

THE CITY OF VAUGHAN

BY-LAW

BY-LAW NUMBER 092-2019

A By-law to amend City of Vaughan By-law 1-88.

WHEREAS the matters herein set out are in conformity with the Official Plan of the Vaughan Planning Area, which is approved and in force at this time;

AND WHEREAS there has been no amendment to the Vaughan Official Plan adopted by Council but not approved at this time, with which the matters herein set out are not in conformity;

NOW THEREFORE the Council of the Corporation of the City of Vaughan **ENACTS AS FOLLOWS:**

1. That City of Vaughan By-law Number 1-88, as amended, be and it is hereby further amended by:
 - a) Adding the following Paragraph to Section 9.0 “EXCEPTIONS”:

“(1479) Notwithstanding the provisions of:

 - a) Subsection 3.8 (k) respecting surface areas for commercial, industrial and institutional uses;
 - b) Subsection 7.7.1 respecting permitted uses in the PB2 Parkway Belt Complementary Use Zone;

the following provisions shall apply to the lands shown as “Subject Lands” on Schedule “E-1610”:

 - ai) A gravel surface treatment shall be permitted;
 - bi) A Parking Area associated with a Public Garage located at 106 Regina Road shall be permitted on the lands shown as “Part 1” on Schedule “E-1610”, and shall only consist of operational vehicles and overflow parking. The Parking Area shall not permit a towing compound for vehicles;
 - bii) A Contractor’s Yard for the outside storage of landscaping material and equipment shall be permitted on the lands shown as “Part 2” on Schedule “E-1610”;
 - biii) No outside storage other than the storage of equipment and vehicles shall exceed (3) metres in height;
 - biv) Outside storage shall be screened with a minimum 1.8 m high chain link fence with gate openings to Regina Road.”
 - b) Adding Schedule “E-1610” attached hereto as Schedule “1”.
 - c) Deleting Key Map 8A and substituting therefor the Key Map 8A attached hereto as

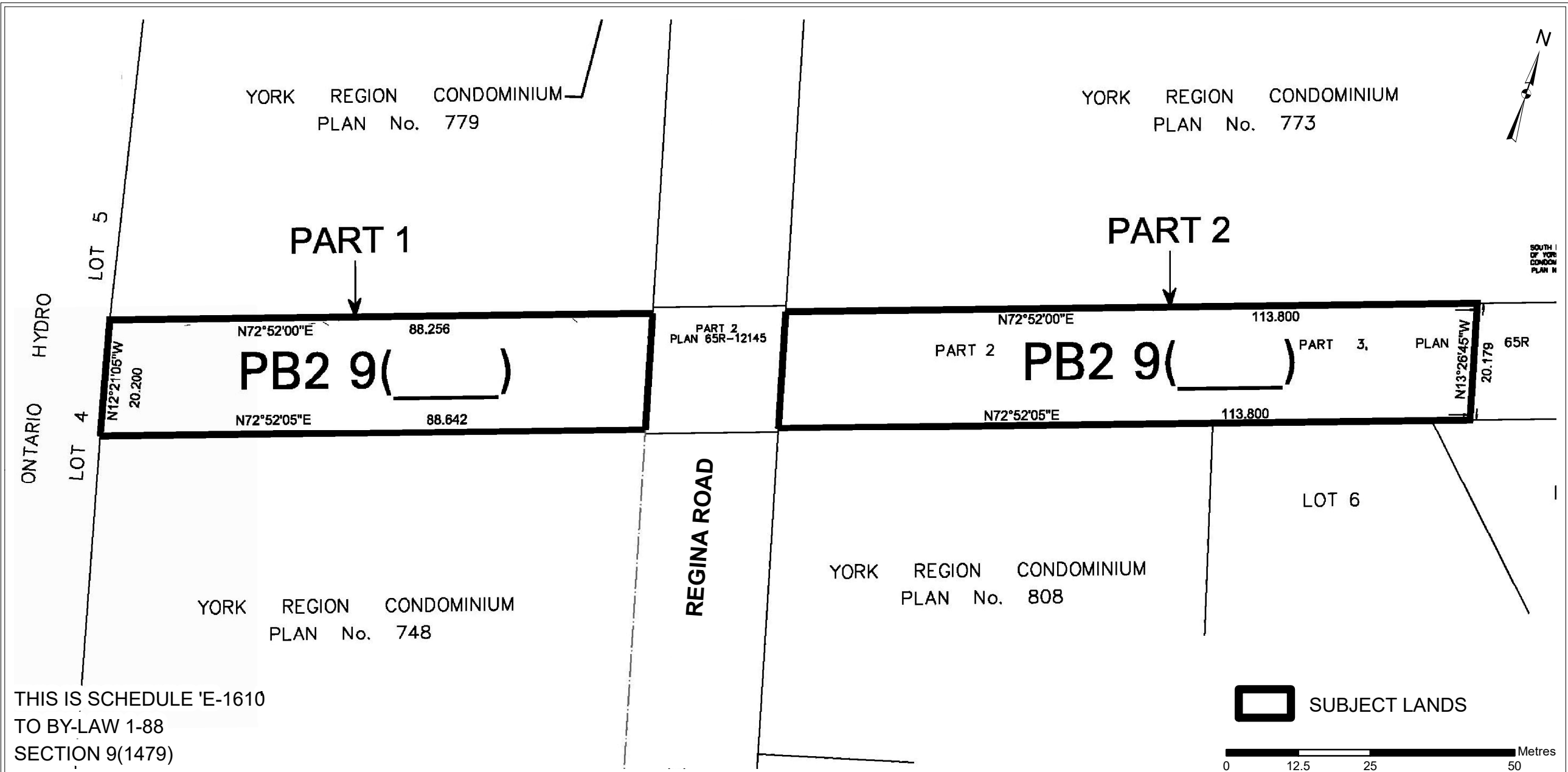
Schedule “2”.

