

KEY PLAN CITY OF VAUGHAN N.T.S.

LEGAL DESCRIPTION
 PLAN OF SUBDIVISION OF
 PART OF BLOCK 5
 LOTS 103, 106 & 107
 REGISTERED PLAN 65M-4061
 CONCESSION 3
 CITY OF VAUGHAN
 THE REGIONAL MUNICIPALITY OF YORK

SITE STATISTICS

SITE AREA | SUBJECT LANDS 88,438.66 m² or 21,854 Ac. or 8,644 Ha

ZONING
 As per Zoning By Law 1-03 M1 (M107) - RESTRICTED INDUSTRIAL
 As per Zoning By Law 051-0221 EM1-756 - PRESTIGE EMPLOYMENT ZONE

EXISTING PHASE I (BLDG B)	14,000.56 m ² or 3,684 Ac.
TOTAL BUILDING AREA (GFA)	4,009.81 m ² (43,161 SF)
PARKING PROVIDED	179 spaces
EXISTING PHASE II (BLDG C & BLDG D)	5,598.16 m ² or 1,441 Ac.
TOTAL BUILDING AREA (GFA)	1,038.32 m ² (11,160 SF)
PARKING PROVIDED	79 spaces
EXISTING PHASE III (BLDG E)	4,054.83 m ² or 1,219 Ac.
TOTAL BUILDING AREA (GFA)	763.02 m ² (8,253 SF)
PARKING PROVIDED	59 spaces

PROPOSED DEVELOPMENT | PHASE V (BLDG F)

DEVELOPMENT LANDS AREA	43,363.50 m ² or 11.36 Acres
REQUIRED	PROVIDED
LOT FRONTAGE (BALKONSTRICH HDL)	80.0 m (MIN) x 275.00 m
EXTENSION SIDE (EAST)	5.0 m (MIN) EX. 6.00 m
WIDTH SIDE (WEST)	5.0 m (MIN) EX. 6.54 m
FRONT YARD (NORTH)	5.0 m (MIN) EX. 6.10 m
FRONT YARD (SOUTH)	5.0 m (MIN) EX. 6.10 m
REAR YARD (SOUTH)	19.0 m (MIN) EX. 6.00 m
REAR YARD (WEST)	19.0 m (MIN) EX. 6.00 m

TOTAL GFA (B + G + H + F + E) 7,417.01 m² or 79,838 SF

SITE COVERAGE 16.13 %

LANDSCAPED AREA	24,233.30 m ² or 52.78 %
PAVED AREA	14,336.19 m ² or 31.17 %
REQUIRED	PROVIDED
BUILDING HEIGHT (MAX)	11.0 m 10.40 m

PARKING

PHASE I (BLDG B)	140 spaces	179 spaces
PHASE II (BLDG C & D)	54 spaces	70 spaces
PHASE III (BLDG E)	28 spaces	30 spaces
PHASE V (BLDG F)	28 spaces	29 spaces
TOTAL PARKING	260 spaces	302 spaces

ACCESSIBLE PARKING
 20% OF ALL PARKING SPACES REQUIRED
 7 spaces 9 spaces

LOADING SPACES (3.5m x 11.0m x 4.2)
 1 space 3 spaces

SNOW STORAGE
 2% or 520 m² 2.7% or 1,235 m²

SYMBOL LEGEND

- MANHOOD LOCATION
- PRINCIPAL ENTRANCE LOCATION
- LOADING DOOR LOCATION
- DOUBLE CATCH BASIN (REF. CIVIL DRAWING)
- STORM SEWER VENTHOLE (REF. CIVIL DRAWING)
- SAFETY VEHICLE REF. CIVIL DRAWING
- LIGHT STANDOFF REF. ELEC. DRAWING
- TRUCK STOP REF. CIVIL DRAWING
- FIRE DEPARTMENT CONNECTION
- ACCESSIBLE TRAMP (REF. A-1.1)
- GAS METERS LOCATION
- IMPRESSION ASPHALT (SEE LAYOUT PLANS)
- CONC. FILL/STREET ROLLBACK (REF. A-1.1)
- ACCESSIBLE SLOW REF. A-1.1
- STOP SIGN REF. A-1.1
- STOP SIGN REF. A-1.1
- LANDING ONE SIDE REF. A-1.5
- LANDING ONE SIDE REF. A-1.5
- WASTE STORAGE (MIN. 2.3 x 3.0 m) CANNON SPACE

TRUE NORTH
PROJECT NORTH

No.	ISSUED	DATE
1	ISSUED FOR PAC	OCT. 25, 2023
2	ISSUED FOR SPA 1ST SUBMISSION	MAR. 01, 2024
3	ISSUED FOR COORDINATION	APRIL. 23, 2024
4	RE-ISSUED FOR SPA 2ND SUBMISSION	JUN. 10, 2024

No.	REVISION TO SUIT MUNICIPAL COMMENTS	DATE
1		JUN. 04, 2024

BALDASSARRA
 Architects Inc.

30 Great Gulf Drive, Unit 20 | Concord ON | L4K 0K7
 T. 905.660.0722 | www.baldassarra.ca



OWNER'S INFORMATION

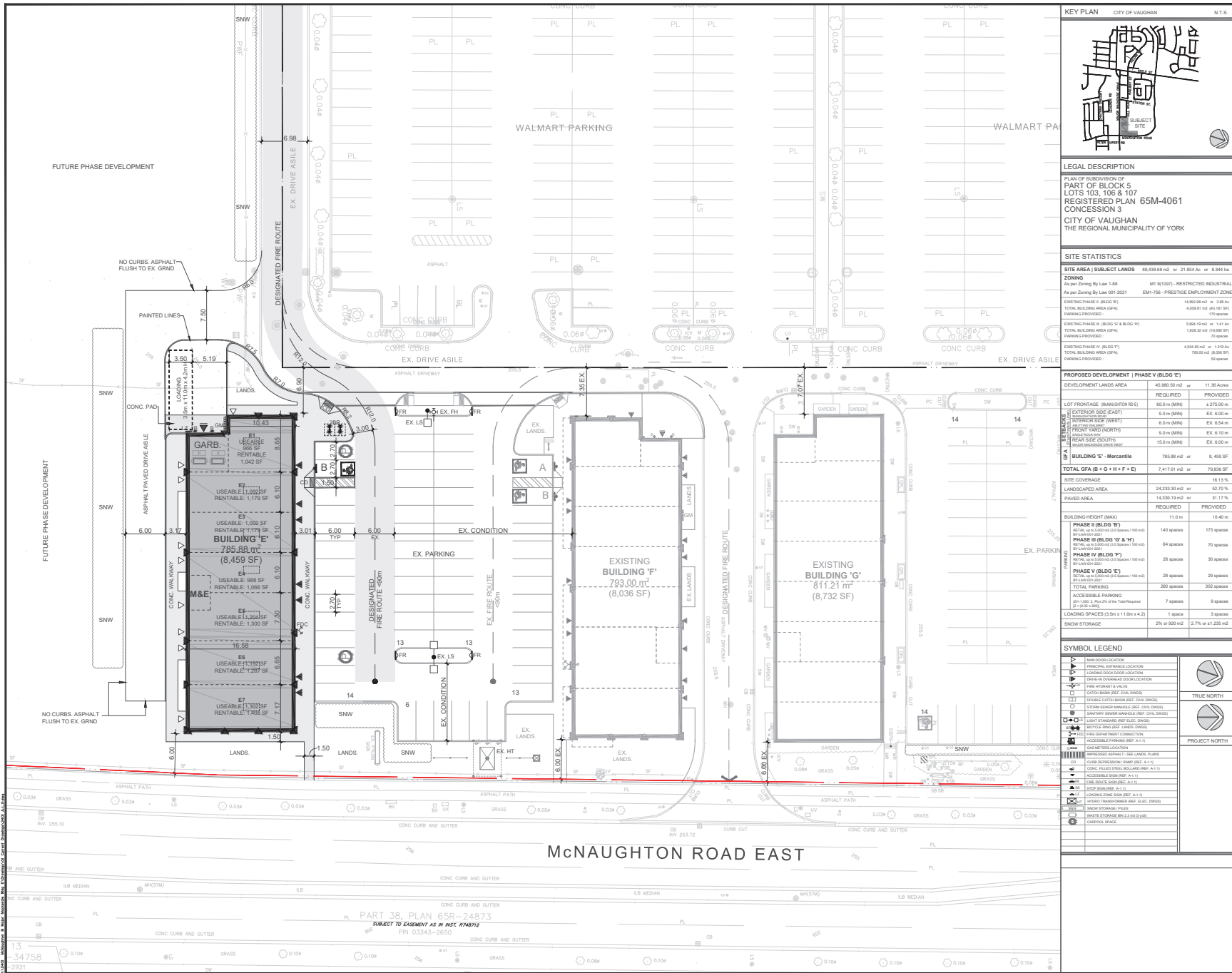
McNaughton & Major Mackenzie Ph.5
 1840 MAJOR MACKENZIE DRIVE,
 VAUGHAN, ON

SITE PLAN

DA.24.026

DATE	DRAWN BY	CHECKED	SCALE
JUNE 2023	DW		1:750

PROJECT No. 24-01 DRAWING No. **A-0.1**



KEY PLAN		CITY OF VAUGHAN		N.T.S.					
LEGAL DESCRIPTION									
PLAN OF SUBDIVISION OF PART OF BLOCK 5 LOTS 103, 106 & 107 REGISTERED PLAN 65M-4061 CONCESSION 3 CITY OF VAUGHAN THE REGIONAL MUNICIPALITY OF YORK									
SITE STATISTICS									
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ZONING As per Zoning By Law 4-88 M1 (R107) - RESTRICTED INDUSTRIAL									
As per Zoning By Law 051-2021 EM1-756 - PRESTIGE EMPLOYMENT ZONE									
EXISTING PHASE II (BLDG W) 14,803.88 m ² or 3.88 Ac.									
TOTAL BUILDING AREA (GFA) 4,058.81 m ² (45,161 SF)									
PARKING PROVIDED 79 spaces									
EXISTING PHASE III (BLDG X & BLDG Y) 5,594.18 m ² or 1.41 Ac.									
TOTAL BUILDING AREA (GFA) 1,834.32 m ² (19,880 SF)									
PARKING PROVIDED 79 spaces									
EXISTING PHASE IV (BLDG Z) 4,034.83 m ² or 1,239 Ac.									
TOTAL BUILDING AREA (GFA) 762.02 m ² (8,268 SF)									
PARKING PROVIDED 95 spaces									
PROPOSED DEVELOPMENT PHASE V (BLDG V)									
DEVELOPMENT LANDS AREA 45,960.50 m ² or 11.38 Acres									
REQUIRED 600.0 m (MIN) x 2,275.00 m									
PROVIDED 600.0 m (MIN) x 2,275.00 m									
EXTERIOR SIDE (EAST) 9.0 m (MIN) EX. 6.00 m									
INTERIOR SIDE (WEST) 9.0 m (MIN) EX. 6.54 m									
FRONT (NORTH) 9.0 m (MIN) EX. 6.10 m									
REAR (SOUTH) 19.0 m (MIN) EX. 6.00 m									
30.00 METRE MINIMUM 19.0 m (MIN) EX. 6.00 m									
BUILDING E' - Mercantile 785.88 m ² or 8,459 SF									
TOTAL GFA (B + G + H + F + E) 7,417.01 m ² or 79,838 SF									
SITE COVERAGE 18.13%									
LANDSCAPED AREA 24,233.30 m ² or 62.75%									
PAVED AREA 14,336.19 m ² or 31.17%									
REQUIRED 11.0 m x 10.40 m									
PROVIDED 11.0 m x 10.40 m									
PHASE II (BLDG W) 140 spaces 175 spaces									
PHASE III (BLDG X & Y) 64 spaces 70 spaces									
PHASE IV (BLDG Z) 28 spaces 30 spaces									
PHASE V (BLDG V) 28 spaces 29 spaces									
TOTAL PARKING 260 spaces 302 spaces									
ACCESSIBLE PARKING 7 spaces 9 spaces									
LOADING SPACES (3.5m x 11.0m x 4.2) 1 space 3 spaces									
SNOW STORAGE 2% or 920 m ² 2.7% or 1,235 m ²									
SYMBOL LEGEND									
<ul style="list-style-type: none"> MANHOLES LOCATION PRINCIPAL ENTRANCE LOCATION LOADING DOOR LOCATION DRIVE-THRU SERVICE DOOR LOCATION FIRE HYDRANT & VALVE CATCH BASIN REF. CIVIL DRAWING DOUBLE CATCH BASIN REF. CIVIL DRAWING STREET LIGHT VEHICLE REF. CIVIL DRAWING SANITARY SEWER VEHICLE REF. CIVIL DRAWING LIGHT STANDOFF REF. ELEC. DRAWING VEHICLE ENTRY REF. CIVIL DRAWING FIRE DEPARTMENT CONNECTION ACCESSIBLE PARKING REF. A-1.0 GAS METER LOCATION IMPERVIOUS ASPHALT USE LAVED PAVED CONC. INTERLOCK PAVEMENT REF. A-1.0 CONC. FILLER STEEL ROLLERS REF. A-1.0 ACCESSIBLE SHOW REF. A-1.0 DRIVE THROUGH SHOW REF. A-1.0 STREET SHOW REF. A-1.0 LANDING ONE SHOW REF. A-1.0 WINDUP TRANSFORMER REF. ELEC. DRAWING URINAL DRAINAGE PIPING WASTE EXHAUST MIN. 2.1-1.0 (3) (4) (5) (6) (7) (8) (9) (10) (11) (12) (13) (14) (15) (16) (17) (18) (19) (20) (21) (22) (23) (24) (25) (26) (27) (28) (29) (30) (31) (32) (33) (34) (35) (36) (37) (38) (39) (40) (41) (42) (43) (44) (45) (46) (47) (48) (49) (50) (51) (52) (53) (54) (55) (56) (57) (58) (59) (60) (61) (62) (63) (64) (65) (66) (67) (68) (69) (70) (71) (72) (73) (74) (75) (76) (77) (78) (79) (80) (81) (82) (83) (84) (85) (86) (87) (88) (89) (90) (91) (92) (93) (94) (95) (96) (97) (98) (99) (100) CAMPION SPACE 									
<table border="1"> <tr> <td></td> <td>TRUE NORTH</td> </tr> <tr> <td></td> <td>PROJECT NORTH</td> </tr> </table>							TRUE NORTH		PROJECT NORTH
	TRUE NORTH								
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No.	ISSUED	DATE
1	ISSUED FOR PAC	OCT. 25, 2023
2	ISSUED FOR SPA 1ST SUBMISSION	MAR. 01, 2024
3	ISSUED FOR COORDINATION	APRIL 23, 2024
4	RE-ISSUED FOR SPA 2ND SUBMISSION	JUN. 10, 2024

No.	REVISION TO SUIT MUNICIPAL COMMENTS	DATE
1	REVISED TO SUIT MUNICIPAL COMMENTS	JUN. 04, 2024

BALDASSARRA
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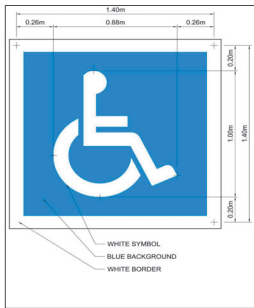
McNaughton & Major Mackenzie Ph.5
1849 MAJOR MACKENZIE DRIVE,
VAUGHAN, ON

ENLARGED SITE PLAN

DATE: DA.24.026

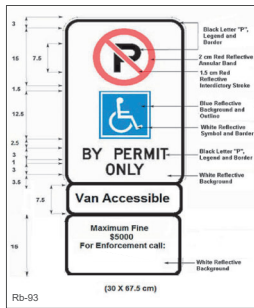
DATE	DRAWN BY	CHECKED	SCALE
JUNE 2023	DW		1:250

PROJECT No: 24-01 DRAWING No: A-1.0



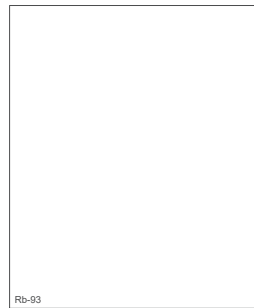
WHITE SYMBOL
BLUE BACKGROUND
WHITE BORDER

1 PAVEMENT MARKING
A-1.1 NTS



Rb-93
(30 X 87.5 cm)

2 ACCESSIBLE SIGN TYPE-A
A-1.1 NTS



Rb-93

3 ACCESSIBLE SIGN TYPE-B
A-1.1 NTS

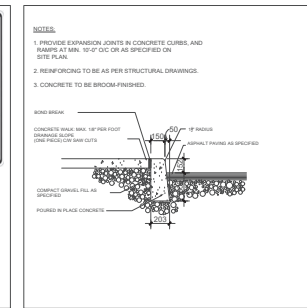


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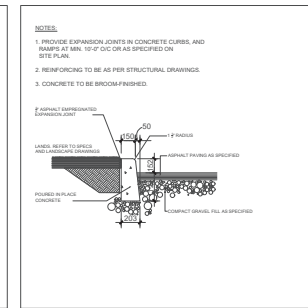
4 SIGNAGE DETAILS
A-1.1 NTS



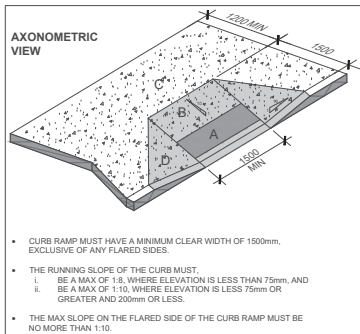
Rb-52b



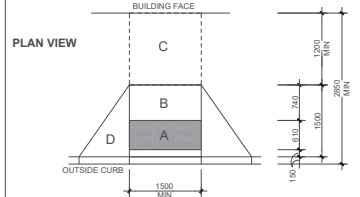
5 POURED CONC. CURB @ S/W
A-1.1 NTS



6 POURED CONC. CURB @ LANDS.
A-1.1 NTS



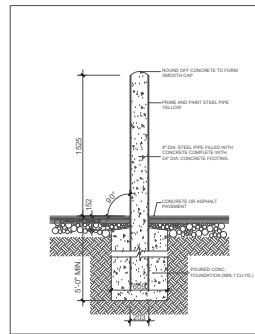
- CURB RAMP MUST HAVE A MINIMUM CLEAR WIDTH OF 1500mm, EXCLUSIVE OF ANY FLARED SIDES.
- THE RUNNING SLOPE OF THE CURB MUST,
 - i. BE A MAX OF 1:8, WHERE ELEVATION IS LESS THAN 75mm, AND
 - ii. BE A MAX OF 1:10, WHERE ELEVATION IS LESS THAN 75mm OR GREATER AND 200mm OR LESS.
- THE MAX SLOPE ON THE FLARED SIDE OF THE CURB RAMP MUST BE NO MORE THAN 1:10.
- CURB RAMP MUST HAVE A TACTILE WALKING SURFACE INDICATOR THAT,
 - HAVE RAISED TACTILE PROFILES COMPOSED OF TRUNCATED DOMES,
 - HAVE A HIGH TONAL CONTRAST WITH THE ADJACENT SURFACE,
 - ARE LOCATED AT THE BOTTOM OF THE CURB RAMP,
 - ARE SET BACK BETWEEN 150mm AND 200mm FROM THE CURB EDGE,
 - EXTEND THE FULL WIDTH OF THE CURB RAMP,
 - ARE A MIN OF 610mm IN DEPTH, AND
 - BE SLIP-RESISTANT.



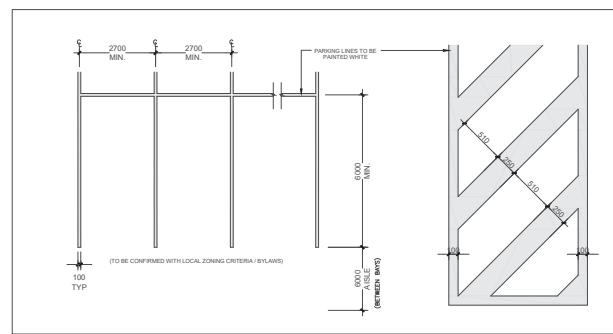
- A** TACTILE SURFACE / DETECTABLE HAZARD INDICATOR
150mm FROM EDGE OF CURB AND 610mm IN DEPTH
- B** SLOPE SURFACE @ 1:10 (max)
- C** LANDING / UNINTERRUPTED SPACE OF NOT LESS THAN 1100mm
- D** FLARED SIDES WITH MAX SLOPE OF 1:10

THE INFORMATION PROVIDED HERE WAS ASSEMBLED FROM **ONC 3.3.2**, AND THE **ONTARIO REGULATION 433/12** (made under the ACCESSIBILITY FOR ONTARIANS WITH DISABILITIES ACT, 2005, FROM DEC 17, 2012) IN CONJUNCTION WITH THE **GUIDELINES FOR BARRIER-FREE DESIGN OF ONTARIO GOVERNMENT FACILITIES**.

