

# ***THE CITY OF VAUGHAN***

# ***BY-LAW***

## **BY-LAW NUMBER 101-2019**

**A By-law to amend City of Vaughan By-law 1-88 as amended.**

**WHEREAS** the matters herein set out are in conformity with the Official Plan of the Vaughan Planning Area, which is approved and in force at this time;

**AND WHEREAS** there has been an amendment to the Vaughan Official Plan adopted by Council but not approved at this time, with which the matters herein set out are in conformity;

**NOW THEREFORE** the Council of the Corporation of the City of Vaughan **ENACTS AS FOLLOWS:**

1. That City of Vaughan By-law Number 1-88, as amended, be and it is hereby further amended by:
  - a) Rezoning the lands shown as “Subject Lands” on Schedule “1” attached hereto from R3 Residential Zone to RA2 Apartment Residential Zone, in the manner shown on the said Schedule “1”.
  - b) Deleting Exception Paragraph (267) in its entirety and substituting therefore the following Paragraph to Section 9.0 “EXCEPTIONS”:

“(267) Notwithstanding the provisions of:

    - a) Subsections 2.0 and 3.8 respecting Definitions of a Parking Space and Minimum Parking Requirements;
    - b) Subsection 3.9 respecting Loading Space Requirements a) and d);
    - c) Subsection 3.13 respecting Minimum Landscaped Area
    - d) Subsection 3.14 respecting Permitted Yard Encroachments and Restrictions;
    - e) Subsection 4.1.6 respecting Minimum Amenity Area;
    - f) Subsections 4.1.8, 4.11 and Schedule ‘A’ respecting Uses Permitted and Minimum zone standards in an RA2 Apartment Residential Zone

the following provisions shall apply to the lands shown as “Subject Lands” on Schedule “E- 271” attached hereto as Schedule 1:

    - ai) A minimum of 41 parking spaces, including visitor parking spaces with a minimum parking space size (standard parking spaces) of 2.6 m x 5.7 m shall be provided to serve the Subject Lands;
    - bi) A loading space with a dimensions of 3.5 m x 7.3 m shall be located in a side yard behind the front façade of the building;
    - ci) A minimum landscape strip of 2.5 m in width shall be provided along the property line abutting a street line (Kipling Avenue);

- di) The front yard setback to the unexcavated open and unenclosed stairs, landscape planter, staircase, transformer pad and access ramp shall be 0 m and only a portion of the staircase, landscaping planters, transformer pad and access ramp shall be permitted to encroach into the right-of-way to a maximum of 2.6 m as shown on Schedule E-271;
- ei) The minimum overall amenity area shall be 318 m<sup>2</sup>;
- fi) A 3-storey purpose built residential rental apartment building is permitted on the subject lands with the following provisions:
  - the minimum lot area/unit shall be 39 m<sup>2</sup>/unit.
  - the maximum number of rental units shall be 45
  - the minimum interior side yard shall be 3 m (north and south lot lines).
  - the minimum rear yard shall be 4.5 m (west lot line).
  - the minimum lot frontage shall 25 m or as existing.
  - the minimum front yard setback to underground garage shall .5 m.
  - the minimum front yard setback shall be 2.5 m from the building to the property line.
- c) Deleting Schedule “E-271” Section 9(267) and substituting therefor Schedule “E-271” attached hereto as Schedule “1”.
- d) Deleting Key Map 8B and substituting therefor the Key Map 8B attached hereto as Schedule “2”.

