

SOFT LANDSCAPING CALCULATION

TOTAL BACKYARD AREA: APPROX. 389.2 SQ.M. MIN. REQUIRED SOFT LANDSCAPING AREA (60% OF REAR YARD IN EXCESS OF 135 SQ.M): $0.6 \times (389.2\text{-}135) = 152.5 \text{ SQ.M}$.

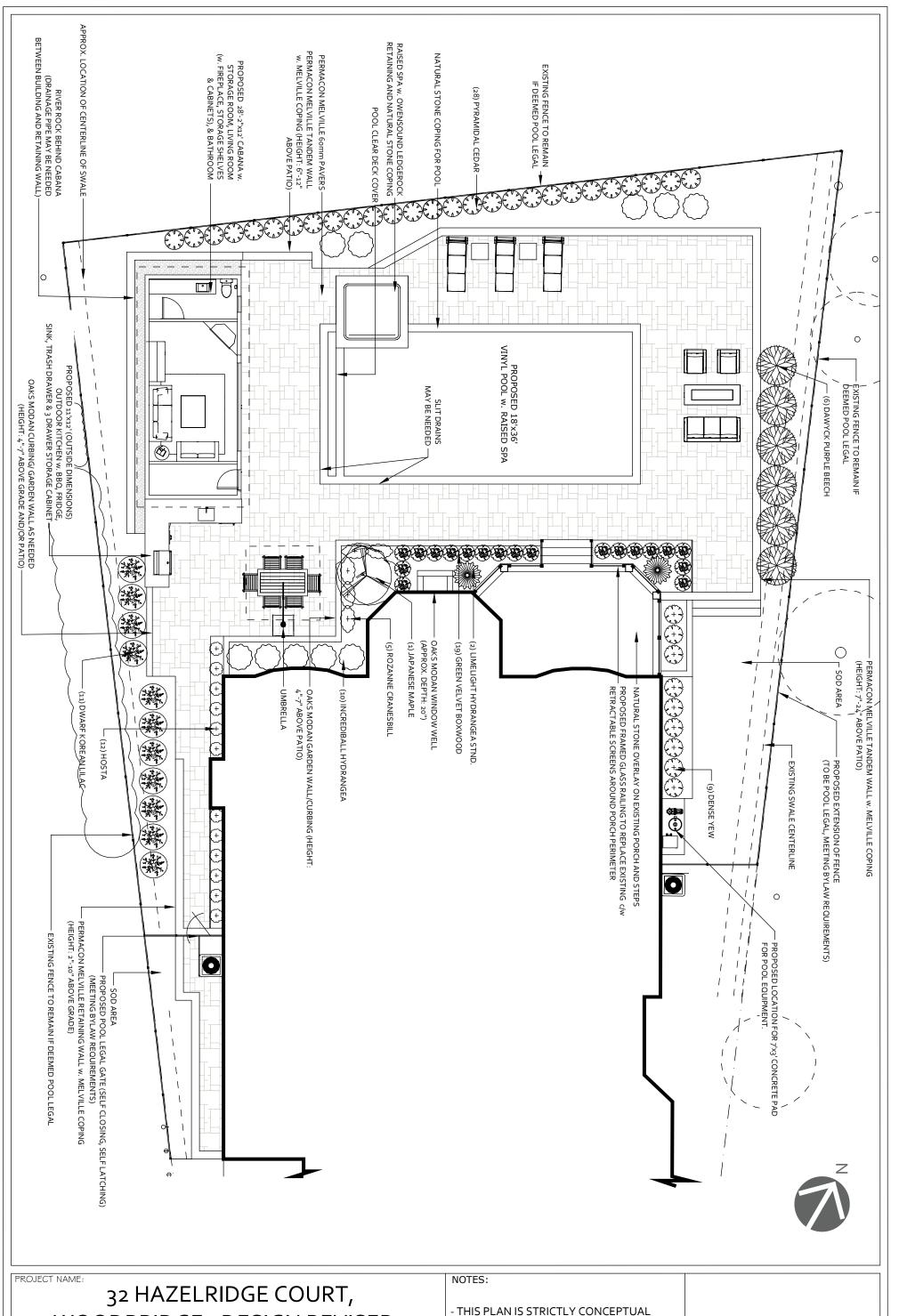
PROPOSED SOFTSCAPE AREA: 103.7 SQ.M. (40.79%) HARD LANDSCAPE AREA:285.5 SQ.M.

FRONT YARD AREA: APPROX. 267.5 SQ.M. FRONT YARD SOFT LANDSCAPING AREA: 123.7 SQ.M. FRONT YARD DRIVEWAY AREA: 132.0 SQ.M.