2. Schedules “1” and “2” shall be and hereby form part of this By-law.

Enacted by City of Vaughan Council this 12th day of June, 2019.

Hon. Maurizio Bevilacqua, Mayor

Todd Coles, City Clerk



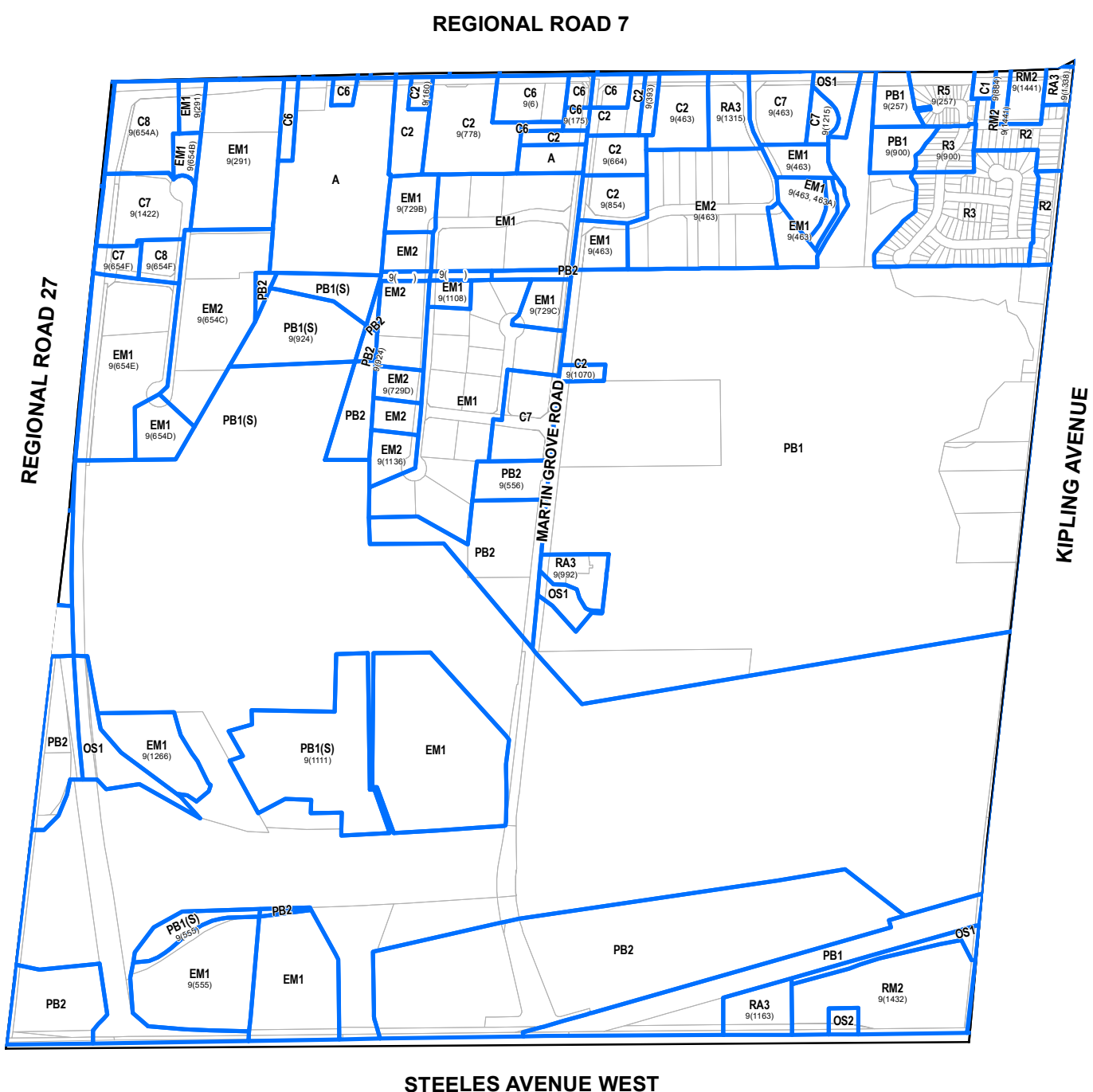
FILE: Z.08.038
LOCATION: Part of Lot 4, Concession 8
APPLICANT: Her Majesty the Queen in Right of
Ontario C/O Ontario Realty Corporation
CITY OF VAUGHAN

THIS IS SCHEDULE '1'
TO BY-LAW 092-2019
PASSED THE 12TH DAY OF JUNE, 2019

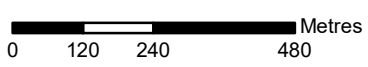
SIGNING OFFICERS

MAYOR

CLERK



KEY MAP 8A
BY-LAW NO. 1-88



THIS IS SCHEDULE '2'
TO BY-LAW 092-2019
PASSED THE 12TH DAY OF JUNE, 2019

FILE: Z.08.038
LOCATION: Part of Lot 4, Concession 8
APPLICANT: Her Majesty the Queen in Right of
Ontario C/O Ontario Realty Corporation
CITY OF VAUGHAN