2. Schedules “1” and “2” shall be and hereby form part of this By-law.

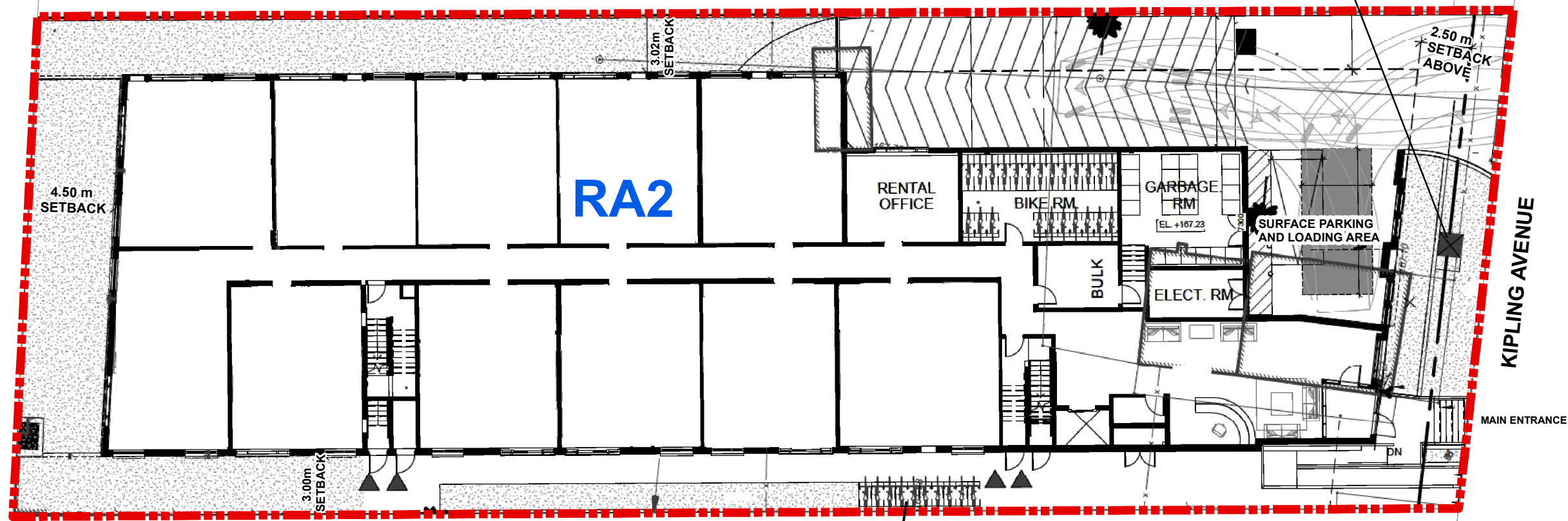
Enacted by City of Vaughan Council this 12<sup>th</sup> day of June, 2019.

\_\_\_\_\_  
Hon. Maurizio Bevilacqua, Mayor

\_\_\_\_\_  
Todd Coles, City Clerk




C.P.R. - SPUR LINE



THIS IS SCHEDULE 'E-271'  