POOL PERMIT PLAN 32 HAZELRIDGE COURT, WOODBRIDGE ON, L4H 3N5

SCALE: 1:192

AUGUST 21, 2024 PER ZONING REQUIREMENTS, EXTENT OF PAVING IS REDUCED BY 12" TO ALLOW ROOM TO ESTABLISH A TREED EDGE ALONG THE NORTH PROPERTYLINE AS A VEGETATION BUFFER TO THE NEIGHBOURING OPEN SPACE LAND. (SEE BLUE LINE) EXISTING FENCE TO REMAIN IF MEETING BYLAW REQUIREMENTS PROPOSED SPA 29.850m DRAINAGE FLOW DRAINAGE FLOW 3.91 m PROPOSED 18'x36' VINYL POOL PROPOSED POOL HEIGHT (TOP OF COPING): -31.5" +/- TO ENSURE POSITIVE DRAINAGE 0 PROPOSED CABANA 3.66 m 3.91 m 10.97 m EXISTING FENCE TO REMAIN IF MEETING BYLAW REQUIREMENTS 6.53 m 1.94 m 1.700e. DRAINAGE FLOW 1.5" B.W. X = -4.5" TOP OF OVERLAY EXISTING PORCH 0 2 STOREY BRICK DWELLING EXISTING FENCE TO REMAIN 0.91 m IF MEETING BYLAW REQUIREMENTS 3.08 m **LOT 60** PROPOSED LOCATION 0 FOR 7'x3' CONCRETE PAD FOR POOL EQUIPMENT 2.83 m POOL LEGAL ALUMINUM GATE $X \approx EXISTING GRADES$ X = PROPOSED GRADES(SELF CLOSING, SELF LATCHING) (MEETING BYLAW POOL LEGAL ALUMINUM FENCE REQUIREMENTS) (MEETING BYLAW REQUIREMENTS) EXISTING A/C UNIT PRAINAGE FLOW (LOCATION IS APPROX.) POOL LEGAL ALUMINUM FENCE 0 (MEETING BYLAW REQUIREMENTS) 9.75 m **EXISTING UNIT PAVER DRIVEWAY** CONSTRUCTION 9.75 m 2 PROPOSED PAGODA DOGWOOD TREE 3 PROPOSED BLUE COLORADO SPRUCE C = 17.290mA = 17.330m- STAGING AREA 6.04 m HAZELRIDGE COURT



WOODBRIDGE - DESIGN REVISED -SCALE:

3/32" = 1'-0"

AUG 20, 2024

L-101

- PROPERTY LINES ARE BASED OFF OF ON
- SITE MEASUREMENTS & SURVEY
- RETAINING MAY NEED TO BE ADJUSTED +/- DURING CONSTRUCTION AND LAYOUT



SOFT LANDSCAPING CALCULATION TOTAL BACKYARD AREA: APPROX. 389.2 SQ.M.

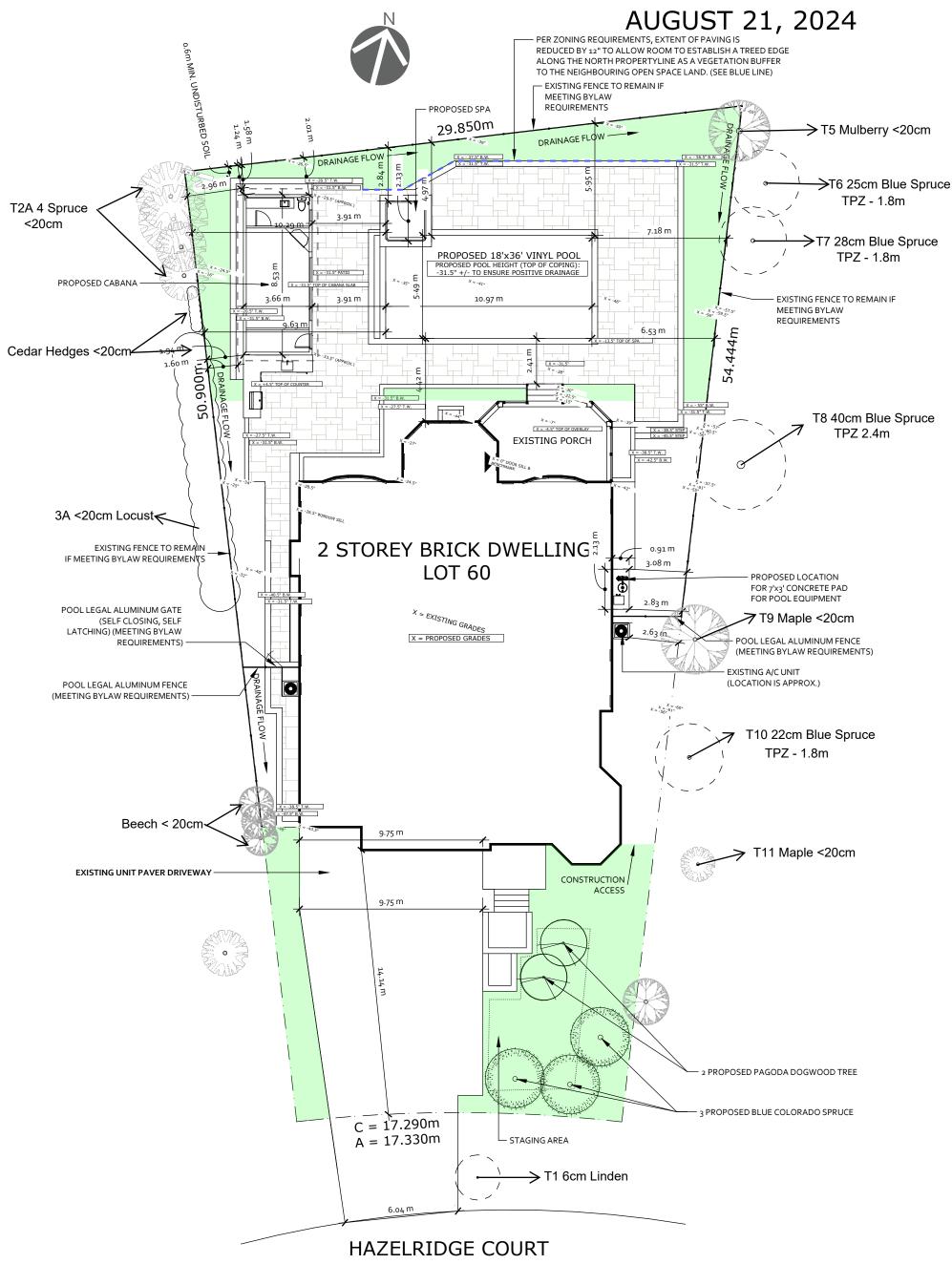
TOTAL BACKYARD AREA: APPROX. 389.2 SQ.M. MIN. REQUIRED SOFT LANDSCAPING AREA (60% OF REAR YARD IN EXCESS OF 135 SQ.M): $0.6 \times (389.2-135) = 152.5 \text{ SQ.M}$.