7 CURB RAMP / DEPRESSION
A-1.1 NTS



8 STEEL PIPE BOLLARD
A-1.1 NTS



9 PARKING LINES & STRIPES
A-1.1 NTS

No.	ISSUED	DATE
1	ISSUED FOR SPA 1ST SUBMISSION	MAR. 01, 2024
2	ISSUED FOR COORDINATION	APRIL 23, 2024
3	RE-ISSUED FOR SPA 2ND SUBMISSION	JUN. 10, 2024

No.	REVISION	DATE
1	REVISED TO SUIT MUNICIPAL COMMENTS	JUN. 04, 2024

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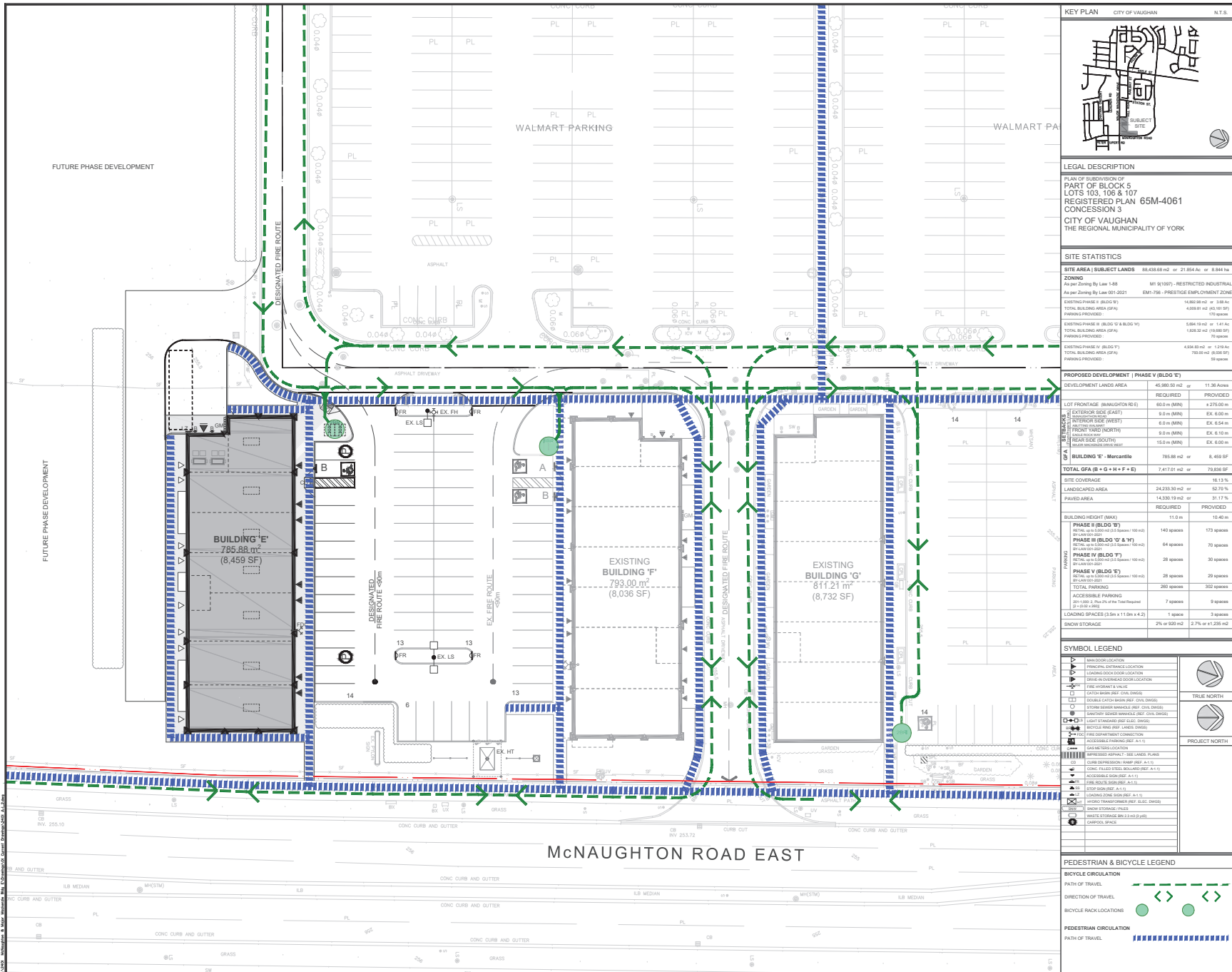
McNaughton & Major Mackenzie Ph.5
1849 MAJOR MACKENZIE DRIVE,
VAUGHAN, ON

SITE DETAILS & PAVEMENT MARKING PLAN

DA.24.026

DATE	DRAWN BY	CHECKED	SCALE
JUNE 2023	DW		1:300

PROJECT No. DRAWING No.
24-01 A-1.1



KEY PLAN		CITY OF VAUGHAN		N.T.S.	
LEGAL DESCRIPTION PLAN OF SUBDIVISION OF PART OF BLOCK 5 LOTS 103, 106 & 107 REGISTERED PLAN 65M-4061 CONCESSION 3 CITY OF VAUGHAN THE REGIONAL MUNICIPALITY OF YORK					
SITE STATISTICS SITE AREA SUBJECT LANDS 88,438.68 m ² or 21,854 Ac. or 8,844 Ha. ZONING As per Zoning By Law 1-88 M1 (R107) - RESTRICTED INDUSTRIAL As per Zoning By Law 051-2021 EM1-796 - PRESTIGE EMPLOYMENT ZONE EXISTING PHASE II (BLDG F) 14,802.88 m ² or 3.88 Ac. TOTAL BUILDING AREA (GFA) 4,058.81 m ² (45,161 SF) PARKING PROVIDED 175 spaces EXISTING PHASE III (BLDG G & BLDG H) 5,594.18 m ² or 1.44 Ac. TOTAL BUILDING AREA (GFA) 1,828.32 m ² (19,880 SF) PARKING PROVIDED 70 spaces EXISTING PHASE IV (BLDG F) 4,034.83 m ² or 1,239 Ac. TOTAL BUILDING AREA (GFA) 782.02 m ² (8,459 SF) PARKING PROVIDED 95 spaces					
PROPOSED DEVELOPMENT PHASE V (BLDG E) DEVELOPMENT LANDS AREA 45,900.50 m ² or 11.38 Acres LOT FRONTSIDE (MANHOOD) HD 60.0 m (MIN) 1,275.00 m EXTERIOR SIDE (EAST) 9.0 m (MIN) EX. 6.00 m INTERIOR SIDE (WEST) 9.0 m (MIN) EX. 6.54 m FRONT YARD (NORTH) 9.0 m (MIN) EX. 6.54 m FRONT YARD (SOUTH) 9.0 m (MIN) EX. 6.54 m REAR YARD (SOUTH) 19.0 m (MIN) EX. 6.00 m REAR YARD (WEST) 19.0 m (MIN) EX. 6.00 m BLDG E - Mercantile 785.88 m ² or 8,459 SF TOTAL GFA (B + G + H + F + E) 7,417.01 m ² or 79,838 SF SITE COVERAGE 18.13% LANDSCAPED AREA 24,233.30 m ² or 62.75% PAVED AREA 14,336.19 m ² or 31.17% BUILDING HEIGHT (MAX) 11.0 m 10.40 m PHASE II (BLDG F) 140 spaces 175 spaces PHASE III (BLDG G & H) 64 spaces 70 spaces PHASE IV (BLDG F) 28 spaces 30 spaces PHASE V (BLDG E) 28 spaces 29 spaces TOTAL PARKING 260 spaces 302 spaces ACCESSIBLE PARKING 7 spaces 9 spaces LOADING SPACES (3.5m x 11.0m x 4.2) 1 space 3 spaces SNOW STORAGE 2% or 920 m ² 2.7% or 1,235 m ²					
SYMBOL LEGEND <ul style="list-style-type: none"> MANHOOD LOCATION PRINCIPAL ENTRANCE LOCATION LOADING DOOR DOOR LOCATION DRIVE-THRU SERVICE DOOR LOCATION FIRE HYDRANT & VALVE CATCH BASIN REF. CIVIL DRAWING DOUBLE CATCH BASIN REF. CIVIL DRAWING STREET LIGHT VEHICLE REF. CIVIL DRAWING SAFETY SIGNAL VEHICLE REF. CIVIL DRAWING LIGHT SIGNAGE REF. ELEC. DRAWING VEHICLE ENTRY REF. CIVIL DRAWING VEHICLE EXIT REF. CIVIL DRAWING FIRE DEPARTMENT CONNECTION ACCESSIBLE PARKING REF. A-1.5 GAS METER LOCATION IMPERVIOUS ASPHALT REF. LANDS PLANS CONC. INTERLOCK PAVING REF. A-1.5 CONC. FILLER STEEL ROLLERS REF. A-1.5 ACCESSIBLE SIDEWALK REF. A-1.5 BIKE RACK REF. A-1.5 STOP SIGN REF. A-1.5 LOADING DOOR REF. A-1.5 WINDU TRANSFORMER REF. ELEC. DRAWING UTILITY TRANSFORMER REF. ELEC. DRAWING WASTE STORAGE REF. A-1.5 CAMPUS SPACE 					
PEDESTRIAN & BICYCLE LEGEND BICYCLE CIRCULATION PATH OF TRAVEL DIRECTION OF TRAVEL BICYCLE RACK LOCATIONS PEDESTRIAN CIRCULATION PATH OF TRAVEL					

No.	ISSUED	DATE
1	ISSUED FOR SPA 1ST SUBMISSION	MAR. 01, 2024
2	RE-ISSUED FOR SPA 2ND SUBMISSION	JUN. 10, 2024

No.	REVISION TO SUIT MUNICIPAL COMMENTS	DATE
1		JUN. 04, 2024

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OWNER INFORMATION

McNaughton & Major Mackenzie Ph.5
1849 MAJOR MACKENZIE DRIVE, VAUGHAN, ON

PEDESTRIAN & BICYCLE CIRCULATION PLAN
DA.24.026

DATE	DRAWN BY	CHECKED	SCALE
JUNE 2023	DW		1:300

PROJECT No. 24-01 DRAWING No. A-1.2



KEY PLAN CITY OF VAUGHAN N.T.S.

LEGAL DESCRIPTION
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 PART OF BLOCK 5
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LOT FRONTAGE (MINIMUM) 60.0 m (MIN) 2,275.00 m

EXTERIOR SIDE (EAST) 9.0 m (MIN) EX. 6.00 m

INTERIOR SIDE (WEST) 9.0 m (MIN) EX. 6.54 m

FRONT YARD (NORTH) 9.0 m (MIN) EX. 6.10 m

FRONT YARD (SOUTH) 19.0 m (MIN) EX. 6.00 m

BLDG 'E' - Mercantile 785.88 m² or 8,459 SF

TOTAL GFA = G + H + F + E 7,417.01 m² or 79,838 SF

SITE COVERAGE 16.13%

LANDSCAPED AREA 24,223.50 m² or 52.78%

PAVED AREA 14,335.19 m² or 31.17%

BUILDING HEIGHT (MAX) 11.0 m 10.40 m

PHASE II (BLDG V) 140 spaces 175 spaces

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PHASE IV (BLDG V) 28 spaces 30 spaces

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LOADING SPACES (3.5m x 11.0m x 4.2) 1 space 3 spaces

SNOW STORAGE 2% or 900 m² 2.7% or 1,235 m²

SYMBOL LEGEND

- MANEUVERABILITY
- PRINCIPAL ENTRANCE LOCATION
- LOADING DOOR LOCATION
- DRIVE THROUGH DOOR LOCATION
- FIRE HYDRANT & VALVE
- CATCH BASIN REF. CIVIL DRAWING
- DOUBLE CATCH BASIN REF. CIVIL DRAWING
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- SEWAGE SEWER VEHICLE REF. CIVIL DRAWING
- LIGHT STANDOFF REF. ELEC. DRAWING
- VEHICLE STOP REF. CIVIL DRAWING
- VEHICLE STOP REF. CIVIL DRAWING
- FIRE DEPARTMENT CONNECTION
- ACCESSIBLE PARKING REF. A-1.1
- CONC. INTERSECTION TRAMP REF. A-1.1
- IMPRESSIONED ASPHALT USE LANES PLANE
- CONC. FILLED STEEL ROLLERS REF. A-1.1
- ACCESSIBLE SHOW REF. A-1.1
- STAIR REF. A-1.1
- STAIR REF. A-1.1
- LANDING ONE SIDE REF. A-1.1
- HYDRO TRANSFORMER REF. ELEC. DRAWING
- WASTE STORAGE PLACE
- WASTE STORAGE REF. E-1.1 & E-2.1
- CARPOOL SPACE

TRUCK PROFILES

GARBAGE TRUCK 10.8m height, 3.0m width, 1.8m depth

FIRE TRUCK 3.0m height, 2.5m width, 1.8m depth

No.	ISSUED	DATE
1	ISSUED FOR SPA 1ST SUBMISSION	MAR. 01, 2024
2	RE-ISSUED FOR SPA 2ND SUBMISSION	JUN. 10, 2024

1	REVISED TO SUIT MUNICIPAL COMMENTS	JUN. 04, 2024
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No.	REVISION	DATE

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 1849 MAJOR MACKENZIE DRIVE,
 VAUGHAN, ON

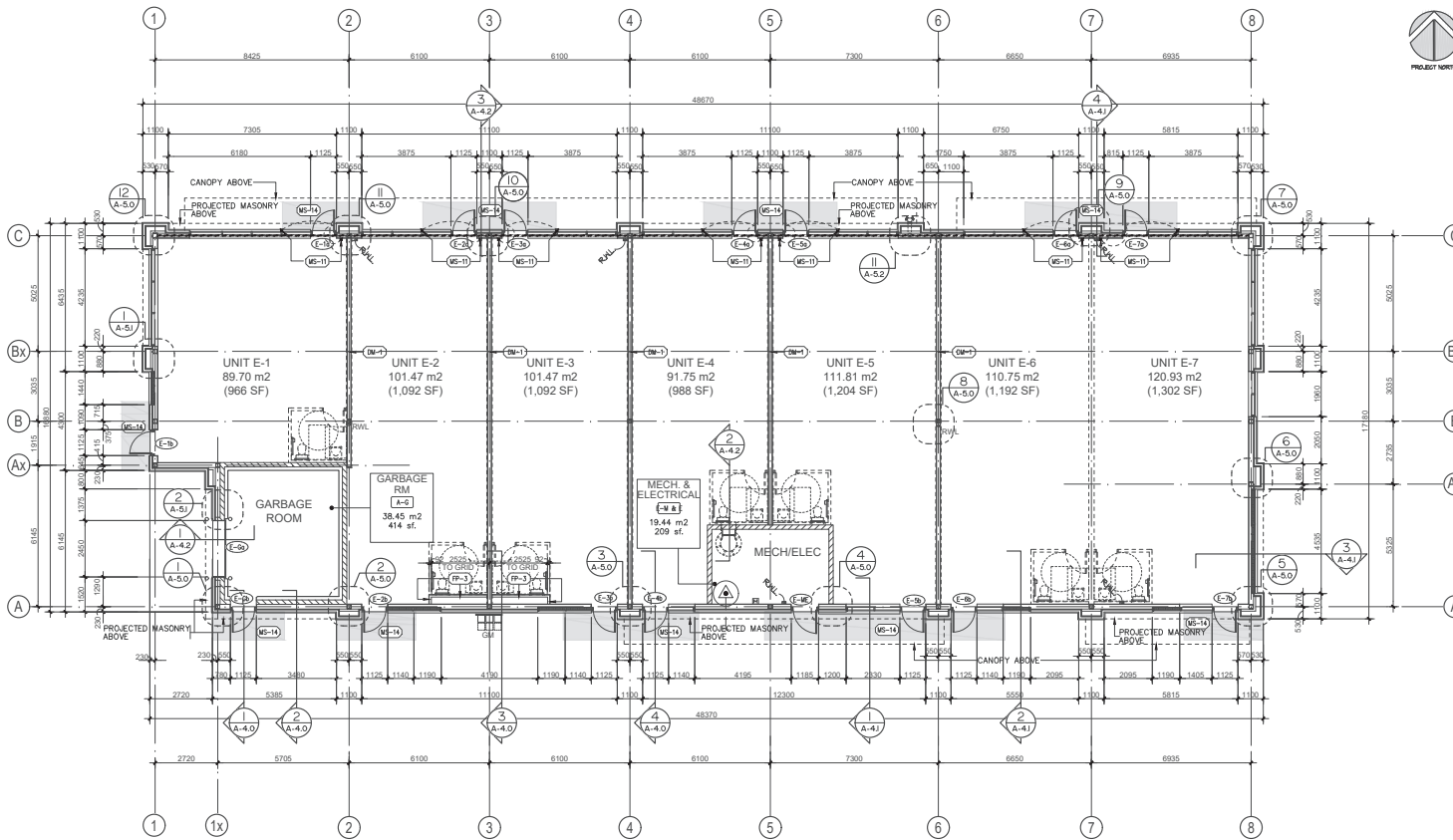
VEHICULAR MANEUVERABILITY PLAN
 DA.24.026

DATE: JUNE 2023 DRAWN BY: DW CHECKED BY: SCALE: 1:300

PROJECT No. DRAWING No.

24-01 **A-1.3**

No.	ISSUED	DATE
1	ISSUED FOR PAC	OCT. 25, 2023
2	ISSUED FOR SPA 1ST SUBMISSION	MAR. 01, 2024
3	ISSUED FOR COORDINATION	APRIL. 23, 2024
4	RE-ISSUED FOR SPA 2ND SUBMISSION	JUN. 10, 2024



1	REVISED TO SUIT MUNICIPAL COMMENTS	JUN 04, 2024
No.	REVISION	DATE

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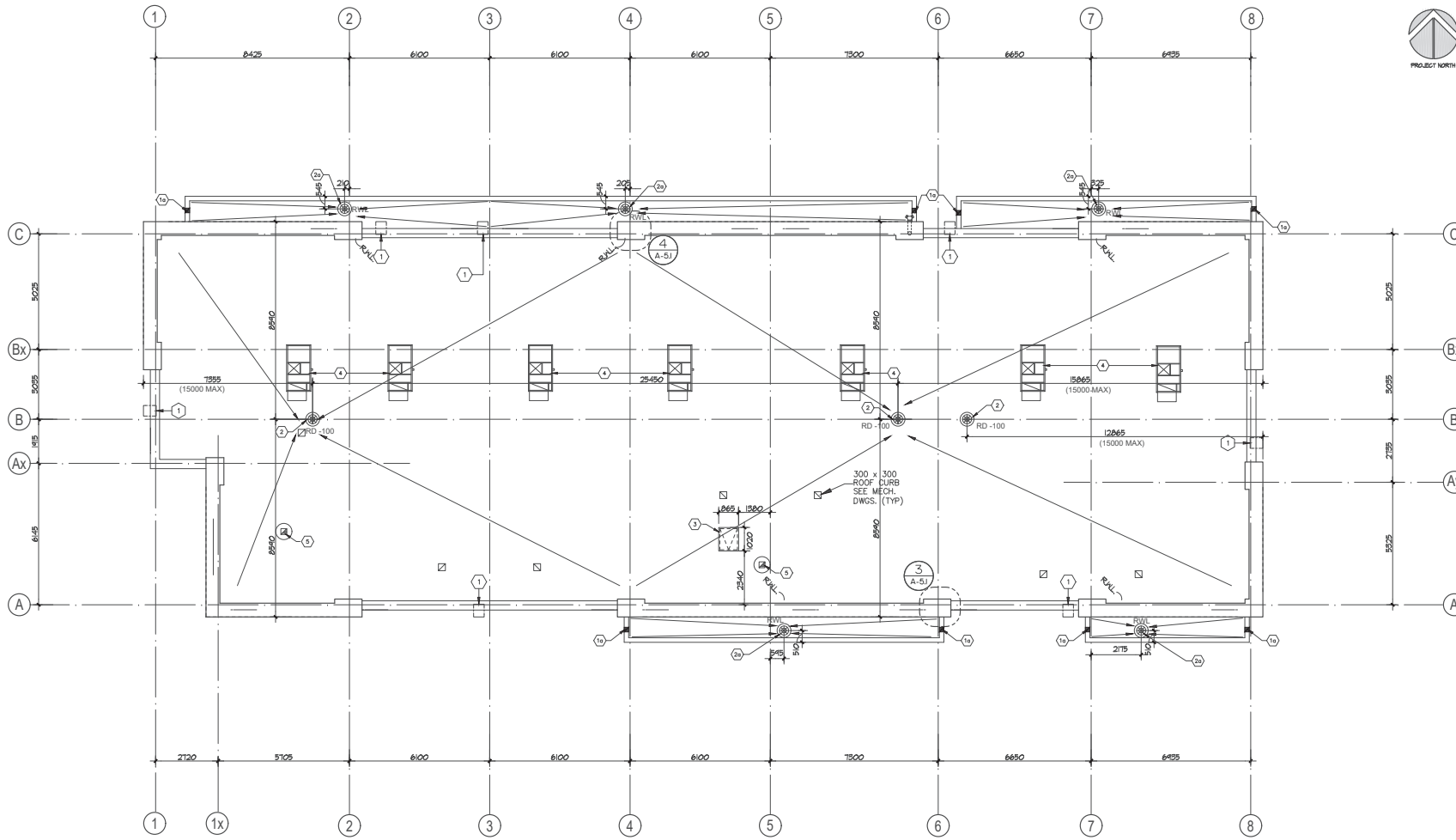


OWNER'S INFORMATION

McNaughton & Major Mackenzie Ph.5
1849 MAJOR MACKENZIE DRIVE
VAUGHAN, ON

FLOOR PLAN			
DA.24.026			
DATE	DRAWN BY	CHECKED	SCALE
FEB 2024	SA		1:100
PROJECT No.	DRAWING No.		
24-01	A-2.0		

No.	ISSUED	DATE
1	ISSUED FOR PAC	OCT. 25, 2023
2	ISSUED FOR SPA 1ST SUBMISSION	MAR. 01, 2024
3	ISSUED FOR COORDINATION	APRIL. 23, 2024
4	RE-ISSUED FOR SPA 2ND SUBMISSION	JUN. 10, 2024



KEYED NOTES LEGEND

- ① RAIN WATER RELIEF SCUPPER. SEE DETAIL 8/A-5.2.
- ② RAIN WATER RELIEF SCUPPER. SEE DETAIL 3/A-5.3.
- ③ ROOF DRAIN. SEE STRUCTURAL AND MECHANICAL DWGS.
- ④ CANOPY DRAIN. SEE MECHANICAL DWGS.
- ⑤ ROOF HATCH. SEE SECTION 2/A-4.2.
- ⑥ R.T.U. AND CURB (TYP.). SEE MECHANICAL DWGS.
- ⑦ EXHAUST FAN AND CURB (TYP.). SEE MECHANICAL DWGS.

