

# ***THE CITY OF VAUGHAN***

# ***BY-LAW***

## **BY-LAW NUMBER 094-2019**

**A By-law to amend City of Vaughan By-law 1-88.**

**WHEREAS** the matters herein set out are in conformity with the Official Plan of the Vaughan Planning Area, which is approved and in force at this time;

**AND WHEREAS** there has been no amendment to the Vaughan Official Plan adopted by Council but not approved at this time, with which the matters herein set out are not in conformity;

**NOW THEREFORE** The Council of the Corporation of the City of Vaughan **ENACTS AS FOLLOWS:**

1. That City of Vaughan By-law Number 1-88, as amended, be and it is hereby further amended by:
  - a) Rezoning the lands shown as “Subject Lands” on Schedule “1” attached hereto from OS1 Open Space Conservation Zone to RD4(H) Residential Detached Zone Four with the addition of the Holding Symbol “(H)” and OS1 Open Space Conservation Zone in the manner shown on the said Schedule “2”.
  - b) Deleting clause ii) h) in Paragraph A, Exception 9(1376) and substituting therefor the following:
    - “h) That Lots 1 to 9 inclusive and Block 126 shown on Schedule “E-1504(C)” shall only be developed in conjunction with the abutting lands to the north in Plan of Subdivision 19T-10V004.”
  - c) Deleting Schedule “E-1504(C)” and substituting therefor the Schedule “E-1504(C)” attached hereto as Schedule “2”.
  - d) Deleting Schedule “E-1570” and substituting therefor the Schedule “E-1570” attached hereto as Schedule “3”.
  - e) Deleting Key Map 9E and substituting therefor the Key Map 9E attached hereto as Schedule “4”.
2. Schedules “1”, “2”, “3” and “4” shall be and hereby form part of this By-law.

Enacted by City of Vaughan Council this 12<sup>th</sup> day of June, 2019.

\_\_\_\_\_  
Hon. Maurizio Bevilacqua, Mayor

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Todd Coles, City Clerk



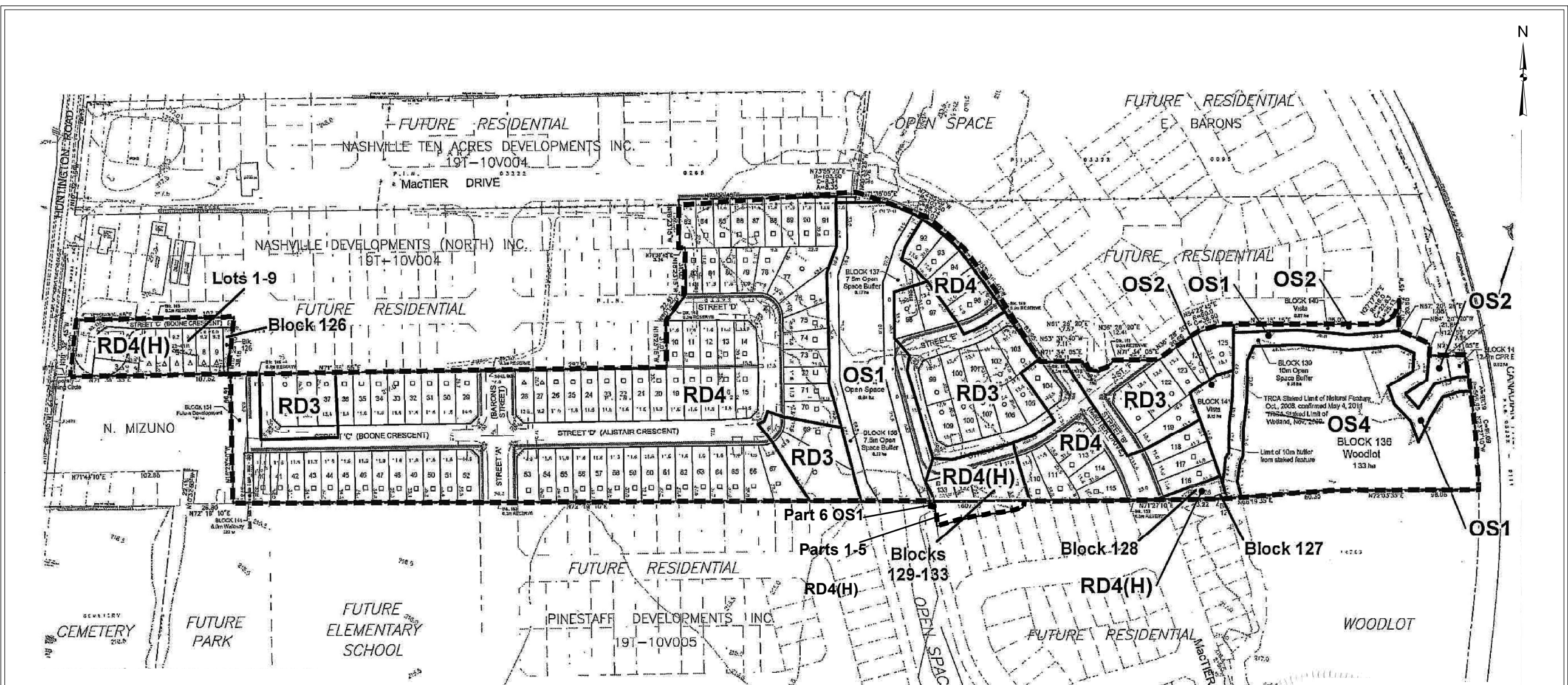
**THIS IS SCHEDULE '1'**  
**TO BY-LAW 094-2019**  
**PASSED THE 12TH DAY OF JUNE, 2019**

