

PROJECT NAME: <h2 style="text-align: center;">32 HAZELRIDGE COURT, WOODBRIDGE - DESIGN REVISED -</h2>		NOTES: - THIS PLAN IS STRICTLY CONCEPTUAL - PROPERTY LINES ARE BASED OFF OF ON SITE MEASUREMENTS & SURVEY - RETAINING MAY NEED TO BE ADJUSTED +/- DURING CONSTRUCTION AND LAYOUT	
SCALE: <h3 style="text-align: center;">3/32" = 1'-0"</h3>	DATE: <h3 style="text-align: center;">AUG 20, 2024</h3>		

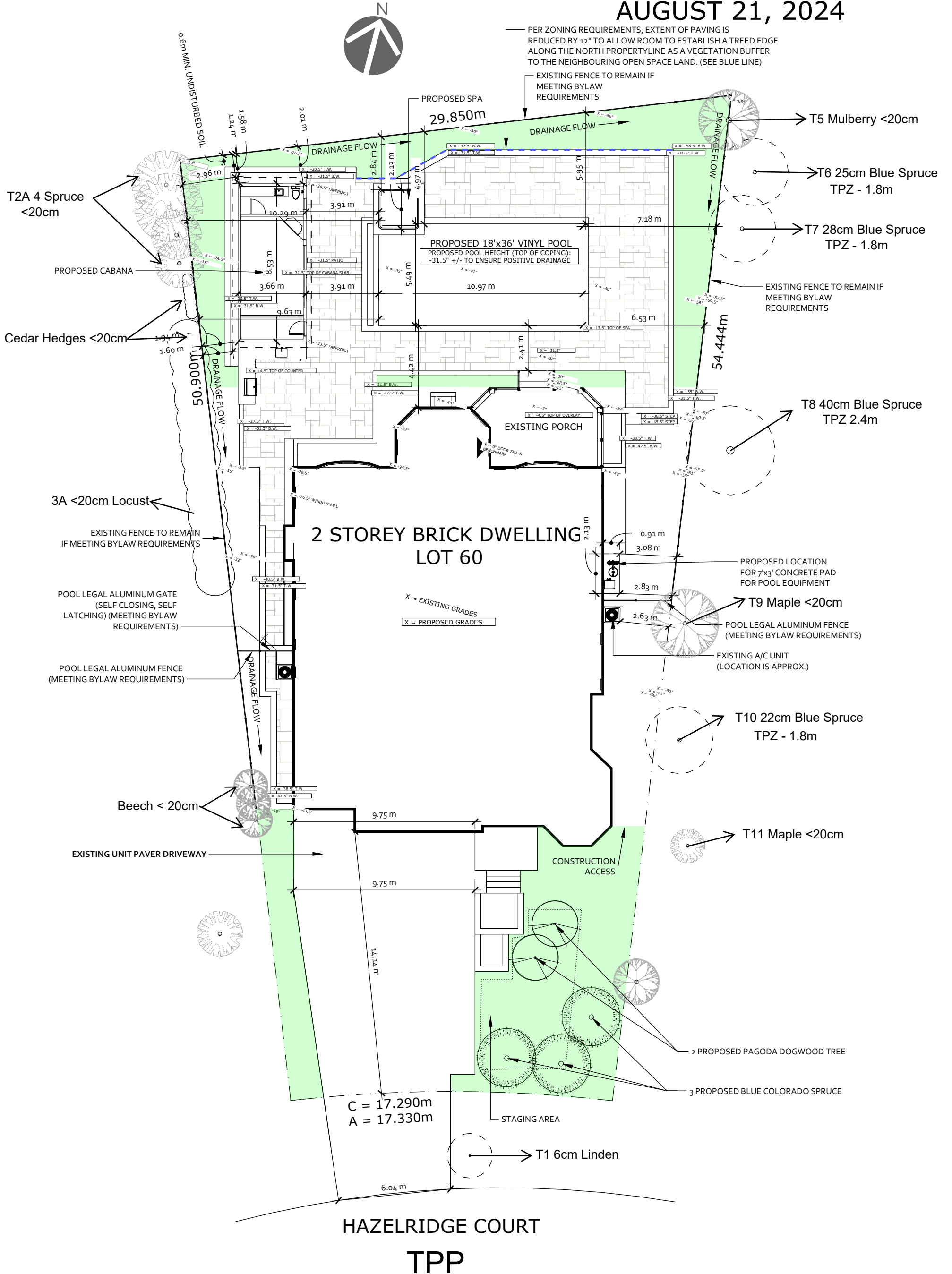
SOFT LANDSCAPING CALCULATION

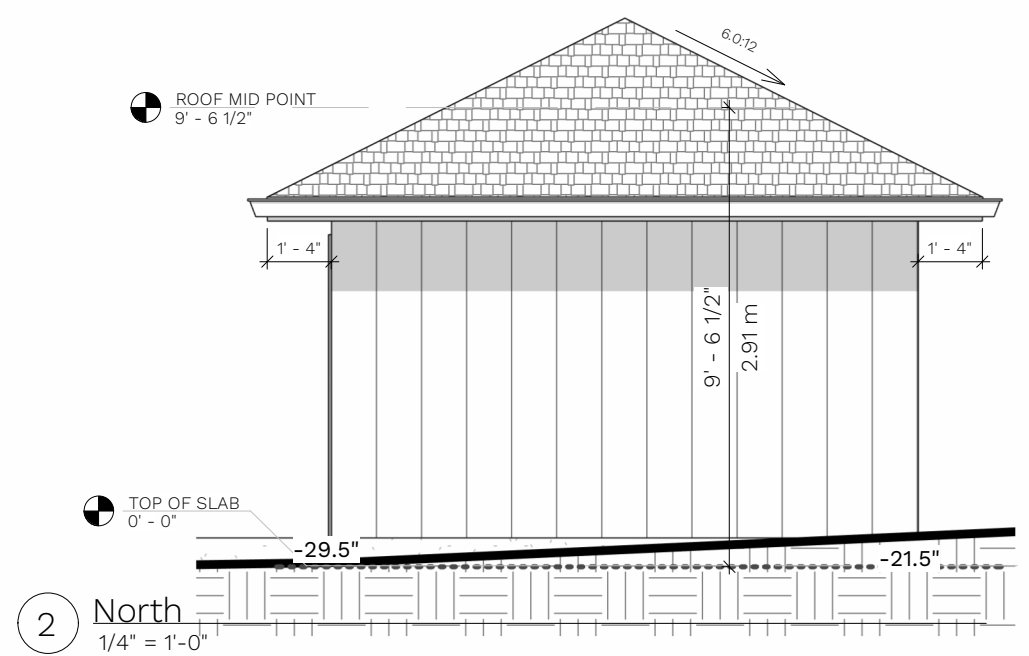
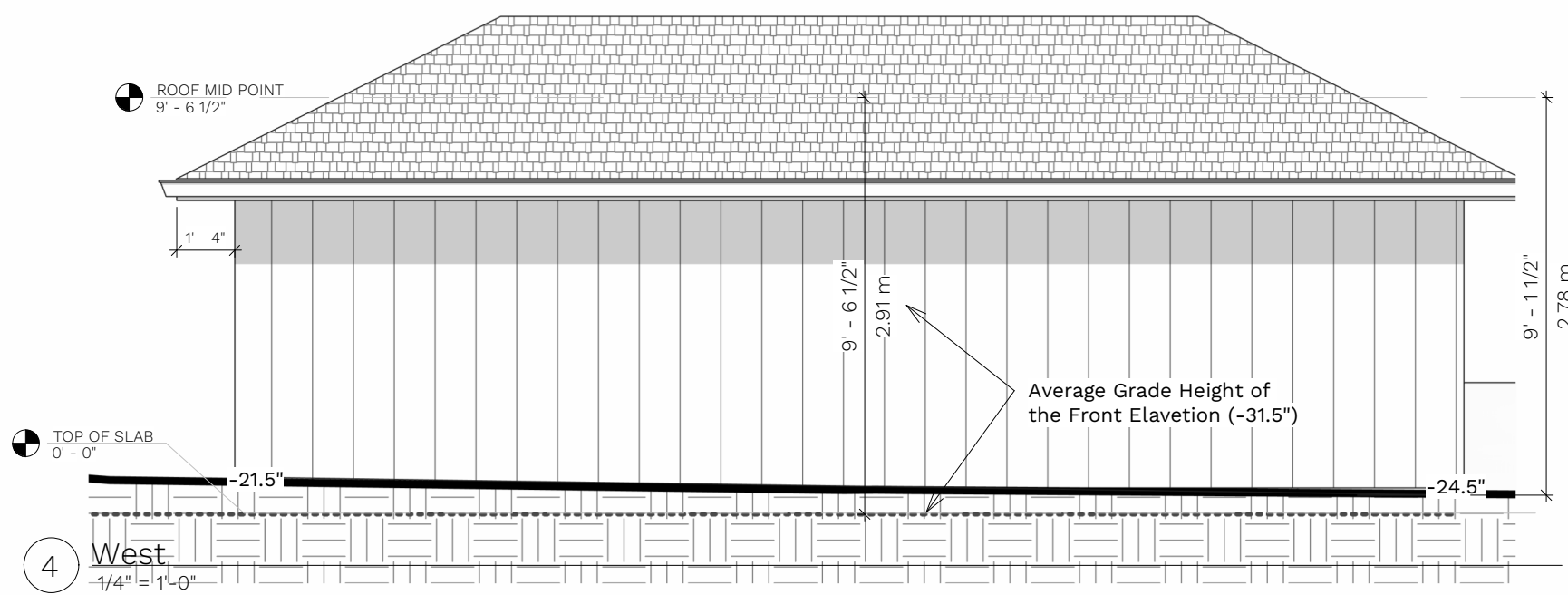