PROPOSED SOFTSCAPE AREA: 103.7 SQ.M. (40.79%) HARD LANDSCAPE AREA:285.5 SQ.M.

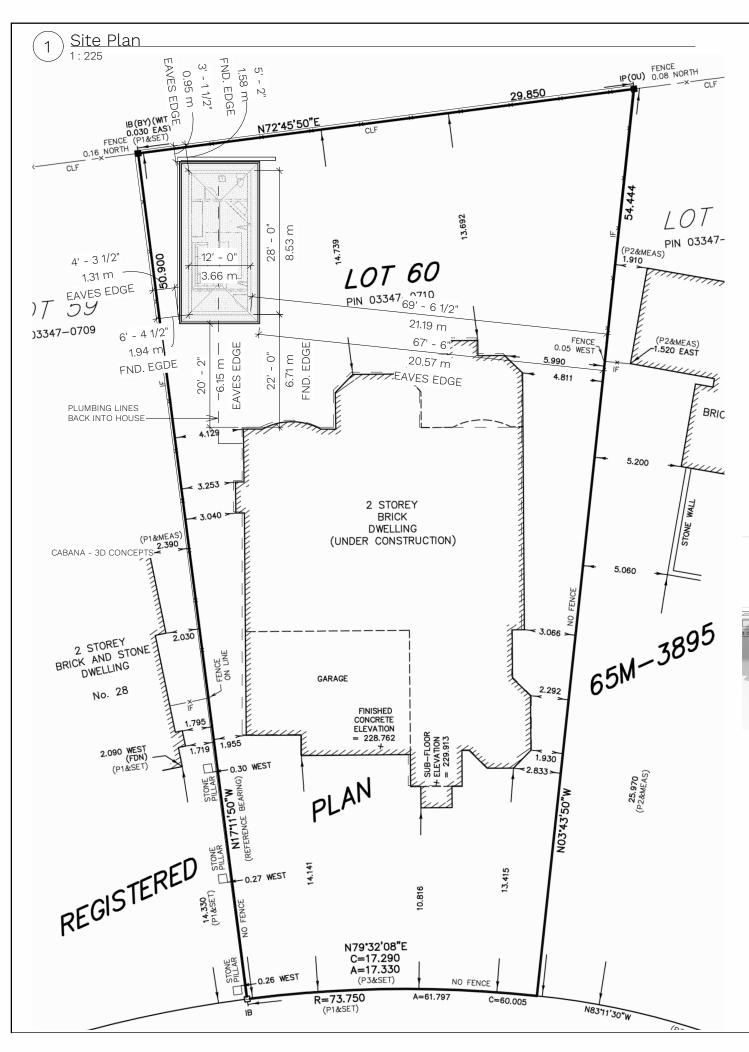
FRONT YARD AREA: APPROX. 267.5 SQ.M. FRONT YARD SOFT LANDSCAPING AREA: 123.7 SQ.M. FRONT YARD DRIVEWAY AREA: 132.0 SQ.M.

POOL PERMIT PLAN
32 HAZELRIDGE COURT,
WOODBRIDGE ON,
L4H 3N5

SCALE: 1:192

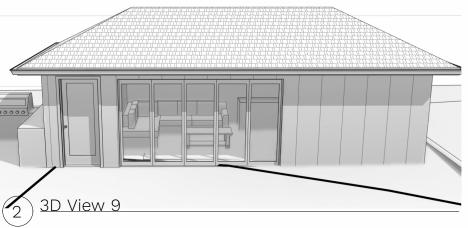


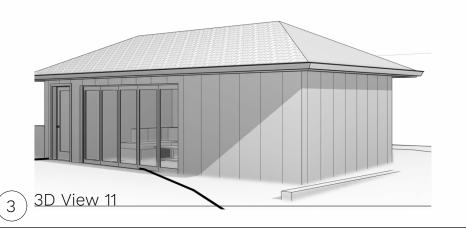
TPP



PART 1 - PLAN OF SURVEY OF LOT 60 REGISTERED PLAN 65M-3895 CITY OF VAUGHAN THE REGIONAL MUNICIPALITY OF YORK ZONING: R1B 815