- NOTES:**
1. RAIN WATER RELIEF SCUPPERS TO BE PLACED 30M APART MAX.
 2. ROOF DRAINS TO BE LOCATED 5M MAX FROM EDGE OF ROOF AND 30M APART MAX ON ROOF AREA FOR ROOF DRAIN TYPES SEE MECHANICAL DWGS.

No.	REVISION	DATE
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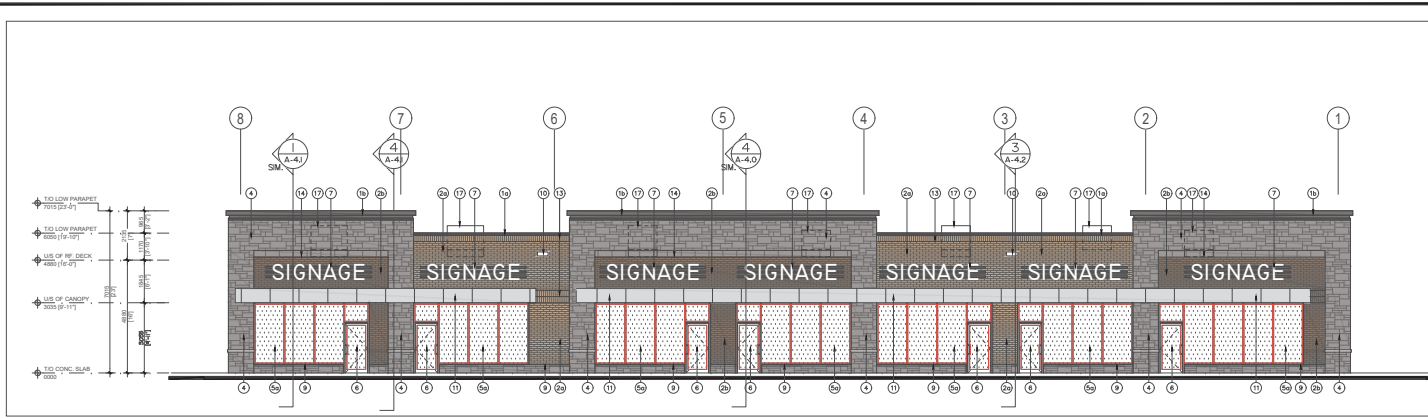


OWNER INFORMATION

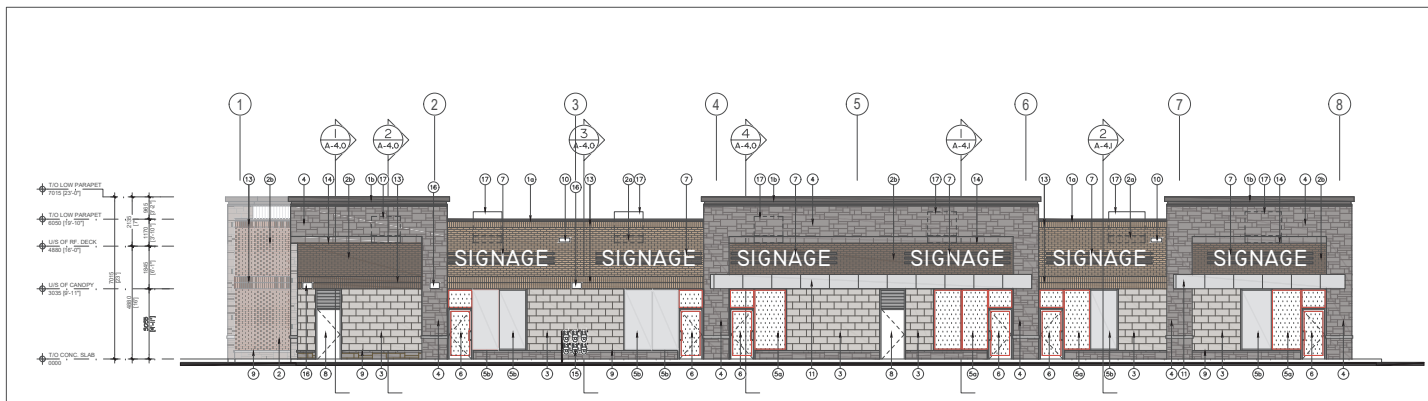
McNaughton & Major Mackenzie Ph.5
1849 MAJOR MACKENZIE DRIVE,
VAUGHAN, ON

ROOF PLAN

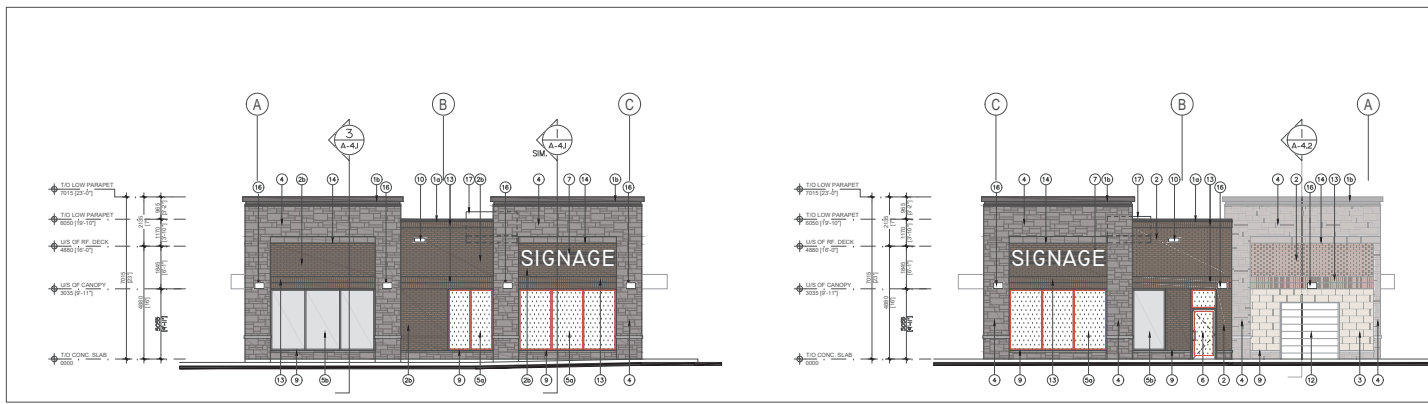
DA.24.026			
DATE: FEB 2024	DRAWN BY: SA	CHECKED:	SCALE: 1:100
PROJECT No.:		DRAWING No.:	
24-01		A-2.1	



1 NORTH ELEVATION
A-3.0E 1:100



2 SOUTH ELEVATION
A-3.0E 1:100



3 EAST ELEVATION
A-3.0E 1:100



4 WEST ELEVATION
A-3.0E 1:100

MATERIAL LEGEND

- 15 PREFINISHED METAL FLASHING CLR. DARK BRONZE
- 16 COMPOSITE ALUMINUM FLASHING CLR. DARK BRONZE
- 20 BRICK VENEER, CHELSEA
- 21 BRICK VENEER, TAHOE
- 3 STONE VENEER, POLAR WHITE
- 4 ARCHITECTURAL STONE, CORTONA
- 50 CLEAR THERMAL GLAZING IN ANODIZED ALUMINUM FRAMES
- 51 SPANDREL GLAZING IN ANODIZED ALUMINUM FRAMES
- 6 CLEAR TEMPERED GLASS & ANODIZED ALUMINUM DOOR
- 7 FUTURE SIGNAGE MOUNTED ON METAL TRUSS
- 8 HOLLOW METAL MAN DOOR
- 9 CONC. PRECAST SILL
- 10 RAIN WATER RELIEF SCUPPER
- 11 COMPOSITE ALUM. METAL PANEL SOG GREY
- 12 INSULATED PREFINISHED STEEL VERTICAL LIFT ON DOOR
- 13 SOLDIER COURSE TO MATCH ABUTTING BRICK VENEER
- 14 STONE HEADER, NICKLE
- 15 GAS METERS: REFER TO GENERAL NOTES
- 16 LIGHT FIXTURE: REFER TO ELECTRICAL DWGS.
- 17 ROOF TOP AC UNITS MOUNTED ON 300mm MIN. ROOF CURB: SEE MECHANICAL DWGS

GENERAL NOTES & MISC.

GAS METER

GAS METERS SHALL NOT BE LOCATED ON BUILDING FACADES THAT FACE STREETS AND SHALL BE LOCATED DISCREETELY, AWAY FROM PEDESTRIAN TRAVEL ROUTES AND SCREENED FROM PUBLIC VIEW.

GAS PIPES SERVICING ROOF TOP MECHANICAL EQUIPMENT SHALL NOT BE VISIBLE TO ANY PUBLIC VIEW AND SHALL BE INSTALLED WITHIN THE WALL CONSTRUCTION.

ROOF TOP MECHANICAL UNIT (RTU)

TYPICAL ROOF TOP UNITS ARE TO BE SCREENED FROM PUBLIC VIEWING BY HIGH BUILDING PARAPETS.

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4	RE-ISSUED FOR SPA 2ND SUBMISSION	JUN. 10, 2024

1	REVISED TO SUIT MUNICIPAL COMMENTS	JUN. 04, 2024
No.	REVISION	DATE

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OWNER'S INFORMATION

McNaughton & Major Mackenzie Ph.5
1840 MAJOR MACKENZIE DRIVE
VAUGHAN, ON

ELEVATIONS
BIRD SAFE DESIGN & SIGNAGE PLAN
DA.24.026

DATE	DRAWN BY	CHECKED	SCALE
FEB 2024	SA		1:100
PROJECT No.	DRAWING No.		

24-01 **A-3.0**

Bird Safe Treatment Exterior Specification Checklist

Applicant to include checklist on Elevation Drawings at the sub plan submission. Drawings to be stamped and signed by an OAA member.

Mandatory Primary Treatments for all site and draft plan applications.

All Glass Conditions (check to confirm the below is applied)

- Bird safe treatment to be applied on minimum 90% of contiguous glass panel area greater than 2 sq. m, and within 15m from lowest grade or to the height of the adjacent feature (see notes), whichever is greater.
- Treatments are applied to all glass panel areas that creates fly-through conditions and are adjacent to natural heritage features.
- Treatments are identified and notated on the elevation drawing(s).

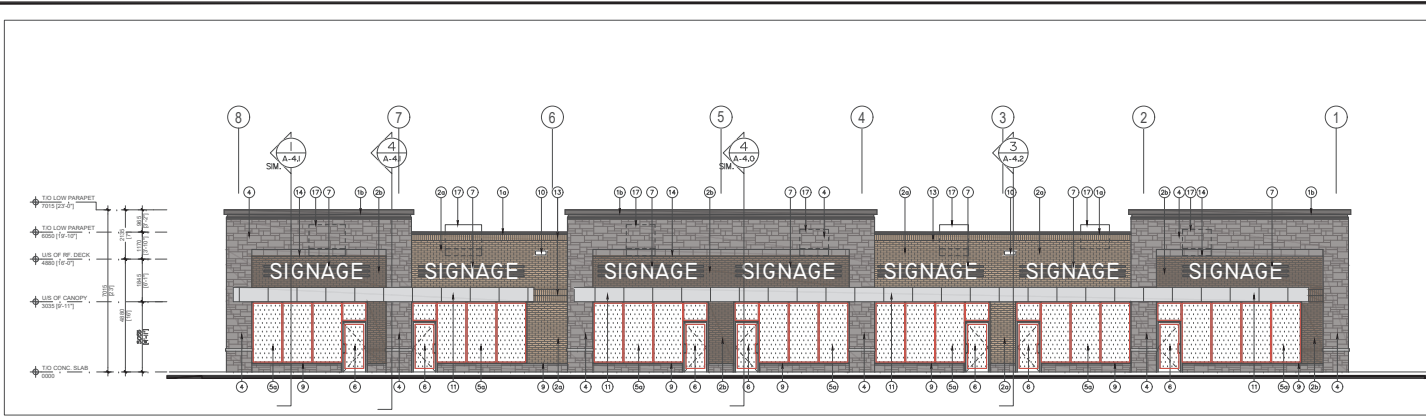
Roof Landscape Conditions (check to confirm the below is applied)

- Development contains no glass panel within 15m from roof level finished grade.
- If placed in adjacent to green roof and/or rooftop vegetation, bird safe treatment is applied at a height of 4m from the surface of the green roof or the height of the adjacent natural vegetation, whichever is greater.

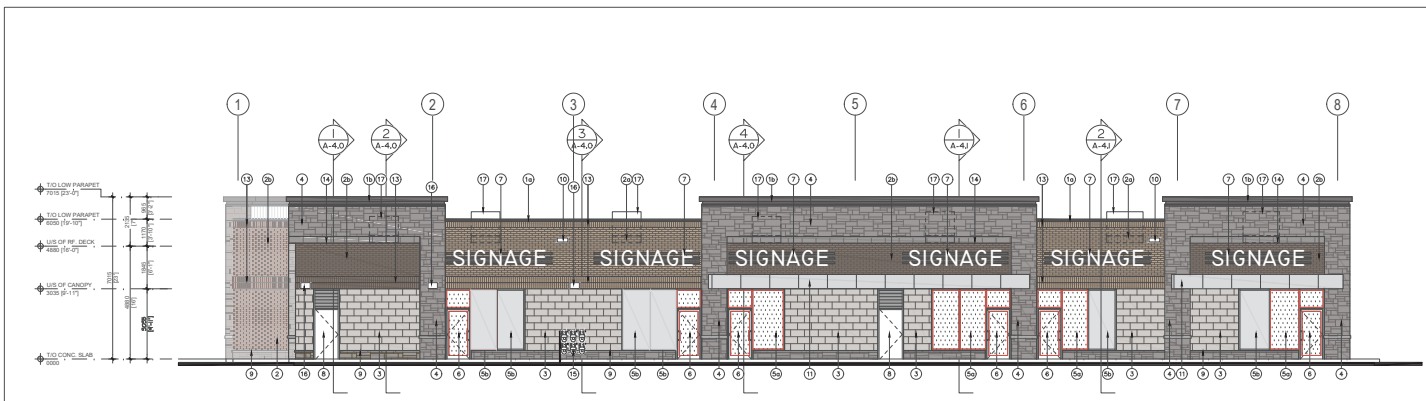
- TOTAL AREA OF GLAZING = 1717 m²
- AREA OF BIRD-FRIENDLY GLAZING = 159 m²
- REQUIRED % OF B-F GLAZING (MIN.) = 9%
- PROPOSED % OF B-F GLAZING = 90%

SIGNAGE

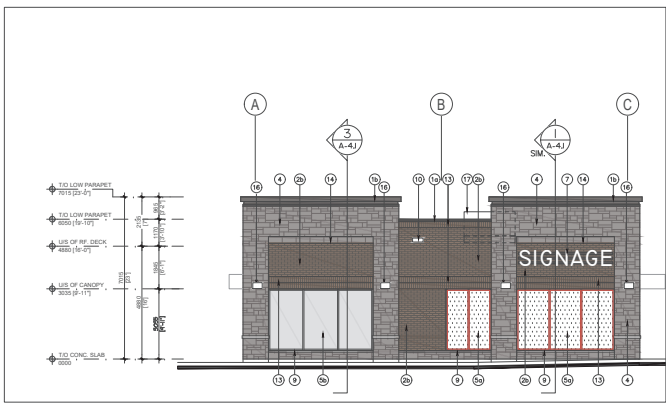
WALL SIGN DETAIL
TYPICAL SIGN AREA: 5.50' (168.3") H x 14.00' (426.7") W
SIGNAGE TO BE CUT OUT LETTERING AND MOUNTED WITH ILLUMINATION VALUES THAT WILL NOT EXCEED 300 NITS (SUNSET) TO SURROUND AND 5000 NITS (SUNRISE TO DAWN).



1 NORTH ELEVATION
1:100

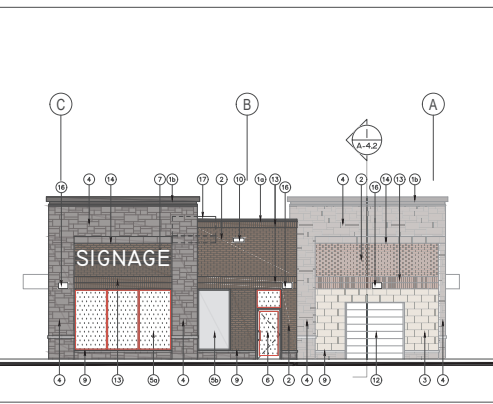


2 SOUTH ELEVATION
1:100



3 EAST ELEVATION
1:100

- MATERIAL LEGEND**
- 10 PREFINISHED METAL FLASHING. CLR; DARK BRONZE
 - 11 COMPOSITE ALUMINUM FLASHING. CLR; DARK BRONZE
 - 20 BRICK VENEER, CHELSEA
 - 21 BRICK VENEER, TANGOE
 - 3 POLAR WHITE
 - 4 ARCHITECTURAL STONE, CORTONA
 - 5 CLEAR THERMAL GLAZING IN ANODIZED ALUMINUM FRAMES
 - 6 CLEAR TEMPERED GLASS & ANODIZED ALUMINUM DOOR
 - 7 FUTURE SIGNAGE MOUNTED ON METAL TRUSSES
 - 8 HOLLOW METAL MAN DOOR
 - 9 CONC. PRECAST SILL
 - 100 RAIN WATER RELIEF SCUPPER
 - 110 COMPOSITE ALUM. METAL PANEL, SOG GREY
 - 120 INSULATED PREFINISHED STEEL VERTICAL LEFT SIDE DOOR
 - 130 SOLDER COURSE TO MATCH ADJUTING BRICK VENEER
 - 140 STONE HEADER, NICKLE
 - 15 GAS METERS: REFER TO GENERAL NOTES
 - 16 LIGHT FIXTURE: REFER TO ELECTRICAL DWGS.
 - 17 ROOF TOP AC UNITS MOUNTED ON 300mm MIN. ROOF CURB. SEE MECHANICAL DWGS.