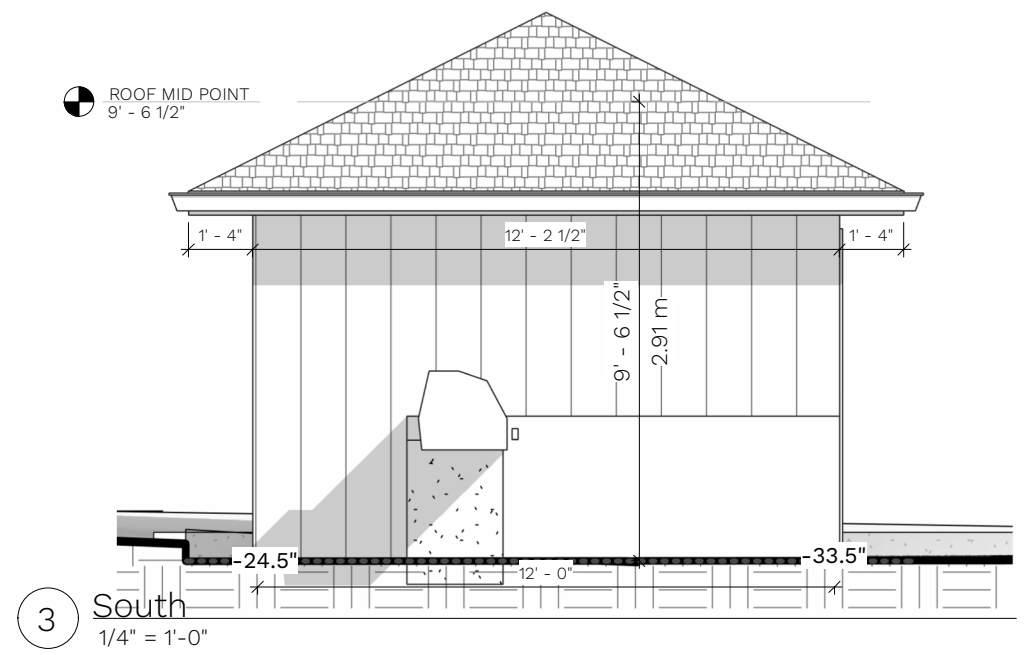
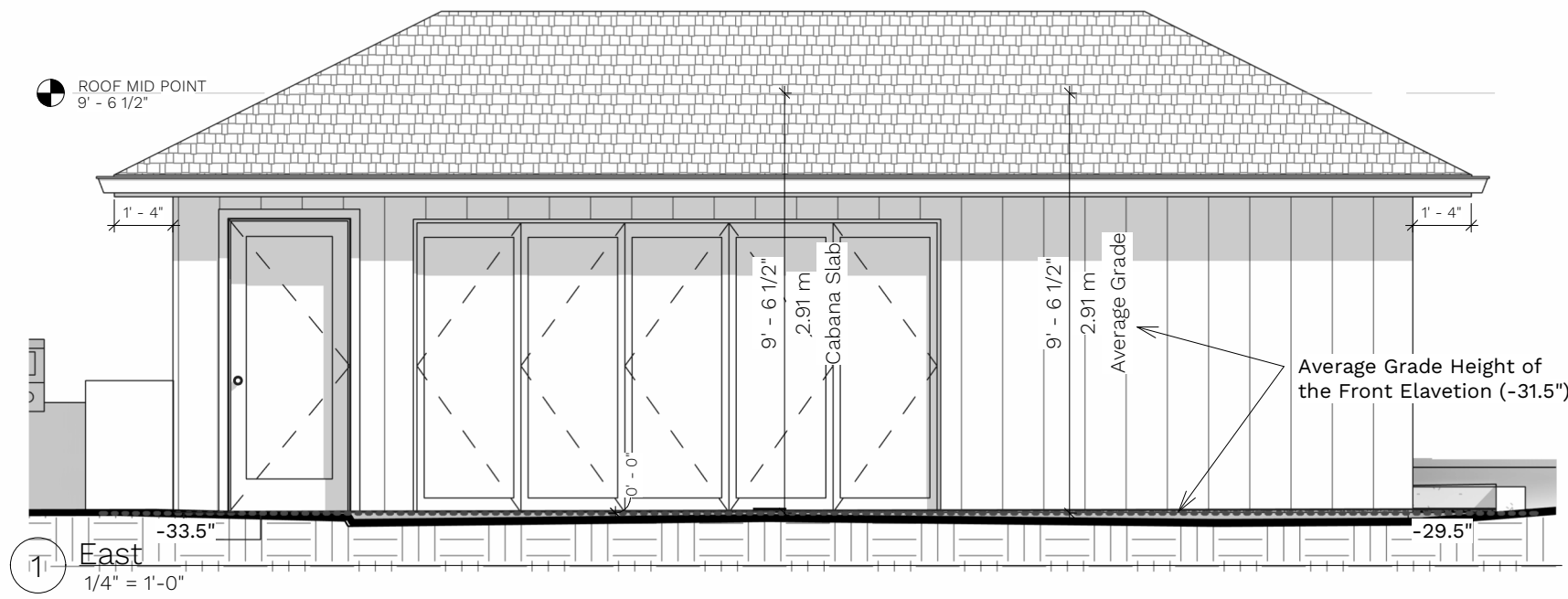
TOTAL BACKYARD AREA: APPROX. 389.2 SQ.M.
 MIN. REQUIRED SOFT LANDSCAPING AREA (60% OF REAR YARD IN EXCESS OF 135 SQ.M.):
 $0.6 \times (389.2 - 135) = 152.5 \text{ SQ.M.}$