LOT: 1221.65m² MAIN FLOOR: 344.95m² (28.24% OF LOT) CABANA: 31.2m² (2.62% OF LOT) **TOTAL: 30.86% OF LOT**





Number	Description	Date
0	0 Minor Variance Application	

VAUGHAN Cb 0.55 * Ss 1.1 + Sr 0.4 = Snow 1.005 (CWC THE SPAN BOOK 1.5kPa OR 31.1psf)

ALL LUMBER TO BE SPF 2 OR GREATER UNLESS NOTED OTHERWISE

ALL CONSTRUCTION TO CONFORM TO THE REQUIREMENTS OF THE ONTARIO

DRAWINGS MUST NOT BE SCALED.

HANDWRITTEN NOTES ON THE DRAWINGS HAVE PRECEDENCE. MANUFACTURED ITEMS, MATERIALS AND CONSTRUCTION MUST COMPLY WITH ALL REQUIREMENTS OF THE MORTGAGE AND HOUSING CORPORATION (C.M.H.C.). ALL REFERENCES TO AND FINISHED GRADE LINES AS INDICATED ON THE ARCHITECTURAL WORKING DRAWINGS ARE FOR REFERENCE ONLY AND DO NOT NECESSARILY DEPICT FINISHED GRADING CONDITIONS OF ANY PARTICULAR LOT.

THE CONTRACTOR OR BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND CHECK ALL JOB CONDITIONS ON THE JOB SITE BEFORE PROCEEDING WITH THE

DESIGNER SHALL BE NOTIFIED PROMPTLY OF ANY DISCREPANCIES AT LEAST ONE WEEK BEFORE ORDERING OR PLACEMENT OF MATERIALS AND UNITS FOR CONSTRUCTION REGARDING SUCH DISCREPANCIES. FAILURE TO OBSERVE THESE CONDITIONS WHICH MAY REQUIRE EXPENSIVE REMEDIAL ACTION SHALL NOT BECOME THE RESPONSIBILITY OF OR COST TO DESIGNER.

DIMENSIONS ARE TAKEN TO ROUGH STUD OR MASONRY SURFACES, GIVEN AS NOMINAL DIMENSIONS. EXTERIOR WALL DIMENSIONS DO NOT ALLOW FOR BRICK PROJECTION THEY ARE TAKEN FROM OUTSIDE FACE OF FOUNDATION WALL TO

THE INFORMATION HEREIN IS THE PROPERTY OF 209 DESIGN AND FOR THE EXCLUSIVE USE OF THE CONTRACTED PARTY FOR THIS PROJECT ONLY AND SHALL NOT BE USED FOR OTHER PROJECTS, PUBLISHED, COPIED OR COMMUNICATED TO A THIRD PARTY WITHOUT WRITTEN CONSENT OF 209 DESIGN.

THE UNDERSIGNED HAS REVIEWED & TAKES RESPONSIBILITY FOR THIS DESIGN, & HAS THE QUALIFICATIONS & MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

QUALIFICATION INFORMATION

DANA EVANS 100332

209 DESIGN 101521

209 DESIGN

www-209design.ca 15905 SIDE RD. 17, SUNDERLAND ON LOC1HO 647-297-8300 DANA@209DESIGN.CA

PROJECT #: 23-036

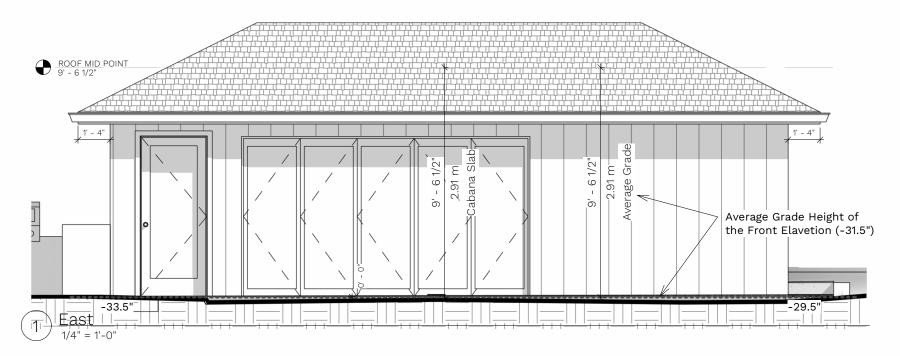
PLOT DATE: June 12 2024

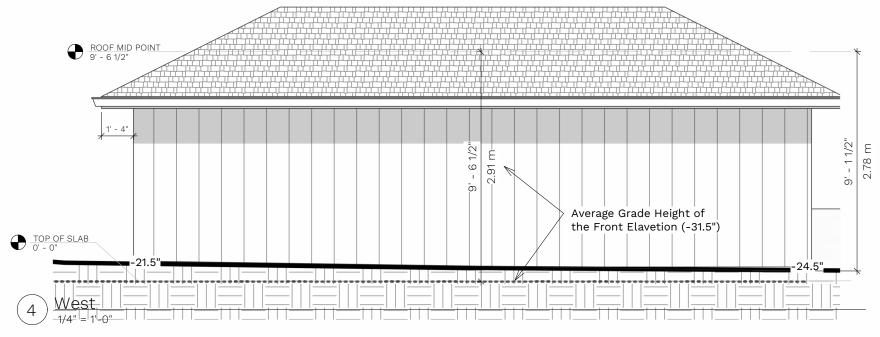
PROJECT ADDRESS:

32 Hazelridge Court Vaughan, ON

A201

SITE PLAN & RENDERINGS





TOP OF SLAB
0' - 0"

2 North
1/4" = 1'-0"

Description

Date

Clarification on Elevation

Clarification on Elavation

6 1/2"

-2.91

-33.5"

GENERAL NOTES:

VAUGHAN Cb 0.55 * Ss 1.1 + Sr 0.4 = Snow 1.005 (CWC THE SPAN BOOK 2.0kPa OR 41.8psf)

ALL LUMBER TO BE SPF 2 OR GREATER UNLESS NOTED OTHERWISE

ALL CONSTRUCTION TO CONFORM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE.

DRAWINGS MUST NOT BE SCALED

HANDWRITTEN NOTES ON THE DRAWINGS HAVE PRECEDENCE. MANUFACTURED ITEMS, MATERIALS AND CONSTRUCTION MUST COMPLY WITH ALL REQUIREMENTS OF THE MORTGAGE AND HOUSING CORPORATION (C.M.H.C.). ALL REFERENCES TO AND FINISHED GRADE LINES AS INDICATED ON THE ARCHITECTURAL WORKING DRAWINGS ARE FOR REFERENCE ONLY AND DO NOT NECESSARILY DEPICT FINISHED GRADING CONDITIONS OF ANY PARTICULAR LOT.

THE CONTRACTOR OR BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND CHECK ALL JOB CONDITIONS ON THE JOB SITE BEFORE PROCEEDING WITH THE WORK.

DESIGNER SHALL BE NOTIFIED PROMPTLY OF ANY DISCREPANCIES AT LEAST ONE WEEK BEFORE ORDERING OR PLACEMENT OF MATERIALS AND UNITS FOR CONSTRUCTION REGARDING SUCH DISCREPANCIES. FAILURE TO OBSERVE THESE CONDITIONS WHICH MAY REQUIRE EXPENSIVE REMEDIAL ACTION SHALL NOT BECOME THE RESPONSIBILITY OF OR COST TO DESIGNER.

DIMENSIONS ARE TAKEN TO ROUGH STUD OR MASONRY SURFACES, GIVEN AS NOMINAL DIMENSIONS. EXTERIOR WALL DIMENSIONS DO NOT ALLOW FOR BRICK PROJECTION THEY ARE TAKEN FROM OUTSIDE FACE OF FOUNDATION WALL TO INSIDE FACE OF STUD.

THE INFORMATION HEREIN IS THE PROPERTY OF 209 DESIGN AND FOR THE EXCLUSIVE USE OF THE CONTRACTED PARTY FOR THIS PROJECT ONLY AND SHALL NOT BE USED FOR OTHER PROJECTS, PUBLISHED, COPIED OR COMMUNICATED TO A THIRD PARTY WITHOUT WRITTEN CONSENT OF 209 DESIGN.

THE UNDERSIGNED HAS REVIEWED & TAKES RESPONSIBILITY FOR THIS DESIGN, & HAS THE QUALIFICATIONS & MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

QUALIFICATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. C - 3.2.5.1 OF THE BUILDING CODE DANA EVANS 100332 BCIN

REGISTRATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. C - 3.2.4.1.0F THE	MATION IGN IS EXEMPT UNDER DIV. C - 3.2.4.1 OF THE BUILDING CODE			
209 DESIGN	101521			
209 DESIGN	101521			

BCIN

FIRM NAME

2~0~9~ D E S I G N $_{www \cdot 209 design.ca}$

15905 SIDE RD.17, SUNDERLAND ON LOC1HO647-297-8300 - DANA@209DESIGN.CA

PROJECT #: 23-036

ROOF MID POINT 9' - 6 1/2"

1/4" = 1'-0"

ROOF MID POINT 9' - 6 1/2"

PLOT DATE: July 15 2024

PROJECT ADDRESS:

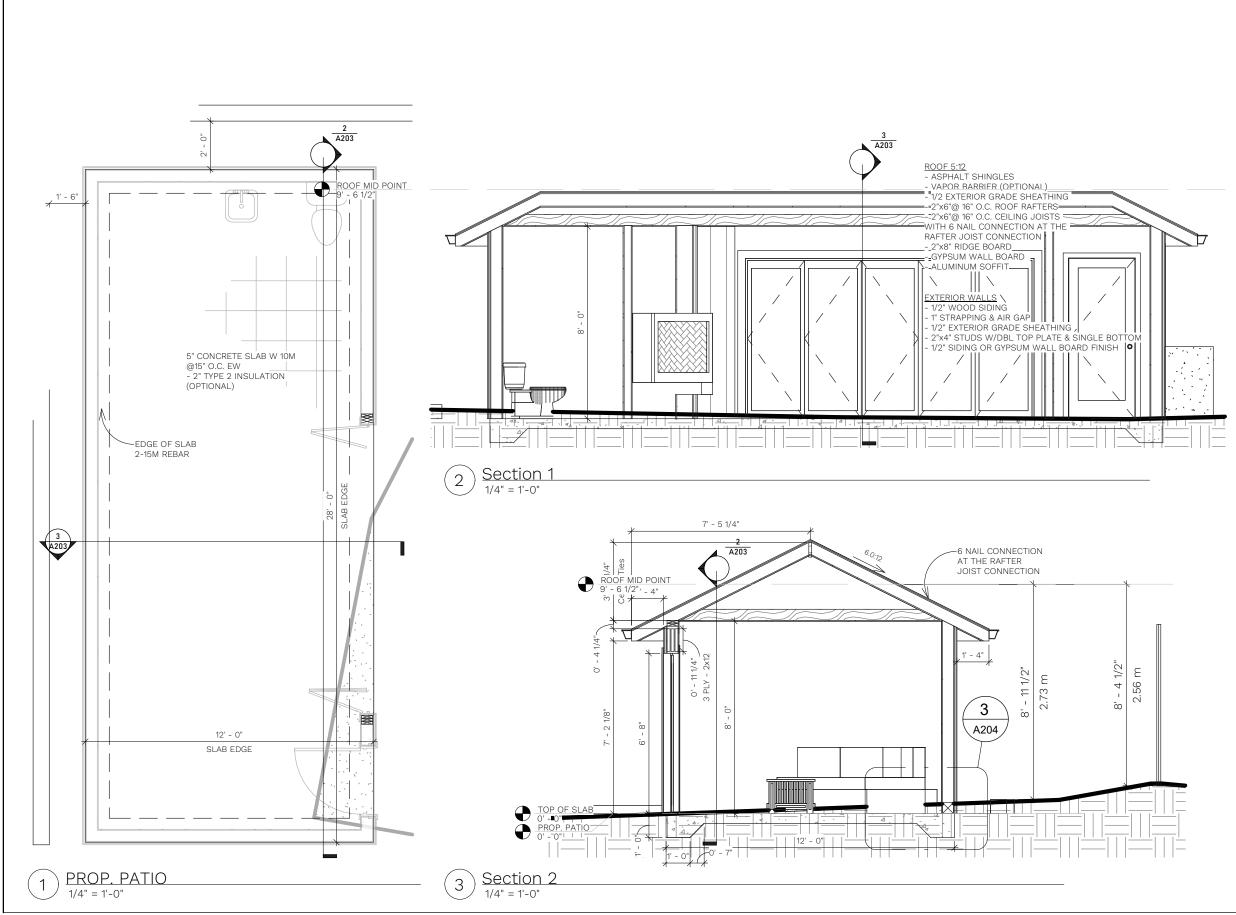
July 3 2024

July 15 2024

32 Hazelridge Court Vaughan, ON

A202

ELEVATIONS



Number Description		Date
0	Minor Variance Application	June 12 2024

VAUGHAN Cb 0.55 * Ss 1.1 + Sr 0.4 = Snow 1.005 (CWC THE SPAN BOOK 1.5kPa OR 31.1psf)

ALL LUMBER TO BE SPF 2 OR GREATER UNLESS NOTED OTHERWISE

ALL CONSTRUCTION TO CONFORM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE.

HANDWRITTEN NOTES ON THE DRAWINGS HAVE PRECEDENCE. MANUFACTURED -ITEMS, MATERIALS AND CONSTRUCTION MUST COMPLY WITH ALL REQUIREMENTS OF THE MORTGAGE AND HOUSING COPPORATION (C.M.H.C.). ALL REFERENCES TO AND FINISHED GRADE LINES AS INDICATED ON THE ARCHITECTURAL WORKING DRAWINGS ARE FOR REFERENCE ONLY AND DO NOT NECESSARILY DEPICT FINISHED GRADING CONDITIONS OF ANY PARTICULAR LOT.

THE CONTRACTOR OR BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND CHECK ALL JOB CONDITIONS ON THE JOB SITE BEFORE PROCEEDING WITH THE

DESIGNER SHALL BE NOTIFIED PROMPTLY OF ANY DISCREPANCIES AT LEAST ONE WEEK BEFORE ORDERING OR PLACEMENT OF MATERIALS AND UNITS FOR CONSTRUCTION REGARDING SUCH DISCREPANCIES. FAILURE TO OBSERVE THESE CONDITIONS WHICH MAY REQUIRE EXPENSIVE REMEDIAL ACTION SHALL NOT BECOME THE RESPONSIBILITY OF OR COST TO DESIGNER.

DIMENSIONS ARE TAKEN TO ROUGH STUD OR MASONRY SURFACES, GIVEN AS NOMINAL DIMENSIONS. EXTERIOR WALL DIMENSIONS DO NOT ALLOW FOR BRICK PROJECTION THEY ARE TAKEN FROM OUTSIDE FACE OF FOUNDATION WALL TO

THE INFORMATION HEREIN IS THE PROPERTY OF 209 DESIGN AND FOR THE EXCLUSIVE USE OF THE CONTRACTED PARTY FOR THIS PROJECT ONLY AND SHALL NOT BE USED FOR OTHER PROJECTS, PUBLISHED, COPIED OR COMMUNICATED TO A THIRD PARTY WITHOUT WRITTEN CONSENT OF 209 DESIGN.