SIGNING OFFICERS

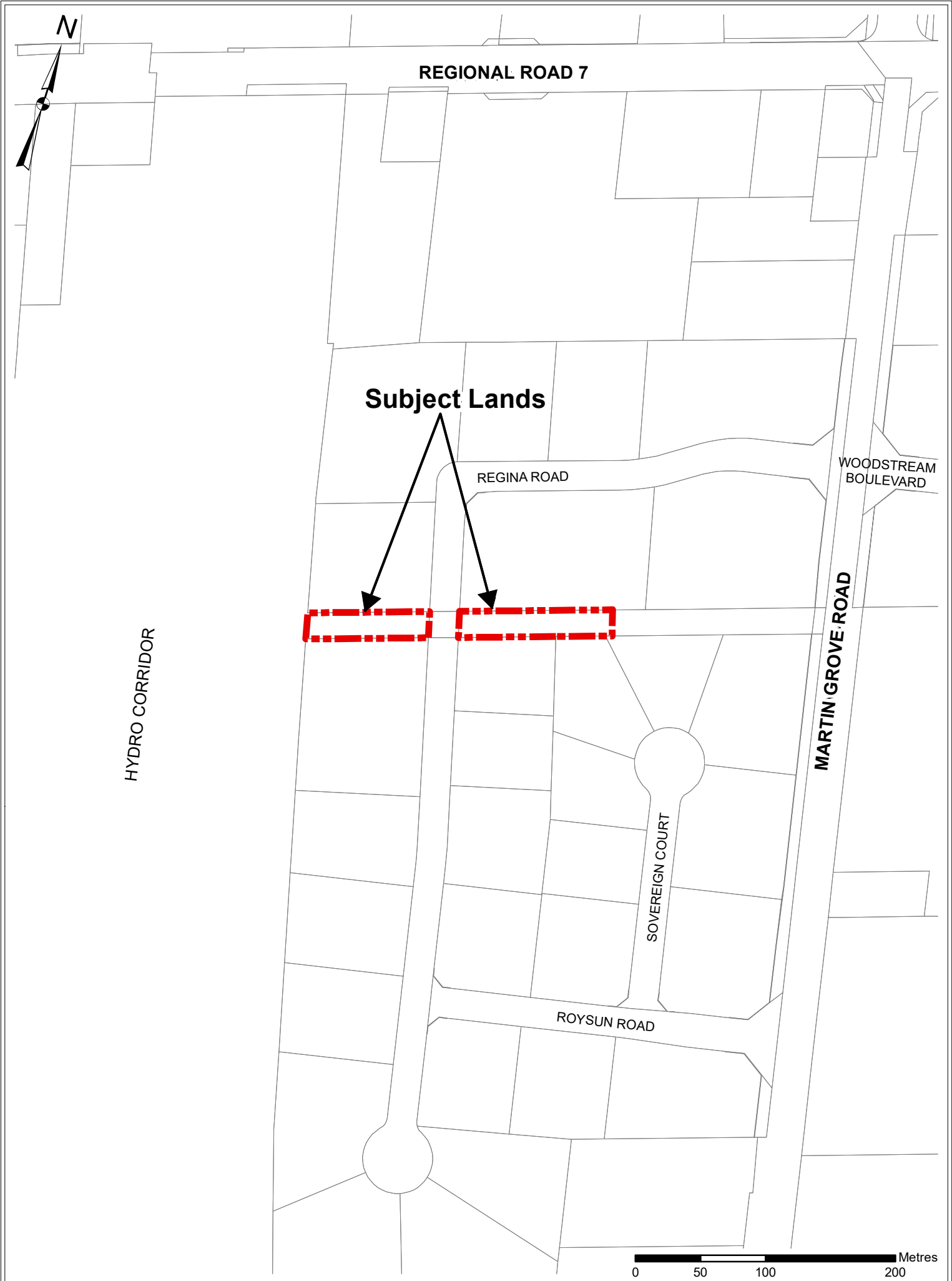
MAYOR

CLERK

SUMMARY TO BY-LAW 092-2019

The lands subject to this By-law are located south of Regional Road 7, west of Martin Grove Road, being lands located in the Hydro Corridor on the east and west sides of Regina Road, adjacent to 106 Regina Road and 111 Regina Road, in Lot 4, Concession 8, City of Vaughan.

The purpose of this by-law is to permit site-specific exceptions to permit a parking area and contractor's yard with the open storage of vehicles, landscape materials, and equipment within the PB2 Parkway Belt Complementary Use Zone.



LOCATION MAP TO BY-LAW 092-2019

FILE: Z.08.038
LOCATION: PART OF LOT 4, CONCESSION 8
APPLICANT: HER MAJESTY THE QUEEN IN RIGHT OF
ONTARIO C/O ONTARIO REALTY CORPORATION
CITY OF VAUGHAN