PROPOSED SOFTSCAPE AREA: 103.7 SQ.M. (40.79%)
 HARD LANDSCAPE AREA: 285.5 SQ.M.

FRONT YARD AREA: APPROX. 267.5 SQ.M.
 FRONT YARD SOFT LANDSCAPING AREA: 123.7 SQ.M.
 FRONT YARD DRIVEWAY AREA: 132.0 SQ.M.

POOL PERMIT PLAN
32 HAZELRIDGE COURT,
WOODBIDGE ON,
L4H 3N5
SCALE: 1:192
AUGUST 21, 2024






Number	Description	Date
0	Minor Variance Application	June 12 2024
1	Clarification on Elevation	July 3 2024
2	Clarification on Elevation	July 15 2024

GENERAL NOTES:
 SNOW LOAD CALCULATIONS
VAUGHAN Cb 0.55 * Ss 1.1 + Sr 0.4 = Snow 1.005
 (CWC THE SPAN BOOK 2.0kPa OR 41.8psf)
 ALL LUMBER TO BE SPF 2 OR GREATER UNLESS NOTED OTHERWISE
 ALL CONSTRUCTION TO CONFORM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE.
 DRAWINGS MUST NOT BE SCALED.
 HANDWRITTEN NOTES ON THE DRAWINGS HAVE PRECEDENCE. MANUFACTURED ITEMS, MATERIALS AND CONSTRUCTION MUST COMPLY WITH ALL REQUIREMENTS OF THE MORTGAGE AND HOUSING CORPORATION (C.M.H.C.). ALL REFERENCES TO AND FINISHED GRADE LINES AS INDICATED ON THE ARCHITECTURAL WORKING DRAWINGS ARE FOR REFERENCE ONLY AND DO NOT NECESSARILY DEPICT FINISHED GRADING CONDITIONS OF ANY PARTICULAR LOT.