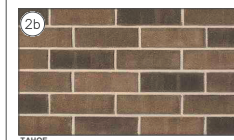


4 WEST ELEVATION
1:100

MATERIAL LEGEND



CHELSEA CONTEMPORARY SERIES, BRAMPTON BRICK



TANGOE CONTEMPORARY SERIES, BRAMPTON BRICK



POLAR WHITE PRESTON SERIES, BRAMPTON BRICK



CORTONA VIVACE SERIES, BRAMPTON BRICK



SOG GREY COMPOSITE ALUMINUM METAL PANEL, ALPOLIC



NICKLE PRESTON SERIES, BRAMPTON BRICK

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2	ISSUED FOR SPA 1ST SUBMISSION	MAR. 01, 2024
3	RE-ISSUED FOR SPA 2ND SUBMISSION	JUN. 10, 2024

1	REVISED TO SHOW	JUN. 04, 2024
No.	REVISION	DATE

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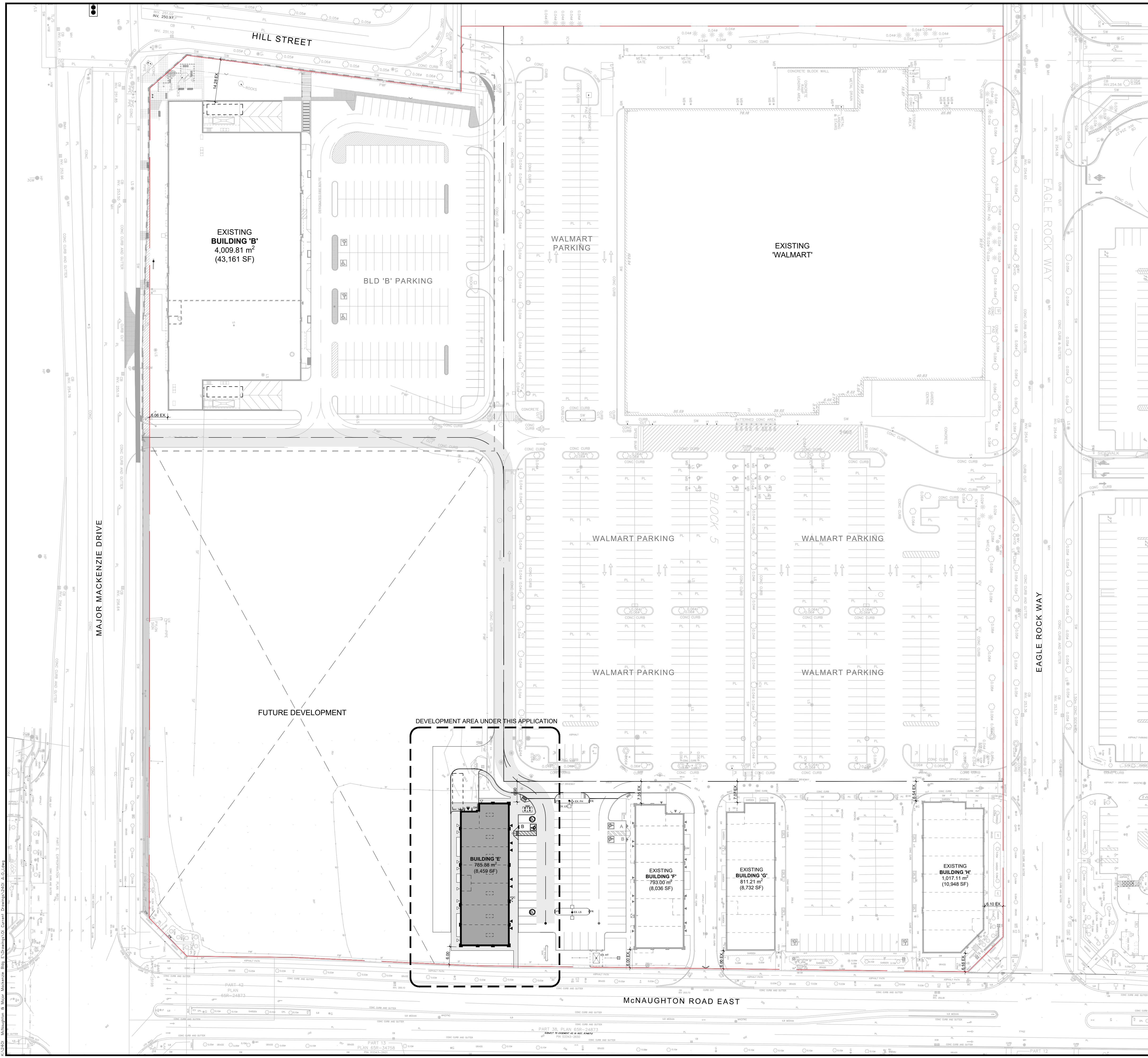


OWNER INFORMATION

McNaughton & Major Mackenzie Ph.5
1849 MAJOR MACKENZIE DRIVE
VAUGHAN, ON

ELEVATIONS
DIGITAL MATERIAL BOARD
DA.24.026

DATE	DRAWN BY	CHECKED	SCALE
FEB 2024	SA		1:100
PROJECT No.	DRAWING No.		
24-01	A-3.1		



KEY PLAN CITY OF VAUGHAN N.T.S.

LEGAL DESCRIPTION
 PLAN OF SUBDIVISION OF
 PART OF BLOCK 5
 LOTS 103, 106 & 107
 REGISTERED PLAN 65M-4061
 CONCESSION 3
 CITY OF VAUGHAN
 THE REGIONAL MUNICIPALITY OF YORK

SITE STATISTICS

SITE AREA SUBJECT LANDS	88,438.68 m ² or 21.854 Ac or 8.844 ha
ZONING	As per Zoning By Law 1-85 M1 9(1097) - RESTRICTED INDUSTRIAL As per Zoning By Law 001-2021 EM1-756 - PRESTIGE EMPLOYMENT ZONE
EXISTING PHASE II (BLDG 'B')	14,862.98 m ² or 3.68 Ac
TOTAL BUILDING AREA (GFA)	4,009.81 m ² (43,161 SF)
PARKING PROVIDED:	170 spaces
EXISTING PHASE III (BLDG 'G' & BLDG 'H')	5,694.19 m ² or 1.41 Ac
TOTAL BUILDING AREA (GFA)	1,828.32 m ² (19,680 SF)
PARKING PROVIDED:	70 spaces
EXISTING PHASE IV (BLDG 'F')	4,934.63 m ² or 1.219 Ac
TOTAL BUILDING AREA (GFA)	793.00 m ² (8,036 SF)
PARKING PROVIDED:	59 spaces

PROPOSED DEVELOPMENT | PHASE V (BLDG 'E')

DEVELOPMENT LANDS AREA	45,980.50 m ² or 11.36 Acres	
REQUIRED	PROVIDED	
LOT FRONTAGE (MNAUGHTON RD E)	60.0 m (MIN)	± 275.00 m
EXTERIOR SIDE (EAST)	9.0 m (MIN)	EX. 6.00 m
INTERIOR SIDE (WEST)	6.0 m (MIN)	EX. 6.54 m
FRONT YARD (NORTH)	9.0 m (MIN)	EX. 6.10 m
REAR SIDE (SOUTH)	15.0 m (MIN)	EX. 6.00 m

GFA

BUILDING 'E' - Mercantile	785.88 m ² or 8,450 SF
TOTAL GFA (B + G + H + F + E)	7,417.01 m ² or 79,836 SF

SITE COVERAGE

LANDSCAPED AREA	24,233.30 m ² or 52.70 %
PAVED AREA	14,330.19 m ² or 31.17 %

SETBACKS

BUILDING HEIGHT (MAX)	11.0 m	10.40 m
PHASE II (BLDG 'B')	140 spaces	173 spaces
RETAIL up to 3,000 m ² (3.5 Spaces / 100 m ²) BY-LAW 001-2021		
PHASE III (BLDG 'G' & 'H')	64 spaces	70 spaces
RETAIL up to 3,000 m ² (3.5 Spaces / 100 m ²) BY-LAW 001-2021		
PHASE IV (BLDG 'F')	28 spaces	30 spaces
RETAIL up to 3,000 m ² (3.5 Spaces / 100 m ²) BY-LAW 001-2021		
PHASE V (BLDG 'E')	28 spaces	29 spaces
RETAIL up to 3,000 m ² (3.5 Spaces / 100 m ²) BY-LAW 001-2021		
TOTAL PARKING	260 spaces	302 spaces
ACCESSIBLE PARKING	7 spaces	9 spaces
201-1,000; 2, Plus 2% of the Total Required (2 = 0.04 x 200)		
LOADING SPACES (3.5m x 11.0m x 4.2)	1 space	3 spaces
SNOW STORAGE	2% or 920 m ²	2.7% or ±1,235 m ²

SYMBOL LEGEND

MAN DOOR LOCATION	TRUE NORTH
PRINCIPAL ENTRANCE LOCATION	PROJECT NORTH
LOADING DOCK DOOR LOCATION	
DRIVE-IN OVERHEAD DOOR LOCATION	
FIRE HYDRANT & VALVE	
CATCH BASIN (REF. CIVIL DWGS)	
DOUBLE CATCH BASIN (REF. CIVIL DWGS)	
STORM SEWER MANHOLE (REF. CIVIL DWGS)	
SANITARY SEWER MANHOLE (REF. CIVIL DWGS)	
LIGHT STANDARD (REF. ELEC. DWGS)	
BICYCLE RING (REF. LANDS. DWGS)	
FIRE DEPARTMENT CONNECTION	
ACCESSIBLE PARKING (REF. A-1.1)	
GAS METERS LOCATION	
IMPRESSED ASPHALT - SEE LANDS. PLANS	
CURB DEPRESSION / RAMP (REF. A-1.1)	
CONC. FILLED STEEL BOLLARD (REF. A-1.1)	
ACCESSIBLE SIGN (REF. A-1.1)	
FIRE ROUTE SIGN (REF. A-1.1)	
STOP SIGN (REF. A-1.1)	
LOADING ZONE SIGN (REF. A-1.1)	
HYDRO TRANSFORMER (REF. ELEC. DWGS)	
SNOW STORAGE / PILES	
WASTE STORAGE BIN 2.3 m ³ (3 yd ³)	
CARPOOL SPACE	

No.	ISSUED	DATE
1	ISSUED FOR PAC	OCT. 25, 2023
2	ISSUED FOR SPA 1ST SUBMISSION	MAR. 01, 2024
3	ISSUED FOR COORDINATION	APRIL. 23, 2024
4	RE-ISSUED FOR SPA 2ND SUBMISSION	JUN. 10, 2024

No.	REVISION	DATE
1	REVISED TO SUIT MUNICIPAL COMMENTS	JUN. 04, 2024



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OWNERS INFORMATION:

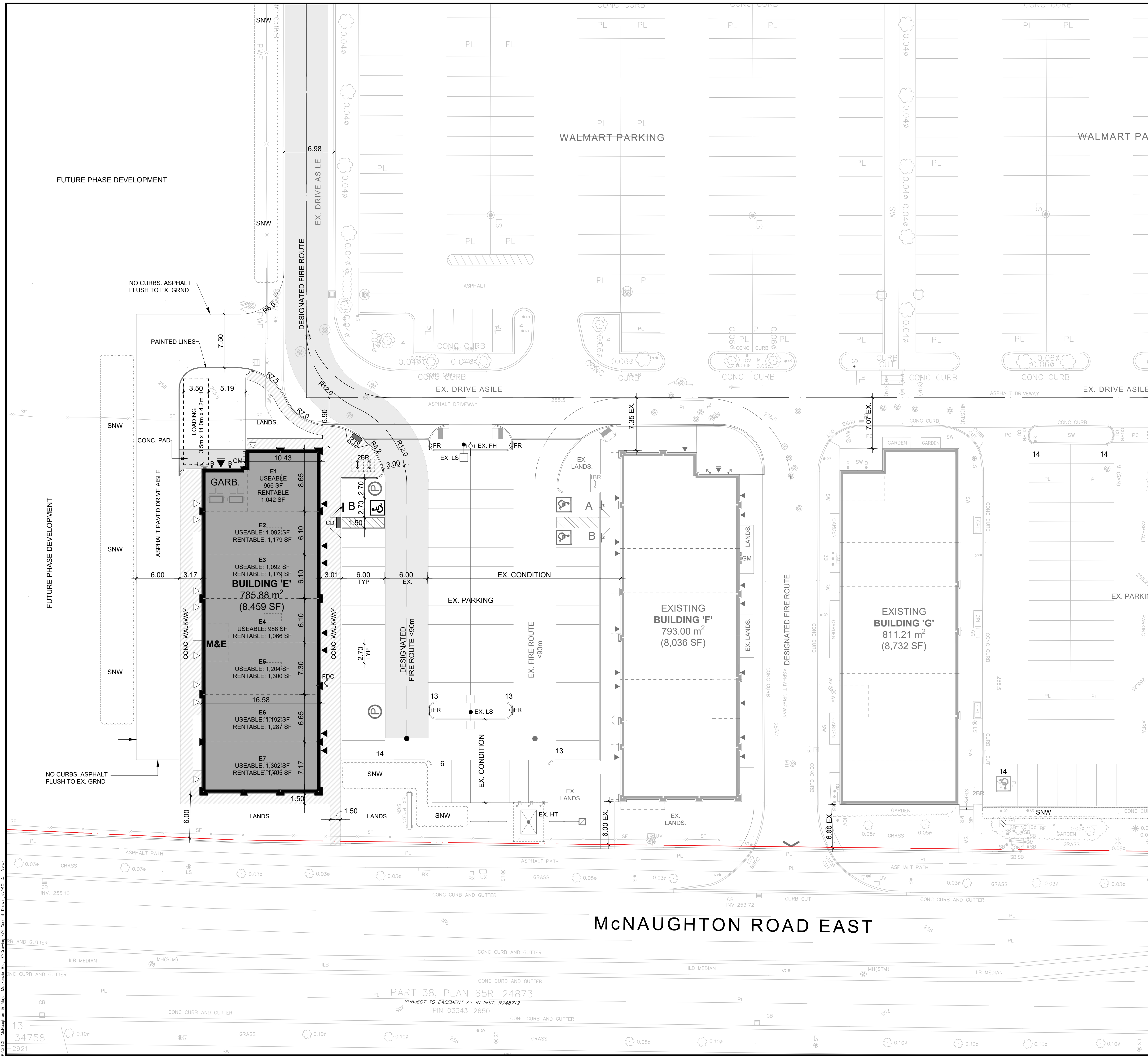
McNaughton & Major Mackenzie Ph.5
 1840 MAJOR MACKENZIE DRIVE,
 VAUGHAN, ON

SITE PLAN

DA.24.026

DATE: JUN 2023	DRAWN BY: DW	CHECKED:	SCALE: 1:750
PROJECT No.	DRAWING No.		

24-01 **A-0.1**



KEY PLAN CITY OF VAUGHAN N.T.S.

LEGAL DESCRIPTION
 PLAN OF SUBDIVISION OF
 PART OF BLOCK 5
 LOTS 103, 106 & 107
 REGISTERED PLAN 65M-4061
 CONCESSION 3
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 THE REGIONAL MUNICIPALITY OF YORK

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GFA

BLDG 'E' - Mercantile	785.88 m ² or 8,459 SF
TOTAL GFA (B + G + H + F + E)	7,417.01 m ² or 79,836 SF
SITE COVERAGE	16.13 %
LANDSCAPED AREA	24,233.30 m ² or 52.70 %
PAVED AREA	14,330.19 m ² or 31.17 %

BUILDING HEIGHT (MAX)

PHASE II (BLDG 'B')	140 spaces	173 spaces
PHASE III (BLDG 'G' & 'H')	64 spaces	70 spaces
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SNOW STORAGE	2% or 920 m ²	2.7% or ±1,235 m ²

SYMBOL LEGEND

MAN DOOR LOCATION	TRUE NORTH
PRINCIPAL ENTRANCE LOCATION	PROJECT NORTH
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LIGHT STANDARD (REF. ELEC. DWGS)	
BICYCLE RING (REF. LANDS. DWGS)	
FIRE DEPARTMENT CONNECTION	
ACCESSIBLE PARKING (REF. A-1.1)	
GAS METERS LOCATION	
IMPRESSIONED ASPHALT - SEE LANDS. PLANS	
CURB DEPRESSION / RAMP (REF. A-1.1)	
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SNOW STORAGE / PILES	
WASTE STORAGE BIN 2.3 m ³ (3 yds)	
CARPOOL SPACE	

