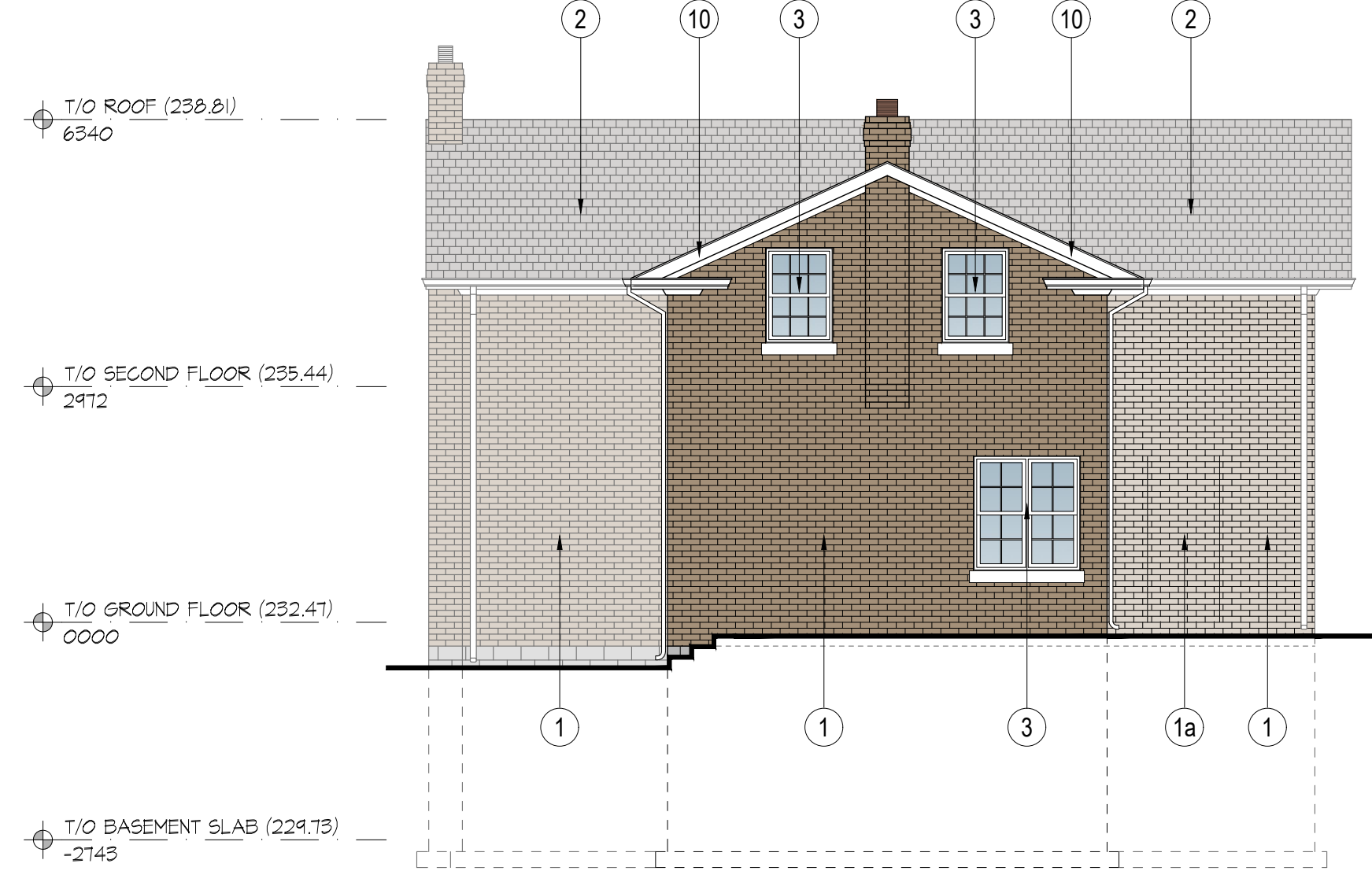
Vaughan, ON

Elevations

DATE:	DRAWN BY:	CHECKED:	SCALE:
JUL. 2024	CI		AS NOTED
PROJECT No.		DRAWING No.	
P-23099		A-3.0	

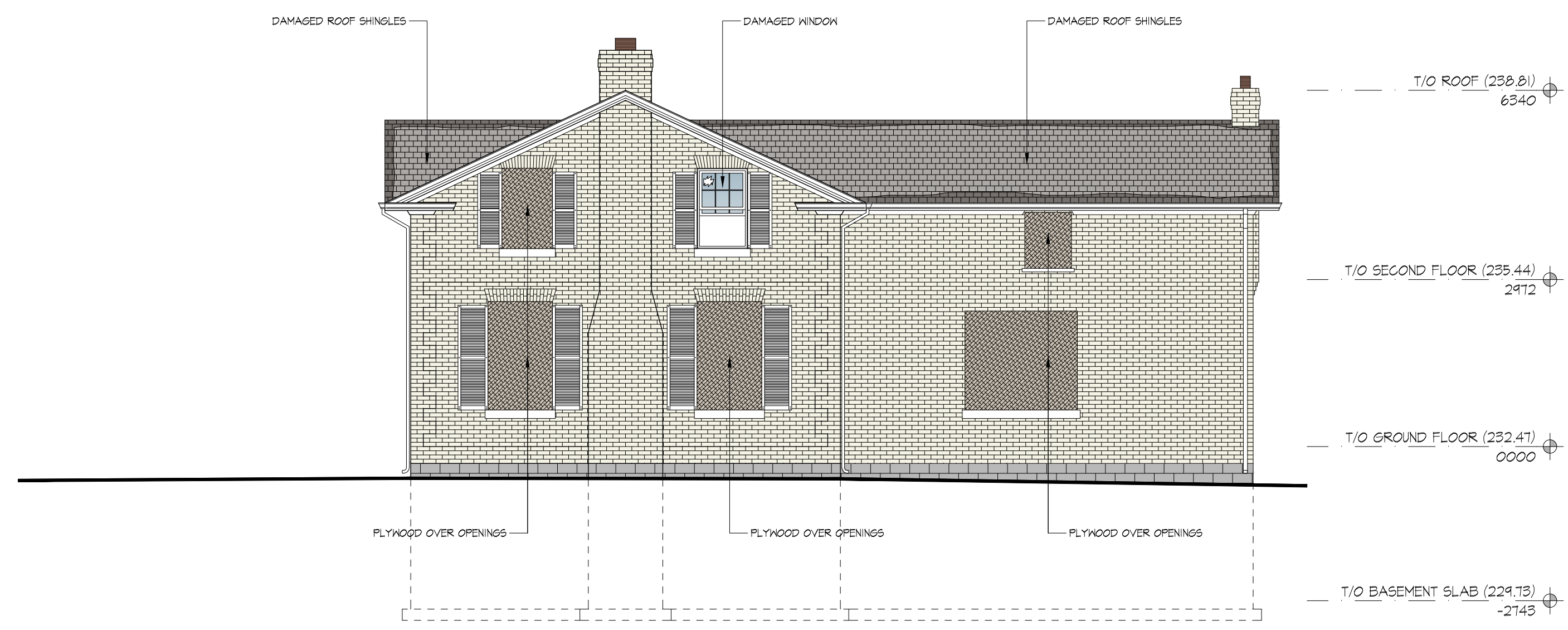


1 Existing South Elevation
A-3.1 1:75

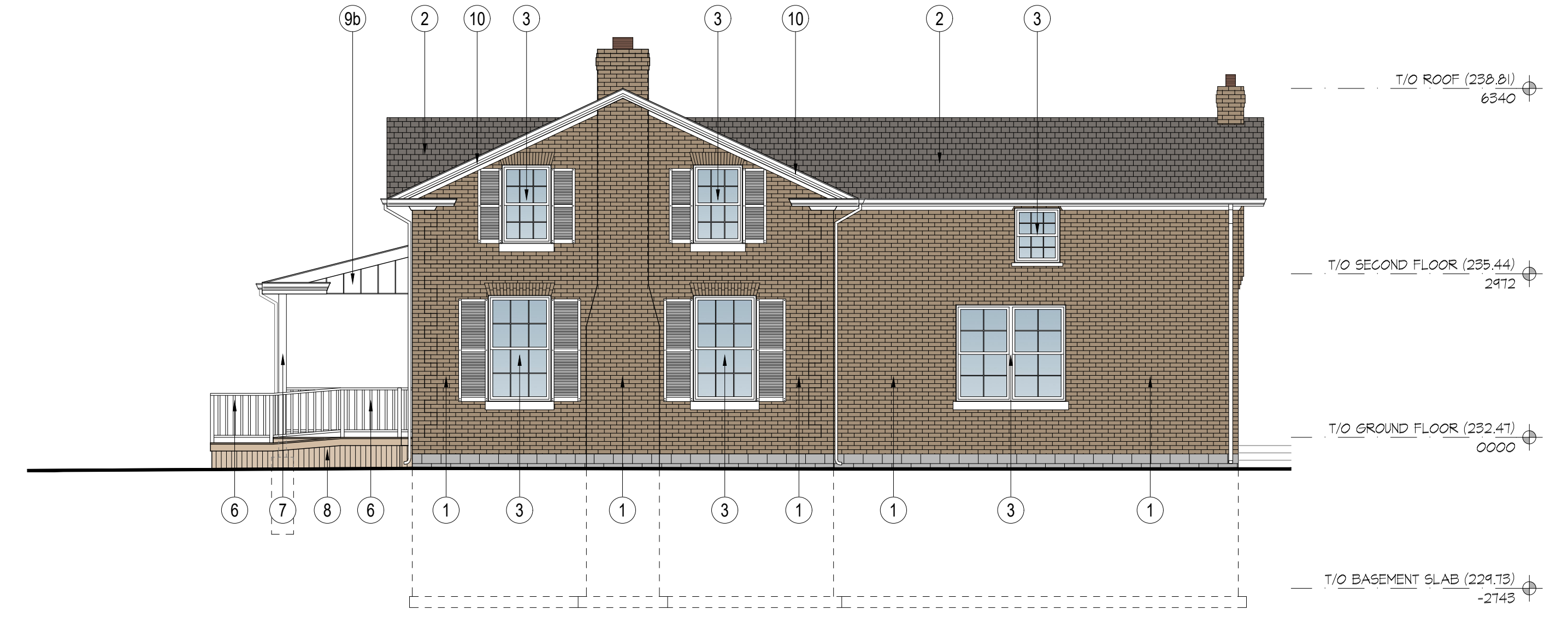


2 Proposed South Elevation
A-3.1 1:75

- MATERIAL LEGEND**
- 1 EXISTING MASONRY WALL TO BE CLEANED & RESTORED TO ORIGINAL CONDITION.
 - 1a NEW MASONRY WALL INFILL TO MATCH EXISTING ADJACENT MASONRY.
 - 2 NEW ASPHALT ROOF SHINGLES. COLOUR TO BE CHARCOAL.
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 - 9a EXISTING BOARD & BATTEN WOOD FASCIA TO BE RESTORED & PAINTED WHITE.
 - 9b NEW BOARD & BATTEN WOOD FASCIA TO MATCH EXISTING HERITAGE HOUSE.
 - 10 EXISTING ROOF FASCIA BOARD TO BE RESTORED & PAINTED WHITE.



3 Existing West Elevation
A-3.1 1:75



4 Proposed West Elevation
A-3.1 1:75

No.	ISSUED	DATE
1	ISSUED FOR HERITAGE COMMITTEE REVIEW	AUG. 12, 2024

No.	REVISION	DATE

BALDASSARRA
Architects Inc.

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T. 905.660.0722 | www.baldassarra.ca

OWNERS INFORMATION:

Basingthwaite Building

Vaughan, ON

Elevations

DATE:	DRAWN BY:	CHECKED:	SCALE:
JUL. 2024	CI		AS NOTED

PROJECT No. P-23099

DRAWING No. **A-3.1**