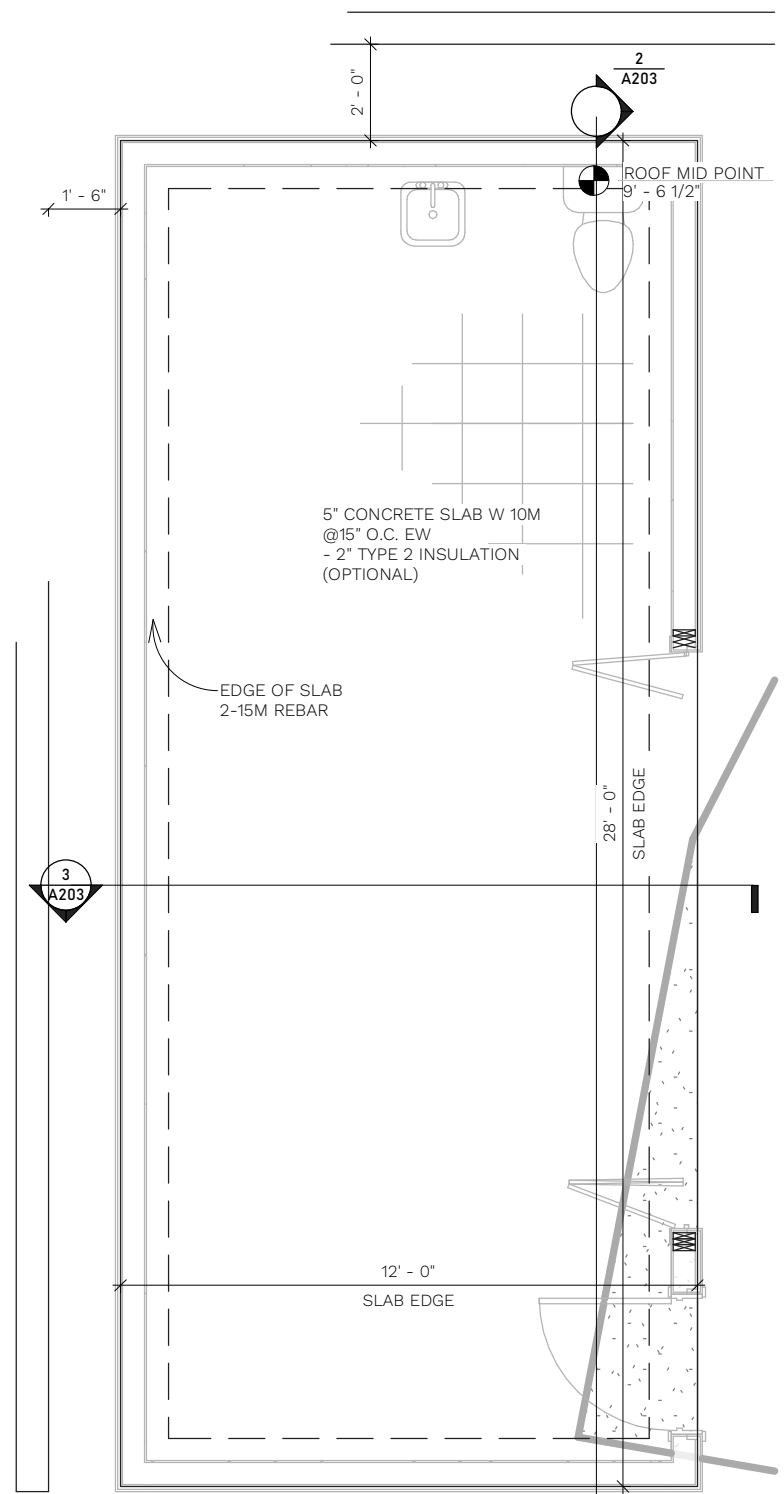
THE CONTRACTOR OR BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND CHECK ALL JOB CONDITIONS ON THE JOB SITE BEFORE PROCEEDING WITH THE WORK.
 DESIGNER SHALL BE NOTIFIED PROMPTLY OF ANY DISCREPANCIES AT LEAST ONE WEEK BEFORE ORDERING OR PLACEMENT OF MATERIALS AND UNITS FOR CONSTRUCTION REGARDING SUCH DISCREPANCIES. FAILURE TO OBSERVE THESE CONDITIONS WHICH MAY REQUIRE EXPENSIVE REMEDIAL ACTION SHALL NOT BECOME THE RESPONSIBILITY OF OR COST TO DESIGNER.
 DIMENSIONS ARE TAKEN TO ROUGH STUD OR MASONRY SURFACES, GIVEN AS NOMINAL DIMENSIONS. EXTERIOR WALL DIMENSIONS DO NOT ALLOW FOR BRICK PROJECTION THEY ARE TAKEN FROM OUTSIDE FACE OF FOUNDATION WALL TO INSIDE FACE OF STUD.
 THE INFORMATION HEREIN IS THE PROPERTY OF 209 DESIGN AND FOR THE EXCLUSIVE USE OF THE CONTRACTED PARTY FOR THIS PROJECT ONLY AND SHALL NOT BE USED FOR OTHER PROJECTS, PUBLISHED, COPIED OR COMMUNICATED TO A THIRD PARTY WITHOUT WRITTEN CONSENT OF 209 DESIGN.

THE UNDERSIGNED HAS REVIEWED & TAKES RESPONSIBILITY FOR THIS DESIGN, & HAS THE QUALIFICATIONS & MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS
QUALIFICATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. C - 3.2.5.1 OF THE BUILDING CODE
 DANA EVANS  100332
 NAME BCIN
REGISTRATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. C - 3.2.4.1 OF THE BUILDING CODE
 209 DESIGN 101521
 FIRM NAME BCIN