No.	ISSUED	DATE
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No.	REVISION	DATE
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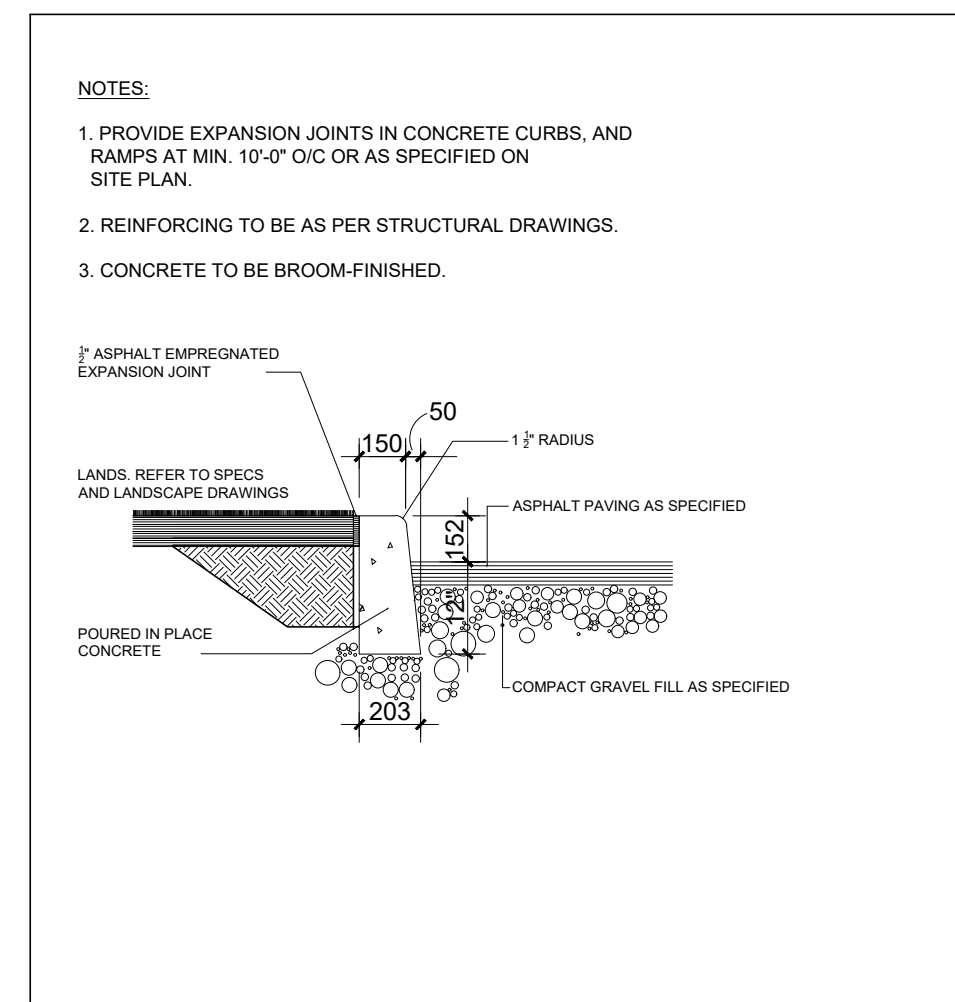
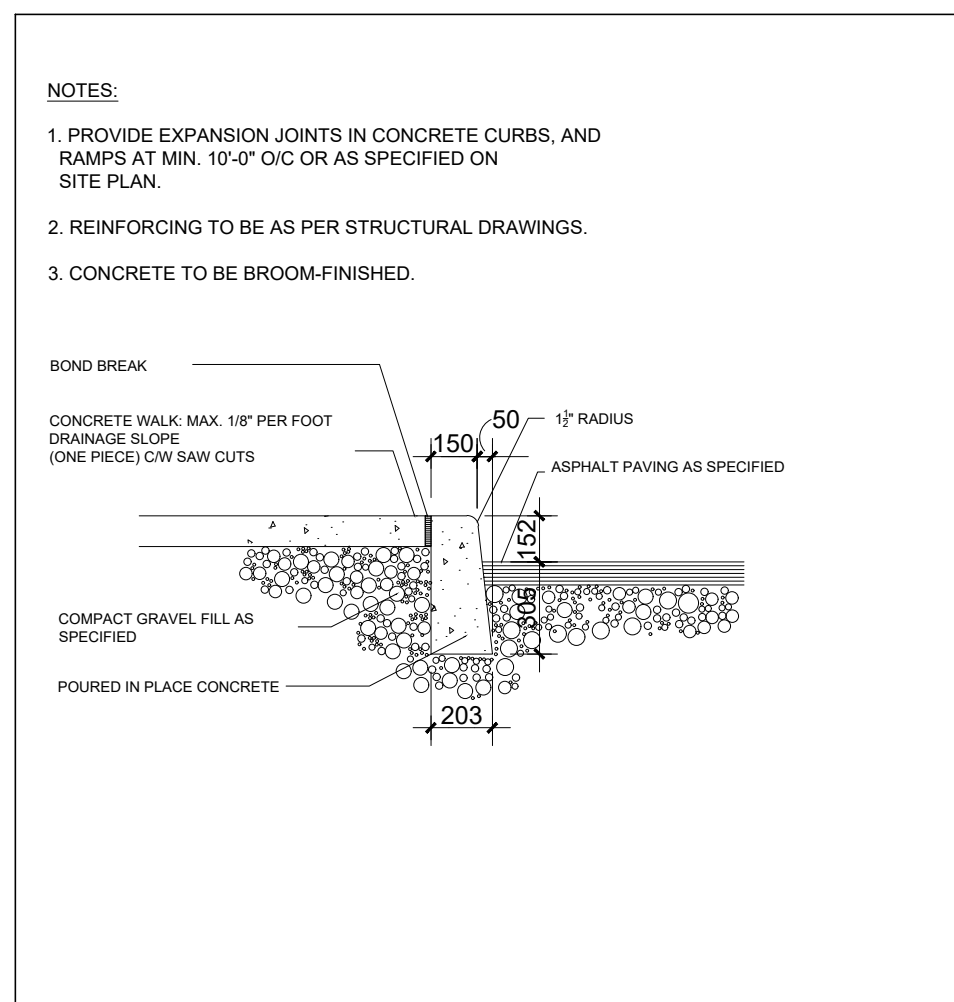
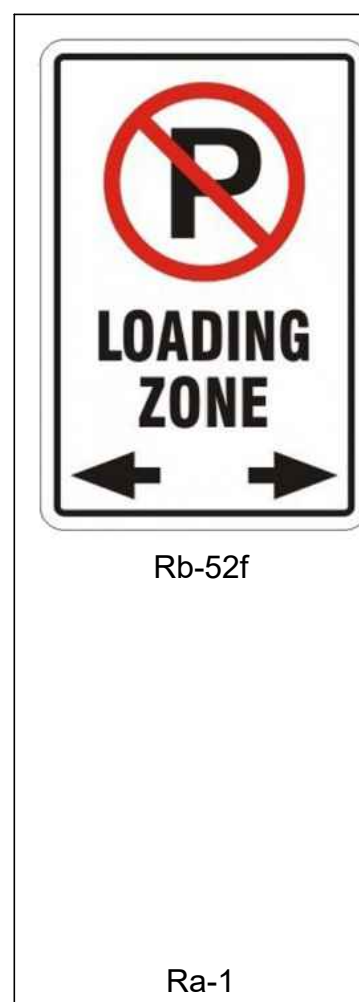
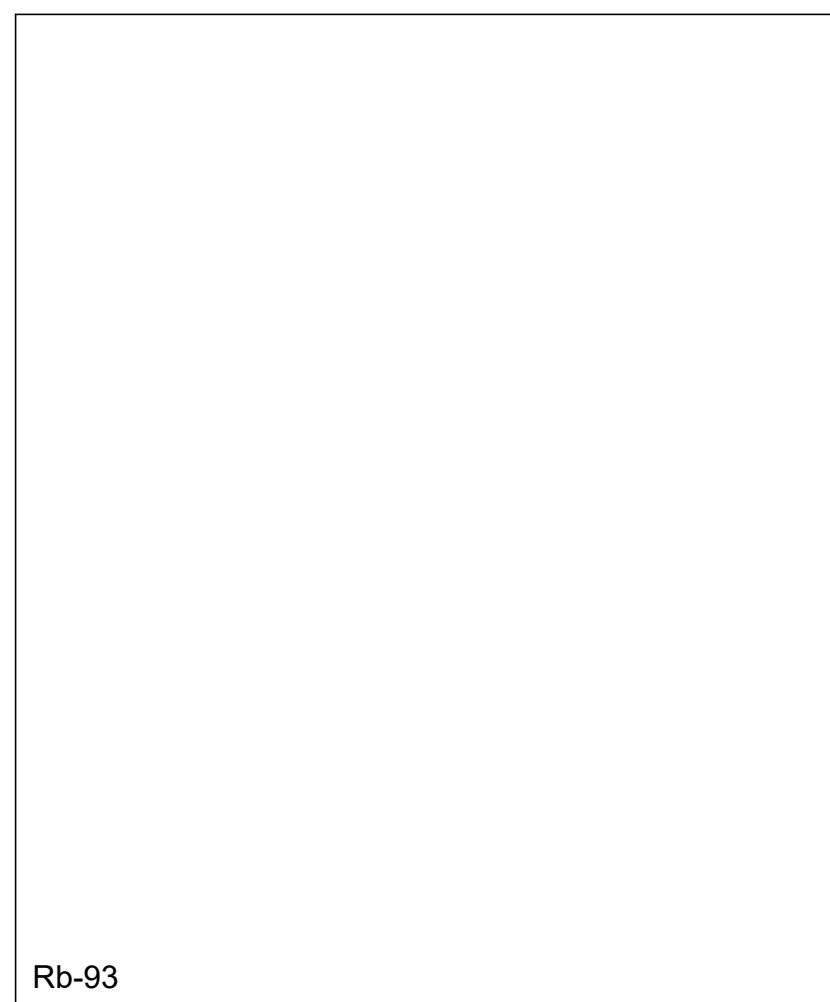
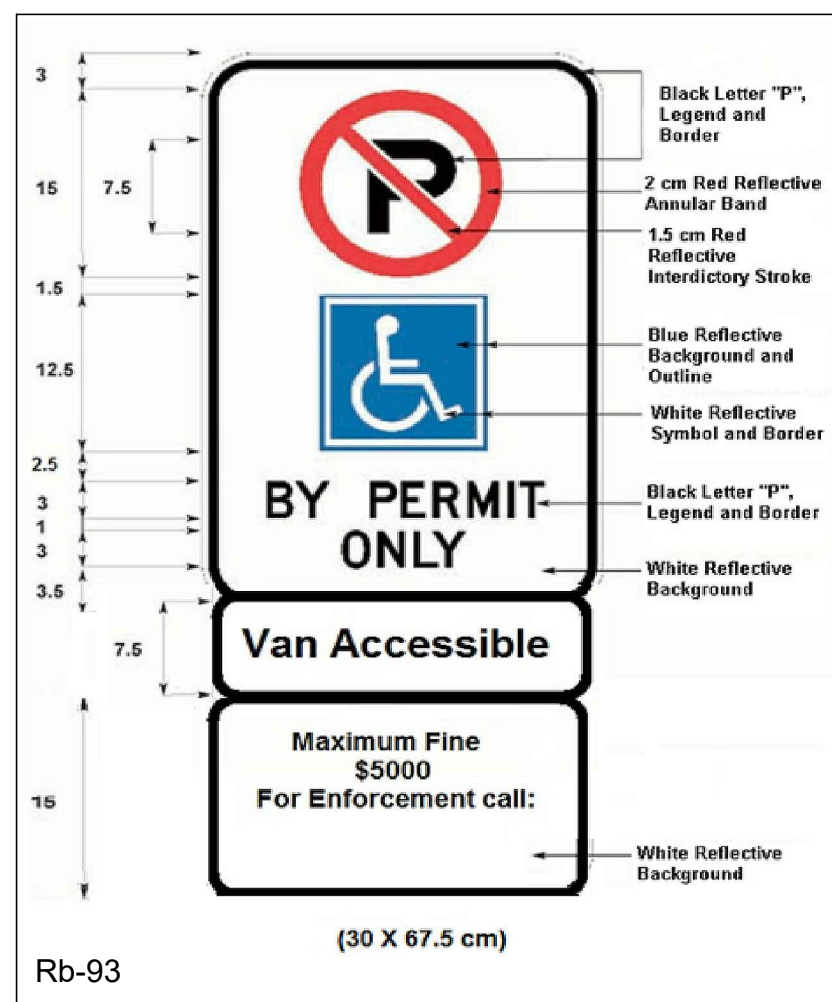
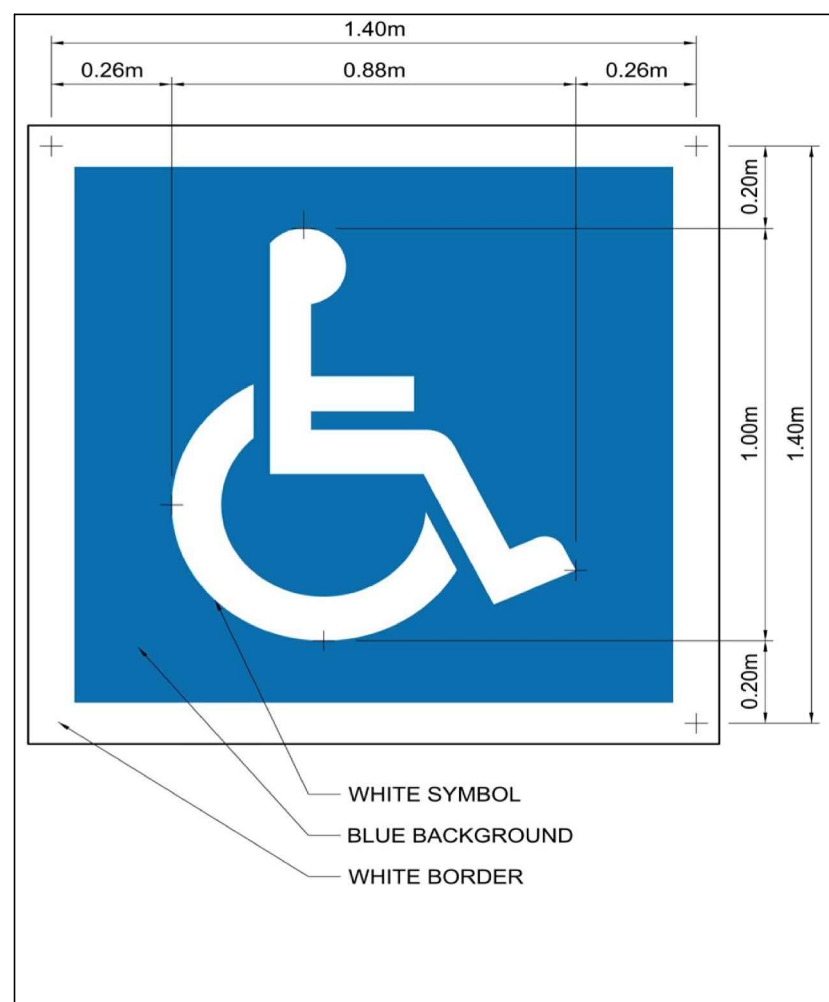
OWNERS INFORMATION:

McNaughton & Major Mackenzie Ph.5
 1840 MAJOR MACKENZIE DRIVE,
 VAUGHAN, ON

ENLARGED SITE PLAN

DA.24.026

DATE:	DRAWN BY:	CHECKED:	SCALE:
JUNE 2023	DW		1:250
PROJECT No.	DRAWING No.		
24-01	A-1.0		



1 PAVEMENT MARKING
A-1.1 NTS

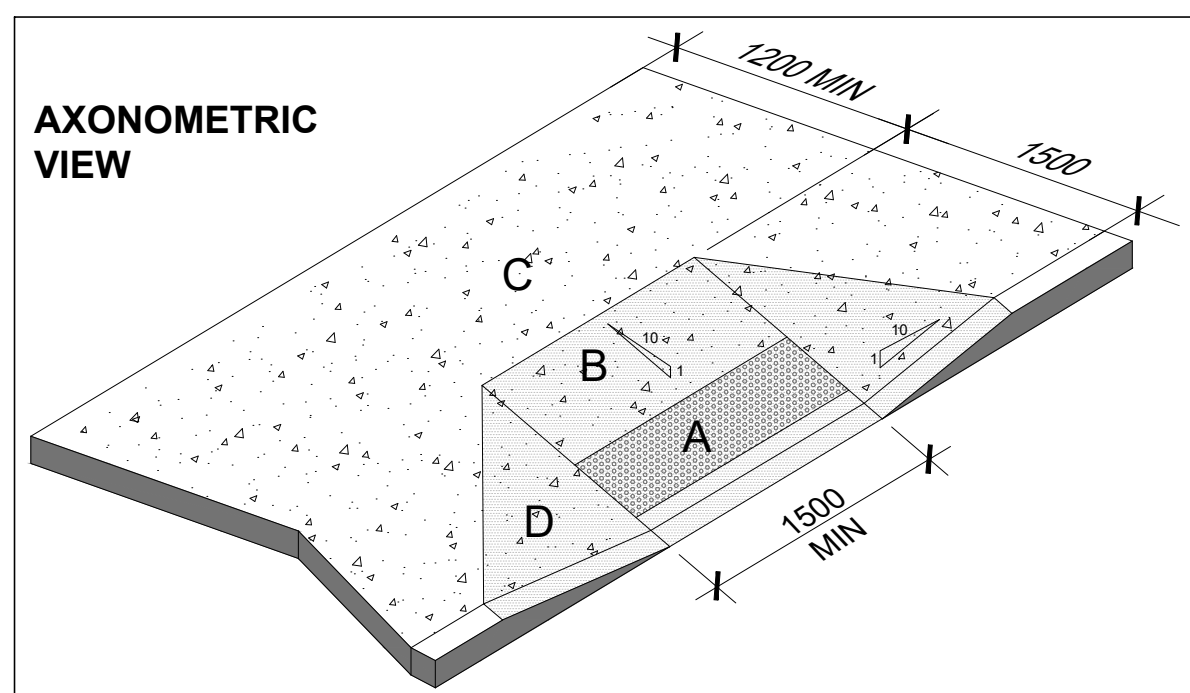
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A-1.1 NTS

3 ACCESSIBLE SIGN TYPE-B
A-1.1 NTS

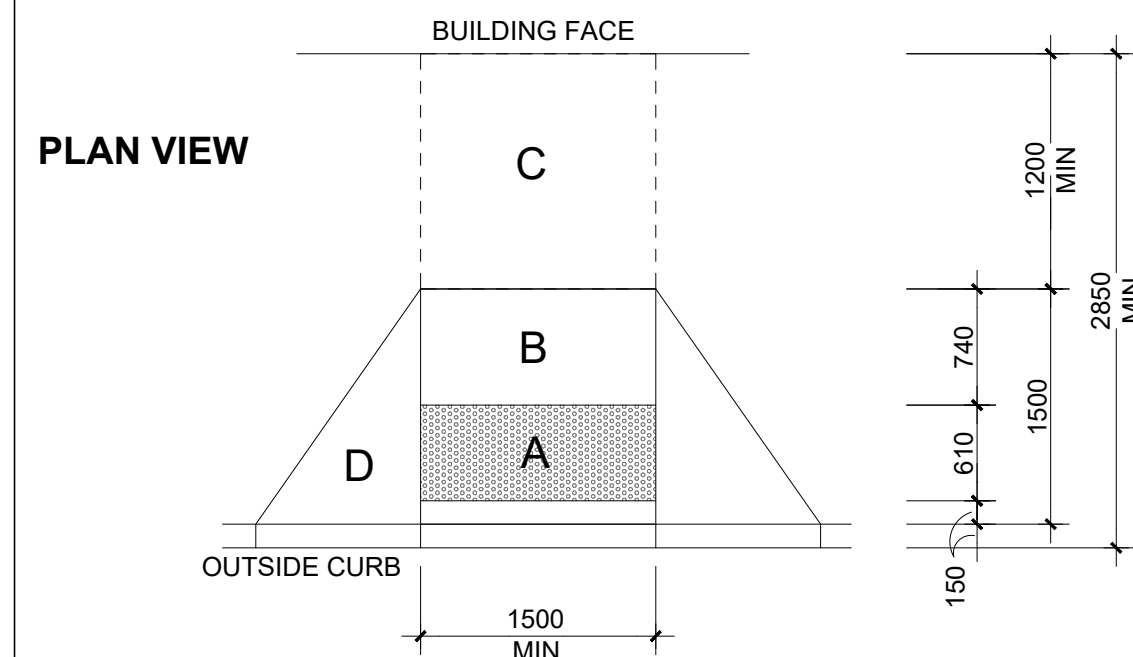
4 SIGNAGE DETAILS
A-1.1 NTS

5 POURED CONC. CURB @ S/W
A-1.1 NTS

6 POURED CONC. CURB @ LANDS.
A-1.1 NTS



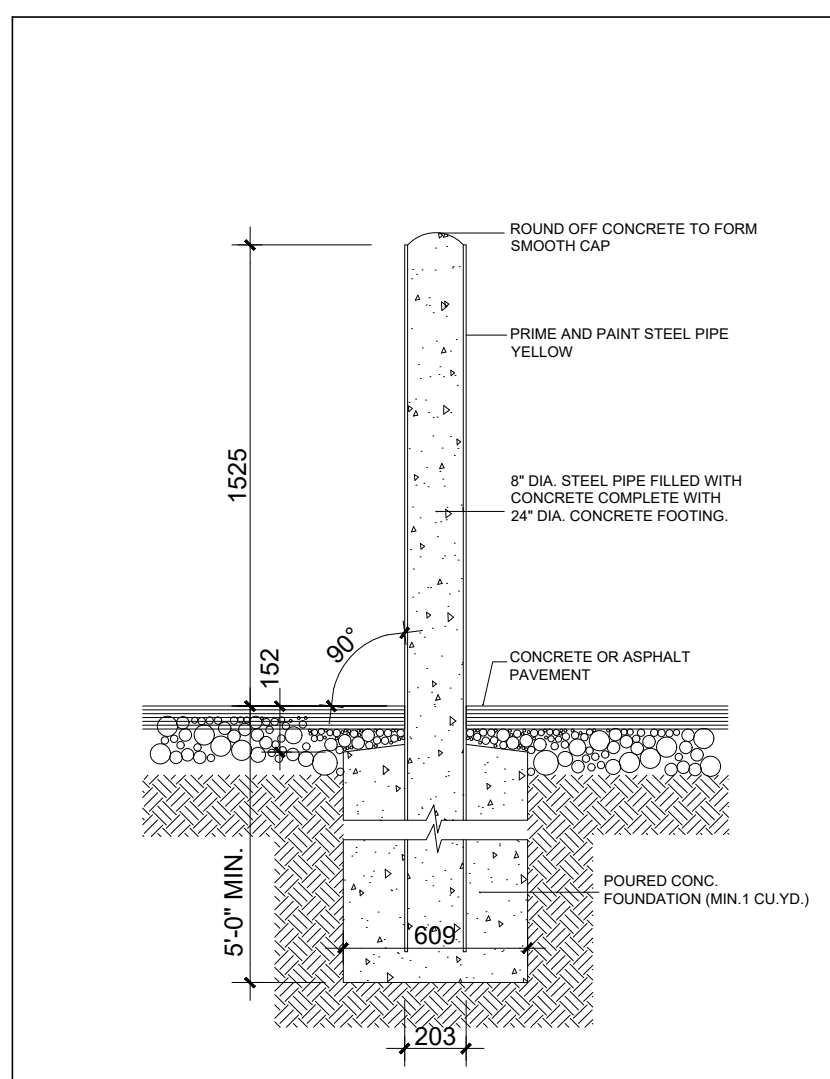
- CURB RAMP MUST HAVE A MINIMUM CLEAR WIDTH OF 1500mm, EXCLUSIVE OF ANY FLARED SIDES.
- THE RUNNING SLOPE OF THE CURB MUST:
 - BE A MAX OF 1:8, WHERE ELEVATION IS LESS THAN 75mm, AND
 - BE A MAX OF 1:10, WHERE ELEVATION IS LESS 75mm OR GREATER AND 200mm OR LESS.
- THE MAX SLOPE ON THE FLARED SIDE OF THE CURB RAMP MUST BE NO MORE THAN 1:10.
- CURB RAMP MUST HAVE A TACTILE WALKING SURFACE INDICATOR THAT:
 - HAVE RAISED TACTILE PROFILES COMPOSED OF TRUNCATED DOMES,
 - HAVE A HIGH TONAL CONTRAST WITH THE ADJACENT SURFACE,
 - ARE LOCATED AT THE BOTTOM OF THE CURB RAMP,
 - ARE SET BACK BETWEEN 150mm AND 200mm FROM THE CURB EDGE,
 - EXTEND THE FULL WIDTH OF THE CURB RAMP,
 - ARE A MIN OF 610mm IN DEPTH, AND
 - BE SLIP-RESISTANT.