TO BY-LAW 1-88  
SECTION 9(267)

10 TEMPORARY  
BICYCLE PARKING  
SPACES  
(5 BIKE RINGS)

 SUBJECT LANDS



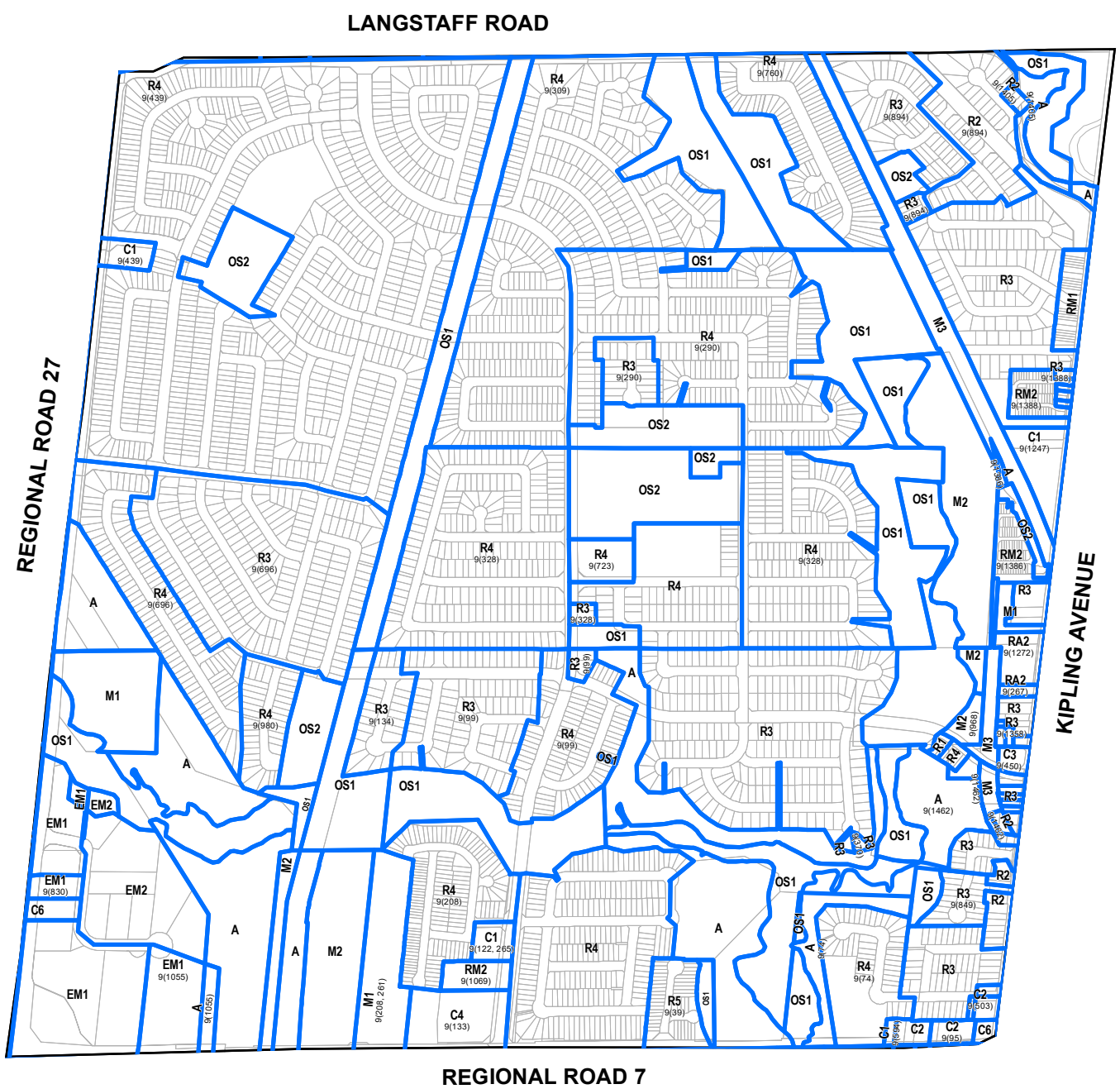
**FILE:** Z.18.007  
**RELATED FILE:** OP.18.003  
**LOCATION:** Part of Lot 7, Concession 8  
**APPLICANT:** 1567855 Ontario Ltd.  
**CITY OF VAUGHAN**