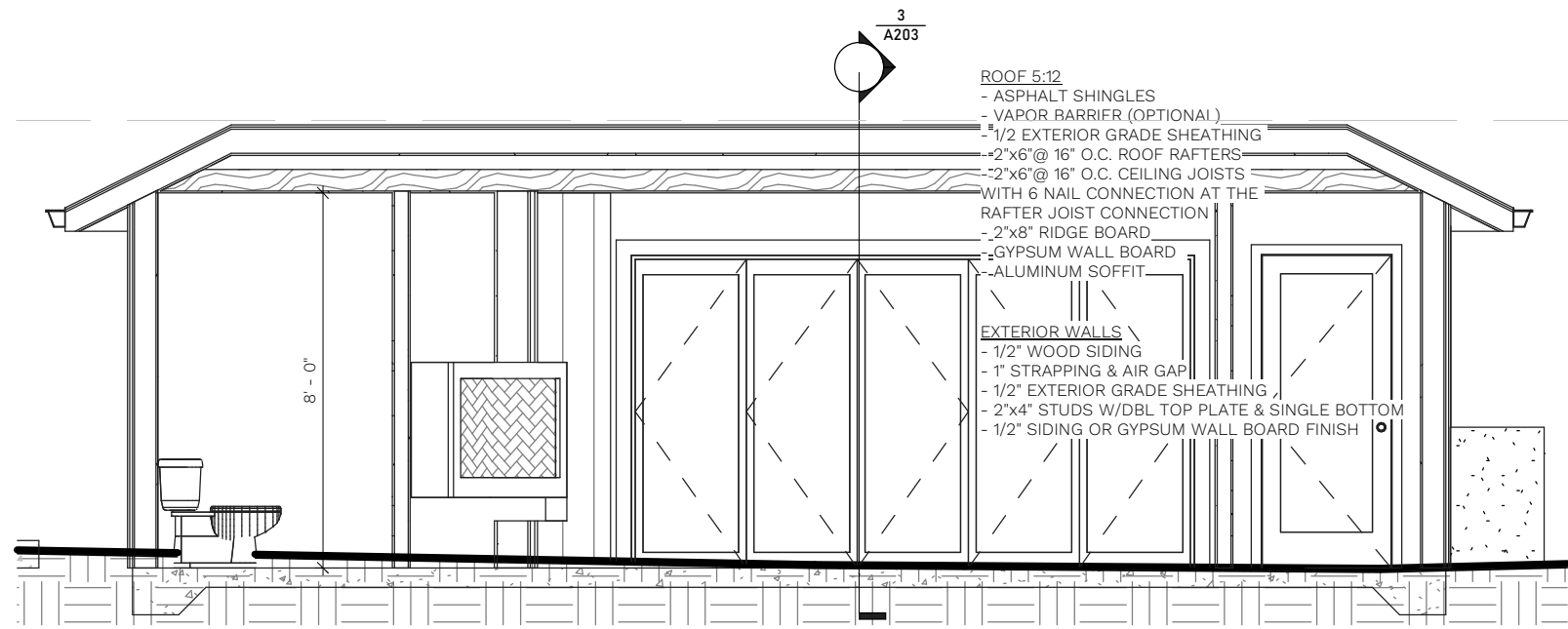
209 DESIGN www.209design.ca
 15905 SIDE RD. 17, SUNDERLAND ON L0C 1H0
 647-297-8300 - DANA@209DESIGN.CA
PROJECT #: 23-036
PLOT DATE: July 15 2024

PROJECT ADDRESS:
 32 Hazelridge Court
 Vaughan, ON
A202
 ELEVATIONS

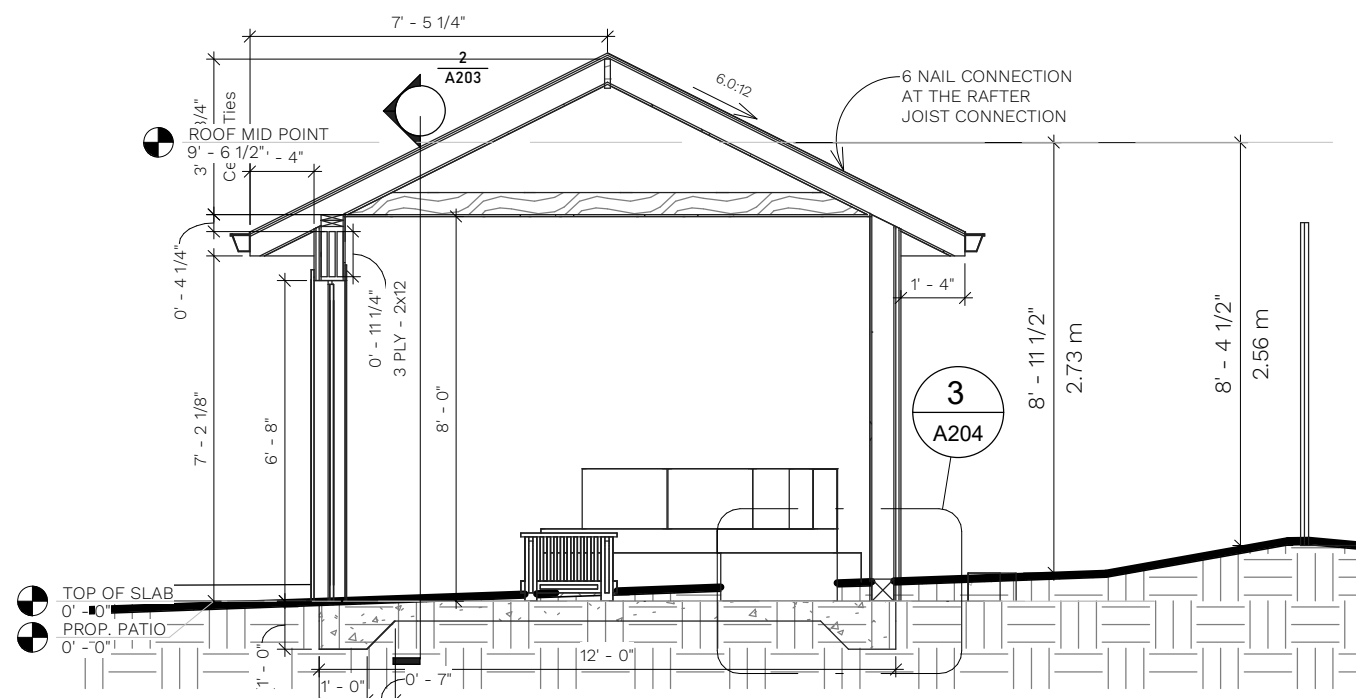
Number	Description	Date
0	Minor Variance Application	June 12 2024



1 PROP. PATIO
1/4" = 1'-0"



2 Section 1
1/4" = 1'-0"



3 Section 2
1/4" = 1'-0"

GENERAL NOTES:

SNOW LOAD CALCULATIONS
VAUGHAN Cb 0.55 * Ss 1.1 + Sr 0.4 = Snow 1.005
 (CWC THE SPAN BOOK 1.5kPa OR 31.psf)

ALL LUMBER TO BE SPF 2 OR GREATER UNLESS NOTED OTHERWISE

ALL CONSTRUCTION TO CONFORM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE.