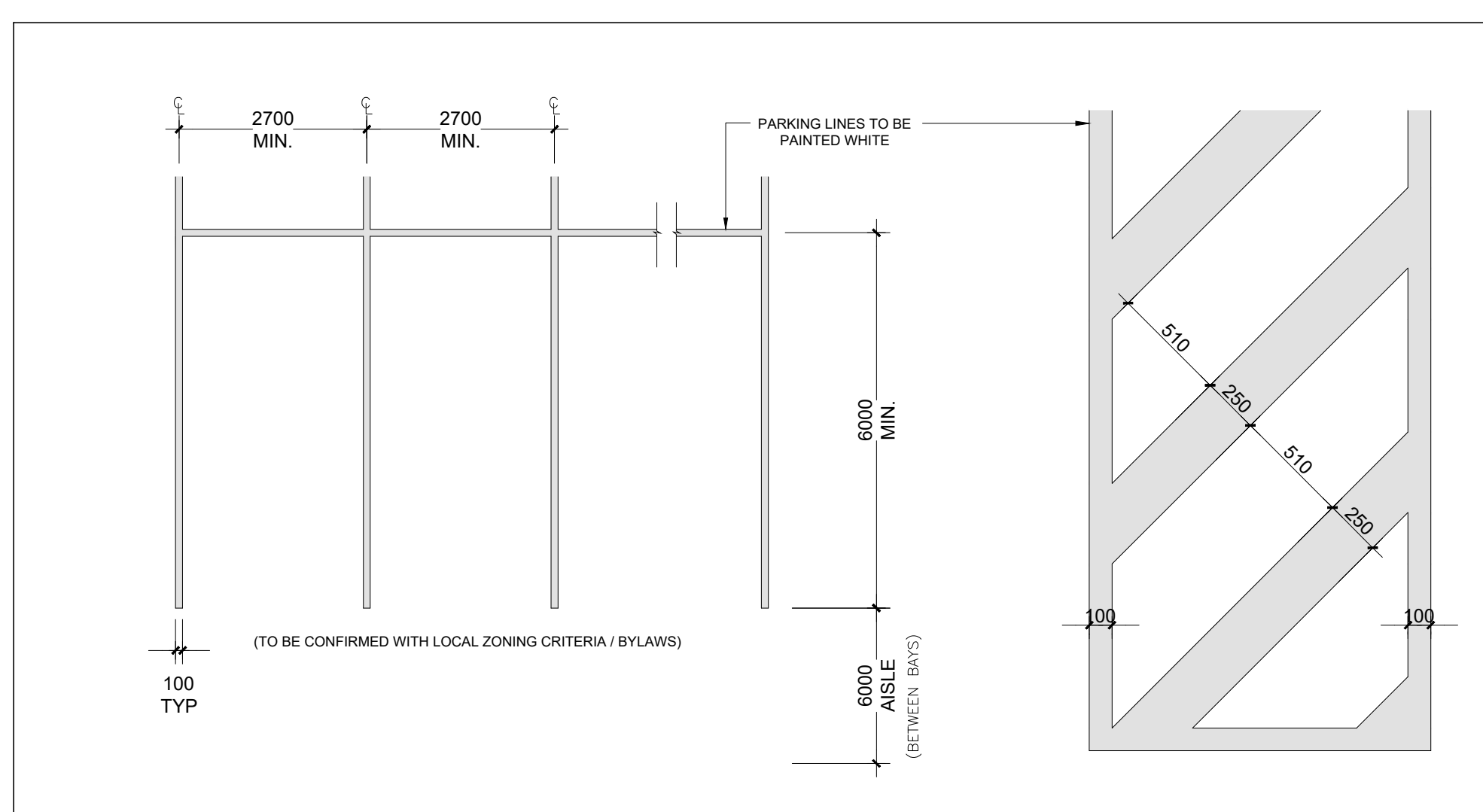
- A** TACTILE SURFACE / DETECTABLE HAZARD INDICATOR
150mm FROM EDGE OF CURB AND 610mm IN DEPTH
- B** SLOPE SURFACE @ 1:10 (max)
- C** LANDING / UNINTERRUPTED SPACE OF NOT LESS THAN 1100mm
- D** FLARED SIDES WITH MAX SLOPE OF 1:10

THE INFORMATION PROVIDED HERE WAS ASSEMBLED FROM OBC 3.8.3.2. AND THE ONTARIO REGULATION 413 / 12 (made under the ACCESSIBILITY FOR ONTARIANS WITH DISABILITIES ACT, 2005 - made DEC 12, 2012) IN CONJUNCTION WITH THE GUIDELINES FOR BARRIER-FREE DESIGN OF ONTARIO GOVERNMENT FACILITIES.

7 CURB RAMP / DEPRESSION
A-1.1 NTS



8 STEEL PIPE BOLLARD
A-1.1 NTS



9 PARKING LINES & STRIPES
A-1.1 NTS

No.	ISSUED	DATE
1	ISSUED FOR SPA 1ST SUBMISSION	MAR. 01, 2024
2	ISSUED FOR COORDINATION	APRIL. 23, 2024
3	RE-ISSUED FOR SPA 2ND SUBMISSION	JUN. 10, 2024

No.	REVISION	DATE
1	REVISED TO SUIT MUNICIPAL COMMENTS	JUN. 04, 2024

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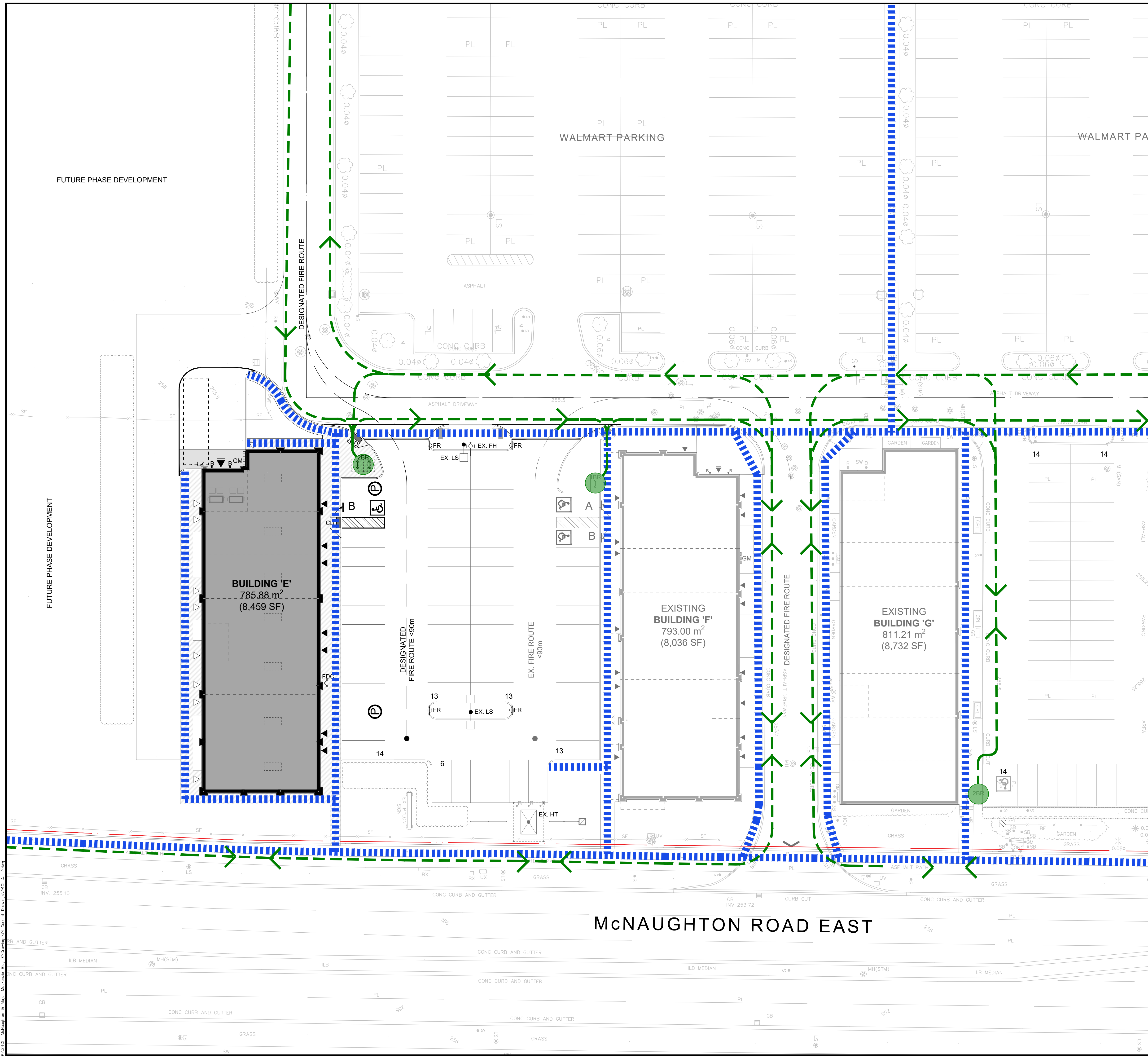
OWNERS INFORMATION:

McNaughton & Major Mackenzie Ph.5
1840 MAJOR MACKENZIE DRIVE,
VAUGHAN, ON

SITE DETAILS & PAVEMENT MARKING PLAN
DA.24.026

DATE:	DRAWN BY:	CHECKED:	SCALE:
JUNE 2023	DW		1:300

PROJECT No. 24-01 DRAWING No. **A-1.1**



KEY PLAN CITY OF VAUGHAN N.T.S.

LEGAL DESCRIPTION
 PLAN OF SUBDIVISION OF
 PART OF BLOCK 5
 LOTS 103, 106 & 107
 REGISTERED PLAN 65M-4061
 CONCESSION 3
 CITY OF VAUGHAN
 THE REGIONAL MUNICIPALITY OF YORK

SITE STATISTICS

SITE AREA SUBJECT LANDS	88,438.68 m ² or 21.854 Ac or 8.844 ha
ZONING	As per Zoning By Law 1-88 M1 9(1097) - RESTRICTED INDUSTRIAL As per Zoning By Law 001-2021 EM1-756 - PRESTIGE EMPLOYMENT ZONE
EXISTING PHASE II (BLDG 'B')	14,892.98 m ² or 3.88 Ac
TOTAL BUILDING AREA (GFA)	4,009.81 m ² (63,161 SF)
PARKING PROVIDED:	170 spaces
EXISTING PHASE III (BLDG 'G' & BLDG 'H')	5,694.19 m ² or 1.41 Ac
TOTAL BUILDING AREA (GFA)	1,828.32 m ² (19,860 SF)
PARKING PROVIDED:	70 spaces
EXISTING PHASE IV (BLDG 'F')	4,934.63 m ² or 1.219 Ac
TOTAL BUILDING AREA (GFA)	793.00 m ² (8,036 SF)
PARKING PROVIDED:	59 spaces

PROPOSED DEVELOPMENT | PHASE V (BLDG 'E')

DEVELOPMENT LANDS AREA	45,980.50 m ² or 11.36 Acres	
REQUIRED	PROVIDED	
LOT FRONTAGE (MUNAUGHTON RD E)	60.0 m (MIN)	± 275.00 m
EXTERIOR SIDE (EAST)	9.0 m (MIN)	EX 6.00 m
INTERIOR SIDE (WEST)	6.0 m (MIN)	EX 6.54 m
FRONT YARD (NORTH)	9.0 m (MIN)	EX 6.10 m
REAR SIDE (SOUTH)	15.0 m (MIN)	EX 6.00 m
BLDG 'E' - Mercantile	785.88 m ² or 8,459 SF	
TOTAL GFA (B + G + H + F + E)	7,417.01 m ² or 79,836 SF	
SITE COVERAGE	16.13 %	
LANDSCAPED AREA	24,233.30 m ² or 52.70 %	
PAVED AREA	14,330.19 m ² or 31.17 %	
REQUIRED	PROVIDED	
BUILDING HEIGHT (MAX)	11.0 m	10.40 m
PHASE II (BLDG 'B')	140 spaces	173 spaces
PHASE III (BLDG 'G' & 'H')	64 spaces	70 spaces
PHASE IV (BLDG 'F')	28 spaces	30 spaces
PHASE V (BLDG 'E')	28 spaces	29 spaces
TOTAL PARKING	260 spaces	302 spaces
ACCESSIBLE PARKING	7 spaces	9 spaces
LOADING SPACES (3.5m x 11.0m x 4.2)	1 space	3 spaces
SNOW STORAGE	2% or 920 m ²	2.7% or ±1,235 m ²

SYMBOL LEGEND

MAN DOOR LOCATION	PRINCIPAL ENTRANCE LOCATION	LOADING DOCK DOOR LOCATION	DRIVE-IN OVERHEAD DOOR LOCATION
FIRE HYDRANT & VALVE	CATCH BASIN (REF. CIVIL DWGS)	DOUBLE CATCH BASIN (REF. CIVIL DWGS)	STORM SEWER MANHOLE (REF. CIVIL DWGS)
SANITARY SEWER MANHOLE (REF. CIVIL DWGS)	LIGHT STANDARD (REF. ELEC. DWGS)	BICYCLE RING (REF. LANDS. DWGS)	FIRE DEPARTMENT CONNECTION
ACCESSIBLE PARKING (REF. A-1.1)	60 METERS LOCATION	IMPRESSION ASPHALT - SEE LANDS. PLANS	CURB DEPRESSION / RAMP (REF. A-1.1)
CONC. FILLED STEEL BOLLARD (REF. A-1.1)	ACCESSIBLE SIGN (REF. A-1.1)	FIRE ROUTE SIGN (REF. A-1.1)	STOP SIGN (REF. A-1.1)
LOADING ZONE SIGN (REF. A-1.1)	HYDRO TRANSFORMER (REF. ELEC. DWGS)	SNOW STORAGE / PILES	WASTE STORAGE BIN 2.3 m ³ (3 yds)
CARPOOL SPACE			

PEDESTRIAN & BICYCLE LEGEND

BICYCLE CIRCULATION

PATH OF TRAVEL:

DIRECTION OF TRAVEL:

BICYCLE RACK LOCATIONS:

PEDESTRIAN CIRCULATION

PATH OF TRAVEL:

No.	ISSUED	DATE
1	ISSUED FOR SPA 1ST SUBMISSION	MAR. 01, 2024
2	RE-ISSUED FOR SPA 2ND SUBMISSION	JUN. 10, 2024

No.	REVISION	DATE
1	REVISED TO SUIT MUNICIPAL COMMENTS	JUN. 04, 2024

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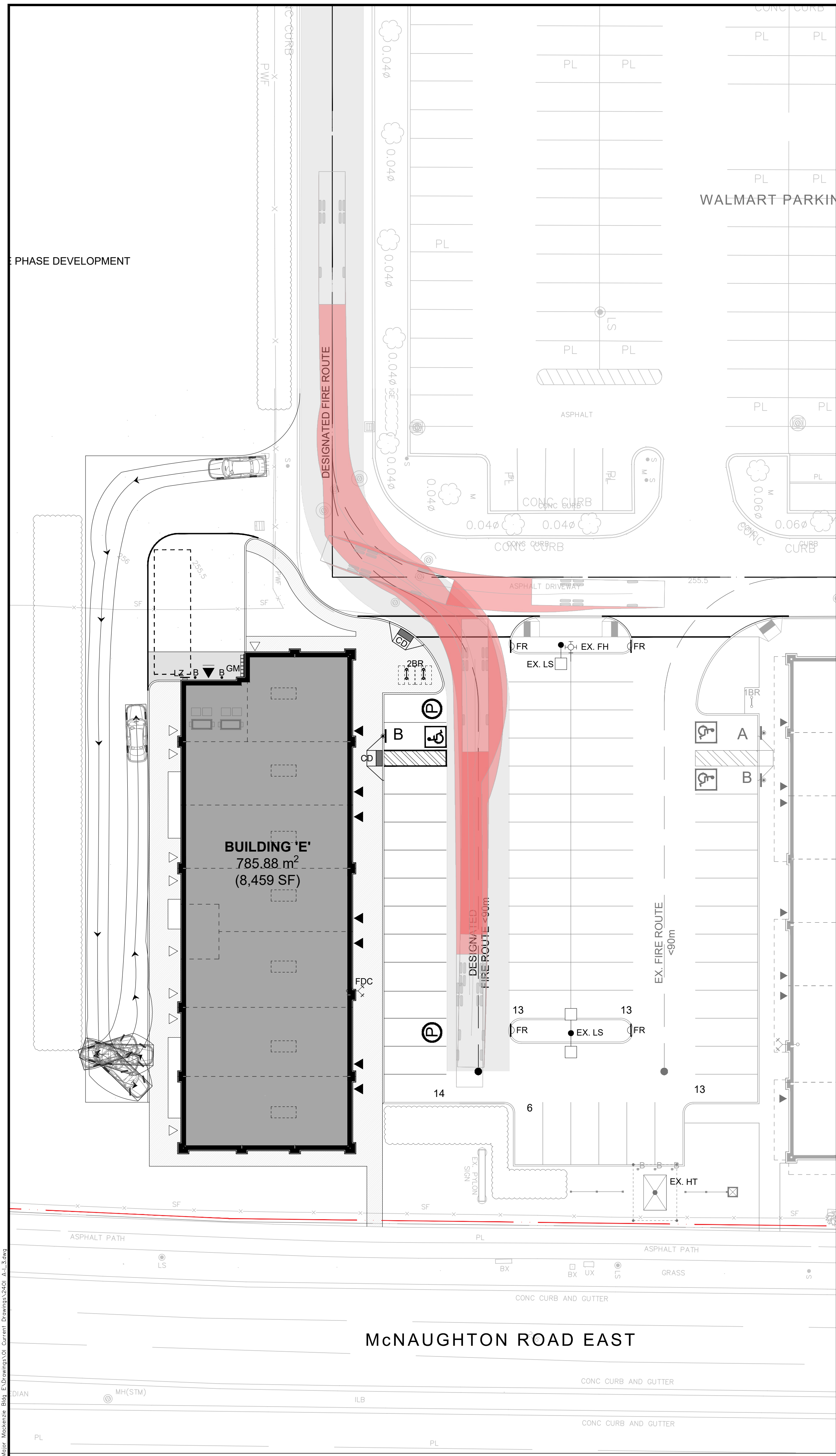


OWNERS INFORMATION:

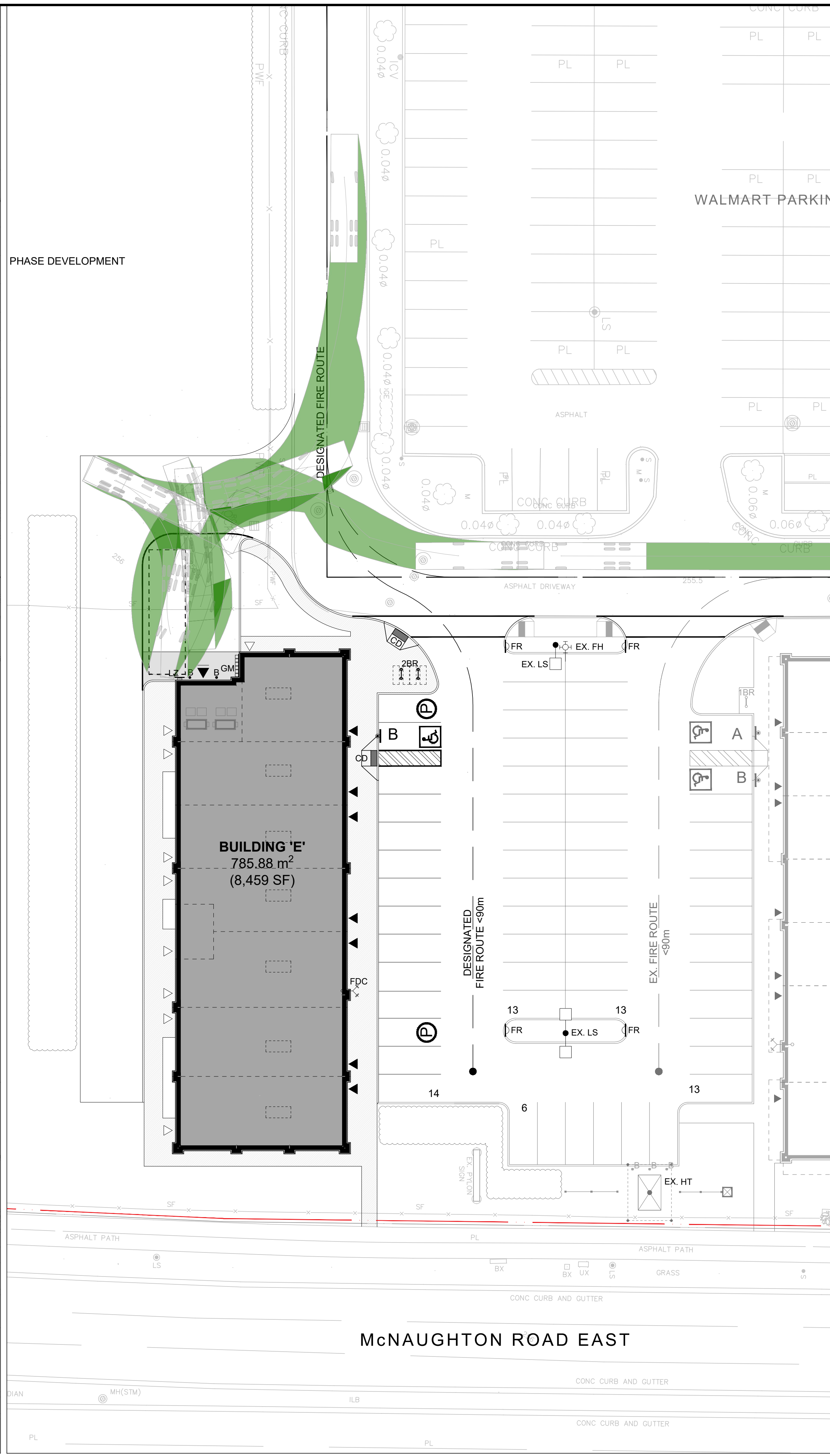
McNaughton & Major Mackenzie Ph.5
 1840 MAJOR MACKENZIE DRIVE,
 VAUGHAN, ON

PEDESTRIAN & BICYCLE CIRCULATION PLAN
 DA.24.026

DATE: JUN 2023	DRAWN BY: DW	CHECKED:	SCALE: 1:300
PROJECT No. 24-01	DRAWING No. A-1.2		



FIRE TRUCK & STANDARD CAR MANEUVERABILITY



GARBAGE TRUCK MANEUVERABILITY

KEY PLAN CITY OF VAUGHAN N.T.S.