THE UNDERSIGNED HAS REVIEWED & TAKES RESPONSIBILITY FOR THIS DESIGN, & HAS THE QUALIFICATIONS & MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

QUALIFICATION INFORMATION

100332

DANA EVANS

REGISTRATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. C - 3.2.4.1 OF THE BUILDING CODE

209 DESIGN 101521 FIRM NAME

209 DESIGN

www-209design.ca 15905 SIDE RD. 17, SUNDERLAND ON LOC 1HO 647-297-8300 DANA@209DESIGN.CA

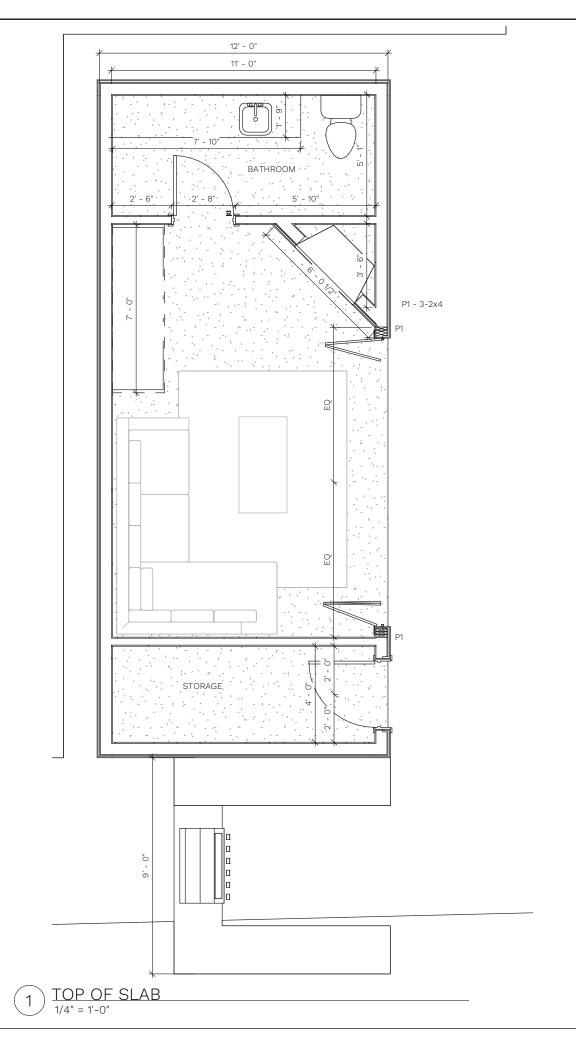
PROJECT #: 23-036

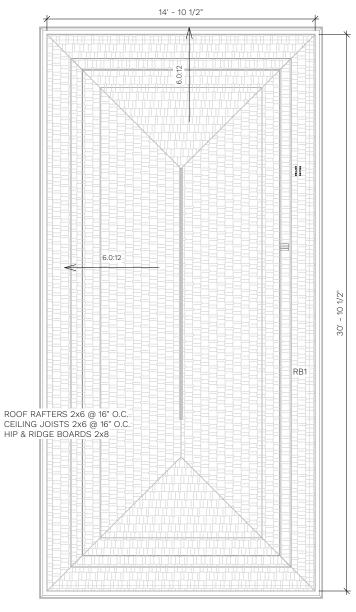
PLOT DATE: June 12 2024

PROJECT ADDRESS:

32 Hazelridge Court Vaughan, ON

> A203 **SLAB & SECTIONS**





<u>U/S ROOF</u> 3/16" = 1'-0"

• 5" CONCRETE SLAB • 32MPa w/ 0.15mm POLY • 2" OF INSULATION • 6" CLEAR STONE		—6x6 P.T. WOOD CURB SILL PLATE WRAPPED IN BLUE SKIN ON GASKET FASTENED TO CONCRETE SLAB W/ MIN. 1/2" DIA. ANCHOR BOLT EMBEDDED MIN. 4" IN CONCRETE @48" O.C. MAX. & PROVIDE CONTINUOUS AIR BARRIER BETWEEN PLATE AND CONCRETE SLAB
1" SAW CUT CONTROL JOINTS @± 10' O.C. SLOPED FLOOR TO DRAIN TO EXTERIOR		TOP OF SLAB 0' - 0"
5" C-2 CONC SLAB — 6 6 2 6 6 7 6 7 6 7 7 7 7 7 7 7 7 7 7 7) O'A'	OPTIONAL & RECOMMENDED 2" OF RIGID INSUL. UNDER PAD AND AROUND FRINGE

Section 2 - Callout 1 1/2" = 1'-0"

Number	Description	Date	
0	Minor Variance Application	June 12 2024	

GENERAL NOTES:

VAUGHAN Cb 0.55 * Ss 1.1 + Sr 0.4 = Snow 1.005 (CWC THE SPAN BOOK 1.5kPa OR 31.1psf)

ALL LUMBER TO BE SPF 2 OR GREATER UNLESS NOTED OTHERWISE

ALL CONSTRUCTION TO CONFORM TO THE REQUIREMENTS OF THE ONTARIO

DRAWINGS MUST NOT BE SCALED.