**FILE:** Z.18.037  
**RELATED FILES:** Z.16.052, 19T-16V010 /  
Z.10.034, Z.17.034, 19T-10V005  
**LOCATION:** Part of Lot 24, Concession 9  
**APPLICANT:** Nashville Developments (North) Inc.  
**CITY OF VAUGHAN**

**SIGNING OFFICERS**

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**MAYOR**

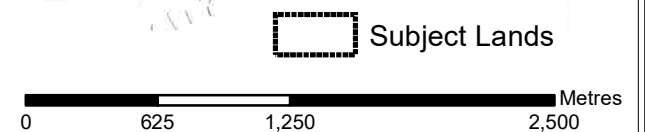
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**CLERK**



THIS IS SCHEDULE 'E-1504(C)'  
TO BY-LAW 1-88  
SECTION 9(1376)

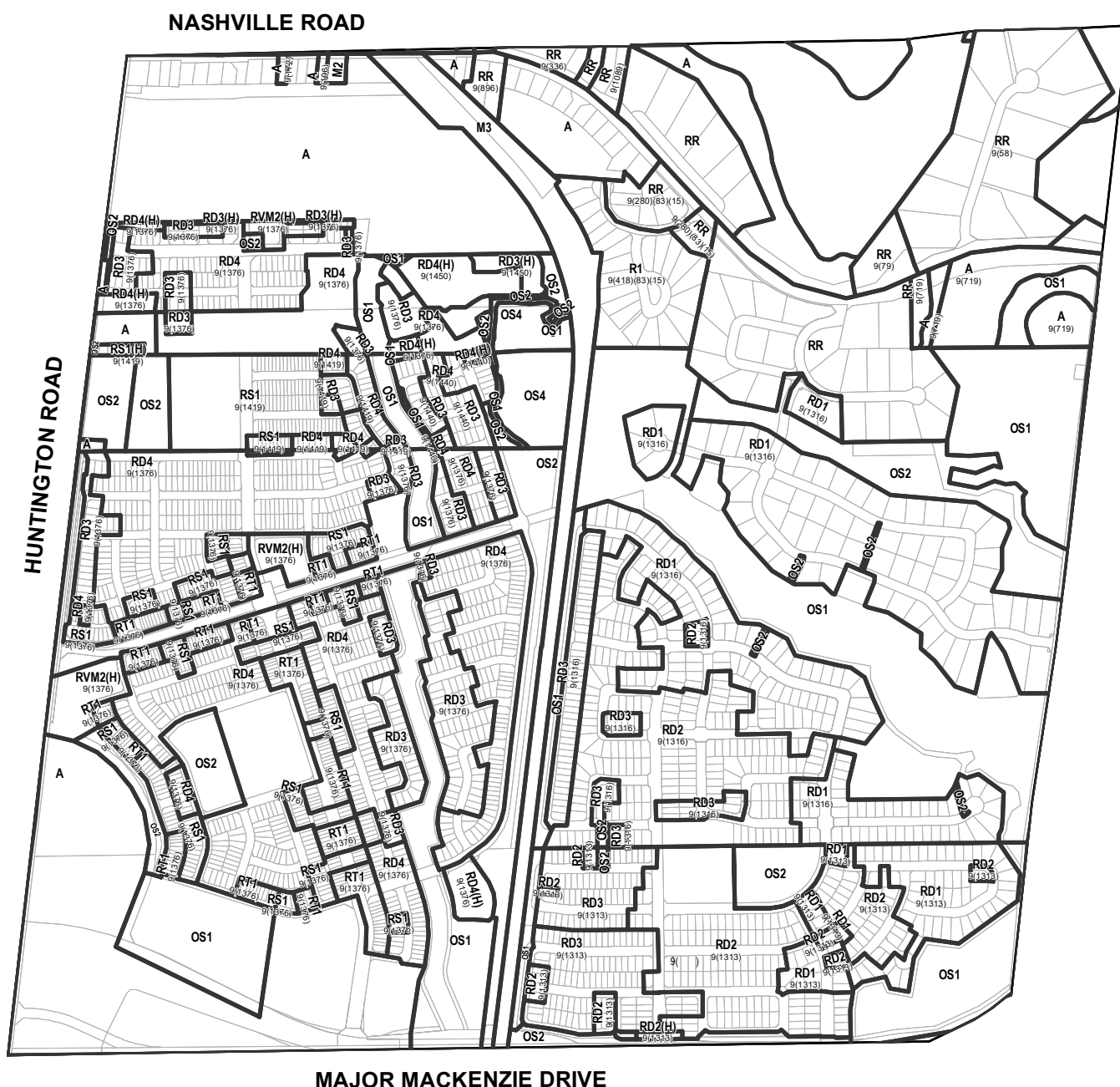
FILE: Z.18.037  
RELATED FILES: Z.16.052, 19T-16V010 /  
Z.10.034, Z.17.034, 19T-10V005  
LOCATION: Part of Lot 24, Concession 9  
APPLICANT: Nashville Developments (North) Inc.  
CITY OF VAUGHAN

THIS IS SCHEDULE '2'  
TO BY-LAW 094-2019  
PASSED THE 12TH DAY OF JUNE, 2019



SIGNING OFFICERS  
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MAYOR  
\_\_\_\_\_  
CLERK





**FILE:** Z.18.037  
**RELATED FILES:** Z.16.052, 19T-16V010 /  
 Z.10.034, Z.17.034, 19T-10V005  
**LOCATION:** Part of Lot 24, Concession 9  
**APPLICANT:** Nashville Developments (North) Inc.  
**CITY OF VAUGHAN**