DRAWINGS MUST NOT BE SCALED.

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DANA EVANS 100332
 NAME BCIN

REGISTRATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. C - 3.2.4.1 OF THE BUILDING CODE

209 DESIGN 101521
 FIRM NAME BCIN

209 DESIGN
www.209design.ca
 15905 SIDE RD. 17,
 SUNDERLAND ON L0C 1H0
 647-297-8300 DANA@209DESIGN.CA

PROJECT #: 23-036
PLOT DATE: June 12 2024
PROJECT ADDRESS:
 32 Hazelridge Court
 Vaughan, ON

A203
 SLAB & SECTIONS

Number	Description	Date
0	Minor Variance Application	June 12 2024

GENERAL NOTES:

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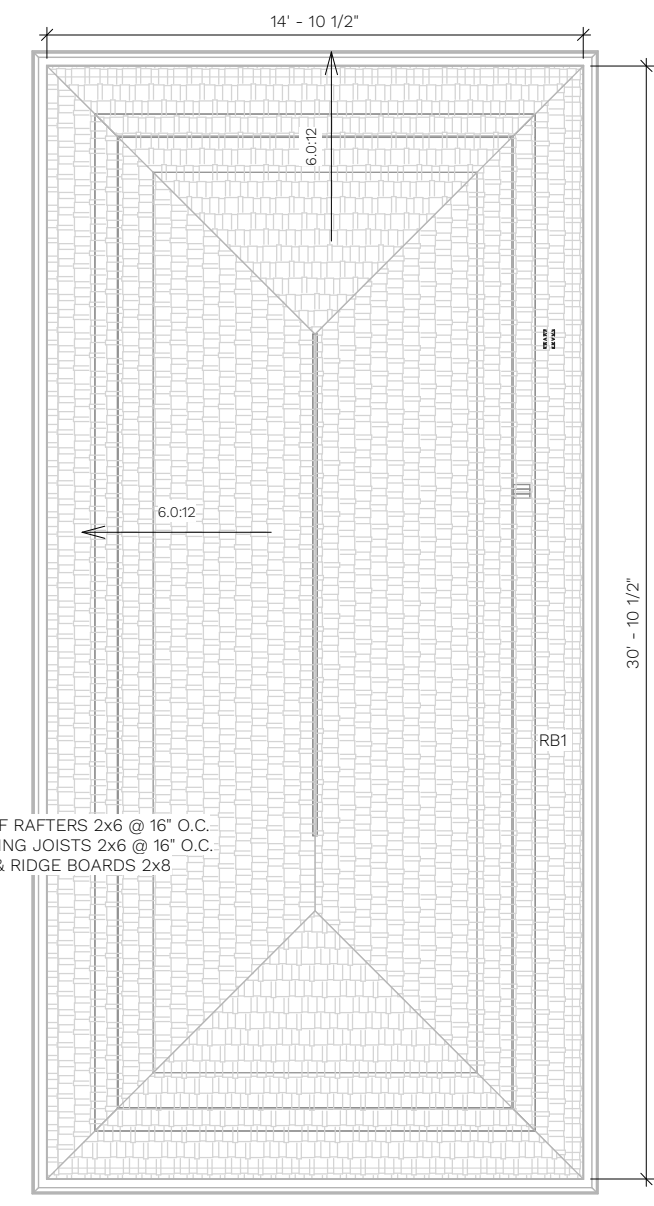
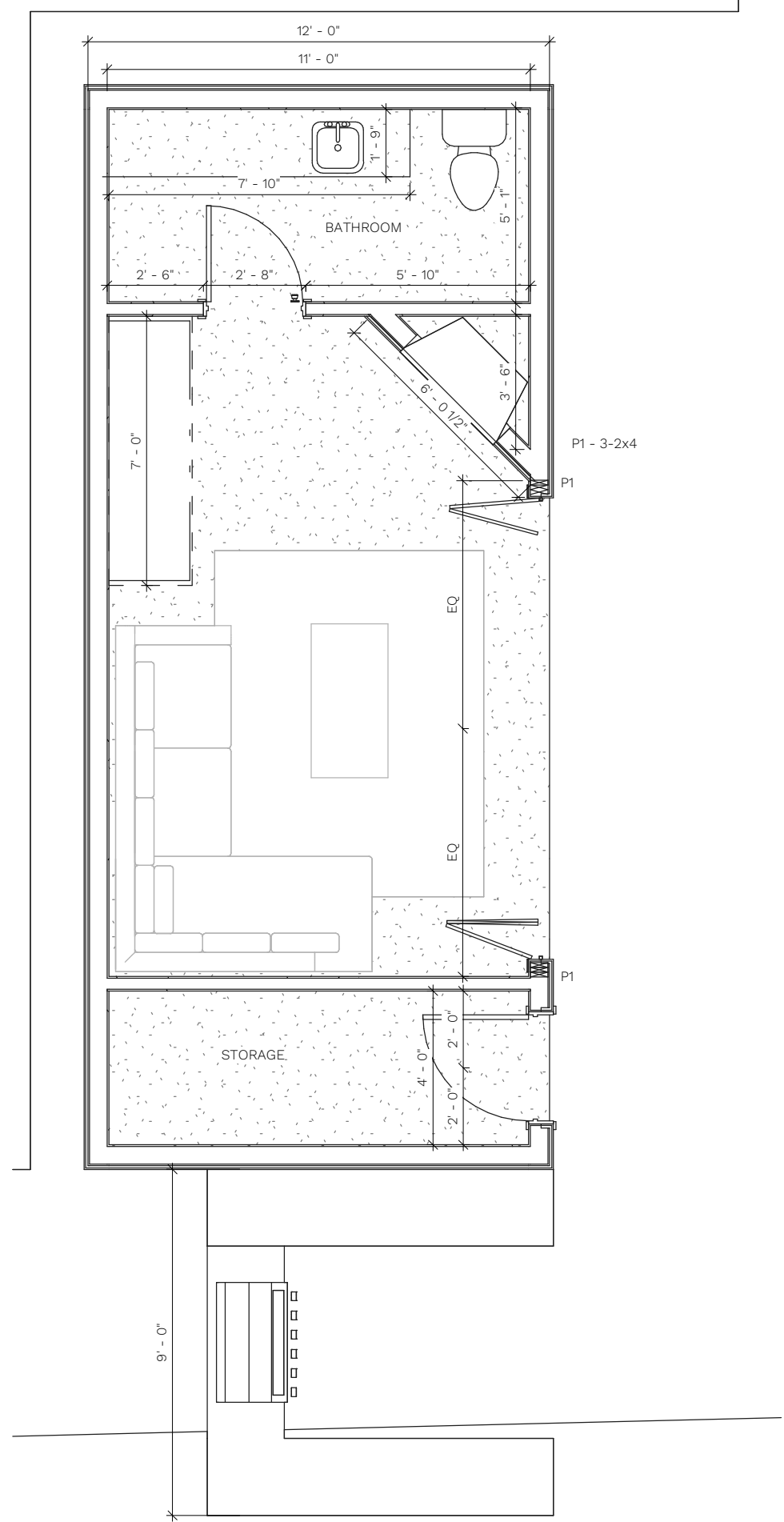
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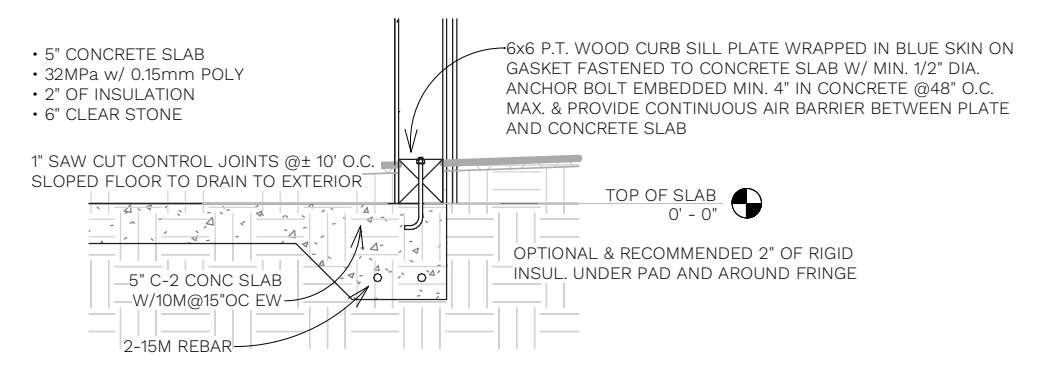
PROJECT #: 23-036
PLOT DATE: June 12 2024
PROJECT ADDRESS:
 32 Hazelridge Court
 Vaughan, ON

A204
 MAIN & ROOF PLAN



ROOF RAFTERS 2x6 @ 16" O.C.
 CEILING JOISTS 2x6 @ 16" O.C.
 HIP & RIDGE BOARDS 2x8

2 U/S ROOF
 3/16" = 1'-0"



3 Section 2 - Callout 1
 1/2" = 1'-0"

1 TOP OF SLAB
 1/4" = 1'-0"



EXISTING DRIVEWAY AS MEASURED - PHYSICALLY



2.75m