HANDWRITTEN NOTES ON THE DRAWINGS HAVE PRECEDENCE. MANUFACTURED ITEMS, MATERIALS AND CONSTRUCTION MUST COMPLY WITH ALL REQUIREMENTS OF THE MORTGAGE AND HOUSING CORPORATION (C.M.H.C.). ALL REFERENCES TO AND FINISHED GRADE LINES AS INDICATED ON THE ARCHITECTURAL WORKING DRAWINGS ARE FOR REFERENCE ONLY AND DO NOT NECESSARILY DEPICT FINISHED GRADING CONDITIONS OF ANY PARTICULAR LOT.

THE CONTRACTOR OR BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND CHECK ALL JOB CONDITIONS ON THE JOB SITE BEFORE PROCEEDING WITH THE

DESIGNER SHALL BE NOTIFIED PROMPTLY OF ANY DISCREPANCIES AT LEAST ONE WEEK BEFORE ORDERING OR PLACEMENT OF MATERIALS AND UNITS FOR CONSTRUCTION REGARDING SUCH DISCREPANCIES. FAILURE TO OBSERVE THESE CONDITIONS WHICH MAY REQUIRE EXPENSIVE REMEDIAL ACTION SHALL NOT BECOME THE RESPONSIBILITY OF OR COST TO DESIGNER.

DIMENSIONS ARE TAKEN TO ROUGH STUD OR MASONRY SURFACES, GIVEN AS NOMINAL DIMENSIONS. EXTERIOR WALL DIMENSIONS DO NOT ALLOW FOR BRICK PROJECTION THEY ARE TAKEN FROM OUTSIDE FACE OF FOUNDATION WALL TO MAKEDE FACE OF FOUNDA

THE INFORMATION HEREIN IS THE PROPERTY OF 209 DESIGN AND FOR THE EXCLUSIVE USE OF THE CONTRACTED PARTY FOR THIS PROJECT ONLY AND SHALL NOT BE USED FOR OTHER PROJECTS, PUBLISHED, COPIED OR COMMUNICATED TO A THIRD PARTY WITHOUT WRITTEN CONSENT OF 209 DESIGN.

THE UNDERSIGNED HAS REVIEWED & TAKES RESPONSIBILITY FOR THIS DESIGN, & HAS THE QUALIFICATIONS & MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

QUALIFICATION INFORMATION EMPT UNDER DIV. C - 3.2.5.1 OF THE BUILDING CODE

DANA EVANS 100332

REGISTRATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. C - 3.2.4.1 OF THE BUILDING CODE

209 DESIGN 101521 FIRM NAME

209 DESIGN

www.209design.ca 15905 SIDE RD. 17, SUNDERLAND ON LOC 1HO 647-297-8300 DANA@209DESIGN.CA

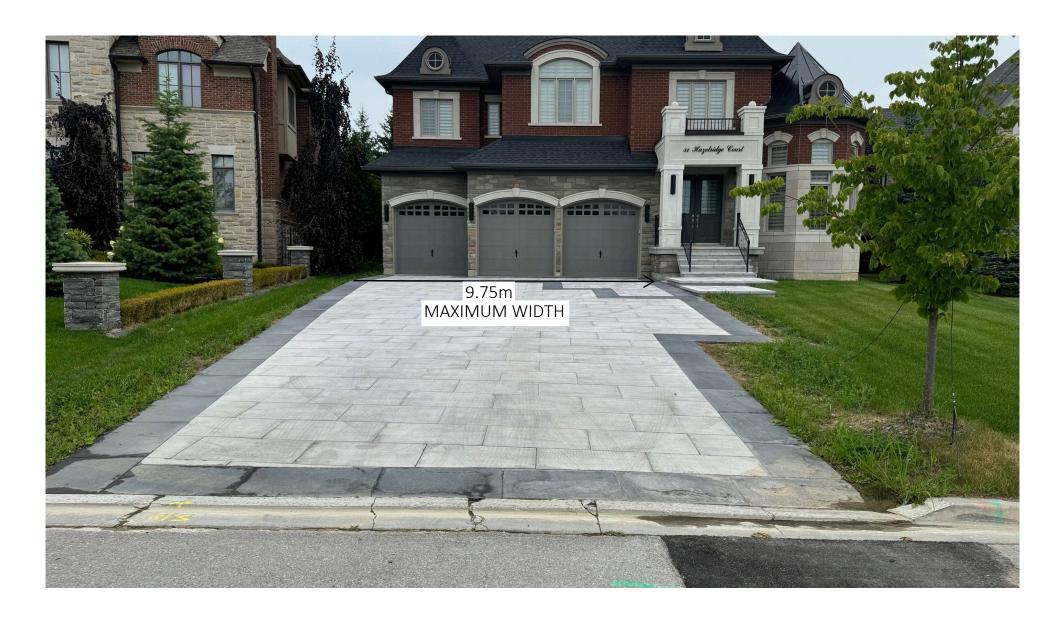
PROJECT #: 23-036

PLOT DATE: June 12 2024

PROJECT ADDRESS:

32 Hazelridge Court Vaughan, ON

MAIN & ROOF PLAN



EXISTING DRIVEWAY AS MEASURED - PHYSICALLY