CLERK

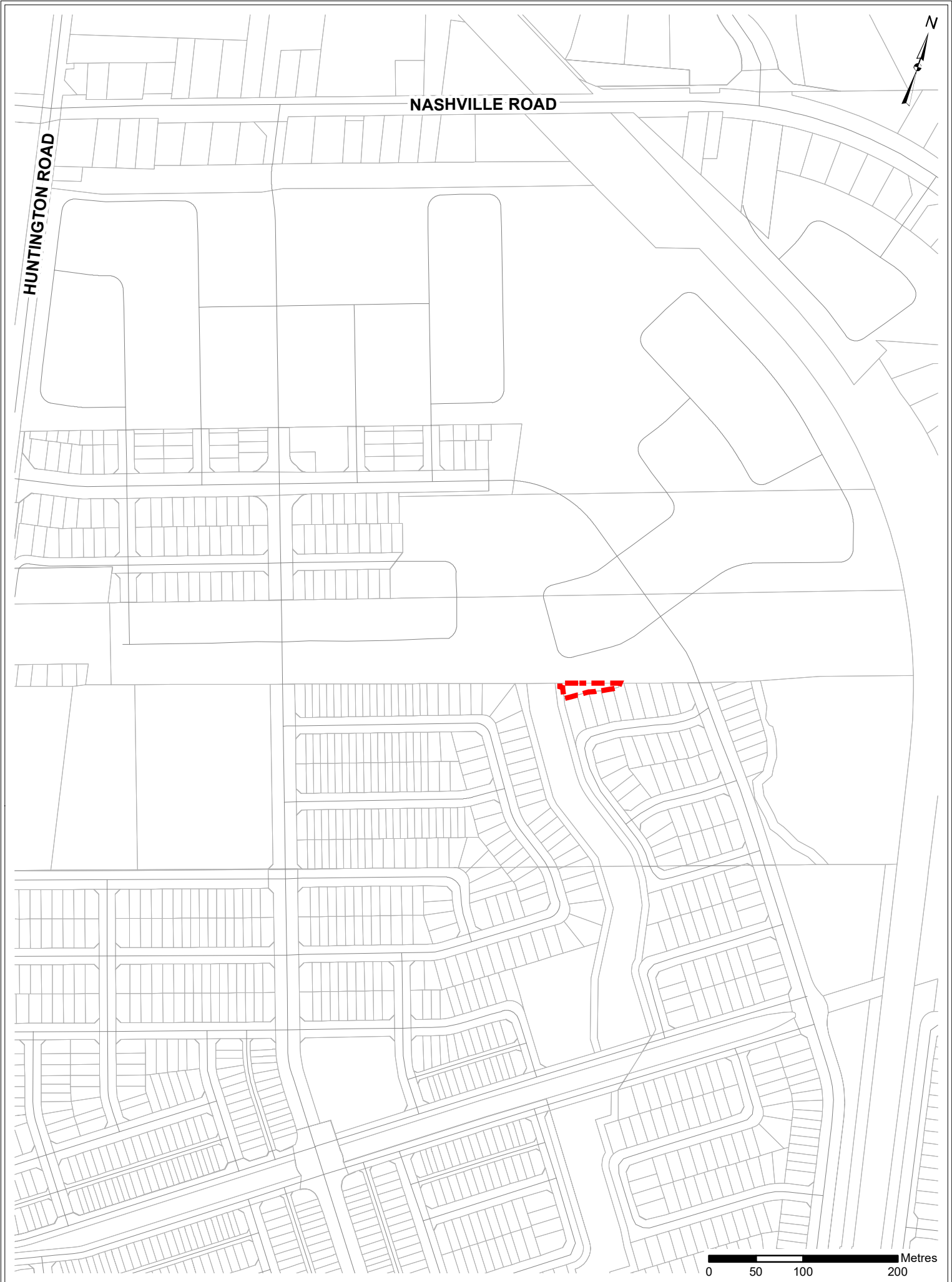
### **SUMMARY TO BY-LAW 094-2019**

The lands subject to this By-law are located east of Huntington Road and south of Nashville Road, in Part of Lot 24, Concession 9, City of Vaughan.

The purpose of this By-law is to rezone the subject lands from OS1 Open Space Conservation Zone to RD4(H) Residential Detached Zone Four with the addition of the Holding Symbol “(H)” and OS1 Open Space Conservation Zone to facilitate five lots for detached dwelling units (to be developed with the lands to the north in Plan of Subdivision 19T-16V010 / Registered Plan 65M-4639) and maintain valley/open space lands in Plan of Subdivision 19T-16V010 / Registered Plan 65M-4639.

The By-law further adds the subject lands to site specific Exception 9(1376) with respect to the minimum interior side yard and maximum interior garage width requirements to have a consistent zone category and development standards over the entirety of the 5 lots when the subject lands are developed with the lands to the north. In addition this By-law deletes an obsolete Exception and Schedules to Zoning By-law 1-88.





# LOCATION MAP TO BY-LAW 094-2019

**FILE:** Z.18.037  
**RELATED FILES:** Z.16.052, 19T-16V010 / Z.10.034, Z.17.034, 19T-10V005  
**LOCATION:** Part of Lot 24, Concession 9  
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 **SUBJECT LANDS**