LEGAL DESCRIPTION
 PLAN OF SUBDIVISION OF
 PART OF BLOCK 5
 LOTS 103, 106 & 107
 REGISTERED PLAN 65M-4061
 CONCESSION 3
 CITY OF VAUGHAN
 THE REGIONAL MUNICIPALITY OF YORK

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SITE AREA SUBJECT LANDS	88,438.68 m ² or 21.854 Ac or 8.844 ha
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PARKING PROVIDED:	170 spaces
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TOTAL BUILDING AREA (GFA)	793.00 m ² (8,636 SF)
PARKING PROVIDED:	59 spaces

PROPOSED DEVELOPMENT | PHASE V (BLDG 'E')

DEVELOPMENT LANDS AREA	45,980.50 m ² or 11.36 Acres	
REQUIRED	PROVIDED	
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REAR SIDE (SOUTH)	15.0 m (MIN)	EX. 6.00 m

GFA

BUILDING 'E' - Mercantile	785.88 m ² or 8,459 SF
TOTAL GFA (B + G + H + F + E)	7,417.01 m ² or 79,836 SF

SITE COVERAGE 16.13 %

LANDSCAPED AREA 24,233.30 m² or 52.70 %

PAVED AREA 14,330.19 m² or 31.17 %

REQUIRED	PROVIDED	
BUILDING HEIGHT (MAX)	11.0 m	10.40 m
PHASE II (BLDG 'B')		
RETAIL up to 3,000 m ² (3.5 Spaces / 100 m ²)	140 spaces	173 spaces
BY-LAW 001-2021		
PHASE III (BLDG 'G' & 'H')		
RETAIL up to 3,000 m ² (3.5 Spaces / 100 m ²)	64 spaces	70 spaces
BY-LAW 001-2021		
PHASE IV (BLDG 'F')		
RETAIL up to 3,000 m ² (3.5 Spaces / 100 m ²)	28 spaces	30 spaces
BY-LAW 001-2021		
PHASE V (BLDG 'E')		
RETAIL up to 3,000 m ² (3.5 Spaces / 100 m ²)	28 spaces	29 spaces
BY-LAW 001-2021		
TOTAL PARKING	260 spaces	302 spaces
ACCESSIBLE PARKING		
201-1,000 2, Plus 2% of the Total Required	7 spaces	9 spaces
[2 = (100 x 2) / 2000]		
LOADING SPACES (3.5m x 11.0m x 4.2)	1 space	3 spaces
SNOW STORAGE	2% or 920 m ²	2.7% or ±1,235 m ²

SYMBOL LEGEND

- MAN DOOR LOCATION
- PRINCIPAL ENTRANCE LOCATION
- LOADING DOCK DOOR LOCATION
- DRIVE-IN OVERHEAD DOOR LOCATION
- FIRE HYDRANT & VALVE
- CATCH BASIN (REF. CIVIL DWGS)
- DOUBLE CATCH BASIN (REF. CIVIL DWGS)
- STORM SEWER MANHOLE (REF. CIVIL DWGS)
- SANITARY SEWER MANHOLE (REF. CIVIL DWGS)
- LIGHT STANDARD (REF. ELEC. DWGS)
- BICYCLE RING (REF. LANDS. DWGS)
- FIRE DEPARTMENT CONNECTION
- ACCESSIBLE PARKING (REF. A-1.1)
- GAS METERS LOCATION
- IMPRESSED ASPHALT - SEE LANDS. PLANS
- CURB DEPRESSION / RAMP (REF. A-1.1)
- CONC. FILLED STEEL BOLLARD (REF. A-1.1)
- ACCESSIBLE SIGN (REF. A-1.1)
- FIRE ROUTE SIGN (REF. A-1.1)
- STOP SIGN (REF. A-1.1)
- LOADING ZONE SIGN (REF. A-1.1)
- HYDRO TRANSFORMER (REF. ELEC. DWGS)
- SNOW STORAGE / PILES
- WASTE STORAGE BIN 2.3 m3 (3 yds)
- CARPOOL SPACE

TRUE NORTH

PROJECT NORTH

STANDARD CAR PROFILE

TRUCK PROFILES

Garbage Truck	Fire Truck
Width: 2.60	Width: 2.54
Track: 2.60	Track: 2.54
Lock to Lock Time: 127.7	Lock to Lock Time: 127.0
Steering Angle: 127.7	Steering Angle: 127.0

No.	ISSUED	DATE
1	ISSUED FOR SPA 1ST SUBMISSION	MAR. 01, 2024
2	RE-ISSUED FOR SPA 2ND SUBMISSION	JUN. 10, 2024

1	REVISED TO SUIT MUNICIPAL COMMENTS	JUN. 04, 2024
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No.	REVISION	DATE
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BALDASSARRA
Architects Inc.

30 Great Gulf Drive, Unit 20 | Concord ON | L4K 0K7
 T. 905.660.0722 | www.baldassarra.ca



OWNERS INFORMATION:

McNaughton & Major Mackenzie Ph.5
 1840 MAJOR MACKENZIE DRIVE,
 VAUGHAN, ON

VEHICULAR MANEUVERABILITY PLAN
 DA.24.026

DATE: JUN. 2023	DRAWN BY: DW	CHECKED:	SCALE: 1:300
PROJECT No. 24-01	DRAWING No. A-1.3		

No.	ISSUED	DATE
1	ISSUED FOR PAC	OCT. 25, 2023
2	ISSUED FOR SPA 1ST SUBMISSION	MAR. 01, 2024
3	ISSUED FOR COORDINATION	APRIL. 23, 2024
4	RE-ISSUED FOR SPA 2ND SUBMISSION	JUN. 10, 2024

No.	REVISION	DATE
1	REVISED TO SUIT MUNICIPAL COMMENTS	JUN. 04, 2024

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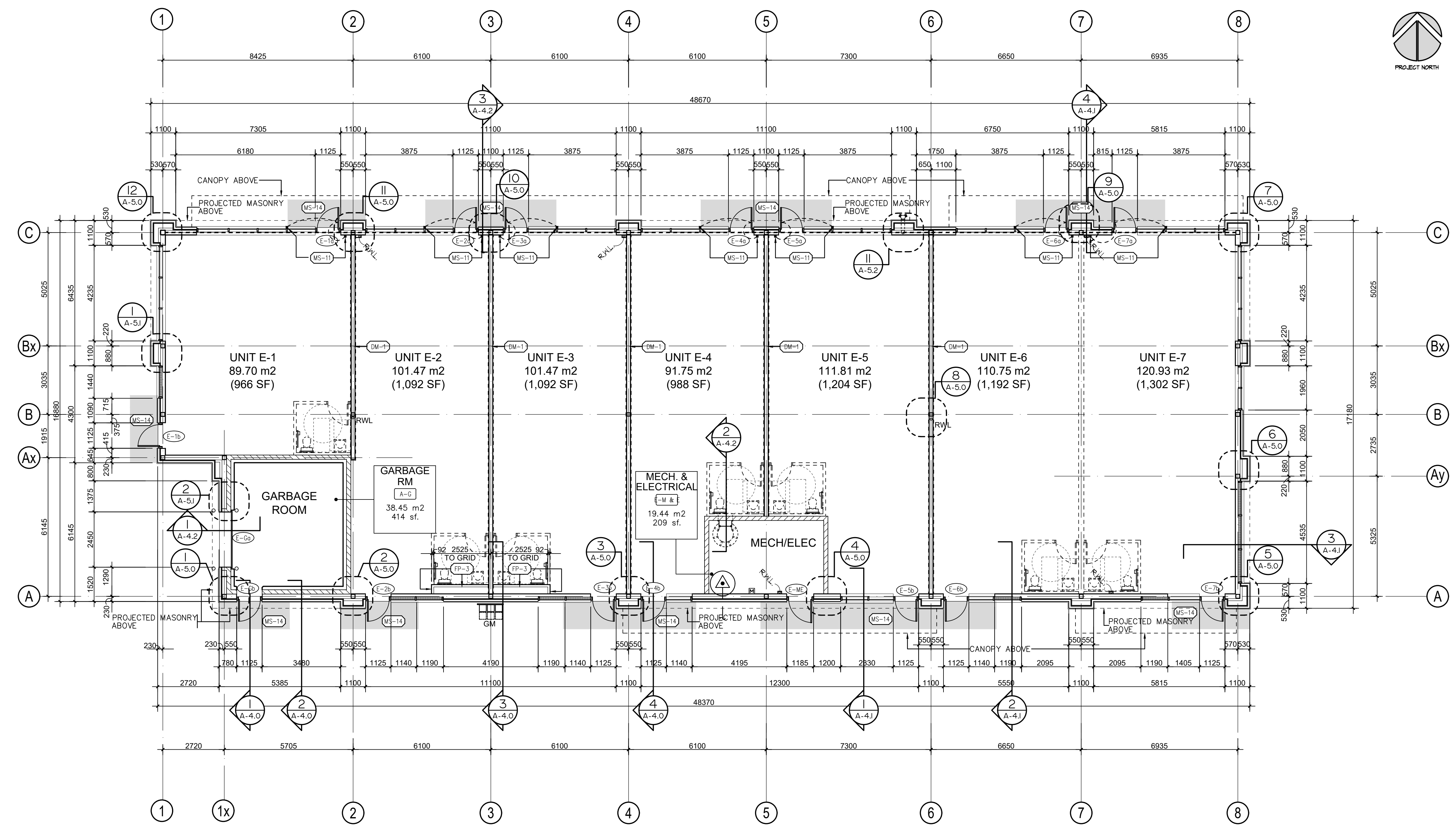


OWNERS INFORMATION:

McNaughton & Major Mackenzie Ph.5
1840 MAJOR MACKENZIE DRIVE
VAUGHAN, ON

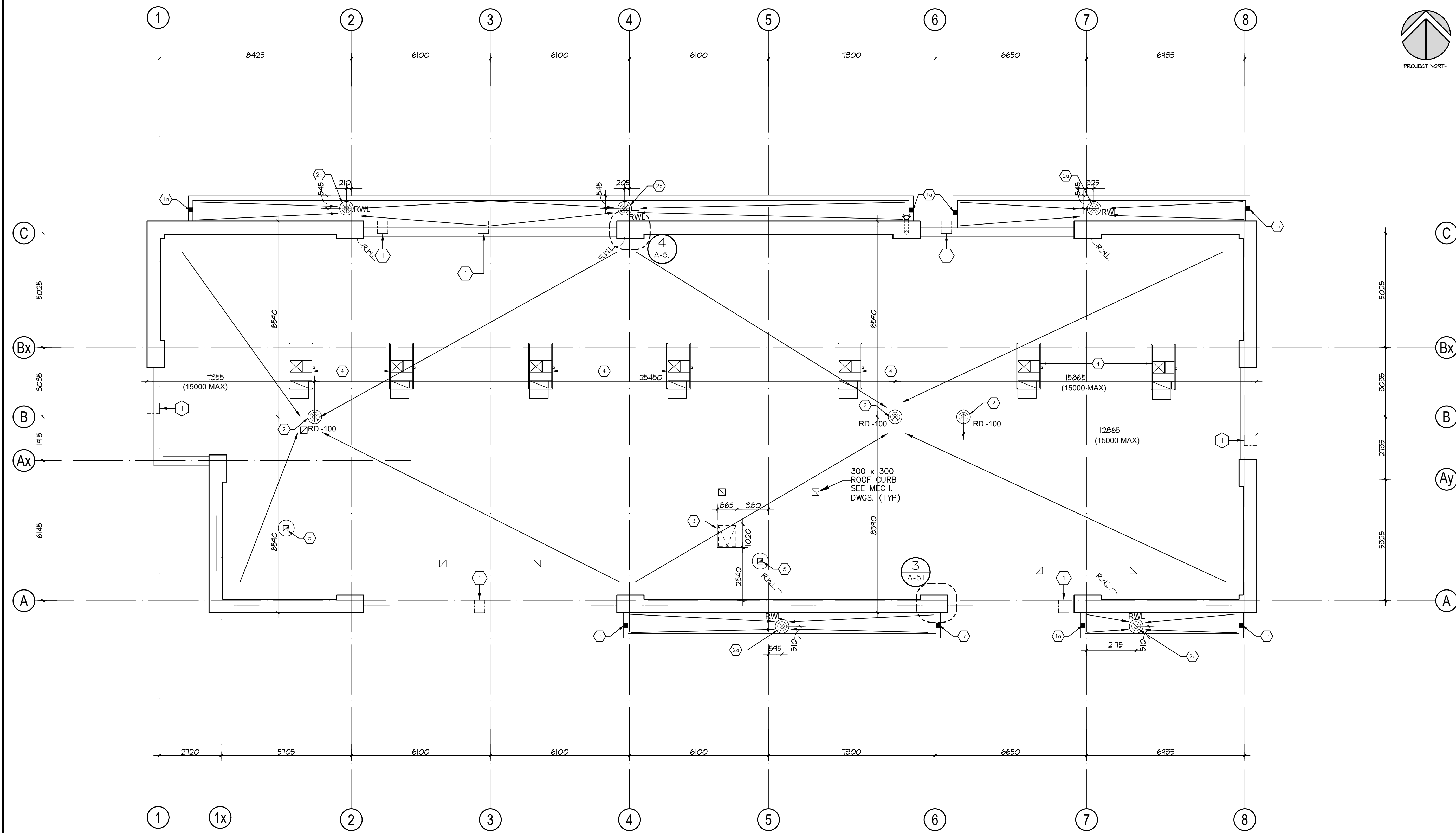
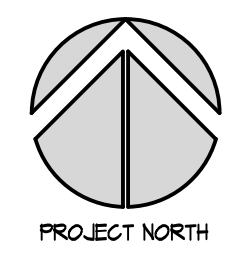
FLOOR PLAN

DA.24.026			
DATE:	DRAWN BY:	CHECKED:	SCALE:
FEB 2024	SA		1:100
PROJECT No.	DRAWING No.		
24-01	A-2.0		



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No.	ISSUED	DATE
1	ISSUED FOR PAC	OCT. 25, 2023
2	ISSUED FOR SPA 1ST SUBMISSION	MAR. 01, 2024
3	ISSUED FOR COORDINATION	APRIL. 23, 2024
4	RE-ISSUED FOR SPA 2ND SUBMISSION	JUN. 10, 2024



KEYED NOTES LEGEND

- ① RAIN WATER RELIEF SCUPPER. SEE DETAIL 8/A-5.2.
- ⑩ RAIN WATER RELIEF SCUPPER. SEE DETAIL 3/A-5.3
- ② ROOF DRAIN. SEE STRUCTURAL AND MECHANICAL DWGS.
- ②0 CANOPY DRAIN. SEE MECHANICAL DWGS.
- ③ ROOF HATCH. SEE SECTION 2/A-4.2.
- ④ R.T.U. AND CURB (TYP.). SEE MECHANICAL DWGS.
- ⑤ EXHAUST FAN AND CURB (TYP.). SEE MECHANICAL DWGS.

- NOTES:**
1. RAIN WATER RELIEF SCUPPERS TO BE PLACED 30m APART MAX.
 2. ROOF DRAINS TO BE LOCATED 15m MAX. FROM EDGE OF ROOF AND 30m APART MAX ON ROOF AREA. FOR ROOF DRAIN TYPES SEE MECHANICAL DWGS.

No.	REVISION	DATE
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OWNERS INFORMATION:

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1840 MAJOR MACKENZIE DRIVE,
VAUGHAN, ON

ROOF PLAN

DA.24.026			
DATE:	DRAWN BY:	CHECKED:	SCALE:
FEB 2024	SA		1:100
PROJECT No.	DRAWING No.		
24-01	A-2.1		

No.	ISSUED	DATE
1	ISSUED FOR PAC	OCT. 25, 2023
2	ISSUED FOR SPA 1ST SUBMISSION	MAR. 01, 2024
3	ISSUED FOR COORDINATION	APRIL. 23, 2024
4	RE-ISSUED FOR SPA 2ND SUBMISSION	JUN. 10, 2024

MATERIAL LEGEND

- 10 PREFINISHED METAL FLASHING. CLR: DARK BRONZE
- 10b COMPOSITE ALUMINUM FLASHING. CLR: DARK BRONZE
- 20 BRICK VENEER, CHELSEA
- 20b BRICK VENEER, TAHOE
- 3 STONE VENEER, POLAR WHITE
- 4 ARCHITECTURAL STONE, CORTONA
- 50 CLEAR THERMAL GLAZING IN ANODIZED ALUMINUM FRAMES
- 50b SPANDREL GLAZING IN ANODIZED ALUMINUM FRAMES
- 6 CLEAR TEMPERED GLASS & ANODIZED ALUMINUM DOOR
- 7 FUTURE SIGNAGE MOUNTED ON METAL TRUSS
- 8 HOLLOW METAL MAN DOOR
- 9 CONC. PRECAST SILL
- 10 RAIN WATER RELIEF SCUPPER
- 11 COMPOSITE ALUM. METAL PANEL, SOG GREY
- 12 INSULATED PREFINISHED STEEL VERTICAL LIFT O/H DOOR
- 13 SOLDIER COURSE TO MATCH ABUTTING BRICK VENEER
- 14 STONE HEADER, NICKLE
- 15 GAS METERS: REFER TO GENERAL NOTES
- 16 LIGHT FIXTURE: REFER TO ELECTRICAL DWGS.
- 17 ROOF TOP AC UNITS MOUNTED ON 300mm MIN. ROOF CURB. SEE MECHANICAL DWGS

GENERAL NOTES & MISC.

- GAS METER**
GAS METERS SHALL NOT BE LOCATED ON BUILDING FACADES THAT FACE STREETS AND SHALL BE LOCATED DISCRETELY, AWAY FROM PEDESTRIAN TRAVEL ROUTES AND SCREENED FROM PUBLIC VIEW.
- ROOF TOP MECHANICAL UNIT (RTU)**
TYPICAL ROOF TOP UNITS ARE TO BE SCREENED FROM PUBLIC VIEWING BY HIGH BUILDING PARAPETS.