THIS IS SCHEDULE '1'  
TO BY-LAW 101-2019  
PASSED THE 12TH DAY OF JUNE, 2019

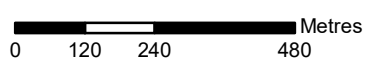
SIGNING OFFICERS

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CLERK



KEY MAP 8B  
BY-LAW NO. 1-88



THIS IS SCHEDULE '2'  
TO BY-LAW 101-2019  
PASSED THE 12TH DAY OF JUNE, 2019

**FILE:** Z.18.007  
**RELATED FILE:** OP.18.003  
**LOCATION:** Part of Lot 7, Concession 8  
**APPLICANT:** 1567855 Ontario Ltd.  
**CITY OF VAUGHAN**

**SIGNING OFFICERS**  
  
\_\_\_\_\_  
MAYOR  
  
\_\_\_\_\_  
CLERK

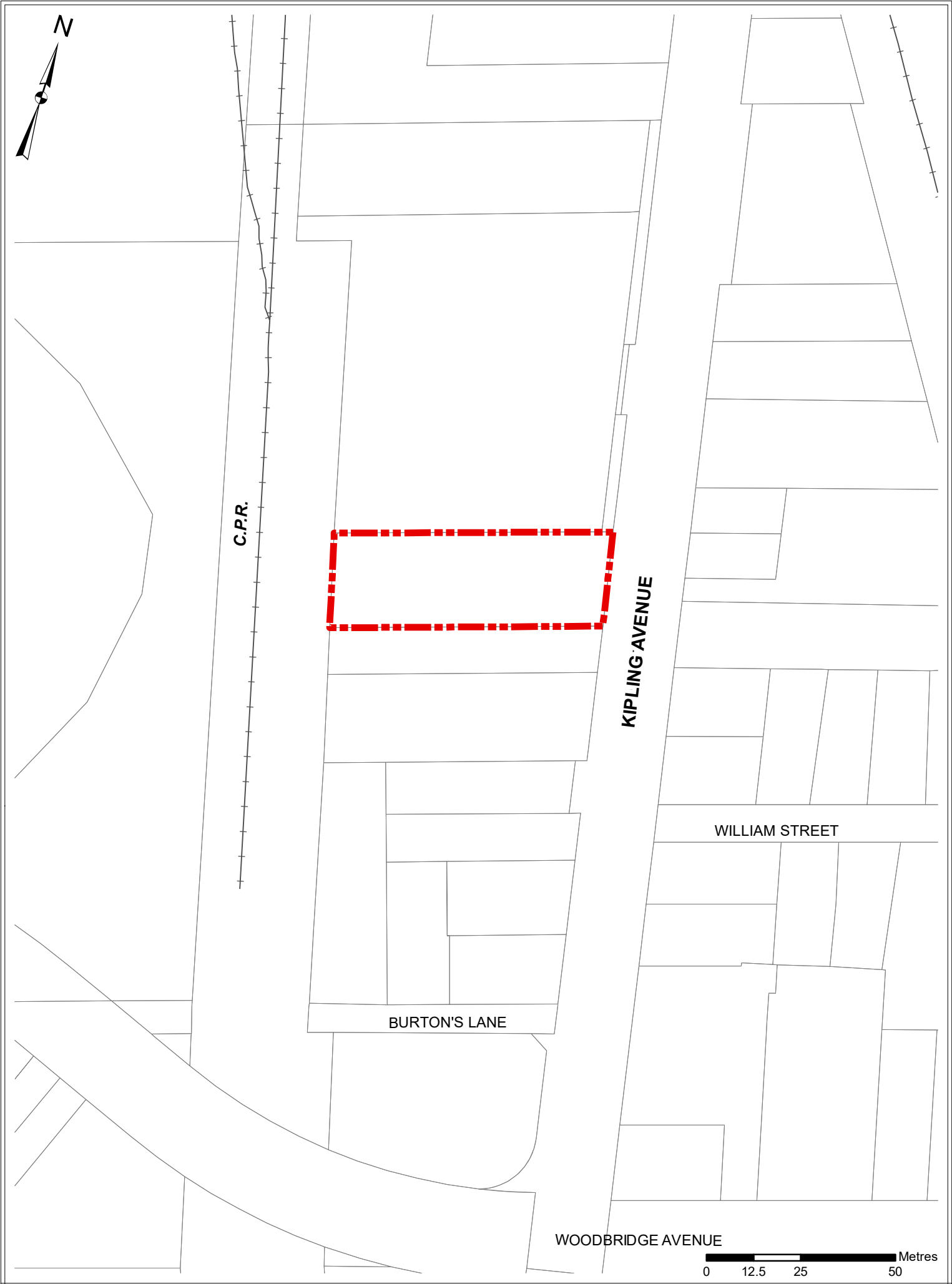
### **SUMMARY TO BY-LAW 101-2019**

The lands subject to this By-law are located on the west side of Kipling Avenue, north of Woodbridge Avenue, being in the north half of Lot 7, Concession 8, also known as Lot 9, Deposited Plan 546 Woodbridge, and known municipally as 8010 Kipling Avenue, City of Vaughan.

The purpose of this by-law is to rezone the subject lands from R3 Residential Zone to RA2 Residential Apartment Zone to facilitate the development of a 3-storey purpose built residential rental apartment building containing 45 units, with a Floor Space Index (FSI) of 1.94 times the area of the lot and served by underground parking.

The exceptions to the RA2 Zone are as follows:

- A minimum of 41 parking spaces including visitor parking spaces with a minimum parking space size (standard parking spaces) of 2.6 m x 5.7 m shall be provided to serve the Subject Lands;
- A loading space with the following dimensions of 3.5 m x 7.3 m shall be located in a side yard behind the front façade of the building;
- A minimum landscape strip of 2.5 m in width shall be provided along the property line abutting a street line (Kipling Avenue);
- The front yard setback to the unexcavated open and unenclosed stairs, landscaping planter, transformer pad and access ramp shall be 0 m and only a portion of the stairway, landscaping planters, transformer pad and access ramp shall be permitted to encroach into the right-of-way to a maximum of 2.6 m;
- The minimum amenity area shall be 318 m<sup>2</sup>;
- A 3-storey purpose built residential rental apartment building is permitted on the subject lands with the following provisions:
  - the minimum lot area/unit shall be 39 m<sup>2</sup>/unit.
  - the minimum interior side yard shall be 3 m (north and south lot lines).
  - the minimum rear yard shall be 4.5 m (west lot line).
  - the minimum lot frontage shall 25 m and/or as existing.
  - the minimum front yard setback to underground garage shall .5 m.
  - the minimum front yard setback shall be 2.5 m from the building to the property line.



# LOCATION MAP TO BY-LAW 101-2019

**FILE:** Z.18.007  
**RELATED FILE:** OP.18.003  
**LOCATION:** Part of Lot 7, Concession 8  
**APPLICANT:** 1567855 Ontario Ltd.  
**CITY OF VAUGHAN**

 **SUBJECT LANDS**