No.	REVISION	DATE
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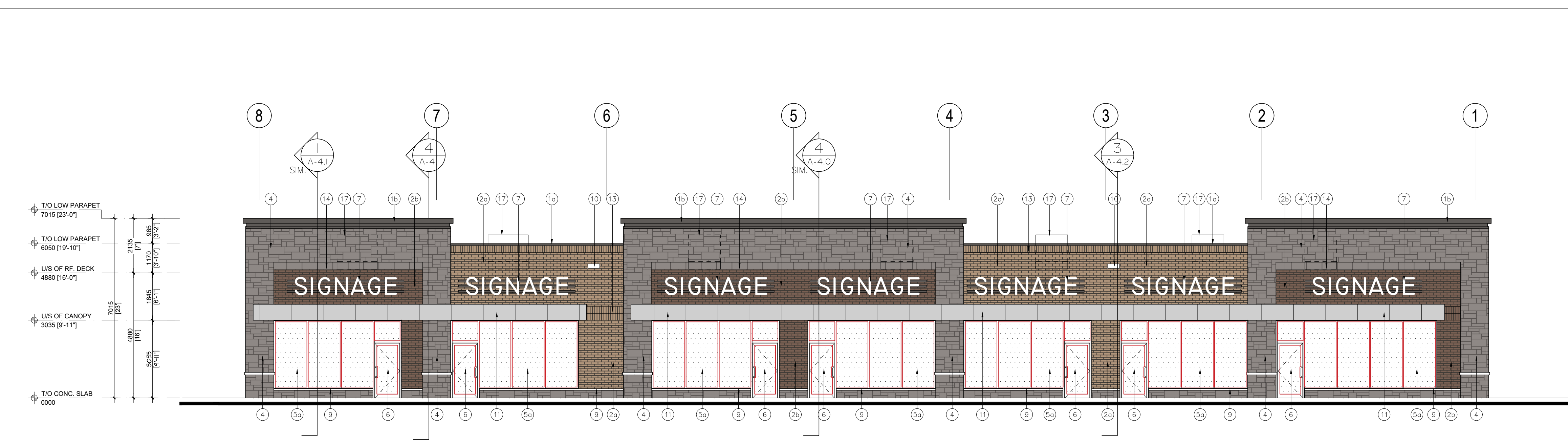


OWNERS INFORMATION:

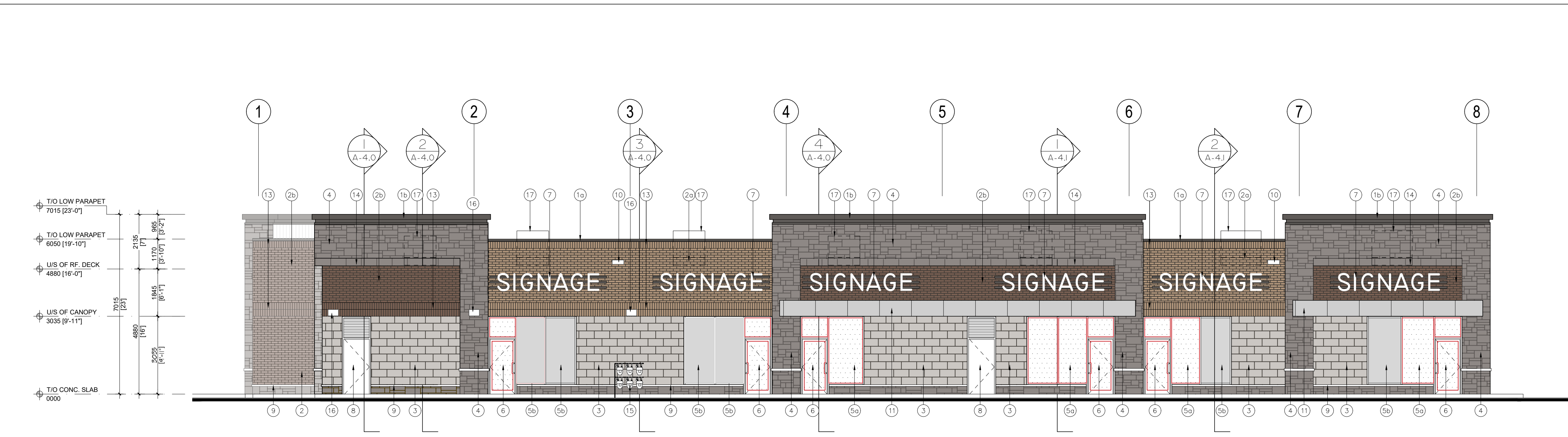
McNaughton & Major Mackenzie Ph.5
1840 MAJOR MACKENZIE DRIVE
VAUGHAN, ON

ELEVATIONS BIRD SAFE DESIGN & SIGNAGE PLAN

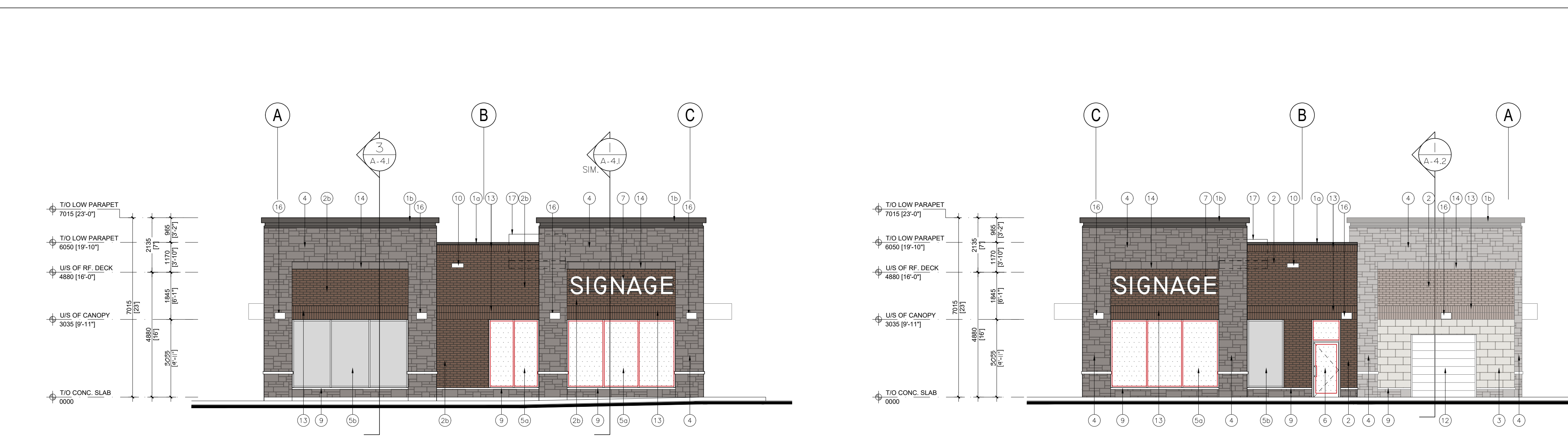
DATE: FEB 2024	DRAWN BY: SA	CHECKED:	SCALE: 1:100
PROJECT No. 24-01	DRAWING No. A-3.0	DA.24.026	



1 NORTH ELEVATION
A-3.0E 1:100



2 SOUTH ELEVATION
A-3.0E 1:100



3 EAST ELEVATION
A-3.0E 1:100

4 WEST ELEVATION
A-3.0E 1:100

Bird Safe Treatment Exterior Specification Checklist
Applicant to include checklist on Elevation Drawing(s) at first site plan submission. Drawing(s) to be stamped and signed by an OAA member.

Mandatory Primary Treatments for all site and draft plan applications.
At Grade Condition (check to confirm the below is applied)

- Bird safe treatment (s) are applied on minimum 90% of contiguous glass panel area greater than 2 sq. m, and within 16m from finished grade or to the height of the adjacent mature tree canopy, whichever is greater.
- Treatments are applied to all glass panel areas that creates fly-through conditions and are adjacent to natural heritage features.
- Treatments are identified and redlined on the elevation drawing(s).

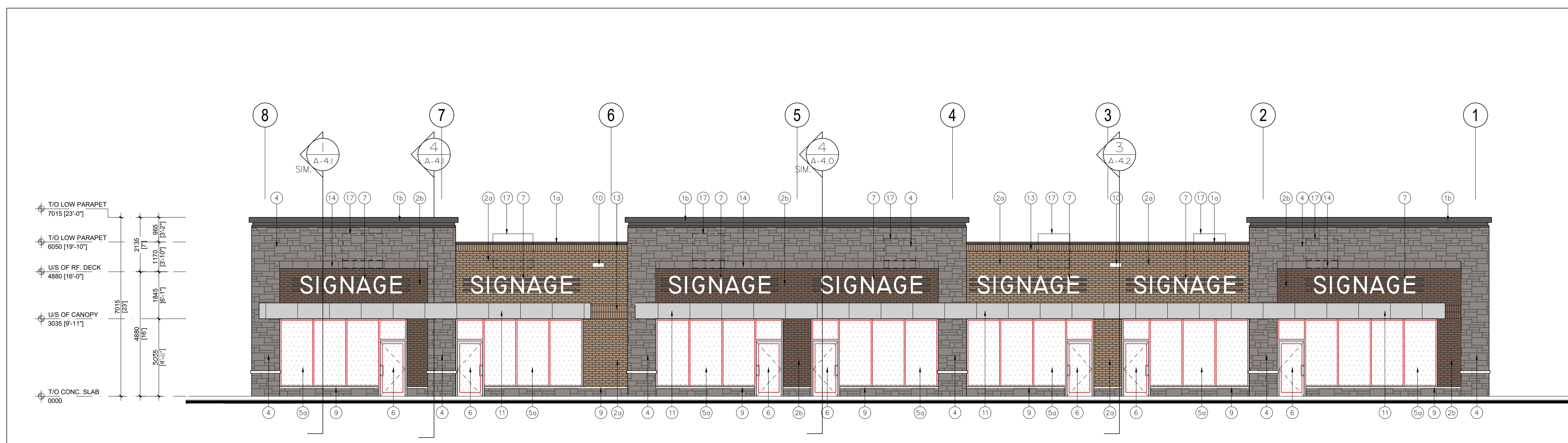
Roof Landscape Conditions (check to confirm the below is applied)

- Development contains no glass panel within 16m from roof level finished grade.
- If glazing is adjacent to green roofs and/or rooftop vegetation, bird safe treatment is applied at a height of 4m from the surface of the green roof or the height of the adjacent mature vegetation, whichever is greater.

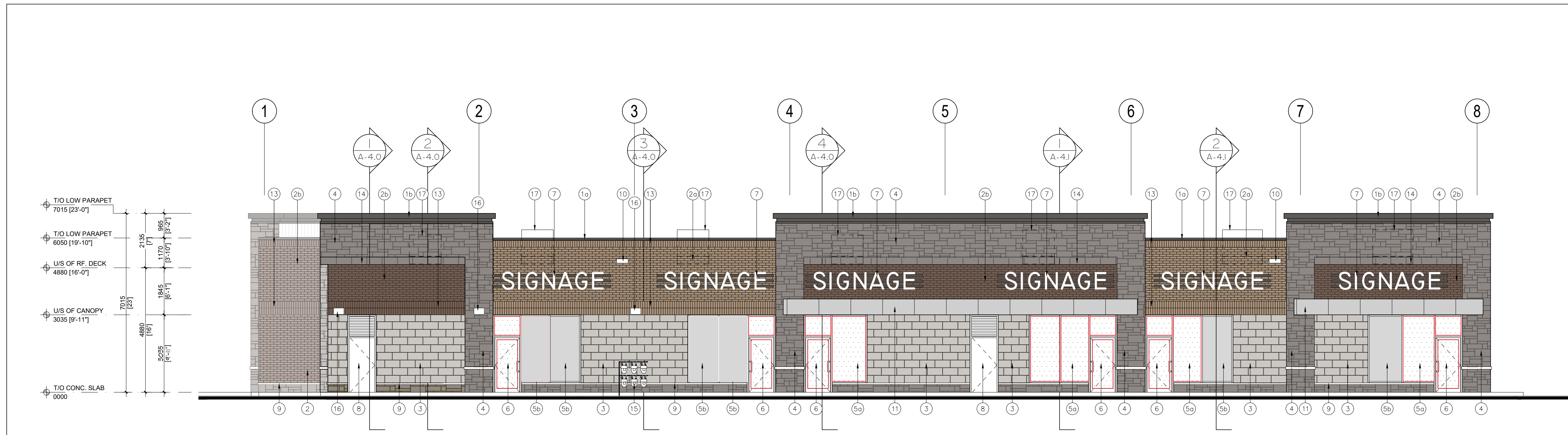
• TOTAL AREA OF GLAZING = 177 m²
• AREA OF BIRD-FRIENDLY GLAZING = 159 m²
• REQUIRED % OF B-F GLAZING (MIN.) = 90%
• PROPOSED % OF B-F GLAZING = 90%

WALL SIGN DETAIL
TYPICAL TENANT SIGN AREA: 5.95 m² (64 SF)
AT A LENGTH OF 4.88 m (16 FT) x 1.22 m (4 FT) HIGH

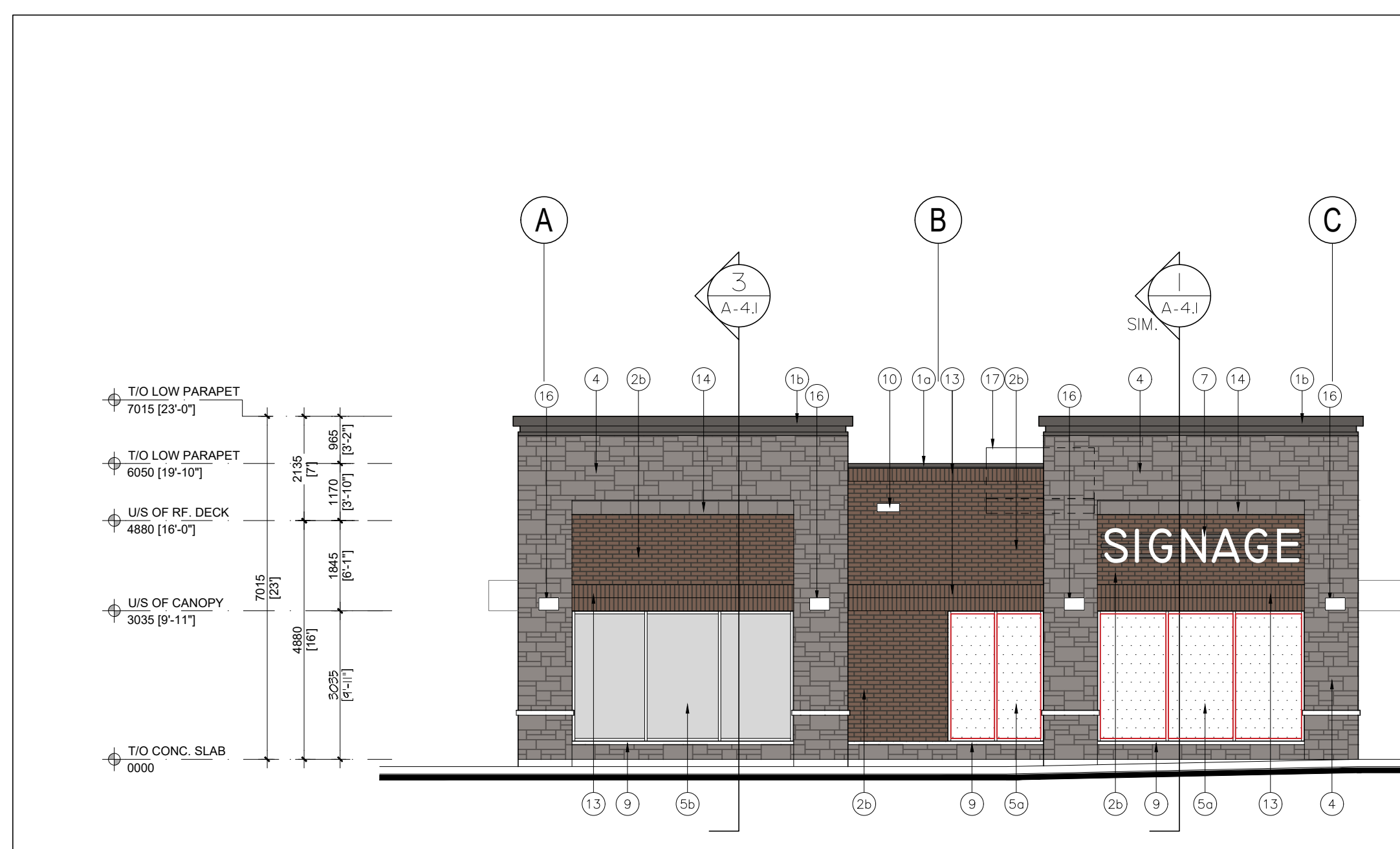
SIGNAGE TO BE CUT OUT LETTERING AND BACK LIT WITH ILLUMINATION VALUES THAT WILL NOT EXCEED 300 NITS (SUNSET TO SUNRISE) AND 5000 NITS (SUNRISE TO SUNSET).



1 NORTH ELEVATION
A-3.0E 1:100

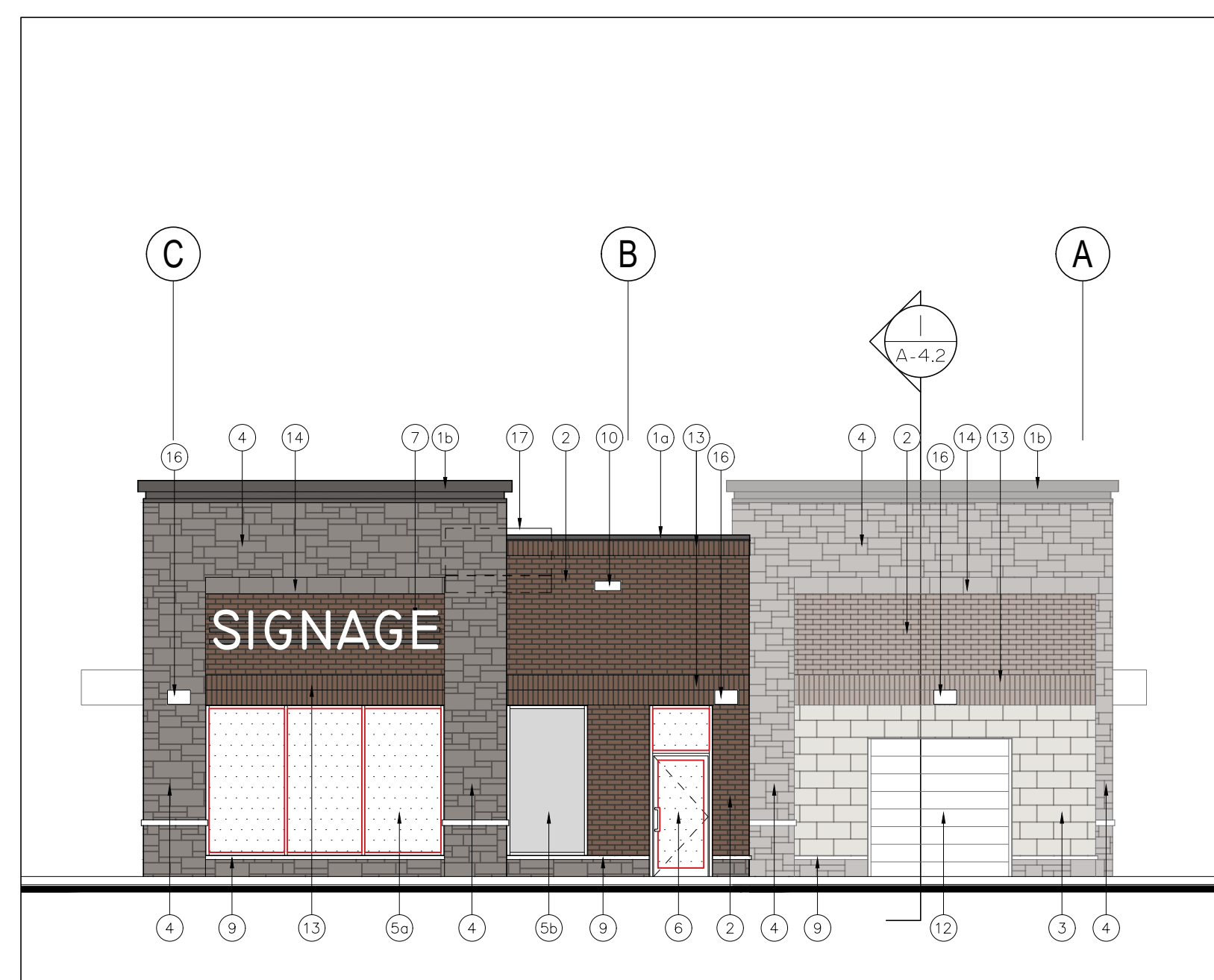


2 SOUTH ELEVATION
A-3.0E 1:100



3 EAST ELEVATION
A-3.0E 1:100

- MATERIAL LEGEND**
- 10 PREFINISHED METAL FLASHING. CLR: DARK BRONZE
 - 1b COMPOSITE ALUMINUM FLASHING. CLR: DARK BRONZE
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 - 16 LIGHT FIXTURE: REFER TO ELECTRICAL DWGS.
 - 17 ROOF TOP AC UNITS MOUNTED ON 300mm MIN. ROOF CURB. SEE MECHANICAL DWGS.

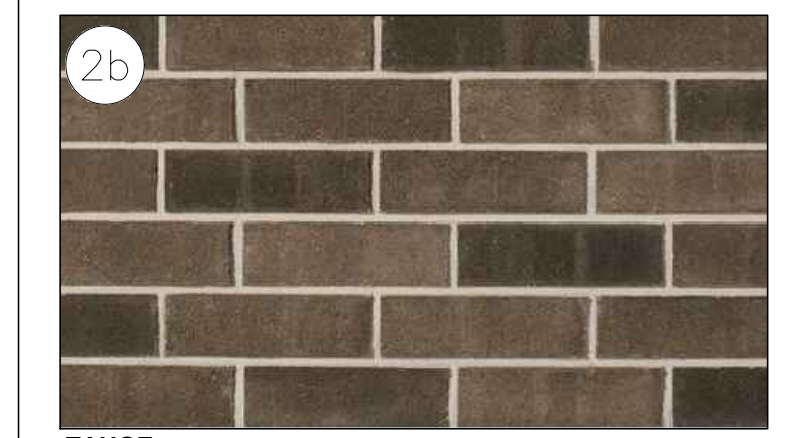


4 WEST ELEVATION
A-3.0E 1:100

MATERIAL LEGEND



2a
CHELSEA
CONTEMPORARY SERIES, BRAMPTON BRICK



2b
TAHOE
CONTEMPORARY SERIES, BRAMPTON BRICK



3
POLAR WHITE
PRESTON SERIES, BRAMPTON BRICK



4
CORTONA
VIVACE SERIES, BRAMPTON BRICK



11
SOG GREY
COMPOSITE ALUMINUM METAL PANEL, ALPOLIC



14
NICKLE
PRESTON SERIES, BRAMPTON BRICK

No.	ISSUED	DATE
1	ISSUED FOR PAC	OCT. 25, 2023
2	ISSUED FOR SPA 1ST SUBMISSION	MAR. 01, 2024
3	RE-ISSUED FOR SPA 2ND SUBMISSION	JUN. 10, 2024

No.	REVISION	DATE
1	REVISED TO SHOW RTUs	JUN. 04, 2024

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OWNERS INFORMATION:

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1840 MAJOR MACKENZIE DRIVE
VAUGHAN, ON

ELEVATIONS
DIGITAL MATERIAL BOARD
DA.24.026

DATE:	DRAWN BY:	CHECKED:	SCALE:
FEB 2024	SA		1:100
PROJECT No.	DRAWING No.		
24-01	A-3.1		